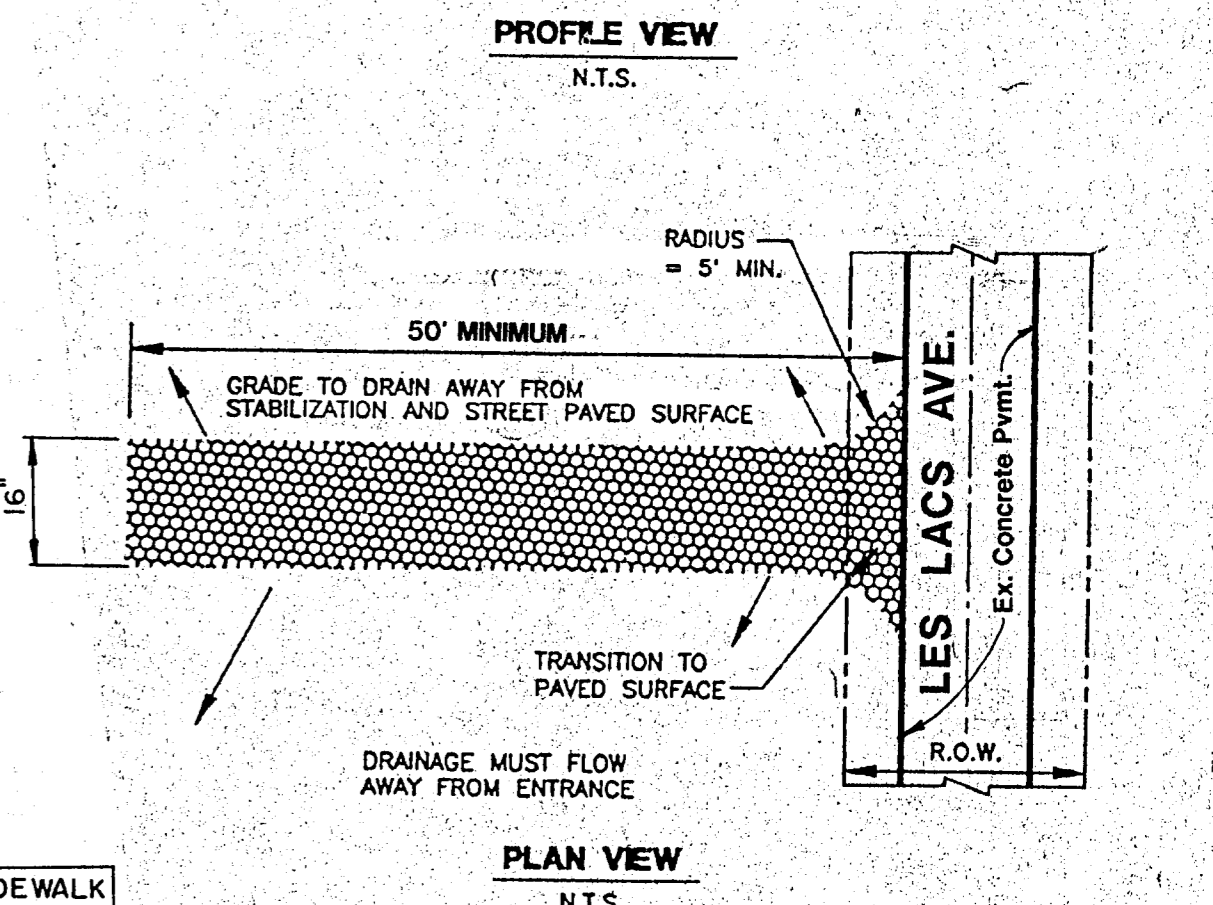
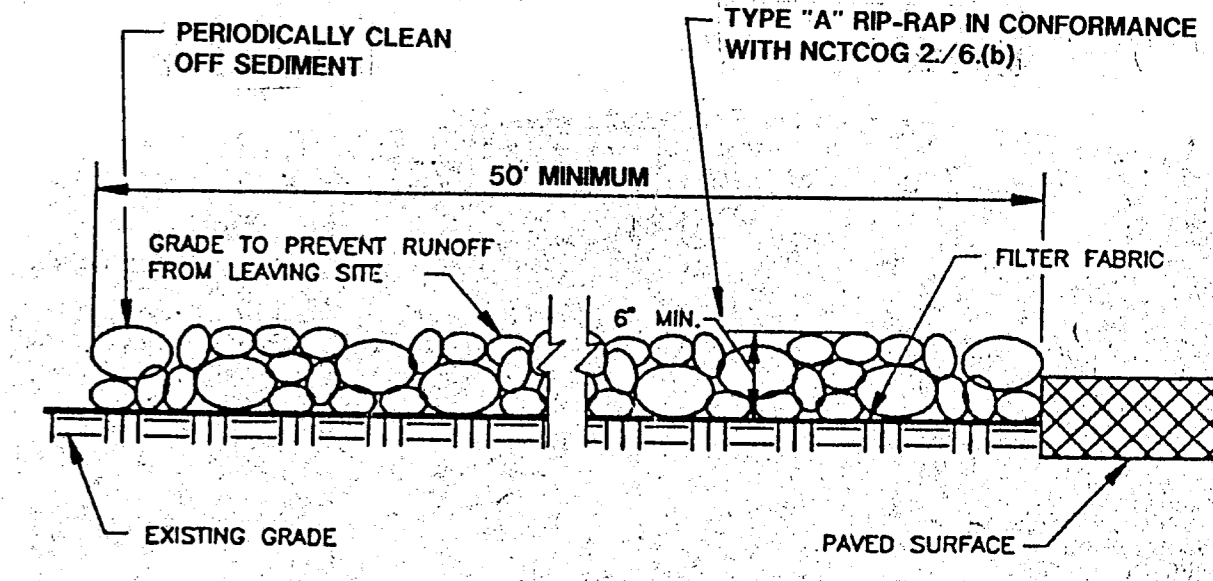
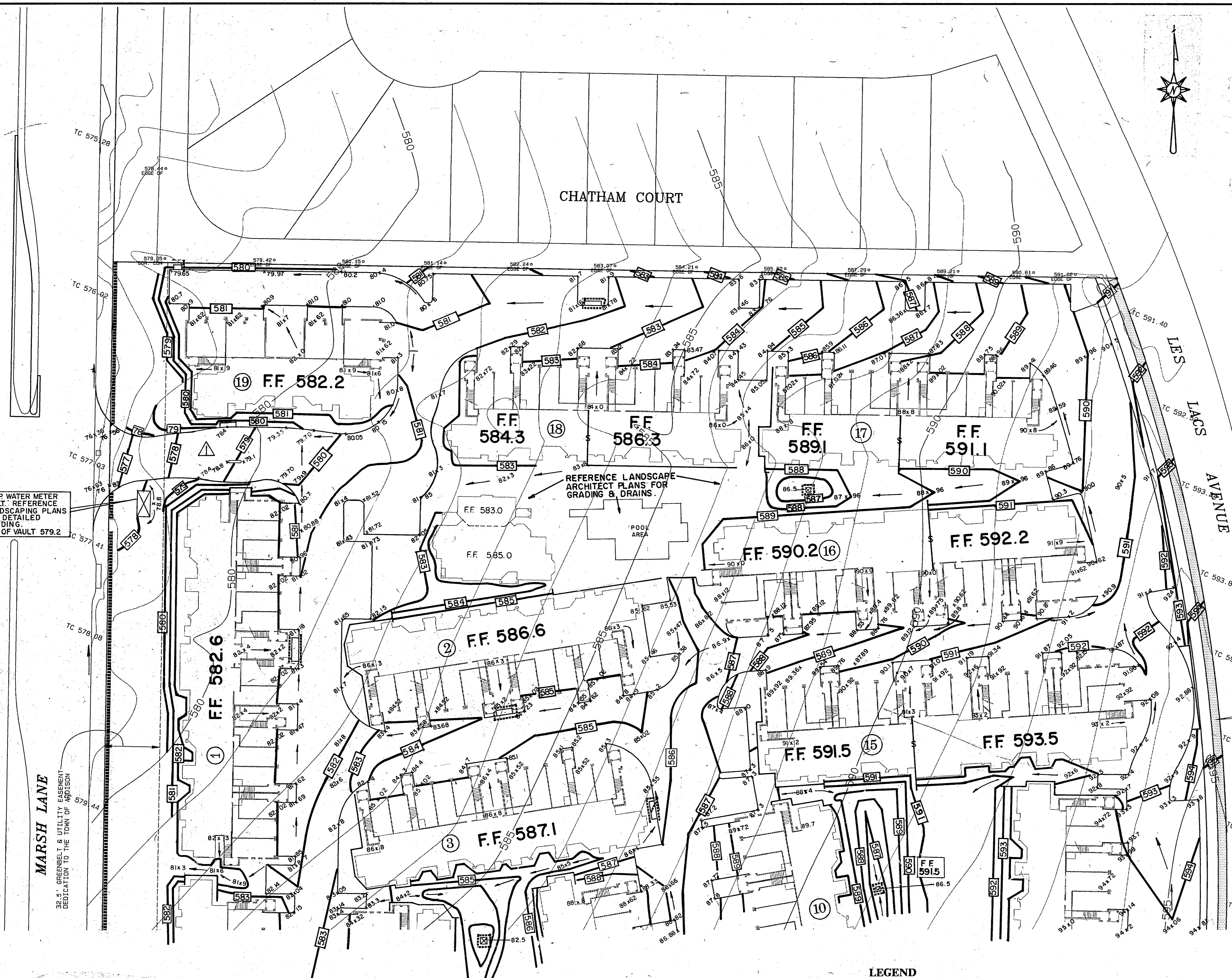


REVISION	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
△	6/27/94	Revise Entrance	BVD	CLS

GENERAL NOTES:

- All fill shall be placed in lifts of 6" and compacted to 95% Standard Proctor Density at a moisture content of 1 to 3% wet of optimum.
- Spot elevations in paved areas are proposed top of pavement elevations unless otherwise noted.
- Remove topsoil in paved and pad areas to a depth 4". Place topsoil in yard and berm areas at the direction of the owner's representative. Reference landscape architect plans.
- Approved surplus excavation can be utilized as directed by the owner's representative to complete landscaped berms along Marsh Lane. Reference landscape architect plans.
- Boulders and other excavated material considered unsuitable for fill will be disposed of legally offsite.
- Provide perimeter construction fence to control access to site. Provide one access point at Les Lacs Avenue only. Access to Marsh Lane is forbidden.
- Provide, maintain, and remove stabilized construction entrance at access point as detailed on this sheet. Remove stabilized construction entrance only upon permission of the Town of Addison.

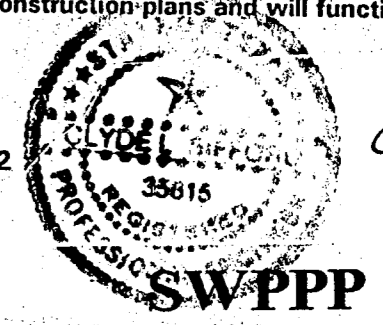


STABILIZED CONSTRUCTION ENTRANCE BY CONTRACTOR

AS BUILTS

Based on visual inspection of the completed improvements, it appears this project was constructed in general conformance with these construction plans and will function as designed.

Clyde L. Sifford, P.E.
THE NELSON CORPORATION
6999 Summerside Drive, Suite 202
Dallas, Texas 75252



Clyde L. Sifford
8-25-95

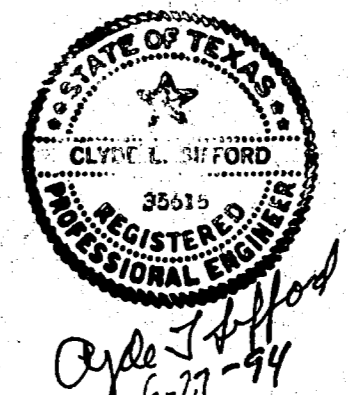
BENCHMARKS:
SQUARE CUT ON CENTERLINE OF 14" INLET AT THE N.E. CORNER OF THE INTERSECTION OF BELTHAY DRIVE AND MARSH LANE. ELEV. 585.20
SQUARE CUT IN CENTER OF THIRD INLET WEST OF THE EAST ADDITION LINE OF WATERFORD PARK II AND ON THE NORTH SIDE LES LACS AVENUE. ELEV. 587.61

GRADING & EROSION CONTROL PLAN

WATERFORD COURT APARTMENTS
TOWN OF ADDISON, TEXAS

Date: 3/31/94 Scale: 1" = 30' Sheet: 5
Drawn By: TNC Approved By: TNC Project No.: 86126.10

THE NELSON CORPORATION
LANDSCAPE ARCHITECTURE • CONSTRUCTION MANAGEMENT
6999 SUMMERSIDE DRIVE SUITE 202 • DALLAS, TEXAS 75252 • (214) 380-2005



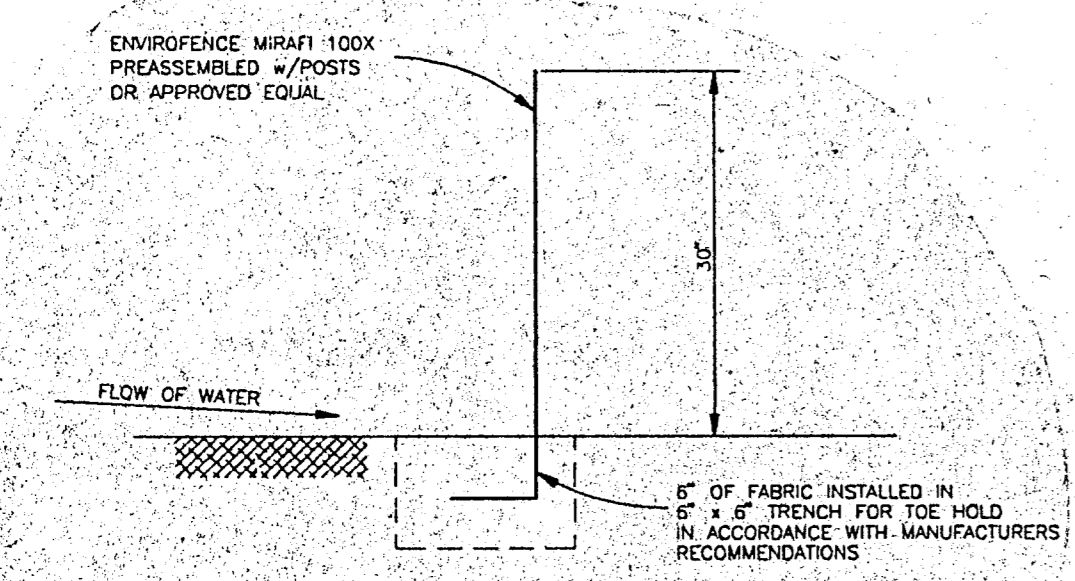
Clyde L. Sifford
6-27-94

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- FLOW ARROW
- PROPOSED SPOT ELEVATION OR TOP OF PAVEMENT
- EROSION CONTROL DEVICE BY GRADING CONTRACTOR
- EROSION CONTROL DEVICE BY UTILITY CONTRACTOR
- PROBABLE WALL

GRADING QUANTITIES

EXCAVATION 10,300 C.Y.
LESS FILL/SHINKAGE 8,800 C.Y.
SURPLUS 1,500 C.Y.



SILTATION FENCE EROSION CONTROL DEVICE