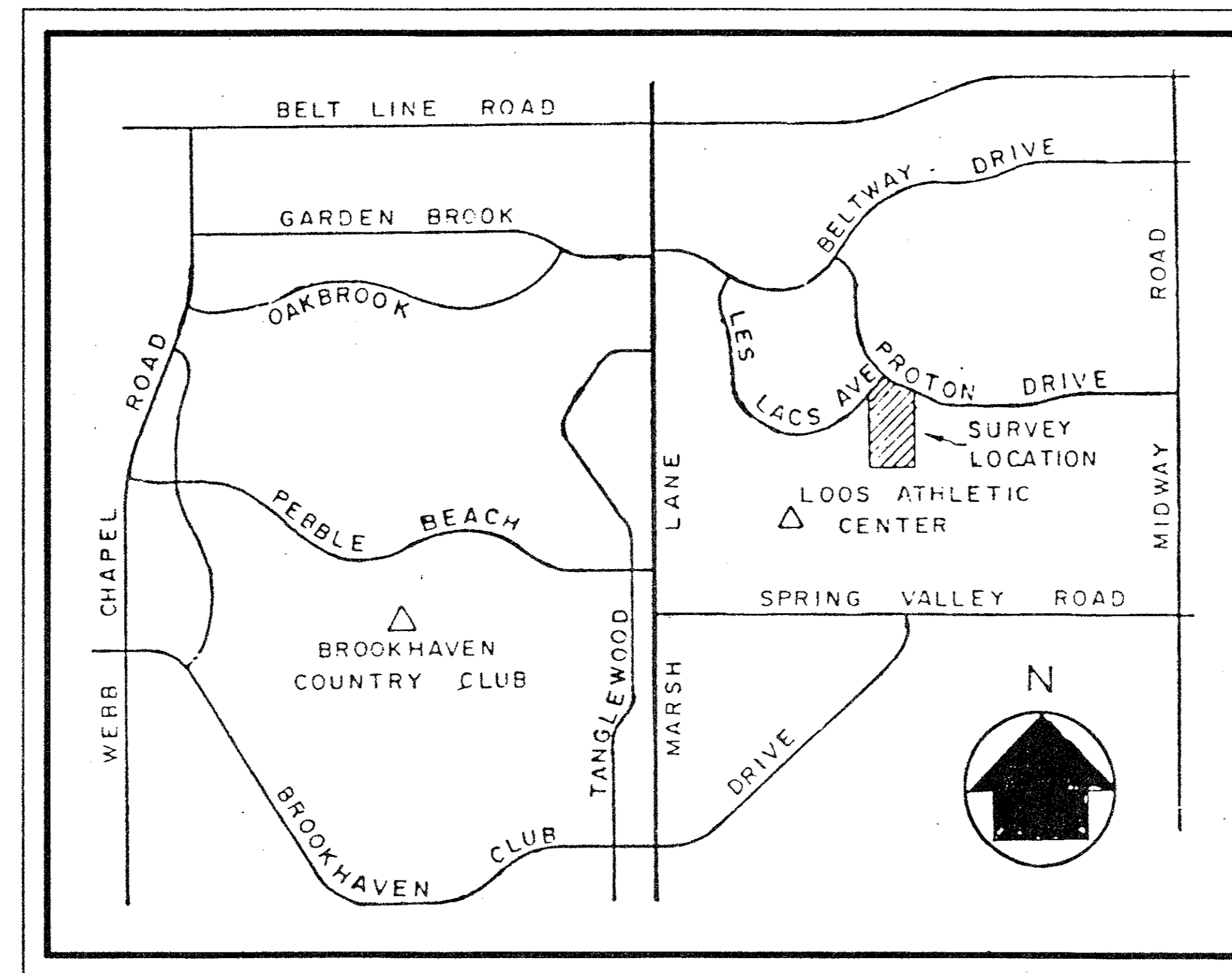


# DEVELOPMENT PLANS FOR WATERVIEW ESTATES

TOWN OF ADDISON, TEXAS

**GENERAL NOTES**

1. Prior to final acceptance by the Town of Addison:
  - a. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison. The owner shall provide 1 reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and 2 blue-line sets.
  - b. A five foot sidewalk shall be installed along Proton Drive. See attached detail.
  - c. A one year maintenance bond is required for the internal subdivision infrastructure.
  - d. Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
2. Prior to starting construction, the contractor shall contract the utility companies to locate existing facilities. These include but may not be limited to the following:
  - a. Town of Addison
  - b. Lone Star Gas
  - c. Southwestern Bell
  - d. Storer Cable
  - e. Planned Cable Systems
  - f. TU Electric
3. Prior to beginning construction, the owner or his authorized representative shall convene a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractor(s), utility companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48-hours prior to the time of the conference and 48-hours prior to beginning of construction.
4. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense. Lot pins shall be in place during construction and prior to final acceptance. Concrete monuments shall be placed on all boundary corners, block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. A copper pin one-fourth inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monument shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
6. The contractor shall stamp a 2-inch "S" in the curb at the location of the sewer service line.
7. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersecting curb line unless otherwise noted.
8. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
9. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
10. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction, at the request of the Town of Addison.
11. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.



LOCATION MAP  
NOT TO SCALE

**INDEX**

Sheet No.	Description
1	Plat
2	Drainage Plan
3-4	Paving Plans
5	Storm Sewer
6	Water & Sewer Plan
7	Sanitary Sewer Profiles
8	Erosion Control Plan
9	Grading Plan
D1-D10	Detail Sheets

*All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison must rely upon the adequacy of the work of the design engineer.*

*Approved for construction for a 12-month period  
John L. Bumparker 11-1-91  
City Engineer, Engineer, Town of Addison  
Expired 11-1-92*

PREPARED FOR

~ OWNER ~

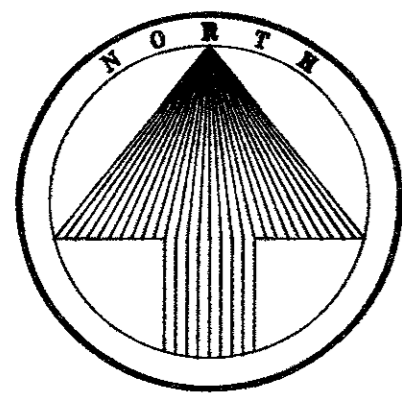
GRAND HOMES INC.

8800 N. CENTRAL EXPWY. ~ DALLAS, TEXAS 75231 ~ PH NO. (214)750-6528

**at** DON A. TIPTON, INC. CONSULTING ENGINEERS  
6330 BELT LINE ROAD ~ SUITE C ~ GARLAND, TEXAS 75043

*Greg McCall*

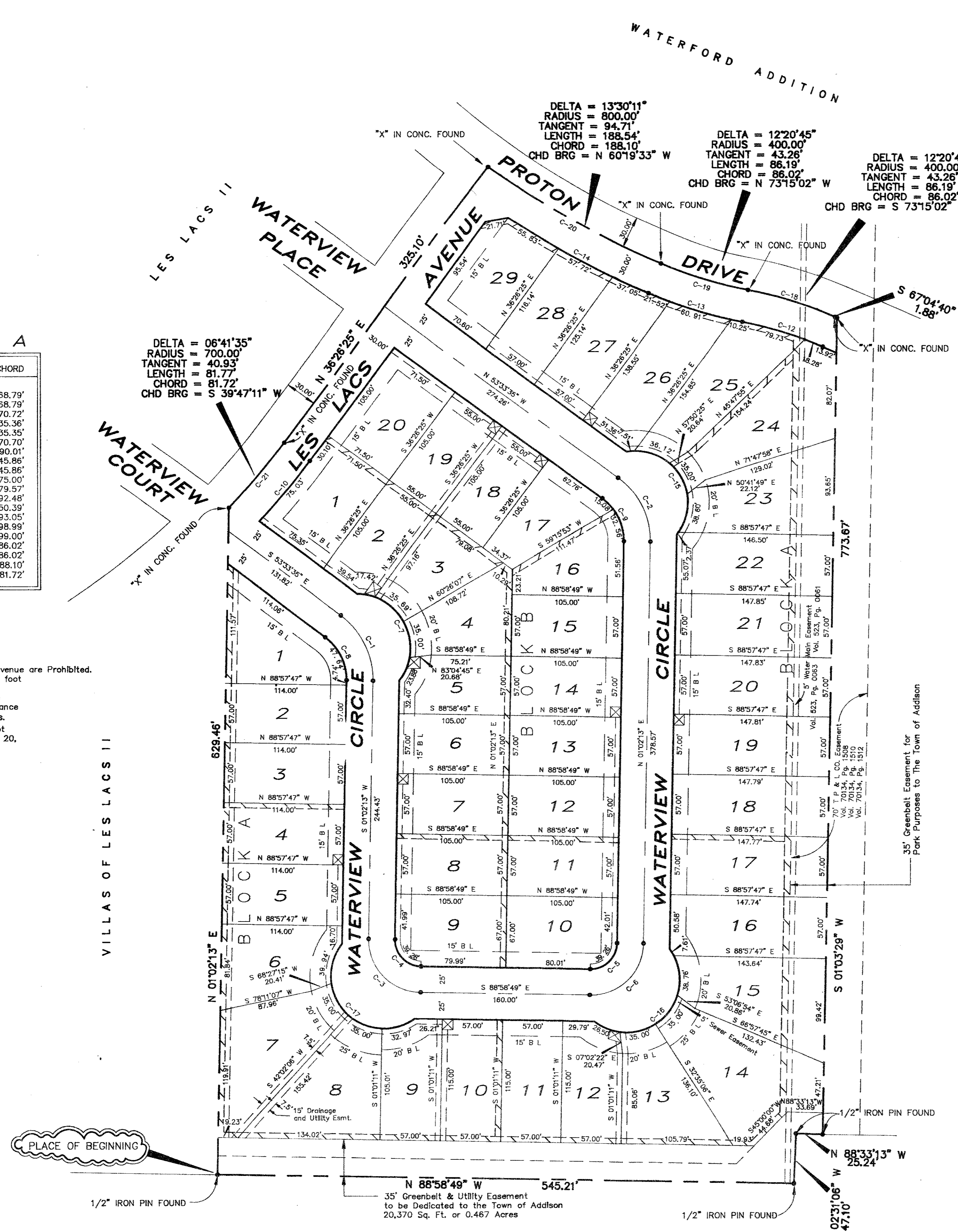
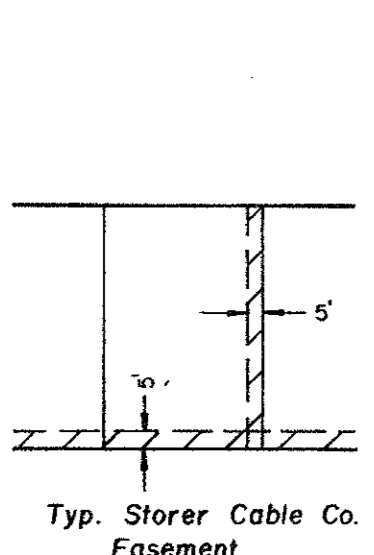
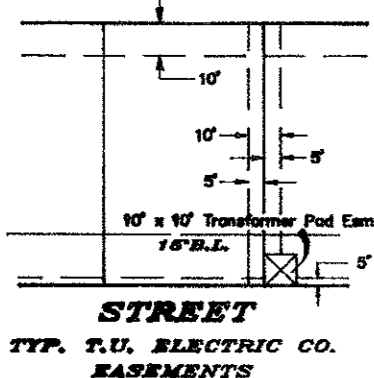




CURVE DATA

CRV NO	RADIUS	DELTA	TANGENT	LENGTH	CHORD
C-1	75.00	54°35'48"	38.71'	71.47'	68.79'
C-2	75.00	54°35'48"	38.71'	71.47'	68.79'
C-3	50.00	90°01'02"	50.02'	78.55'	70.72'
C-4	25.00	90°01'02"	25.01'	39.28'	35.36'
C-5	25.00	89°58'58"	24.99'	39.26'	35.35'
C-6	50.00	89°58'58"	49.98'	78.52'	70.70'
C-7	50.00	128°20'11"	103.28'	111.99'	90.01'
C-8	50.00	54°35'48"	25.81'	47.64'	45.86'
C-9	50.00	54°35'48"	25.81'	47.64'	45.86'
C-10	730.00	05°53'21"	37.55'	75.03'	75.00'
C-11	370.00	12°20'45"	40.02'	79.72'	79.57'
C-12	430.00	12°20'45"	46.51'	92.65'	92.48'
C-13	830.00	10°23'45"	75.50'	150.59'	150.39'
C-14	50.00	137°02'22"	127.06'	119.59'	93.05'
C-15	50.00	163°43'21"	349.82'	142.87'	98.99'
C-16	50.00	163°45'25"	350.38'	142.90'	99.00'
C-17	400.00	12°20'45"	43.26'	86.19'	86.02'
C-18	400.00	12°20'45"	43.26'	86.19'	86.02'
C-19	800.00	13°30'11"	94.71'	188.54'	188.10'
C-20	700.00	06°41'35"	40.93'	81.77'	81.72'

- NOTES:
1. Driveway Access/Curb Cuts to Proton Drive and Les Lacs Avenue are Prohibited.
  2. No masonry fences or columns are permitted within the 10 foot utility/drainage easement between lots 7 and 8, block A.
  3. Property owners shall provide access to the utility/drainage easement as may be necessary for inspection and maintenance of facilities by the Town of Addison Public Utility Companies.
  4. No fences or structures are permitted in the thirty-five foot greenbelt easement adjacent to lots 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, and 24, block A.



STATE OF TEXAS }  
 COUNTY OF DALLAS }  
 OWNERS CERTIFICATE

3626.own/vp7

WHEREAS, GRAND HOMES, INC., a Texas corporation is the owner of a tract of land situated in the Town of Addison, Dallas County, Texas, and being a part of the Thomas L. Chenoweth Survey, Abstract 273, and also being part of the tract of land conveyed to J. E. Bush by three deeds recorded in Volume 2591, Page 513, Volume 3406, Page 23, and Volume 934, Page 55, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at the intersection of the Easterly line of Marsh Lane (variable width) with the Southeastery cut off line between said Easterly line of Marsh Lane and the Southerly line of Belt Line Road (150' R.O.W.);

THENCE, S 00° 56' 06" W, along said Easterly line of Marsh Lane,, a distance of 920.00 feet to an angle point;

THENCE, S 06° 00' 26" W, along said Easterly line of Marsh Lane, a distance of 169.66 feet to an angle point;

THENCE, S 00° 56' 06" W, along said Easterly line of Marsh Lane, a distance of 2309.00 feet to a point for corner;

THENCE, S 89° 13' 31" E, along the Southerly property line of said J. E. Bush tract, a distance of 1105.12 feet to an angle point;

THENCE, S 88° 58' 49" E, along said Southerly property line of the J. E. Bush tract, a distance of 847.57 feet to a 1/2" iron pin found for the PLACE OF BEGINNING of the herein described tract of land;

THENCE, N 01° 02' 13" E, a distance of 629.46 feet to a "x" found for the beginning of a non-tangency curve to the left;

THENCE, in a Northeasterly direction along said curve to the left having a radius of 700 feet, a central angle of 06° 41' 24", a chord bearing and distance of N 39° 47' 11" E, 81.72 feet, and an arc length of 81.77 feet to an "x" found for the end of said curve to the left;

THENCE, N 36° 26' 25" E, a distance of 325.10 feet to an "x" found for the beginning of a non-tangency curve to the left;

THENCE, in a Southeasterly direction along said curve to the left having a radius of 800.00 feet, a central angle of 13° 30' 13", a chord bearing and distance of S 71° 15' 02" E, 188.11 feet, and an arc length of 188.54 feet to an "x" found for the end of said curve to the left, and the beginning of a compound curve to the left;

THENCE, in a Southeasterly direction along said curve to the left, having a radius of 400.00 feet, a central angle of 12° 20' 45", a chord bearing and distance of S 71° 15' 02" E, 188.11 feet, and an arc length of 86.19 feet to an "x" found for the end of said curve to the left and the beginning of a reverse curve to the right;

THENCE, in a Southeasterly direction along said curve to the right having a radius of 400.00 feet, a central angle of 12° 20' 45", a chord bearing and distance of S 71° 15' 02" E, 188.11 feet, and an arc length of 86.19 feet to an "x" found for the end of said curve to the right;

THENCE, S 67° 04' 40" E, a distance of 1.88 feet to an "x" found for corner in the centerline of a 70 foot wide Texas Power and Light easement, a distance of 773.67 feet to a 1/2" iron pin found for corner in the Southerly property line of said J. E. Bush tract;

THENCE, S 01° 03' 29" W, along said centerline of the 70 foot Texas Power and Light easement, a distance of 25.24 feet to a 1/2" iron pin found at fence corner post;

THENCE, N 88° 33' 13" W, along said Southerly property line of J. E. Bush tract, a distance of 25.24 feet to a 1/2" iron pin found at fence corner post;

THENCE, S 02° 31' 06" W, along said property line of J. E. Bush tract, a distance of 47.10 feet to a 1/2" iron pin found at fence corner post;

THENCE, N 88° 58' 49" W, along said Southerly property line of J. E. Bush tract, a distance of 545.21 feet to the PLACE OF BEGINNING and containing 11.003 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, GRAND HOMES, INC., a Texas corporation, does hereby adopt this plat designating the herein described property as WATERVIEW ESTATES, an addition to the Town of Addison, Texas. The street shown on this plat is expressly reserved for the private use of the Grantor and subsequent owners of the property abutting a said street and to the families and guests of such owners, as to which no public dedication is hereby intended, either expressly or by implication. Such private street is subject to the right of Grantor to grant easements for the benefit of such persons as hereafter recorded in the deed records of Dallas County, Texas, including but not limited to restriction of access thereto. The easements shown hereon are hereby reserved for purposes of water, sanitary sewer, storm sewer, electric and telephone, gas and cable TV locations to be determined by Grantor. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of the services for which such easements are granted. An express easement of ingress and egress is further granted over, upon and across the private roadway reserved herein for the purposes of providing fire and police protection, and trash collection to the property to and from the water, sanitary sewer, storm sewer, electric, telephone, gas and cable TV easements reserved herein for the sole installations and maintenance for which such easement is granted.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Addison, Texas.

WITNESS my hand at Addison, Texas, this the \_\_\_ day of \_\_\_\_\_, 1991.

GRAND HOMES, INC.,  
 a Texas corporation

STEPHEN H. BROOKS, PRESIDENT

STATE OF TEXAS }  
 COUNTY OF DALLAS }  
 SURVEYORS CERTIFICATE

I, GREGORY A. McCALL, Registered Professional Land Surveyor for DON A. TIPTON, INC. do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision, and further certify that all corners are as shown thereon, and that said plat has been prepared in accordance with the platting rules and regulations of the Town of Addison, Texas.

DATED: This the \_\_\_ day of \_\_\_\_\_, 1991.

DON A. TIPTON, INC.

GREGORY A. McCALL  
 Registered Professional Land Surveyor  
 No. 4196

STATE OF TEXAS }  
 COUNTY OF DALLAS }  
 BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared STEPHEN H. BROOKS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_ day of \_\_\_\_\_, 1991.

Notary Public, State of Texas

STATE OF TEXAS }  
 COUNTY OF DALLAS }  
 CERTIFICATE OF APPROVAL

APPROVED BY THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, this the \_\_\_ day of \_\_\_\_\_, 1991.

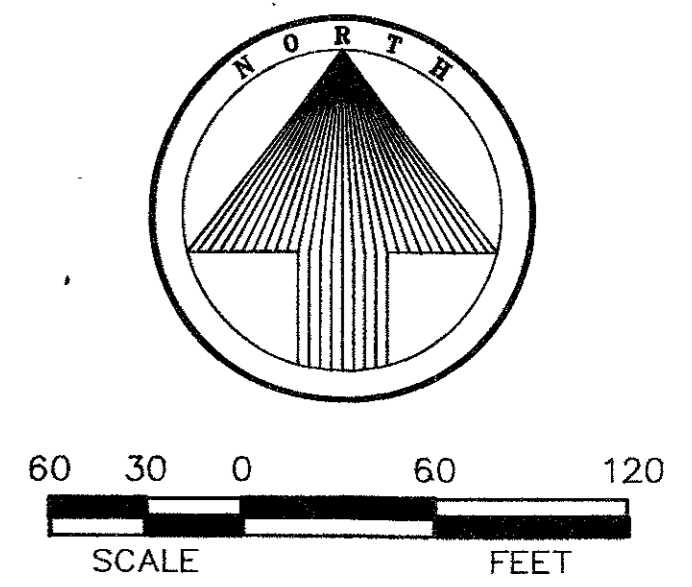
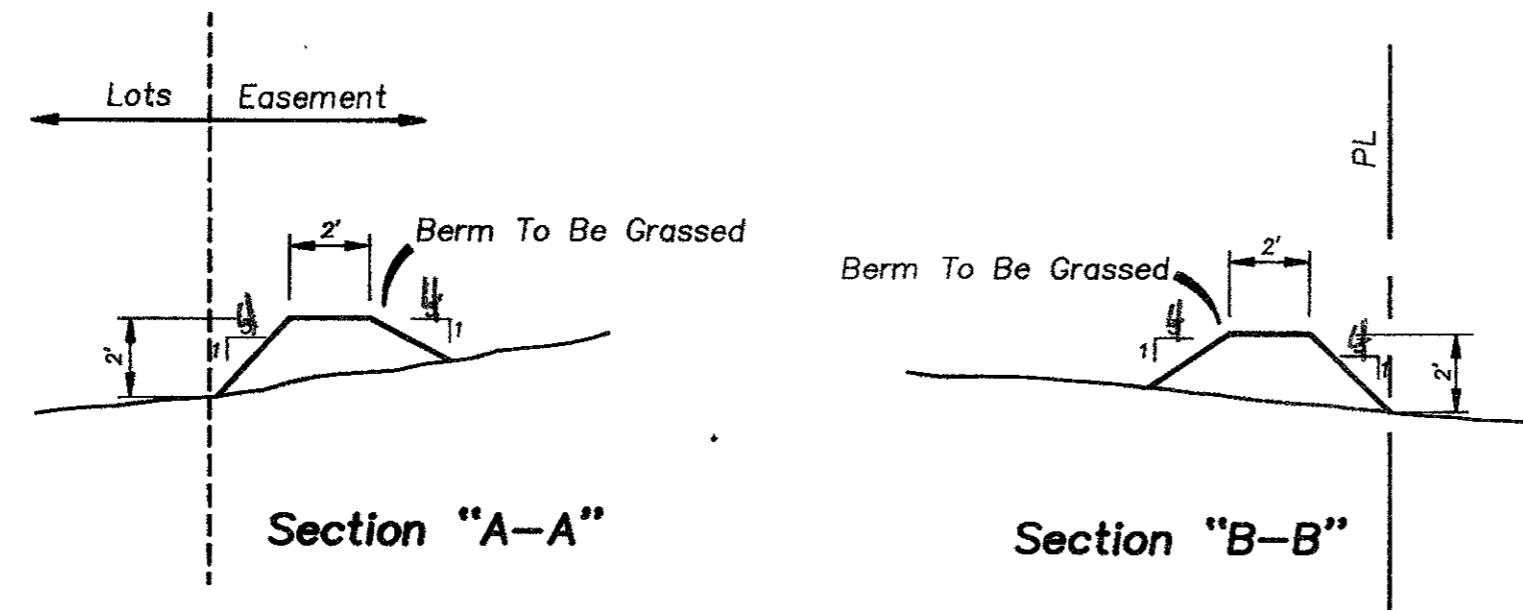
MAYOR \_\_\_\_\_

SECRETARY \_\_\_\_\_

FINAL PLAT  
**WATERVIEW ESTATES**  
 TOWN OF ADDISON  
 THOMAS L. CHENOWETH SURVEY ~ ABSTRACT NO. 273  
 DALLAS COUNTY, TEXAS  
 DEVELOPER ~ OWNER  
**GRAND HOMES, INC.**  
 8800 N. CENTRAL EXPY. ~ DALLAS, TEXAS 75231 ~ PH NO. (214)750-6528  
 ~ SURVEYOR ~  
**DON A. TIPTON INC. ~ CONSULTING ENGINEERS**  
 6330 BELT LINE ROAD ~ SUITE C ~ GARLAND, TEXAS 75043 ~ PH NO. (214)226-2967

49 LOTS # 3626





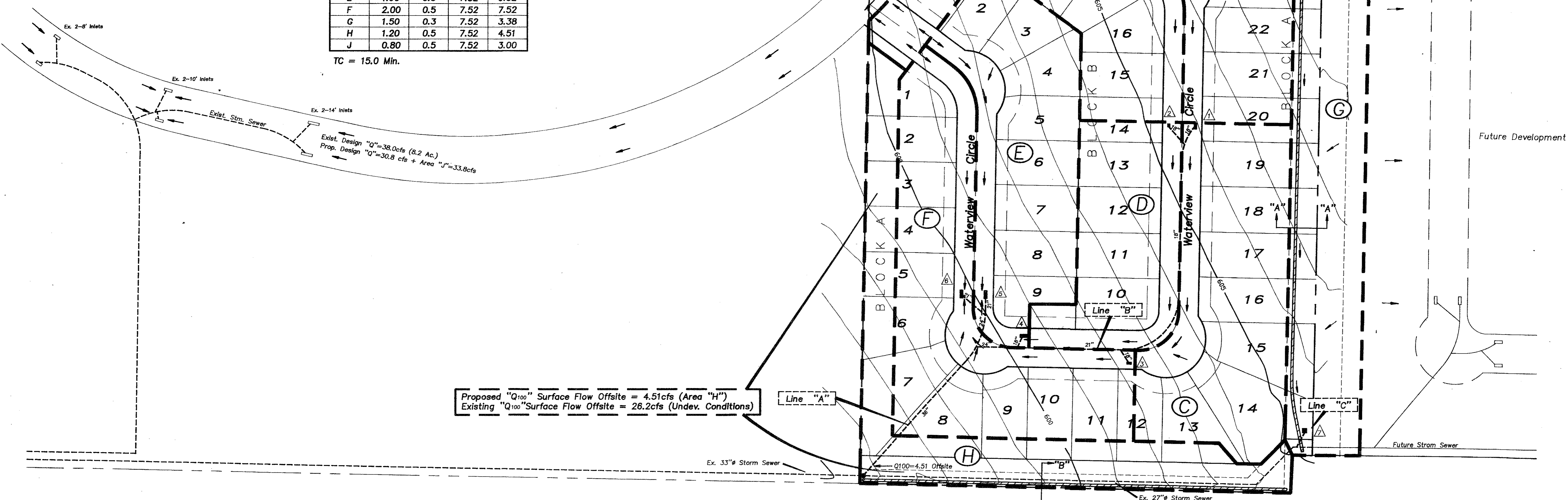
Drainage Data

Area	Acre	"C"	I100	Q100
A	1.80	0.5	7.52	6.77
B	1.00	0.5	7.52	3.76
C	1.50	0.5	7.52	5.64
D	1.00	0.5	7.52	3.76
E	1.60	0.5	7.52	6.02
F	2.00	0.5	7.52	7.52
G	1.50	0.3	7.52	3.38
H	1.20	0.5	7.52	4.51
J	0.80	0.5	7.52	3.00

TC = 15.0 Min.

NOTE:  
Area "G" To Be Restored To  
Original Condition Or Better  
If Disturbed By Construction.

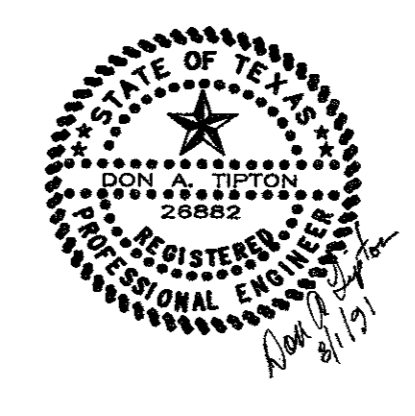
Proposed "Q<sub>100</sub>" Surface Flow Offsite = 4.51cfs (Area "H")  
Existing "Q<sub>100</sub>" Surface Flow Offsite = 26.2cfs (Undev. Conditions)



INLET CALCULATION CHART

INLET NO.	DRAINAGE AREA (SQ. FT.)	DESIGN FREQ.	TIME (MIN)	INTENSITY (IN./HR.)	DEV. COEFF.	UNDEV. COEFF.	DRAINAGE AREA (ACRE)	DEV. COEFF.	UNDEV. COEFF.	BY-PASS FROM	TOTAL FROM	GUTTER CAPACITY (C.F.S.)	GUTTER SLOPE	CROWN SLOPE	TYPE	INLET INLET	INLET INLET	DOWNSTREAM NUMBER		
1	10400	100	15.00	7.52	0.50	0.30	1.80	6.77	4.06	0.00	6.77	1.5	7.0	6"PAR	B	1	0.50	8.00	0.00	N/A
2	10400	100	15.00	7.52	0.50	0.30	1.00	3.76	2.26	0.00	3.76	1.5	7.0	6"PAR	4	1	0.50	4.00	0.00	N/A
3	6475	100	15.00	7.52	0.50	0.30	1.50	5.64	3.38	0.00	5.64	1.0	5.7	6"PAR	6	1	0.50	6.00	0.00	N/A
4	5440	100	15.00	7.52	0.50	0.30	1.00	3.76	2.26	0.00	3.76	1.0	5.7	6"PAR	4	1	0.50	4.00	0.00	N/A
5	4430	100	15.00	7.52	0.50	0.30	1.60	6.02	3.61	0.00	6.02	1.0	5.7	6"PAR	10	1A	0.50	15.00	0.00	N/A
6	4430	100	15.00	7.52	0.50	0.30	2.00	7.52	4.51	0.00	7.52	1.0	5.7	6"PAR	10	1A	0.50	15.00	0.00	N/A
7	TPAL ESM'T	100	15.00	7.52	N/A	0.30	1.50	0.00	3.38	0.00	0.00	1.0	6.0	DITCH	2'x2'	V	0.50	8.00	0.00	N/A

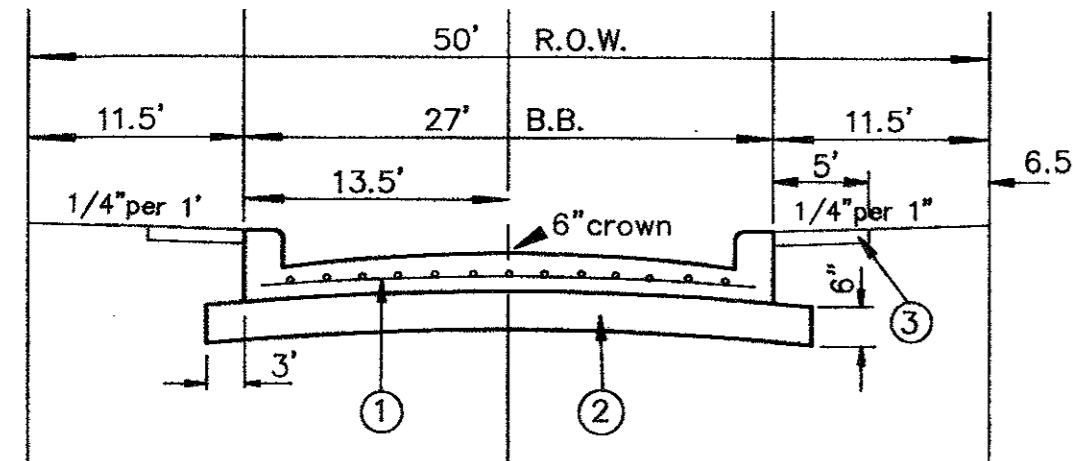
Bench Mark 1  
"d" Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46  
Bench Mark 2  
"d" Top of curb South side of Proton Drive, 400' East of Les Lacs Ave. Elev. 611.31(Set)  
Bench Mark 3  
"d" Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08



**DRAINAGE MAP**  
**WATERVIEW ESTATES**  
Town Of Addison, Texas

**don** DON A. TIPTON, INC. CONSULTING ENGINEERS  
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t. inc.	d.a.t. inc.	8/91	1"=60'	d.b.	Waterview Estates 3626	2



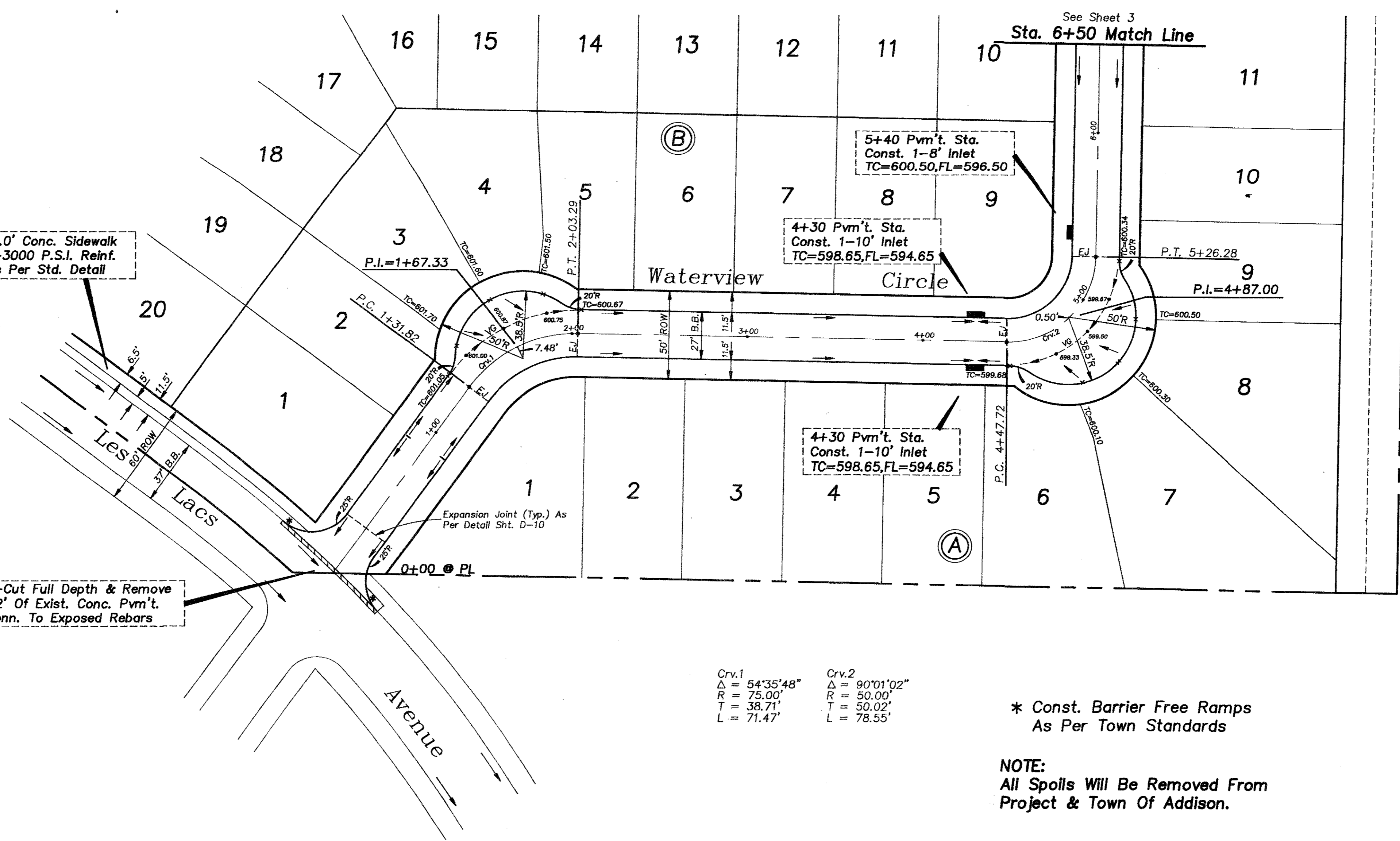
**Typical Paving Section**

- ① 6" Thk.-3000 P.S.I. Conc. Reinf. w/No.3 Bars On 18" Centers (Both Ways).
- ② 6" Lime Stabilization required where PI >15. Optimize Lime content based on a Lime/PH. PH should be approximately 12. Test shall be conducted by a qualified Geotechnical firm, to be provided by the Developer. Test results shall be provided to the city. Separate test are required when subgrade conditions change.
- ③ 5' Sidewalk to be built by Homebuilder, Adjacent to the curb.

- Construction Notes:**
1. All Fill Compaction Shall Have 95% Density w/0% To +3.0% Optimum Moisture.
  2. Construct Expansion Joints As Shown On Plans.
  3. Construct Transverse Sawed Dummy Joints Every 15.0' Max.

Const. 5.0' Conc. Sidewalk  
4" Thk.-3000 P.S.I. Reinf.  
Conc. As Per Std. Detail

Saw-Cut Full Depth & Remove  
68"x2' Of Exist. Conc. Pvm't.  
& Conn. To Exposed Rebars



Crv.1  
Δ = 54°35'48"  
R = 75.00'  
T = 38.71'  
L = 71.47'

Crv.2  
Δ = 90°01'02"  
R = 50.00'  
T = 50.02'  
L = 78.55'

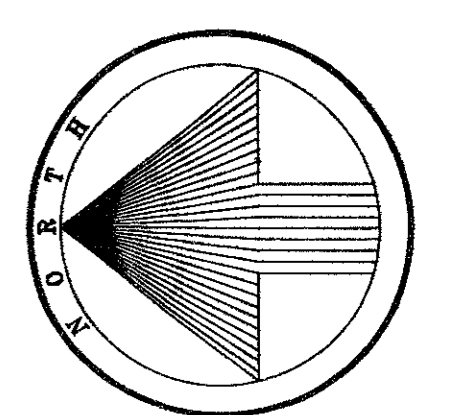
\* Const. Barrier Free Ramps  
As Per Town Standards

**NOTE:**  
All Spoils Will Be Removed From  
Project & Town Of Addison.

**CAUTION !!!  
EXISTING UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT.  
TU ELECTRIC COMPANY 323-8928  
LONE STAR GAS COMPANY 487-3885  
SOUTHWESTERN BELL TELEPHONE 464-4095  
STORER CABLE 840-2388



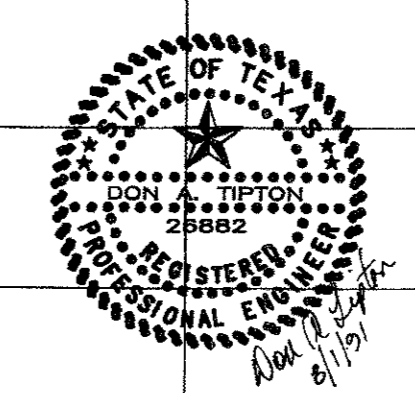
Station	Left R.O.W. Elevation	Right R.O.W. Elevation	Prop. Top Of Curb	Grade	Notes
0+00	605	605	600	+3.00%	Ex. TC=600.74
1+00	600	600	595	-0.50%	TC=601.20
2+00	600	600	595	-1.00%	TC=600.70
3+00	600	600	595	-1.00%	TC=599.90
4+00	600	600	595	+1.00%	TC=600.70
5+00	600	600	595	+1.00%	TC=600.10
6+00	600	600	595	+0.50%	TC=600.90

Bench Mark 1 "□" Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46
Bench Mark 2 "□" Top of curb South side of Proton Drive, 400' East of Les Lacs Ave. Elev. 611.31(Set)
Bench Mark 3 "□" Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08

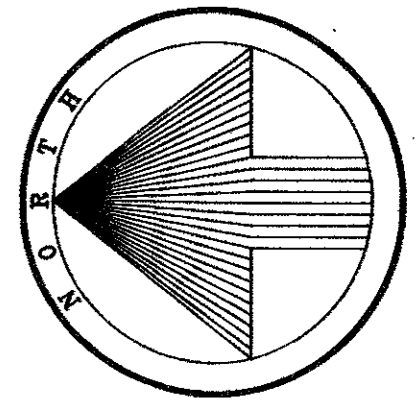
**PAVING PLAN  
WATERVIEW ESTATES**  
Town Of Addison, Texas

**don** DON A. TIPTON, INC. CONSULTING ENGINEERS  
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t. Inc.	j.m.r.	8/91	1"=40'H 1"=6'V		Waterview Estates 3626	3







Const. 5.0' Conc. Sidewalk  
4" Thk. - 3000 P.S.I. Reinf.  
Conc. Adjacent To Curb

10+00 Pvm't. Sta.  
Const. 1-8' Inlet  
TC=603.60; FL=599.60

10+00 Pvm't. Sta.  
Const. 1-4' Inlet  
TC=603.60; FL=599.60

6+75 Pvm't. Sta.  
Const. 1-6' Inlets  
TC=601.35; FL=597.35

14+70.59 Conn. To Exist. Pvm't.  
Saw-Cut Full Depth & Remove  
68'x2' Exist. Curb & Gutter, &  
Conn. To Exposed Rebars

Const. 5.0' Conc. Sidewalk  
4" Thk. - 3000 P.S.I. Reinf.  
Conc. Adjacent To Curb

Crv.1  
Δ = 54°35'48"  
R = 75.00'  
T = 38.71'  
L = 71.47'

Crv.2  
Δ = 89°58'58"  
R = 50.00'  
T = 49.98'  
L = 78.52'

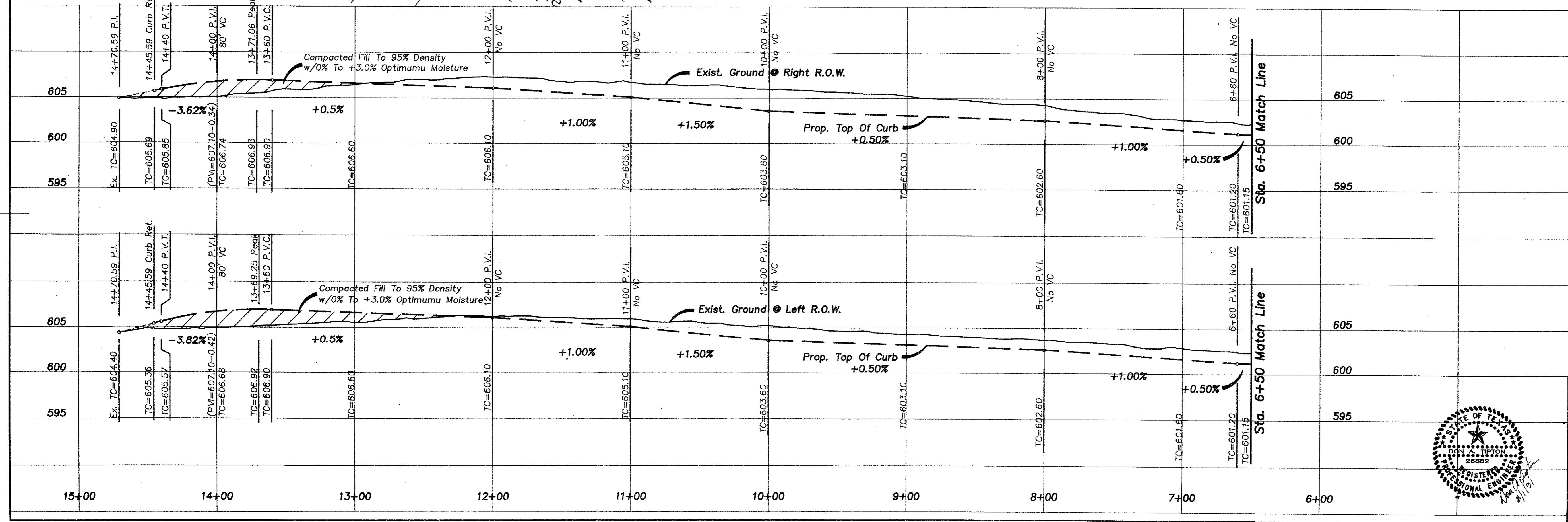
\* Const. Barrier Free Ramps  
As Per Town Standards

NOTE:  
All Spoils To Be Removed From  
Project & Town Of Addison.

**CAUTION !!!**  
**EXISTING UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT.  
TU ELECTRIC COMPANY 323-8928  
LONE STAR GAS COMPANY 487-3885  
SOUTHWESTERN BELL TELEPHONE 464-4095  
STORER CABLE 840-2388



Bench Mark 1  
"Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46

Bench Mark 2  
"Top of curb South side of Proton Drive, 400' East of Les Lacs Ave. Elev. 611.31(Set)

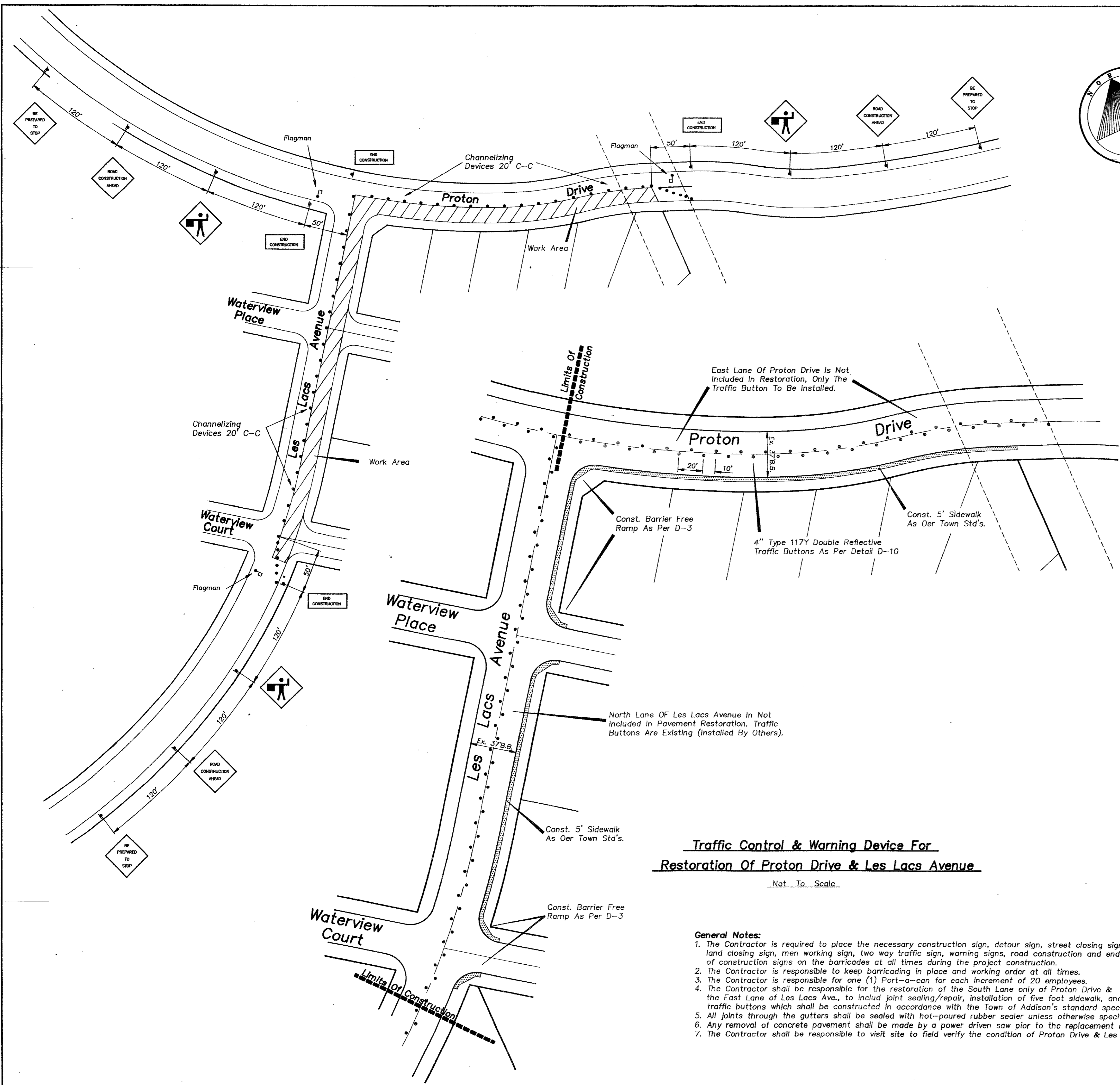
Bench Mark 3  
"Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08

**PAVING PLAN**  
**WATERVIEW ESTATES**  
Town Of Addison, Texas

**DON A. TIPTON, INC. CONSULTING ENGINEERS**  
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t.	jm.r.	8/91	1"=40'H 1"=6'V		Waterview Estates 3526	4



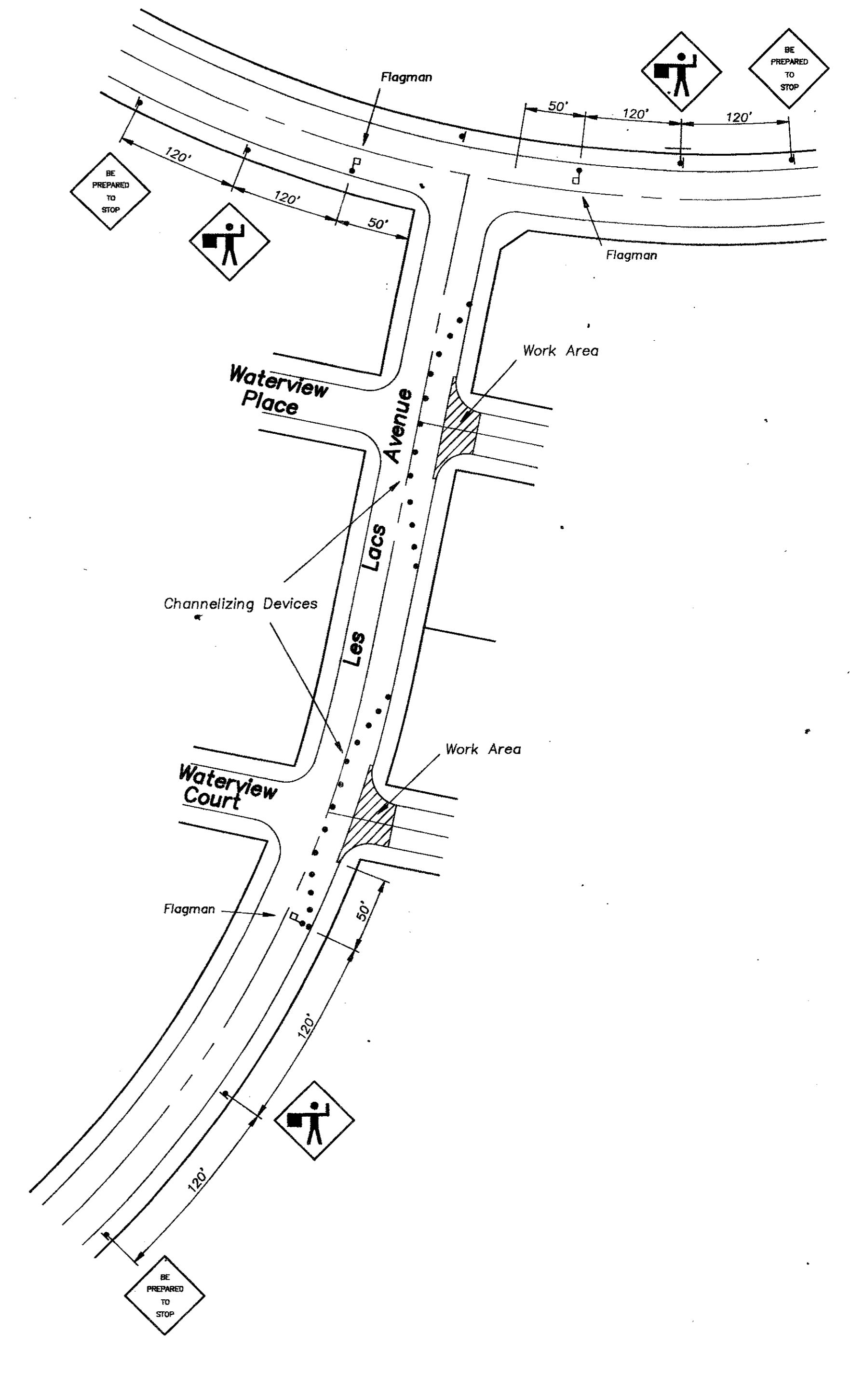


**Traffic Control & Warning Device For  
Restoration Of Proton Drive & Les Lacs Avenue**

Not To Scale

**General Notes:**

1. The Contractor is required to place the necessary construction sign, detour sign, street closing sign, land closing sign, men working sign, two way traffic sign, warning signs, road construction and end of construction signs on the barricades at all times during the project construction.
2. The Contractor is responsible to keep barricading in place and working order at all times.
3. The Contractor is responsible for one (1) Port-a-can for each increment of 20 employees.
4. The Contractor shall be responsible for the restoration of the South Lane only of Proton Drive & the East Lane of Les Lacs Ave., to include joint sealing/repair, installation of five foot sidewalk, and traffic buttons which shall be constructed in accordance with the Town of Addison's standard specifications.
5. All joints through the gutters shall be sealed with hot-poured rubber sealer unless otherwise specified.
6. Any removal of concrete pavement shall be made by a power driven saw prior to the replacement of the paving.
7. The Contractor shall be responsible to visit site to field verify the condition of Proton Drive & Les Lacs Ave.



**Traffic Control For Street Installations**

Not To Scale



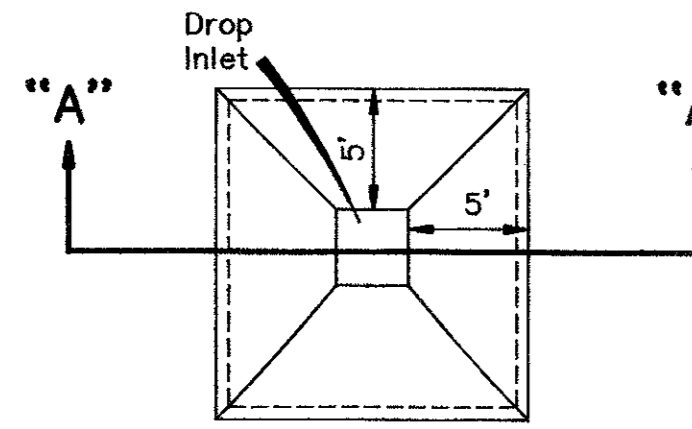
STREET RESTORATION PLAN						
WATERVIEW ESTATES						
Town Of Addison, Texas						
		DON A. TIPTON, INC. CONSULTING ENGINEERS				
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
D.A.T.	J.M.R.	7/91	1"=60'		Waterview Estates 3626	4A

RFB

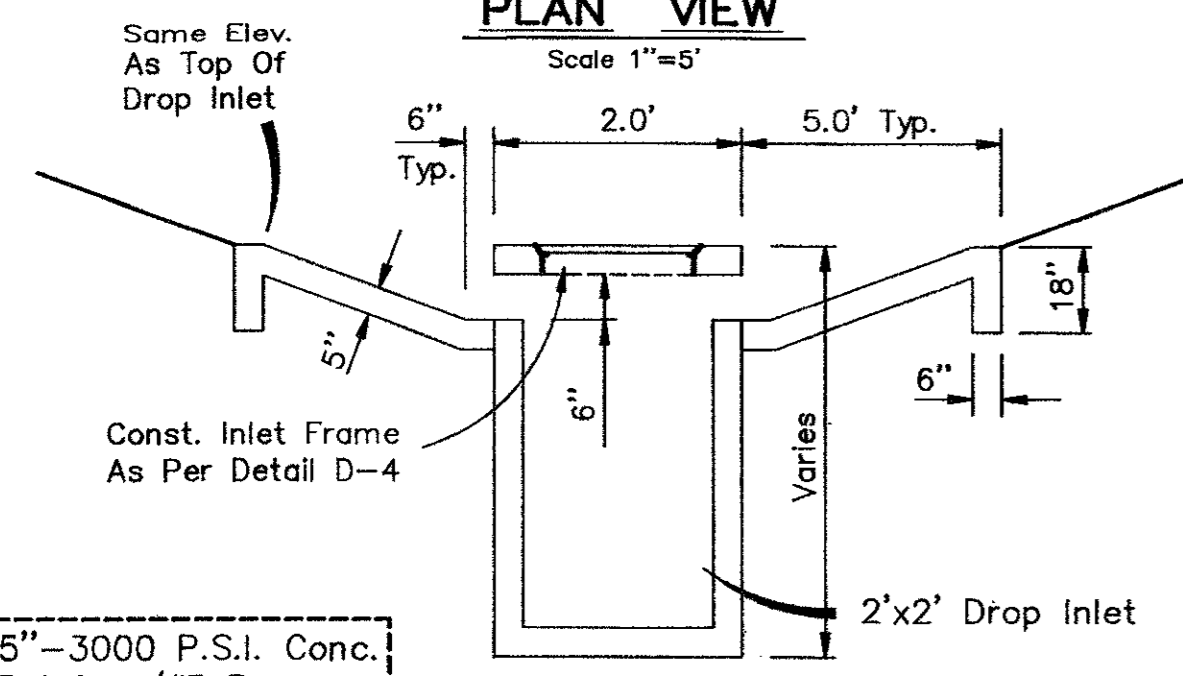


**Storm Sewer Curve Data**

Crv. 1	Crv. 2	Crv. 3	Crv. 4
Δ = 40°57'41"	Δ = 141°8'00"	Δ = 89°58'44"	Δ = 38°12'45"
R = 100.00'	R = 100.00'	R = 70.00'	R = 70.00'
T = 37.35'	T = 12.54'	T = 69.97'	T = 24.25'
L = 71.49'	L = 24.96'	L = 109.93'	L = 46.69'

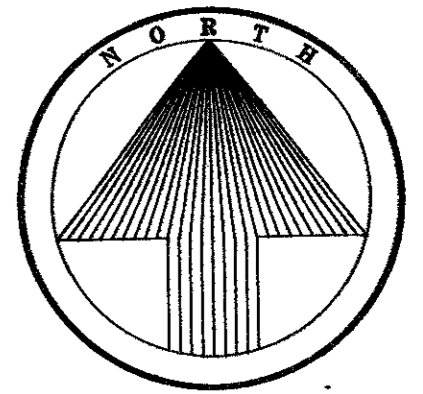
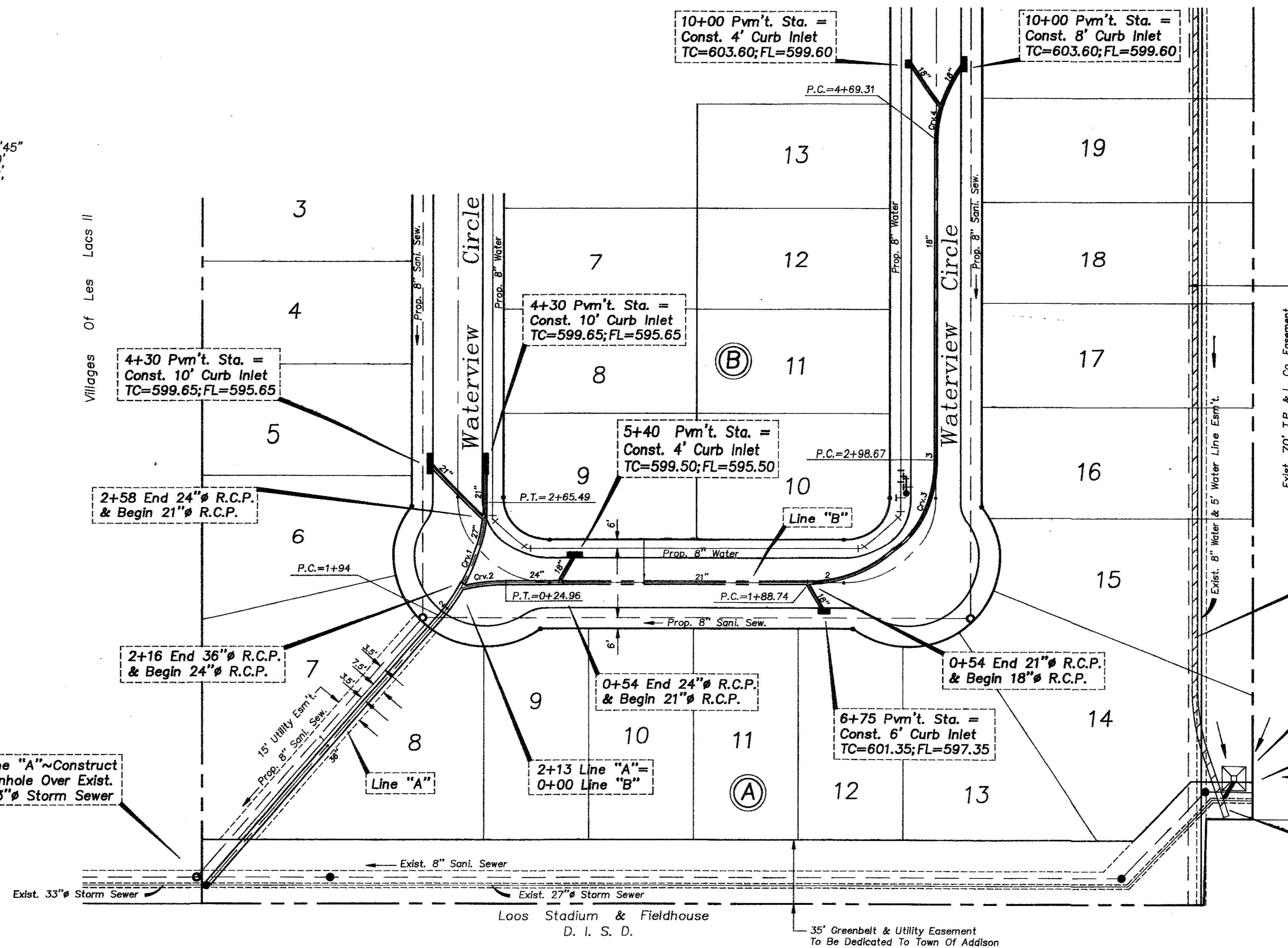


**PLAN VIEW**  
Scale 1"=5'



**SECTION "A-A"**  
No Scale

**CONCRETE APRON DETAIL**



**CAUTION !!!**  
**EXISTING UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT.  
TU ELECTRIC COMPANY 323-8928  
LONE STAR GAS COMPANY 487-3885  
SOUTHWESTERN BELL TELEPHONE 464-4095  
STORERR CABLE 840-2388

Construct Berm To Allow Drainage To Flow Into Proposed Drop Inlet See Sheet 2 For Detail

Construct 2'x2' Drop Inlet With Concrete Apron-See Detail "A" Top=606.0; Lip=605.0; FL=602.0

Note: Storm Sewer System Designed To Carry "Q100" Runoff - All "Q" Shown On The Plans Equals "Q100" Runoffs.

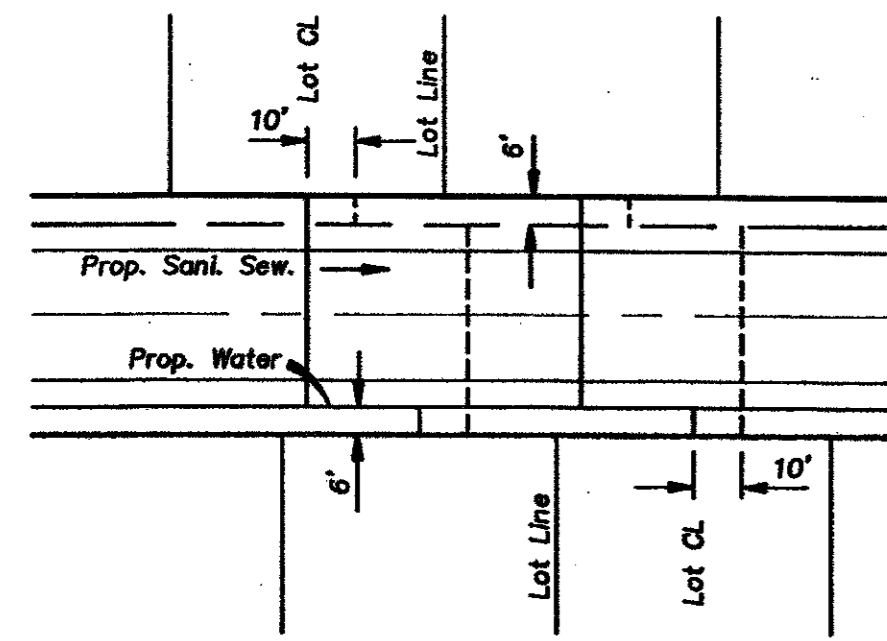
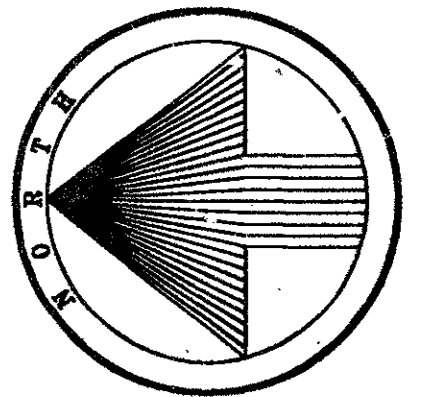
0+00 Line "C"~Connect to Existing 27" R.C.P. Storm Sewer Pipe

Station	Line "A"	Line "B"	Line "C"
0+00	36" On 0.60%	24" On 3.00%	18" On 0.90%
1+00	24" On 0.60%	21" On 0.90%	18" On 0.90%
2+00	21" On 5.46%	18" On 0.90%	18" On 0.90%
3+00	21" On 5.46%	18" On 0.90%	18" On 0.90%
4+00	18" On 4.00%	18" On 4.00%	18" On 4.00%

**STORM SEWER PLAN**  
**WATERVIEW ESTATES**  
Town Of Addison, Texas

**DON A. TIPTON, INC. CONSULTING ENGINEERS**  
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

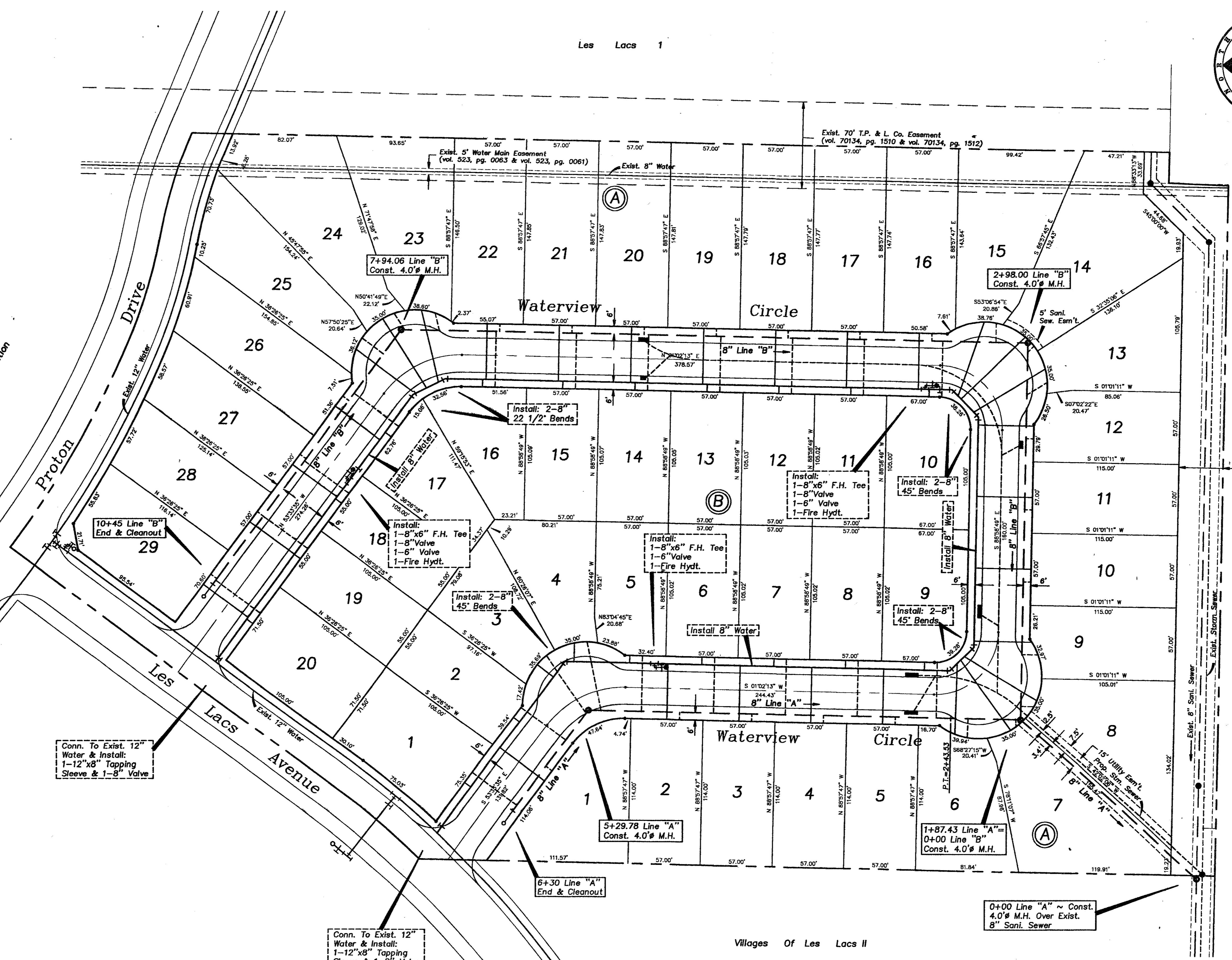
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t.	j.m.r.	8/91	1"=40'H 1"=6'V		Waterview Estates 3626	5



All water services to be installed in the center of each lot. All services to be 3/4". All soil. sewer laterals to be installed 10' downstream of water services. All laterals to be 4".

Typical Service Detail

Waterford Addition



35' Greenbelt & Utility Easement To Be Dedicated To Town Of Addison  
Loos Stadium & Fieldhouse  
D. I. S. D.

**CAUTION !!!**  
**EXISTING UTILITIES**

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LONE STAR GAS COMPANY 487-3885  
SOUTHWESTERN BELL TELEPHONE 464-4095  
STORER CABLE 840-2388

Conn. To Exist. 12" Water & Install: 1-12"x8" Tapping Sleeve & 1-8" Valve

6+30 Line "A" End & Cleanout

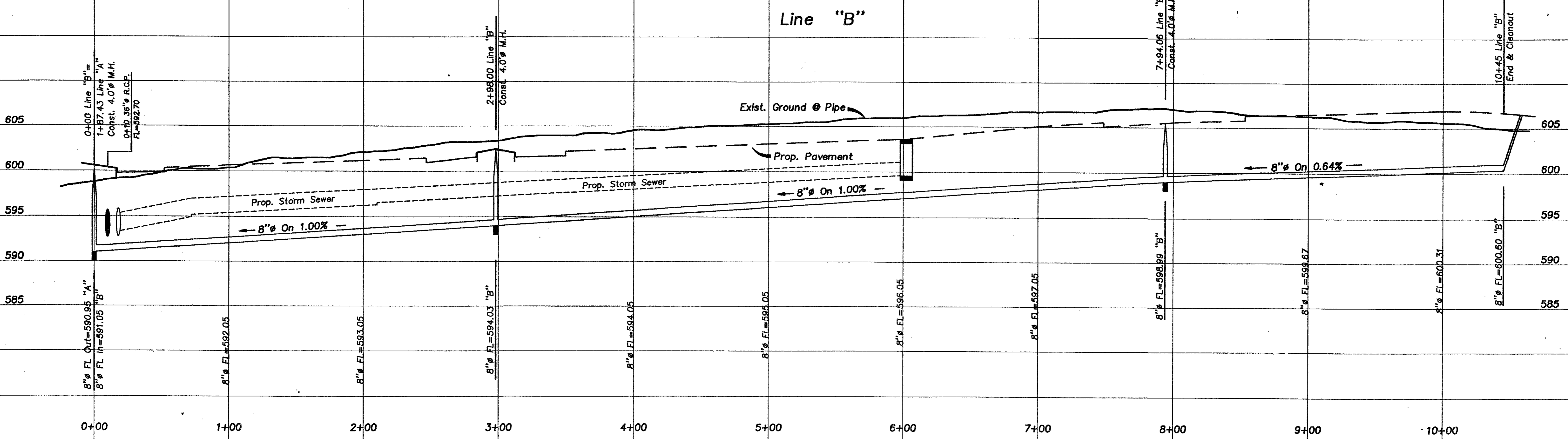
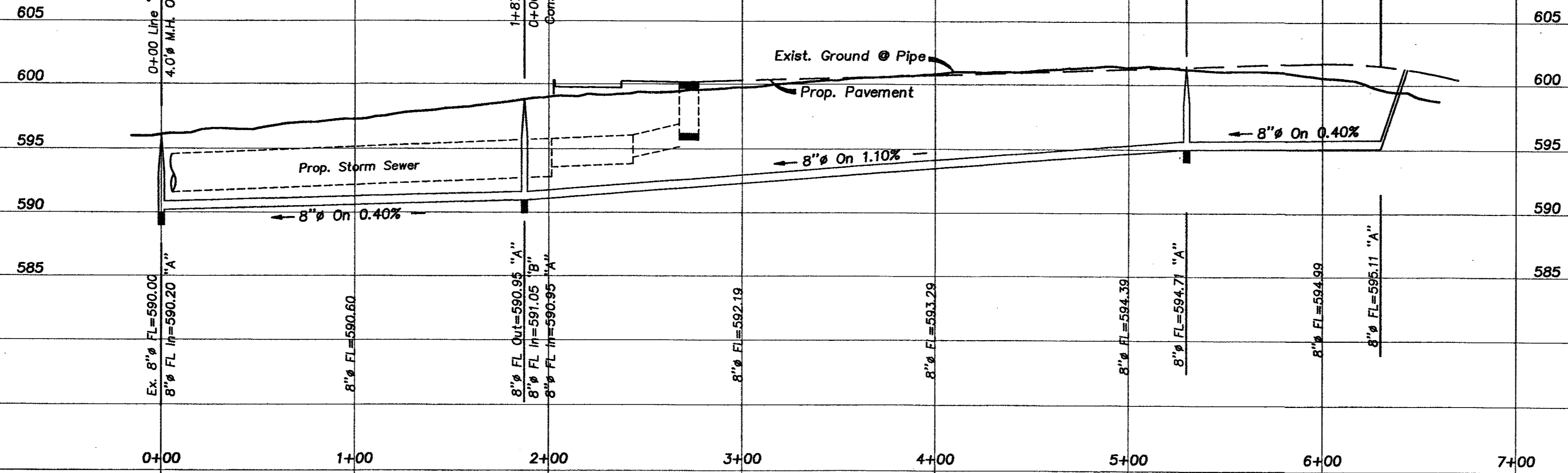
5+29.78 Line "A" Const. 4.0' M.H.



TRENCH SAFETY PLANS & SPEC'S TO BE FURNISHED BY UTILITY CONT. PRIOR TO CONSTRUCTION

WATER & SEWER PLAN						
WATERVIEW ESTATES						
Town Of Addison, Texas						
		DON A. TIPTON, INC. CONSULTING ENGINEERS				
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t.	l.m.r.	8/91	1"=40'		Waterview Estates 3626	6





**CAUTION !!!**  
EXISTING UTILITIES

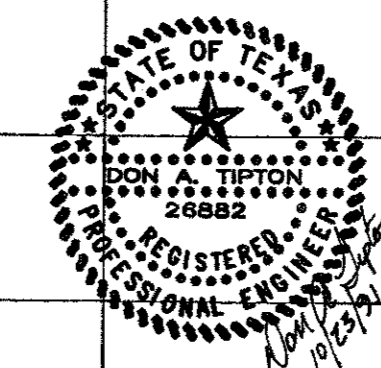
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT:  
TU ELECTRIC COMPANY 323-8923  
LONE STAR GAS COMPANY 487-3885  
SOUTHWESTERN BELL TELEPHONE 464-4095  
STOREP CABLE 840-2388

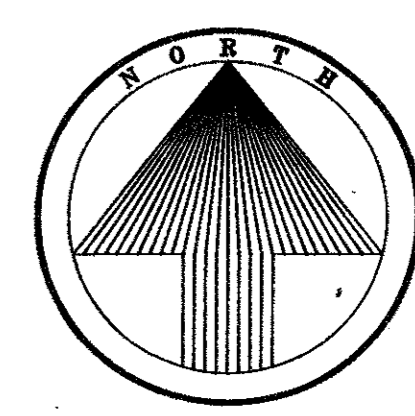
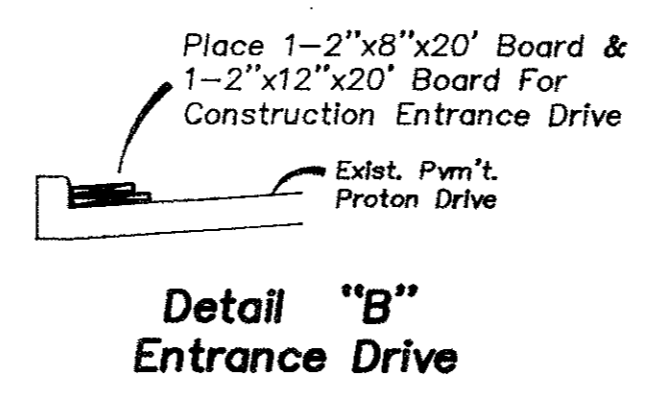
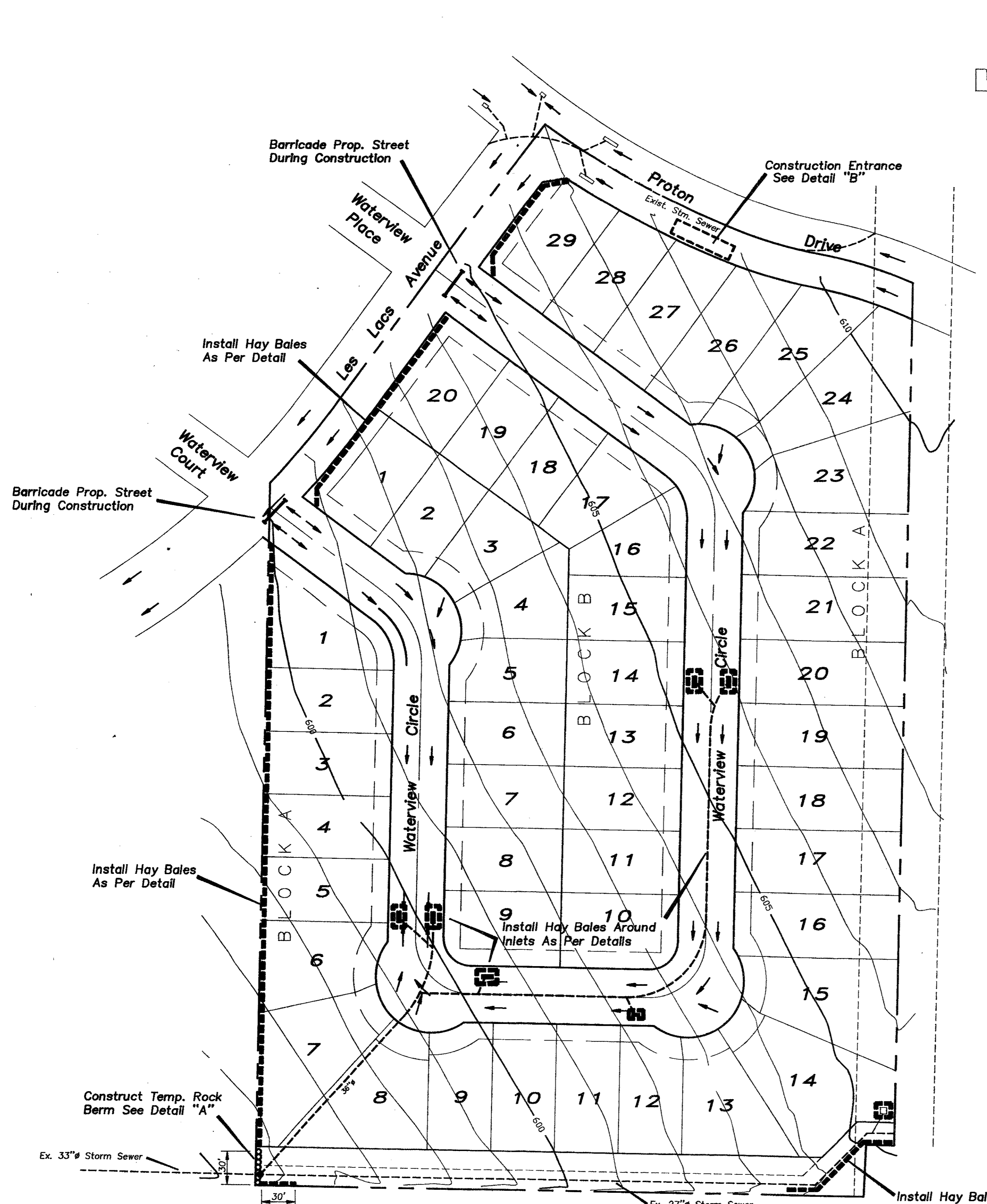
Bench Mark 1  
"□" Top of concrete footing of Southwest corner of tower #12-3W-1291. Elev. 619.46  
Bench Mark 2  
"□" Top of curb South side of Proton Drive, 406 East of Les Lacs Ave. Elev. 611.31(Set)  
Bench Mark 3  
"□" Top of concrete footing of Northwest corner of tower #12-3W-1290. Elev. 613.08

NOTE:  
TRENCH SAFETY PLANS & SPECIFICATIONS TO BE FURNISHED BY UTILITY CONTRACTOR PRIOR TO UTILITY CONSTRUCTION.

TRENCH SAFETY REQUIRED ON ALL SANITARY SEWER MAINS & ON ALL STORM SEWER MAINS OVER 6' DEEP FROM PROPOSED GRADE.



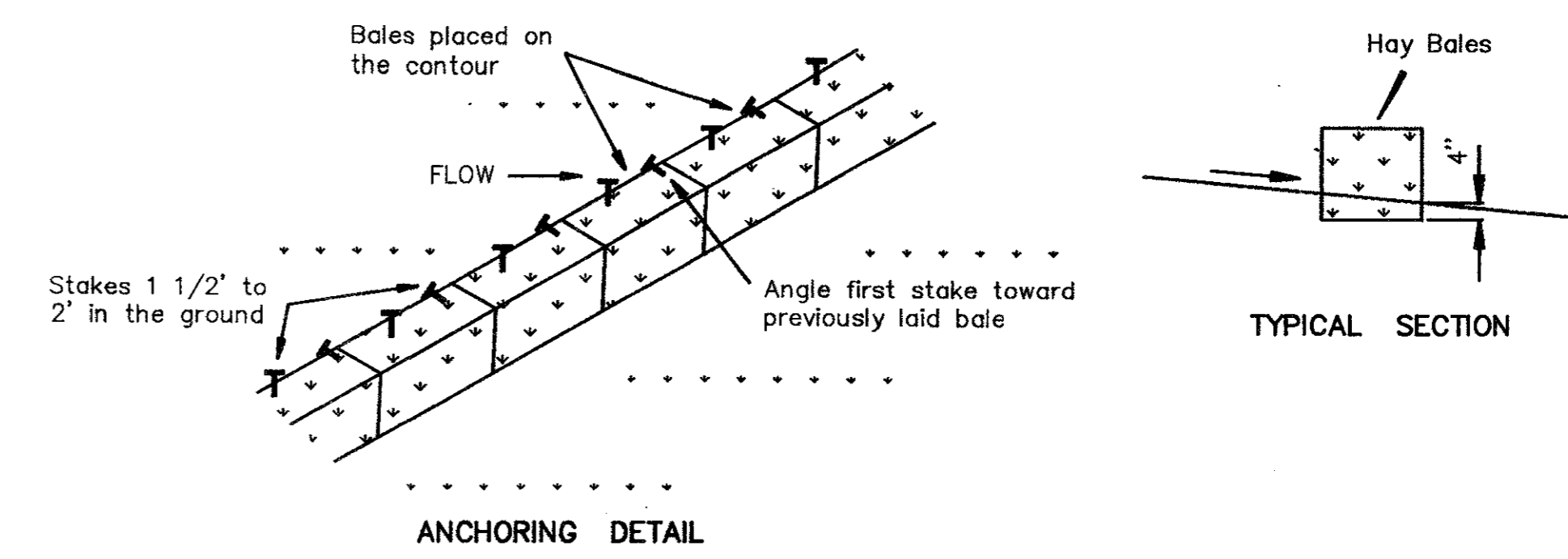
<b>SANI. SEWER PROFILES</b>					
<b>WATERVIEW ESTATES</b>					
Town Of Addison, Texas					
DON A. TIPTON CONSULTING ENGINEERS					
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
d.a.t.	j.m.r.	8/91	1"=40'H 1"=6'V		Waterview Estates 3626
					7



- General Notes:
- Contractors Are Responsible For Keeping The Existing Pavement Of Proton Drive & Les Lacs Ave. Clean During Construction.
  - Greenbelt Area To Be Restored To Original Condition Or Better If Disturbed By Construction.

CONSTRUCTION NOTES:

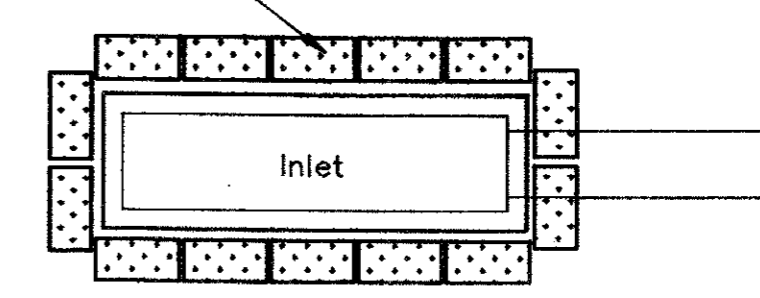
- Hay bales shall be installed a minimum of 4" into the ground.
- Contractor will install additional erosion control where erosion protection is needed as per the owners engineers, or the Town of Addison Inspector.
- The existing vegetation along existing parkways and medians shall be replaced to its original condition or better.
- All drainage swales shall be grassed as per Town Standards, prior to the City acceptance of project.
- All construction erosion control shall meet Town of Addisons Ordinance.
- Install grass in all new parkway as per Town Standards.



TYPICAL HAY BALE PLACEMENT

Not To Scale

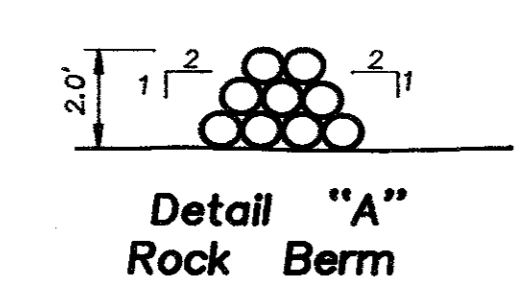
Place Hay Bales As Shown



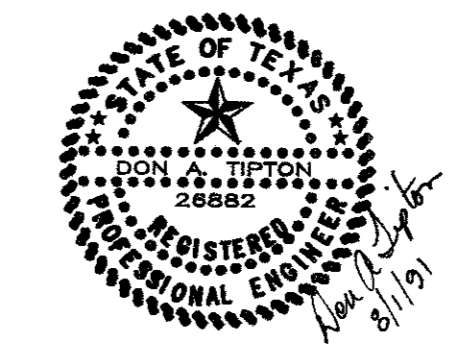
TYPICAL HAY BALE PLACEMENT

AROUND INLETS

Not To Scale



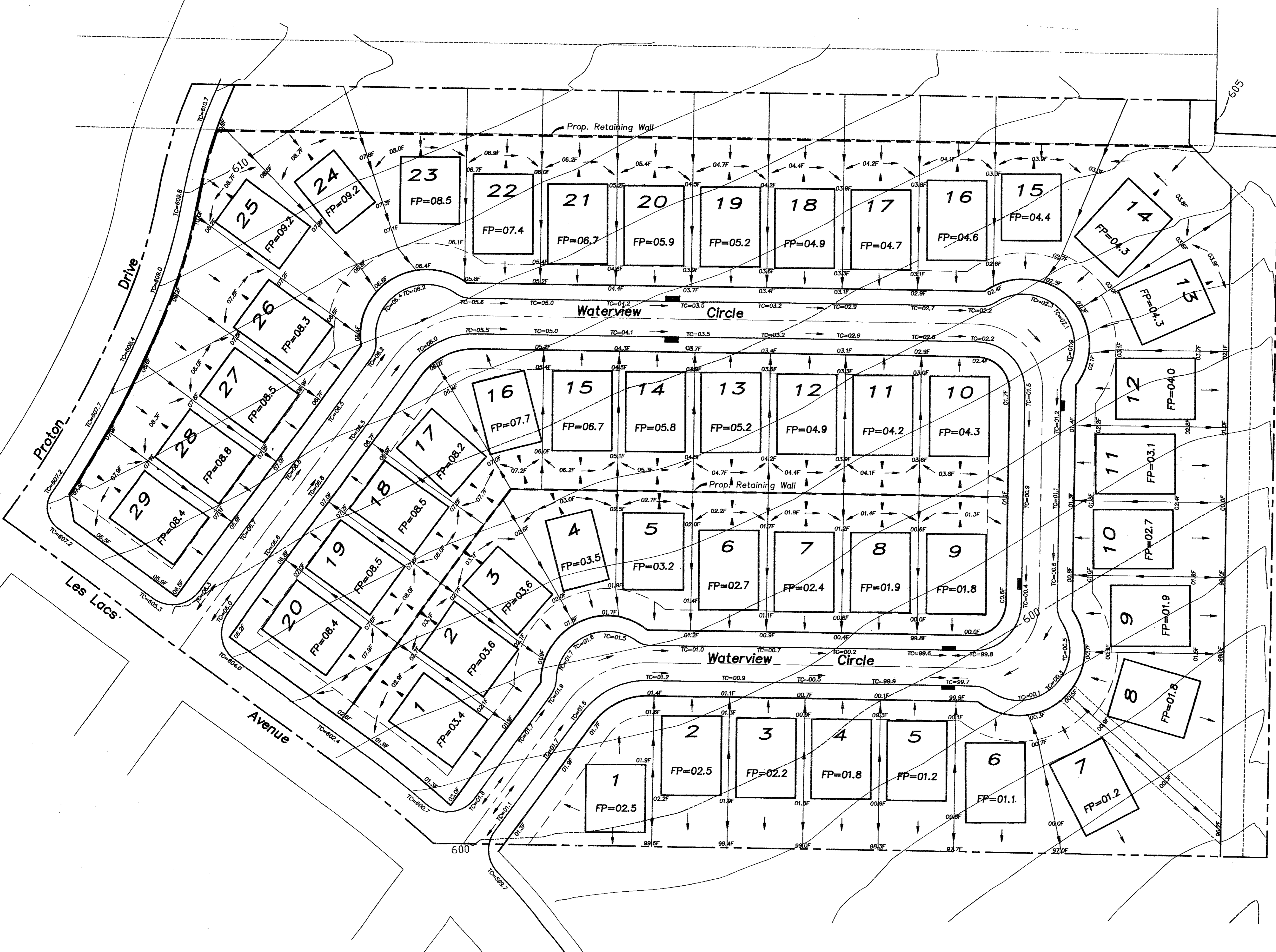
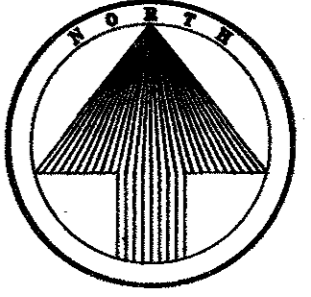
- Bench Mark 1  
" " Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46
- Bench Mark 2  
" " Top of curb South side of Proton Drive, 400' East of Les Lacs Ave. Elev. 611.31(Set)
- Bench Mark 3  
" " Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08



<b>EROSION CONTROL</b>						
WATERVIEW ESTATES						
Town Of Addison, Texas						
DON A. TIPTON, INC. CONSULTING ENGINEERS						
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t. inc.	d.a.t. inc.	7/91	1"=60'	d.b.	Waterview Estates 3626	8

8RB





**Legend**

- TC=00.00 — Top Of Curb Elev.
- 00.00F — Prop. Finished Elevation
- — Flow Direction
- FP=00.00 — Prop. Finished Pad Elevation

**NOTE:**  
Finished Floor Elevation is 0.8 higher than Finished Pad.

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 T.J. ELECTRIC COMPANY 323-8928  
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 SOUTHWESTERN BELL TELEPHONE 464-4095  
 STORER CABLE 840-2388

- Bench Mark 1  
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<b>LOT GRADING</b>						
<b>WATERVIEW ESTATES</b>						
Town Of Addison, Texas						
DON A. TIPTON, INC. CONSULTING ENGINEERS						
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
D.A.T., INC.	D.A.T., INC.	8/91	1"=40'	D.B.	#3626	9

9/15/91  
JEB