

UNITED STATES  
 ENVIRONMENTAL  
 PROTECTION AGENCY  
 16650 WESTGROVE DRIVE  
 SUITES 200 & 300  
 ADDISON, TX 75001  
 CITY PROJECT - PW#2008-20

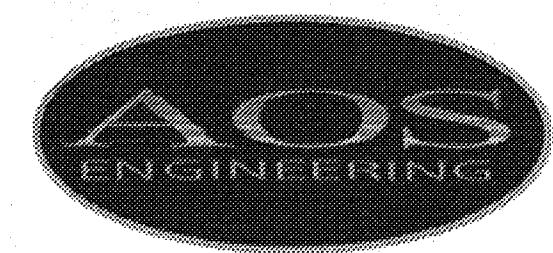
# PARKING LOT RENOVATION

CIVIL & STRUCTURAL ENGINEER



CONSULTING ENGINEERS INC.  
 325 N. ST. PAUL, SUITE 2850  
 DALLAS, TEXAS 75201  
 (214) 871-2302 (214) 871-8716 FAX

MEP ENGINEER



AOS ENGINEERING, LLC  
 2401 INTERNET BLVD., SUITE 203  
 FRISCO, TEXAS 75034  
 PHONE - (214) 432-3030 x101  
 FAX - (214) 618-8191

LANDSCAPE ARCHITECT

RYBA LANDSCAPE ARCHITECTURE  
 SITE PLANNING - LANDSCAPE ARCHITECTURE  
 O: 214 - 819 - 3073 F: 214 - 634 - 9333 E: ria@airmail.net  
 9229 King Arthur Drive, Dallas, Texas 75247

ENGINEER DRAWING INDEX:

SHEET NO.	SHEET NAME
<b>CIVIL DRAWINGS</b>	
C1.01	SITE PLAN
C1.02	DEMO SITE PLAN
C1.03	PAVING PLAN
C1.03A	GRADING PLAN
C1.03B	GRADING PLAN
C1.04	DRAINAGE AREA MAP
C1.05	EROSION CONTROL PLAN
C1.06	SITE DETAILS
C1.06A	SITE DETAILS
C1.07	GENERAL NOTES AND DETAILS
C1.08	SITE DETAILS
<b>STRUCTURAL DRAWINGS</b>	
S1.00	GENERAL NOTES AND DETAILS
S2.00	FOUNDATION AND ROOF FRAMING PLAN

ENGINEER DRAWING INDEX:

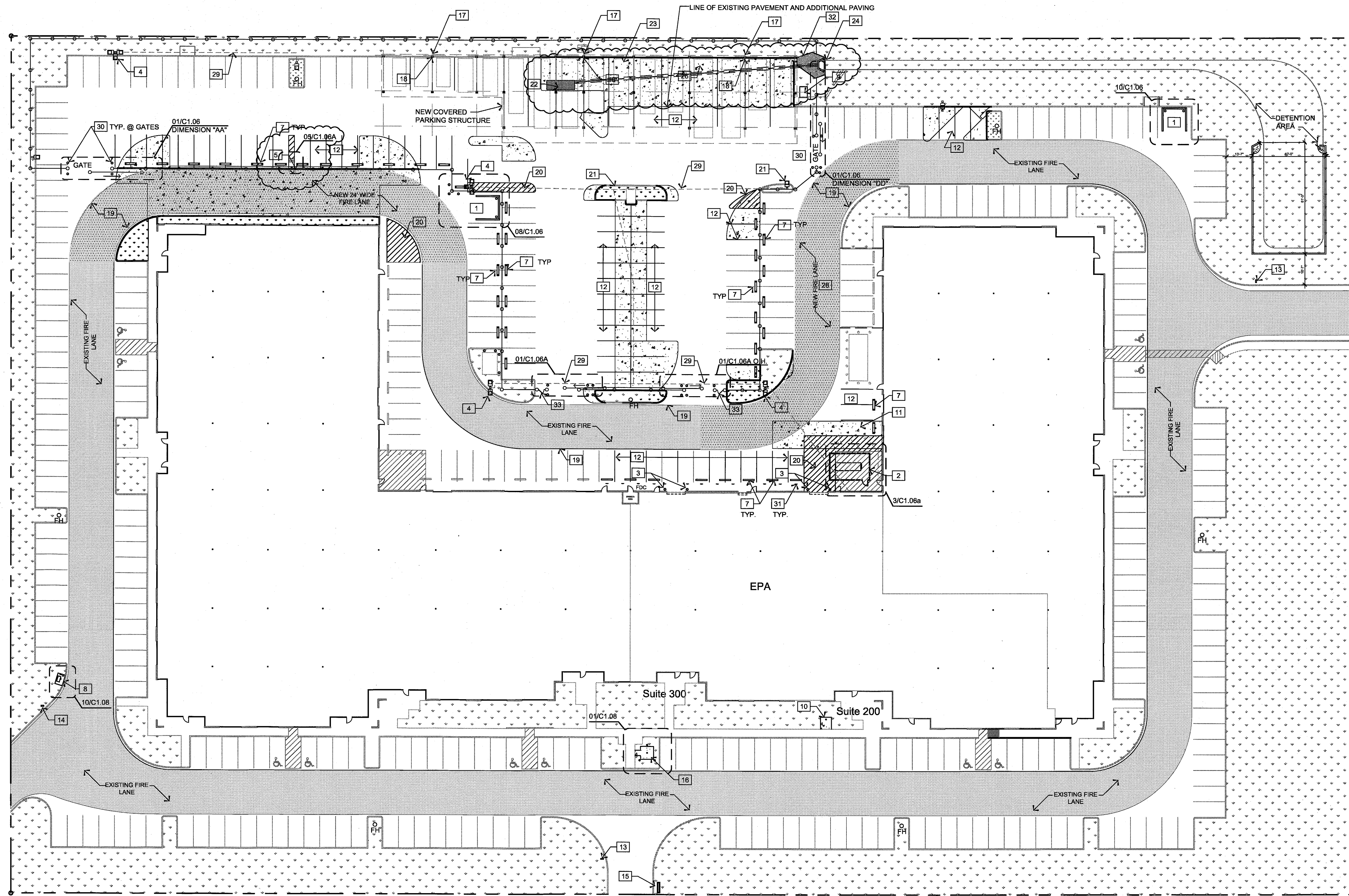
SHEET NO.	SHEET NAME
EP-1	ELECTRICAL AND PLUMBING SITE PLAN

ENGINEER DRAWING INDEX:

SHEET NO.	SHEET NAME
L1.00	TREE MITIGATION PLAN
L2.00	LANDSCAPE PLAN

APPROVED FOR  
 CONSTRUCTION  
 Town of Addison  
 Public Works Department  
 APPROVED BY: CLAY BARRETT  
 DATE: 10-1-2008

All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.



01 SITE PLAN

1" = 30'-0"



EXCEL PARKWAY

LOT 2, BLOCK A  
EXCEL PLAZA  
7.771 ACRE TRACT OF LAND  
(338,503 SF.)  
PARKING = 122 INSIDE GATE

WILLIAM LOMAX SURVEY ABSTRACT NO. 792  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

SITE PLAN LEGEND

- PARKING STRIPE  
4" STRIPES ON 2'-0" CENTERS
- NEW LANDSCAPE
- EXISTING LANDSCAPE TO REMAIN
- NEW CONCRETE PAVING
- FIRE LANE
- BOUNDARY
- EXISTING CURB REMAIN
- NEW CURB
- NEW SECURITY FENCE WITH ALUMINUM FENCE SLATS.
- EXISTING LIGHT POLE UNLESS OTHERWISE NOTED
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION

GENERAL NOTES

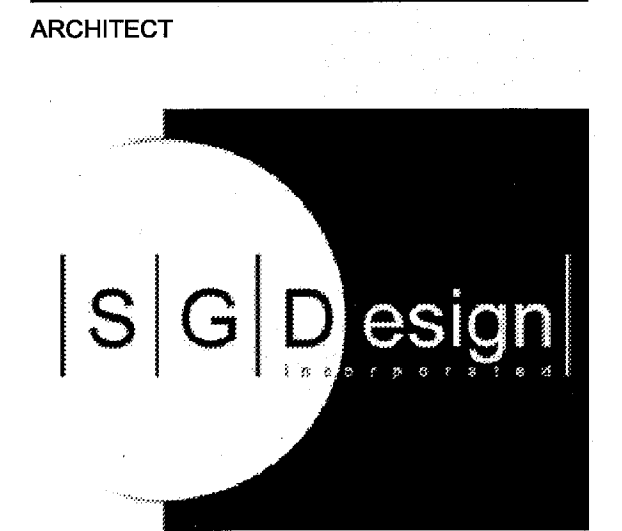
- A. REFER TO SHEET C1.07 FOR GENERAL NOTES.
- B. REFER TO ELECTRICAL ENGINEER, LANDSCAPE AND TREE MITIGATION SHEETS FOR ADDITIONAL INFORMATION.
- C. REFER TO GEOTECH REPORT PROVIDED BY OWNER FOR SOIL PREPARATION AT NEW PAVING.

SITE PLAN NOTES

- 1 NEW DUMPSTER ENCLOSURE
- 2 NEW SCREEN WALL AROUND NEW GENERATOR
- 3 NEW BOLLARDS. REFER TO DETAIL 05/C1.06.
- 4 NEW LIGHT POLE AND LIGHT FIXTURE HEADS AS INDICATED TO MATCH EXISTING. PROVIDE AND INSTALL CONCRETE LIGHT POLE BASE TO MATCH EXISTING.
- 5 NEW 3'-0" WIDE X FULL HT. PEDESTRIAN GATE WITH CITY APPROVED KNOX BOX. GATE IS TO ALIGN WITH EXISTING FIRE HYDRANT.
- 6 NOT USED
- 7 NEW/RELOCATED CONCRETE WHEEL STOPS. NEW WHEEL STOPS ARE TO MATCH EXISTING. REFER TO DETAIL 07/C1.06
- 8 NEW LOCATION FOR RELOCATED MAILBOXES. CONTRACTOR TO PROVIDE AND INSTALL NEW CONCRETE PAD/BOLTS TO MATCH EXISTING.
- 9 NEW CONCRETE PAD FOR AIR COMPRESSOR. REFER TO 03/C1.08 AND ENGINEERS DRAWINGS.
- 10 NEW CONCRETE SLAB AND BICYCLE RACK. CREATIVE PIPE, INC. #CPBR2-F-P. COORDINATE EXACT LOCATION WITH THE ARCHITECT. REFER TO 04/C1.08.
- 11 NEW SELECT FILL AND CONCRETE PAVING WHERE EXISTING RAMP IS TO BE REMOVED. REFER TO GEOTECHNICAL REPORT.
- 12 NEW PARKING STRIPES AS INDICATED TO MATCH EXISTING.
- 13 NEW DIRECTIONAL SIGN. REFER TO 11/C1.08.
- 14 NEW DIRECTIONAL SIGN. REFER TO 09/C1.08.
- 15 NEW MONUMENT SIGN. REFER TO DETAIL 02/C1.08
- 16 NEW CONCRETE PAD, FLAG POLE AND FLAG POLE LIGHT.
- 17 NEW WATER HYDRANT. REFER TO 05/C1.08 AND ENGINEERS DRAWINGS.
- 18 NEW ELECTRICAL OUTLET MOUNTED TO COLUMN AT 18" ABOVE GRADE. REFER TO 05/C1.08 AND ENGINEER'S DRAWINGS.
- 19 NEW FIRE LANE STRIPE AS REQUIRED TO MATCH EXISTING.
- 20 NEW PAVEMENT STRIPES TO MATCH EXISTING.
- 21 INSTALL SALVAGED LIGHT POLE AND LIGHT FIXTURE. PROVIDE AND INSTALL NEW BASE TO MATCH EXISTING.
- 22 EXISTING CURB INLET TO BE CONVERTED INTO GRATE INLET.
- 23 INSTALL NEW PIPE AT CONSTANT SLOPE DOWN TO EXISTING SWALE.
- 24 STANDARD HEADWALL.
- 25 NOT USED
- 26 NEW 18" RCP APPROX. 120 LF.
- 27 NOT USED
- 28 CONTRACTOR SHALL CONFIRM THAT EXISTING PAVEMENT MEETS REQUIREMENTS FOR CITY FIRE LANE.
- 29 TRENCH FOR DIRECT BURY OF ELECTRICAL CONDUITS FOR NEW LIGHT POLE LOCATIONS.
- 30 (4) NEW BOLLARDS AT GATES. (TYPICAL)
- 31 (13) NEW 2" DIAMETER 7'-0" HIGH STEEL POST WITH "RESERVE FOR EPA" PARKING SIGNAGE. REFER TO 12/C1.08
- 32 NEW 4'-0" WIDE X 12'-6" LONG (V.I.F.) RIVER ROCK FLUME. REFER TO ENLARGE PLAN AND DETAIL 11,12/C1.07.
- 33 NEW 3'-0" WIDE X FULL HT. PEDESTRIAN GATE WITH LOCK AND SECURITY SYSTEMS BY TENANT'S VENDOR.

WESTGROVE DRIVE

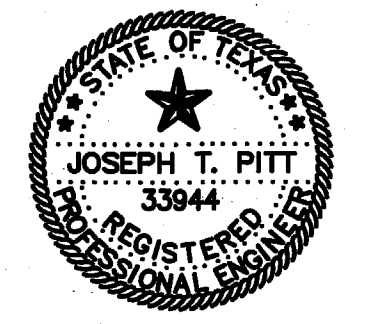
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**UNITED STATES  
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PROTECTION  
AGENCY**  
16650 WESTGROVE  
DRIVE SUITES 200 &  
300 ADDISON, TEXAS  
75001  
CITY PROJECT NUMBER  
PW# 2008-20



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CONTRACTOR'S PRICING	04/28/09
CITY COMMENT	05/14/09
CITY COMMENT	05/18/09
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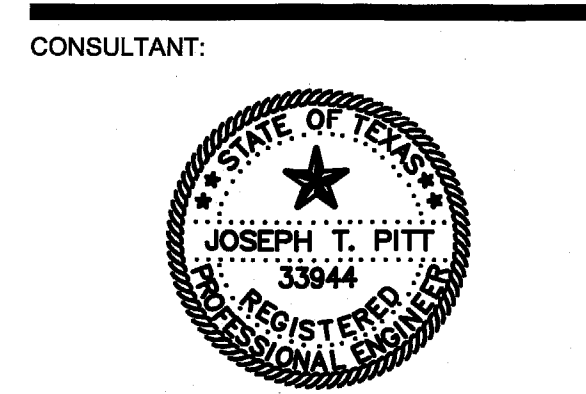
SITE PLAN  
**C1.01**





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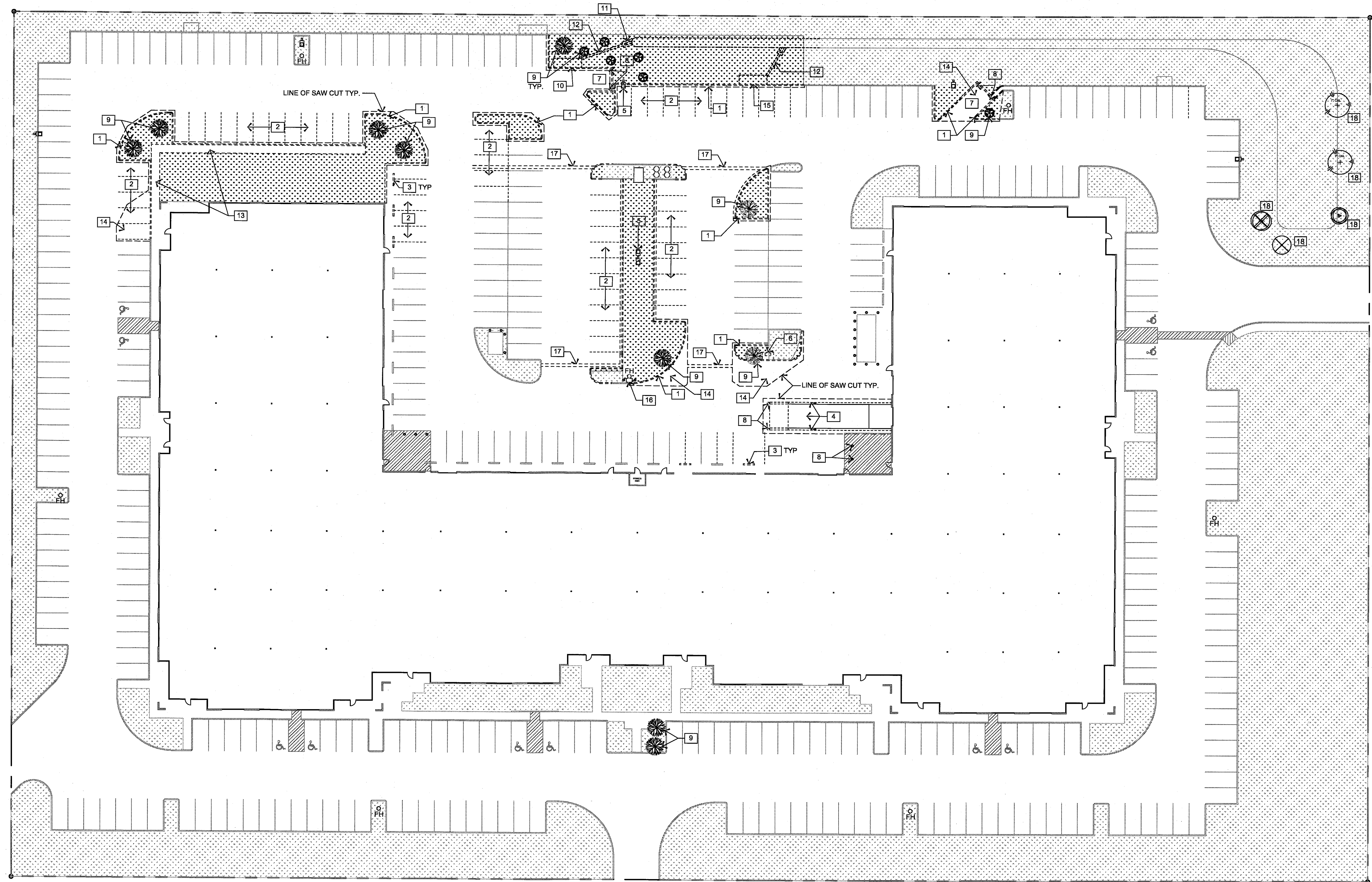
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**DEMOLITION  
 SITE PLAN**  
**C1.02**



WESTGROVE DRIVE

- SITE PLAN NOTES**
- 1 REMOVE EXISTING CURB.
  - 2 REMOVE EXISTING PARKING STRIPES.
  - 3 REMOVE EXISTING WHEEL STOP AND SALVAGE FOR NEW LOCATION
  - 4 REMOVE PORTION OF EXISTING LOADING RAMP AND RETAINING WALL.
  - 5 REMOVE EXISTING LIGHT POLE AND LIGHT FIXTURE, SALVAGE FOR NEW LOCATION.
  - 6 EXISTING MAIL BOXES TO BE RELOCATED BY OTHERS. CONTRACTOR TO REMOVE CONCRETE PAD.
  - 7 REMOVE AND SALVAGE TRASH ENCLOSURE WALLS FOR RE-USE.
  - 8 REMOVE EXISTING BOLLARD.
  - 9 REMOVE EXISTING TREE.
  - 10 CONVERT EXISTING CURB INLET INTO NEW GRATE INLET.
  - 11 REMOVE EXISTING PIPE BACK TO ELEV. 637.30
  - 12 REMOVE PIPING.
  - 13 EXISTING SIDEWALK TO BE REMOVED.
  - 14 EXISTING PAVING TO BE REMOVED.
  - 15 REMOVE EXISTING INLET.
  - 16 EXISTING FIRE HYDRANT TO REMAIN.
  - 17 REMOVE PAVING FOR NEW SITE LIGHT CONDUIT.
  - 18 EXISTING TREES TO BE REMOVED, REPLACE WITH SAME SPECIES AND CALIBER. REFER TO 01/L2.00.

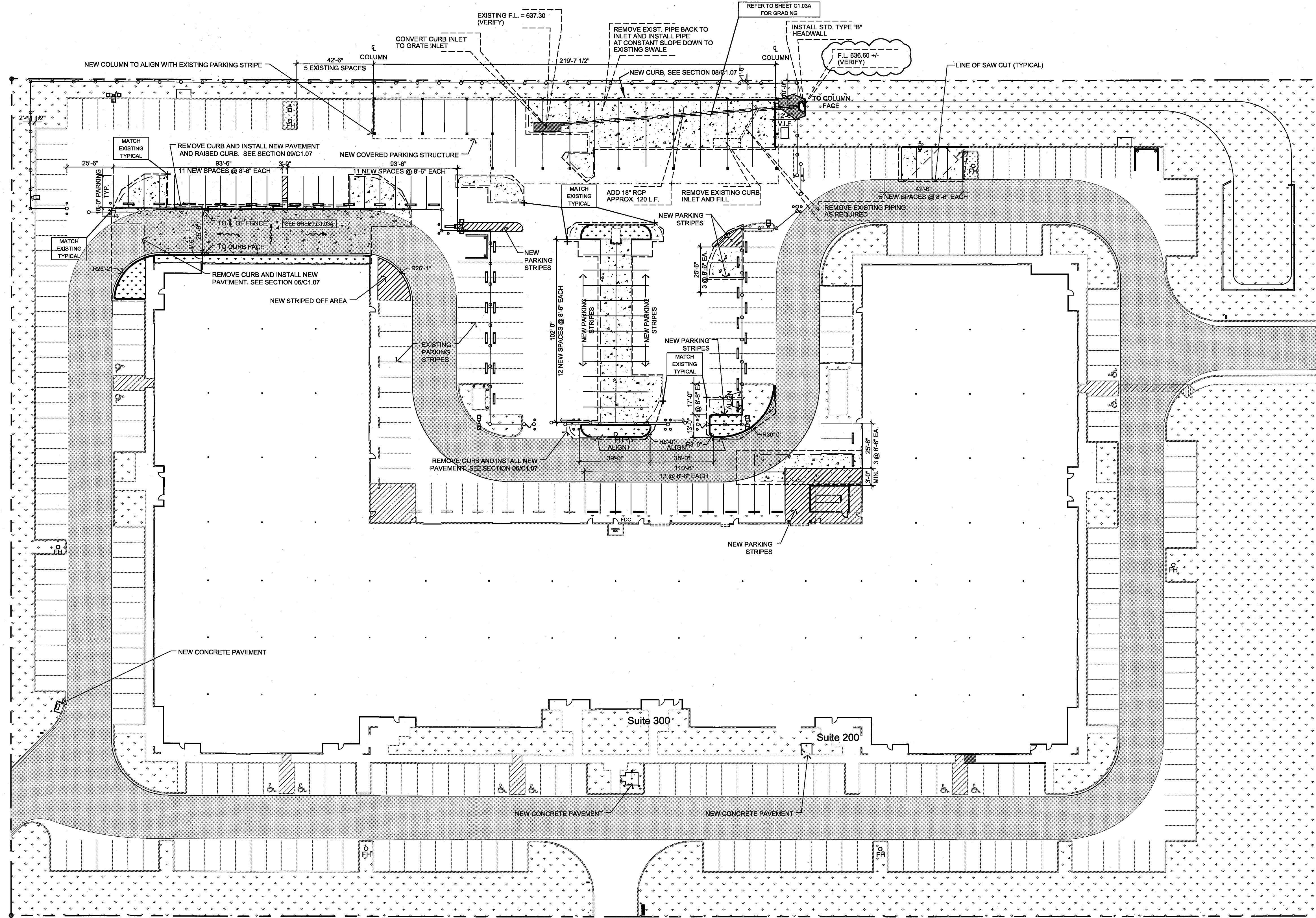
EXCEL PARKWAY

01 DEMOLITION SITE PLAN  
 1" = 30'-0"



- SITE PLAN LEGEND**
- EXISTING LANDSCAPE AND IRRIGATION TO BE REMOVED FOR NEW CONCRETE PAVING
  - EXISTING LANDSCAPE TO REMAIN
  - BOUNDARY
  - EXISTING CURB REMAIN
  - CURB TO BE REMOVED
  - EXISTING FIRE HYDRANT





EXCEL PARKWAY



01 PAVING AND GRADING PLAN

1" = 30'-0"

LEGEND

- PARKING STRIPE  
4" STRIPES ON 2'-0" CENTERS
- NEW LANDSCAPE
- EXISTING LANDSCAPE TO REMAIN
- NEW CONCRETE PAVING
- FIRE LANE
- BOUNDARY
- EXISTING CURB REMAIN
- NEW CURB
- NEW FENCE
- 100.00 PROPOSED SPOT SHOT
- POLE LIGHT
- EXISTING FIRE HYDRANT

PROJECT:  
**UNITED STATES ENVIRONMENTAL PROTECTION AGENCY**  
 16650 WESTGROVE DRIVE SUITES 200 & 300 ADDISON, TEXAS 75001  
 CITY PROJECT NUMBER PWH# 2008-20

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PAVING PLAN  
**C1.03**

WESTGROVE DRIVE



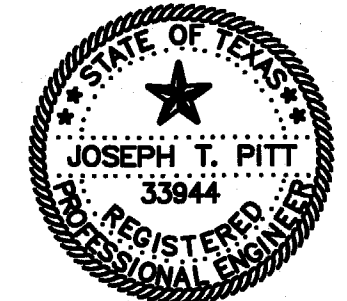
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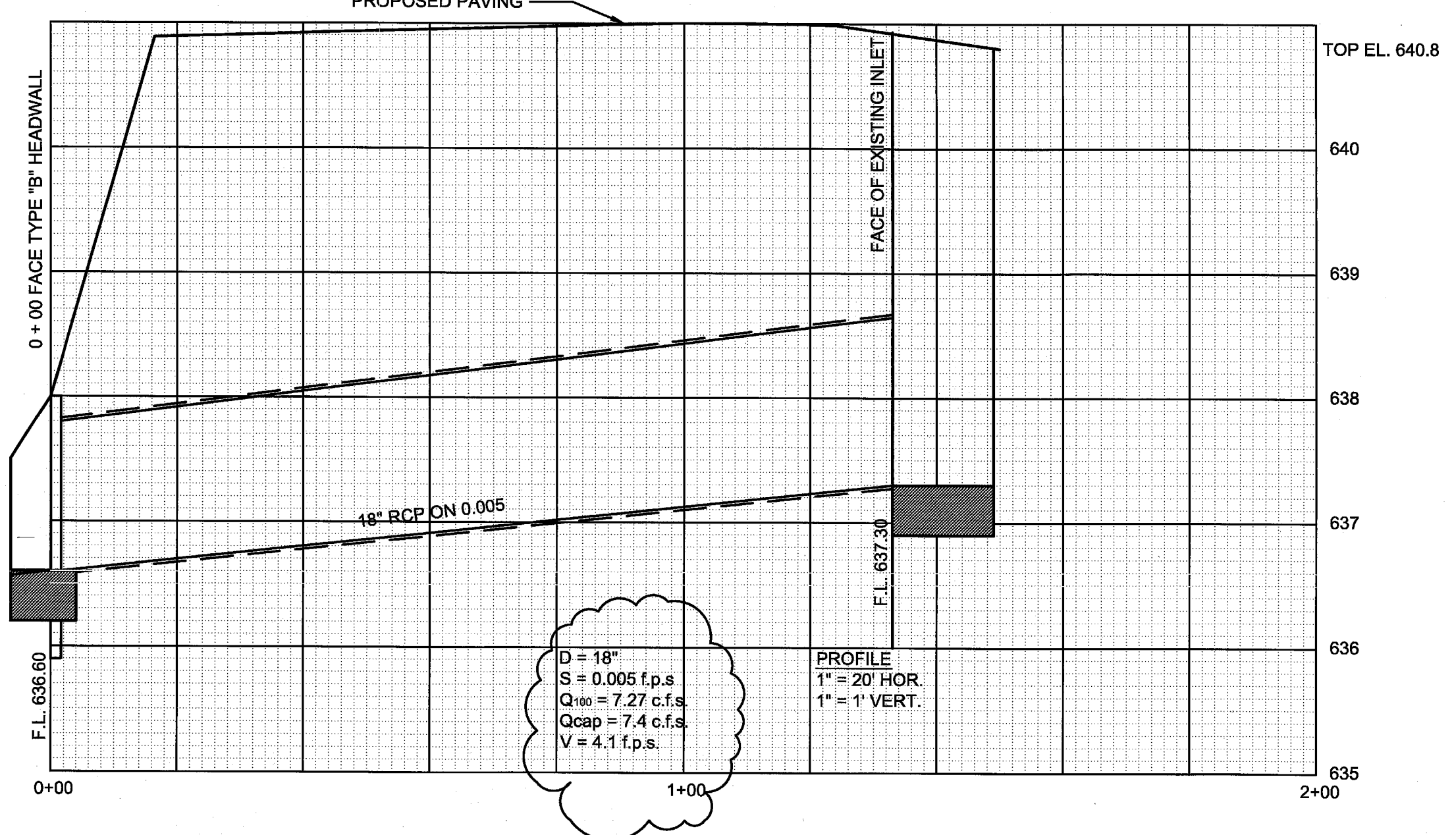
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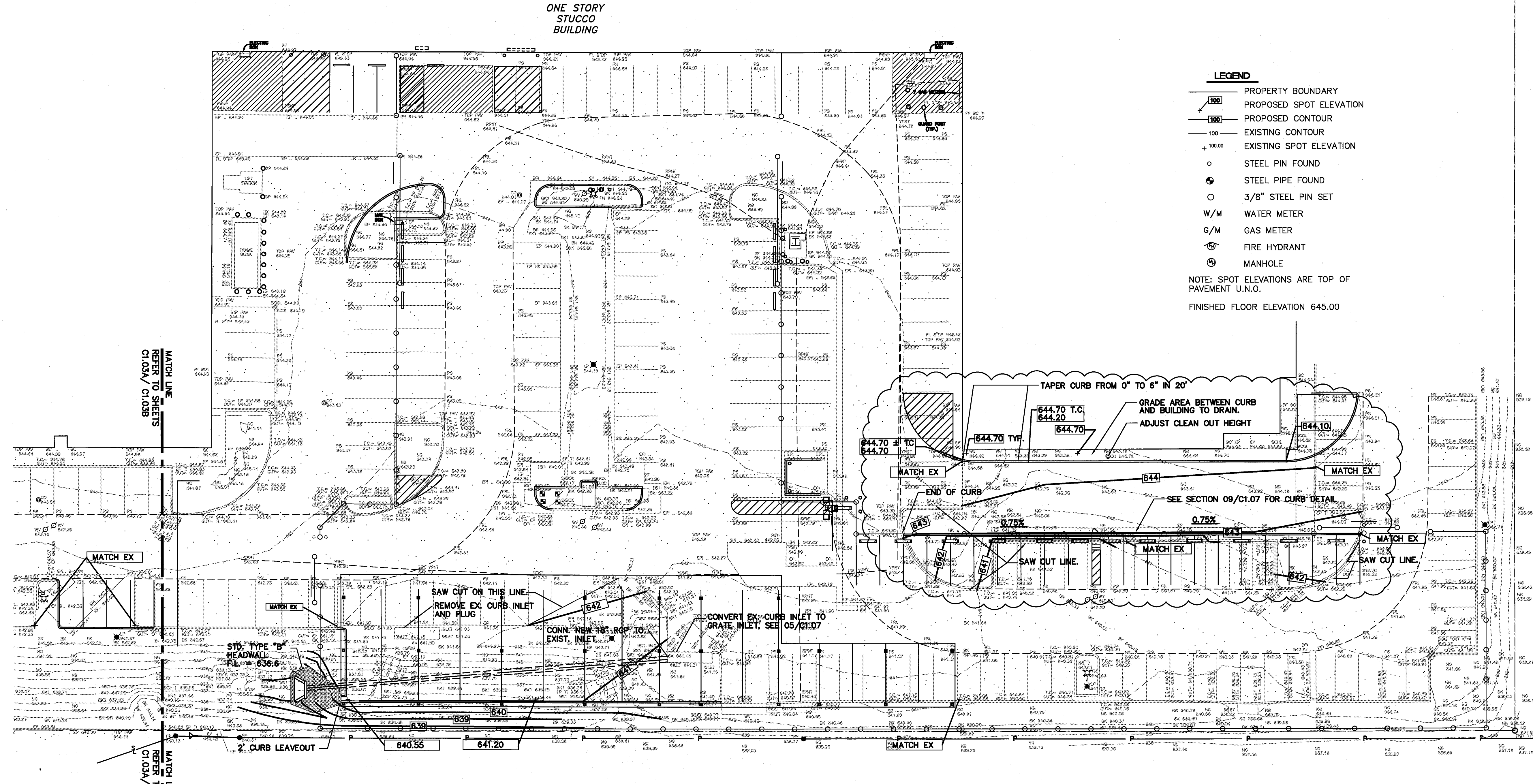
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PAVING AND GRADING PLAN  
**C1.03A**



**02 STORM SEWER PROFILE**



- LEGEND**
- PROPERTY BOUNDARY
  - PROPOSED SPOT ELEVATION
  - PROPOSED CONTOUR
  - EXISTING CONTOUR
  - EXISTING SPOT ELEVATION
  - STEEL PIN FOUND
  - STEEL PIPE FOUND
  - 3/8" STEEL PIN SET
  - WATER METER
  - GAS METER
  - FIRE HYDRANT
  - MANHOLE
- NOTE: SPOT ELEVATIONS ARE TOP OF PAVEMENT U.N.O.  
 FINISHED FLOOR ELEVATION 645.00



**01 PARTIAL GRADING PLAN**  
 1" = 20'





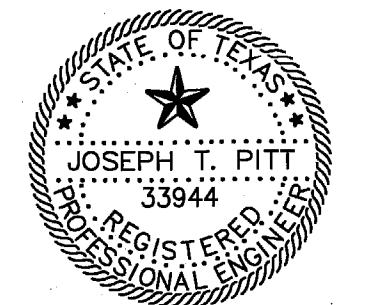
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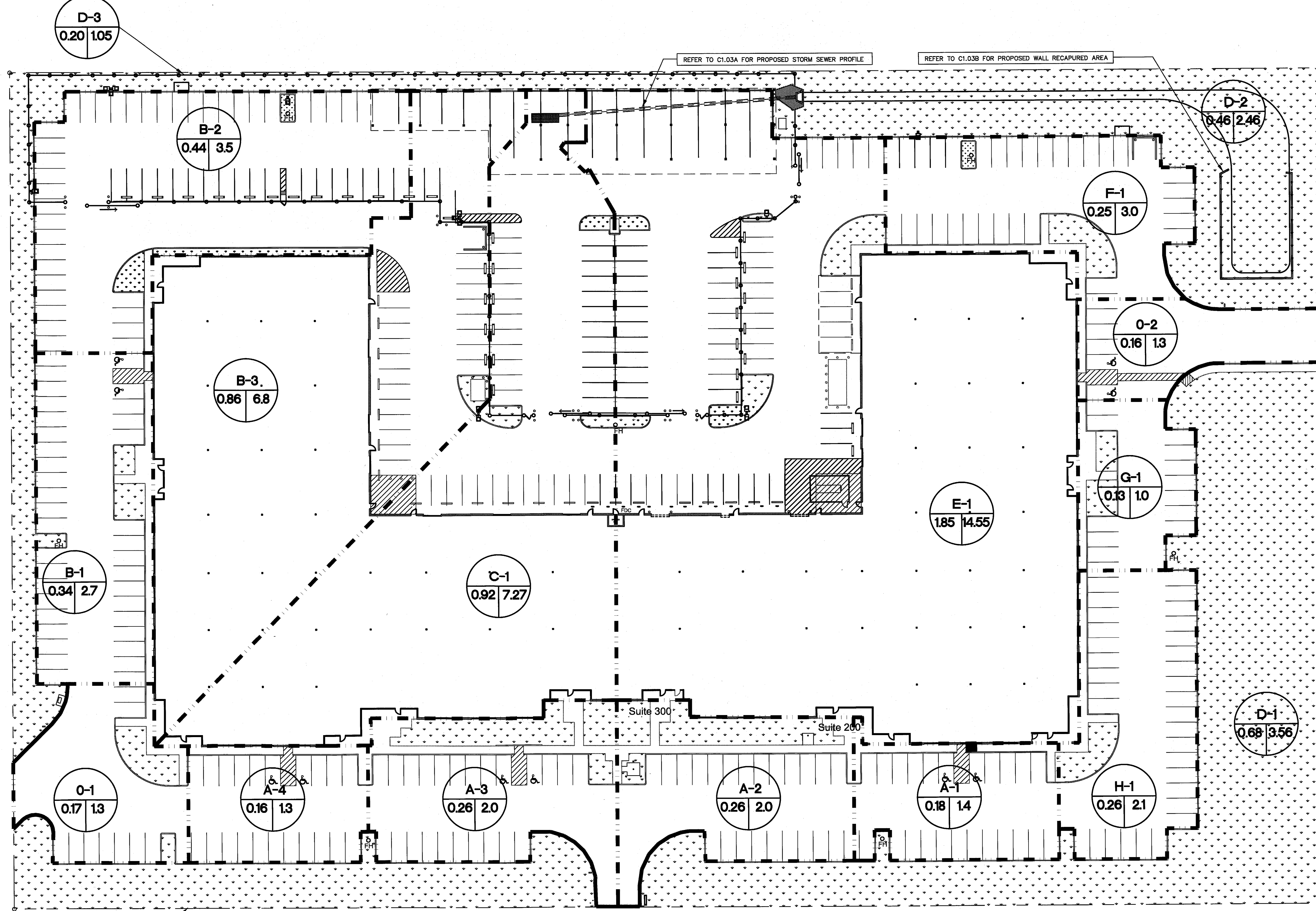
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**DRAINAGE AREA MAP**

**C1.04**



WESTGROVE DRIVE

**DRAINAGE DESIGN CRITERIA**

BASIS:  
 RATIONAL METHOD  $Q = CIA$   
 Q = CUBIC FEET PER SECOND  
 C = RUNOFF COEFFICIENT  
 I = DESIGN STORM INTENSITY  
 A = DRAINAGE AREA (ACRES)

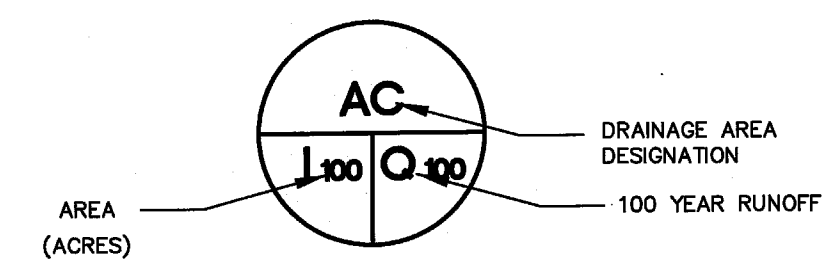
RUNOFF COEFFICIENT:  
 0.90 OFFICE DEVELOPMENT

INTENSITY:  
 RAINFALL INTENSITY-DURATION-FREQUENCY CURVES FOR AREA DEVELOPED FROM NATIONAL WEATHER SERVICE RAINFALL FREQUENCY DATA PRESENTED IN TECHNICAL MEMORANDUM NWS HYDRO-35, DATED JUNE 1977 AND TECHNICAL PAPER NO. 40, DATED MAY 1961.

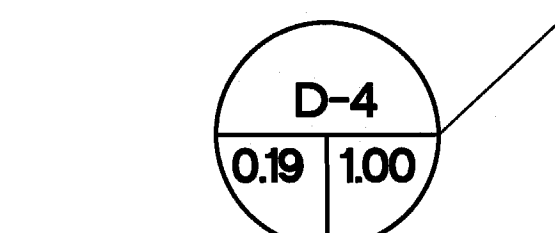
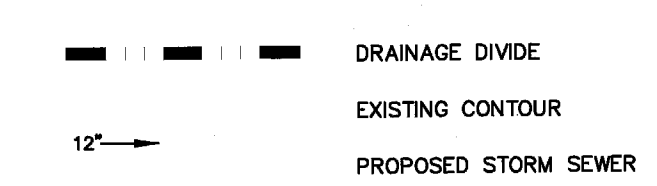
STORM FREQUENCY:  
 100 YEAR

TIME OF CONCENTRATION:  
 10 MINUTES

**DRAINAGE SYMBOL LEGEND**



**DRAINAGE LEGEND**



01 DRAINAGE AREA MAP

1" = 30'-0"



EXCEL PARKWAY

RECAPTURED DETENTION VOLUMES		
ORIGINAL VOLUME (@ PROPOSED WALL AREA)		
SURFACE AREA @ ELEV. 636	241 SF	VOLUME 36.2 CF
SURFACE AREA @ ELEV. 637	1,364 SF	VOLUME 802.6 CF
SURFACE AREA @ ELEV. 638	1,842 SF	VOLUME 1,603.0 CF
SURFACE AREA @ ELEV. 639	2,272 SF	VOLUME 2,056.8 CF
TOTAL ORIGINAL VOLUME 4,498.5 CF		
TOTAL VOLUME INSIDE AREA CREATED BY PROPOSED WALLS 6,988.5 CF		
VOLUME DIFFERENCE (INCREASE) 2,490.0 CF		

ORIGINAL DETENTION POND DESIGN CAPACITY (PER HALF PLANS, 1999) - 24,383 CF  
 ACTUAL CAPACITY PER TOPOGRAPHIC SURVEY UP TO SURFACE ELEV. 639 - 16,800 CF  
 CAPACITY AFTER PROPOSED IMPROVEMENTS - 17,090\*

\*NOTE: ANALYSIS OF THE DETENTION AREA HAS LED TO THE KNOWLEDGE THAT THE PROJECT WAS NOT CONSTRUCTED AS SHOWN ON THE ORIGINAL PLANS. WE HAVE ADDED WALLS NEARS THE WEST SIDE DRIVE IN THE DETENTION PLAN TO ACHIEVE ADDITIONAL STORAGE VOLUME THAT WAS LOST WITH THE INSTALLATION OF THE NEW PARKING IN THE EXISTING DETENTION AREA. THE AMOUNT OF LOST VOLUME WAS APPROXIMATELY 2,200 CUBIC FEET. THE WALL INSTALLATION ADDS APPROXIMATELY 2,500 CUBIC FEET.



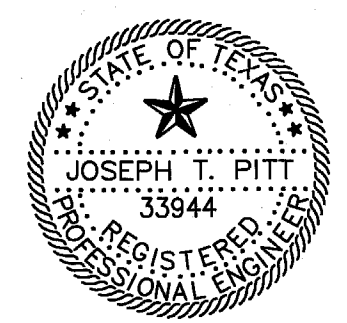
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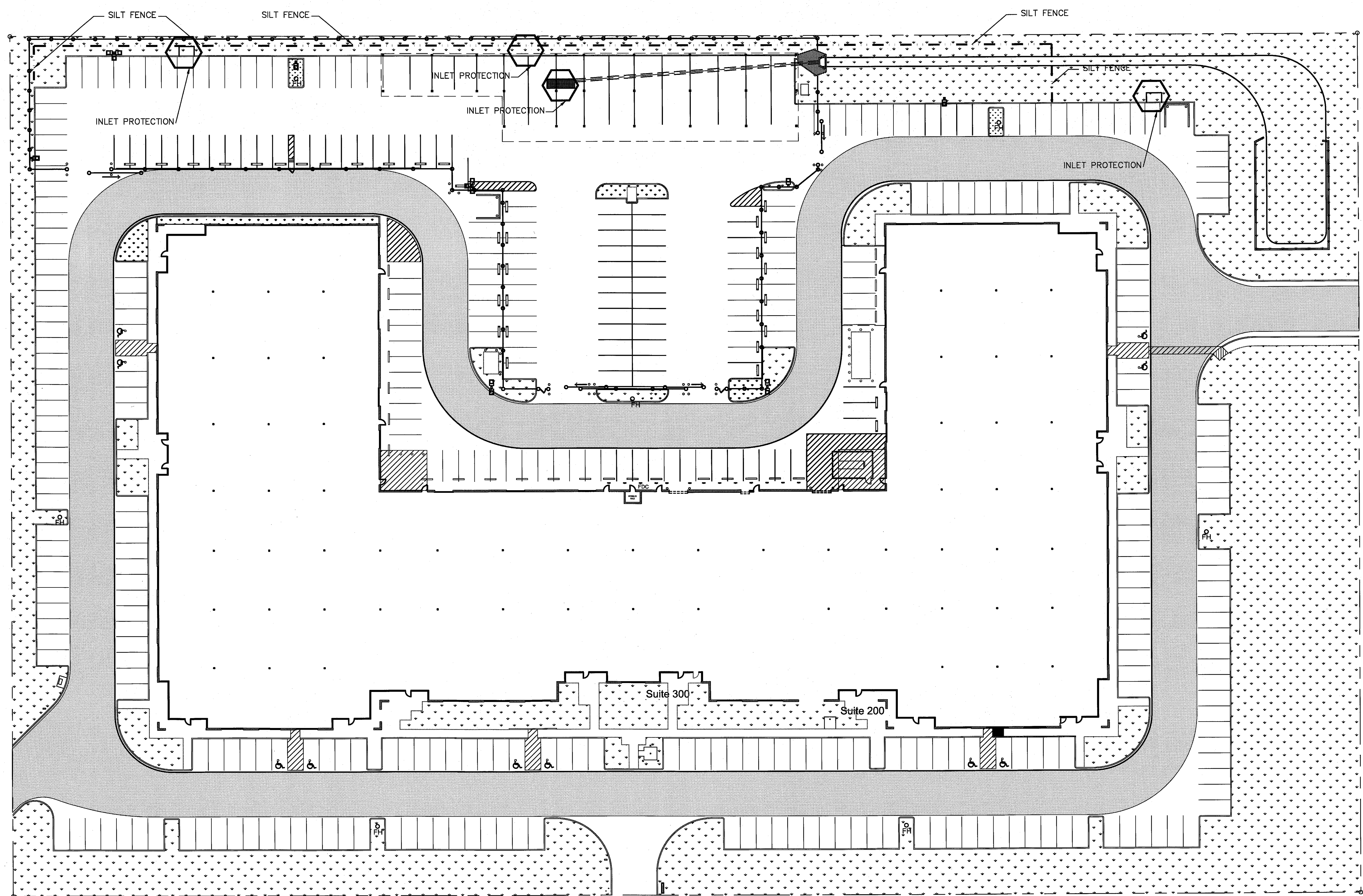
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**EROSION CONTROL PLAN**

**C1.05**

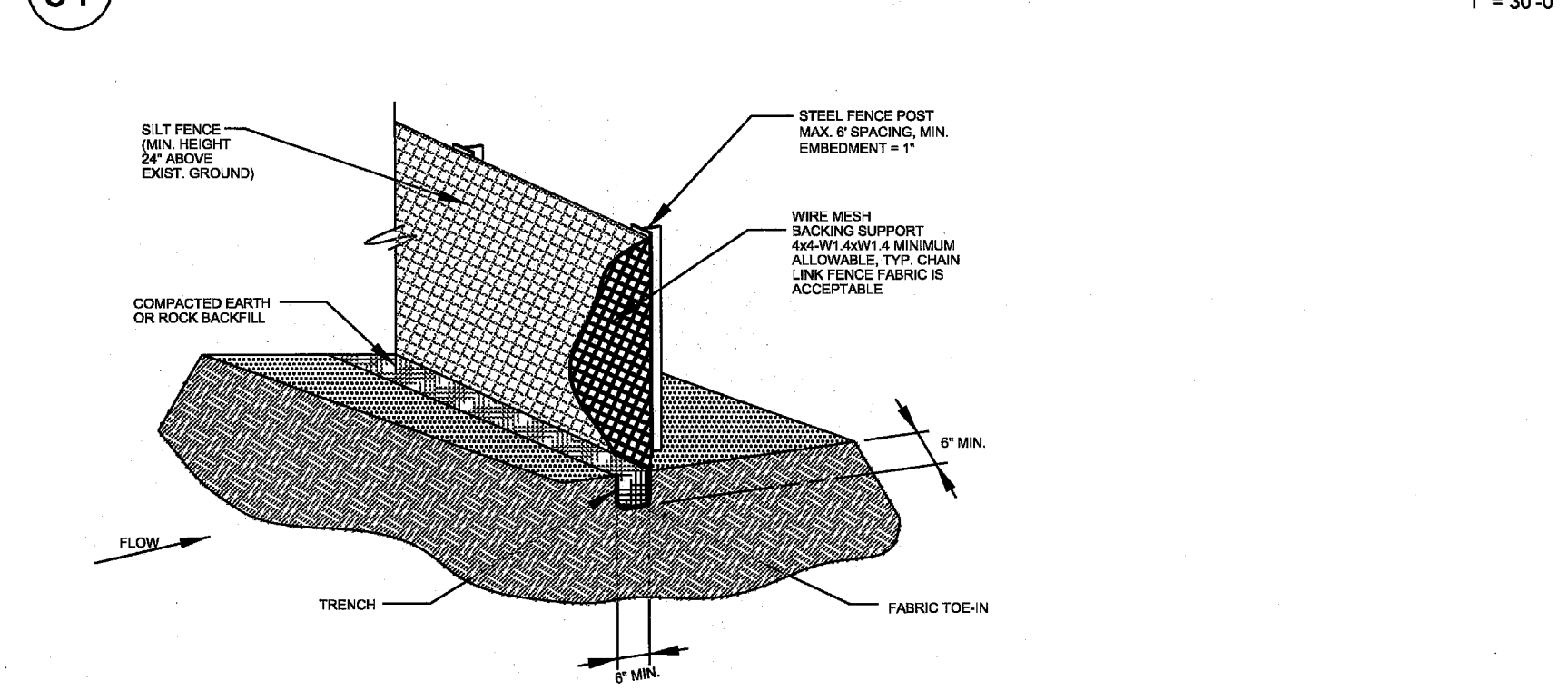


WESTGROVE DRIVE

- SILT FENCE**
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
  2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
  3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEETS.
  5. INSPECTION SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

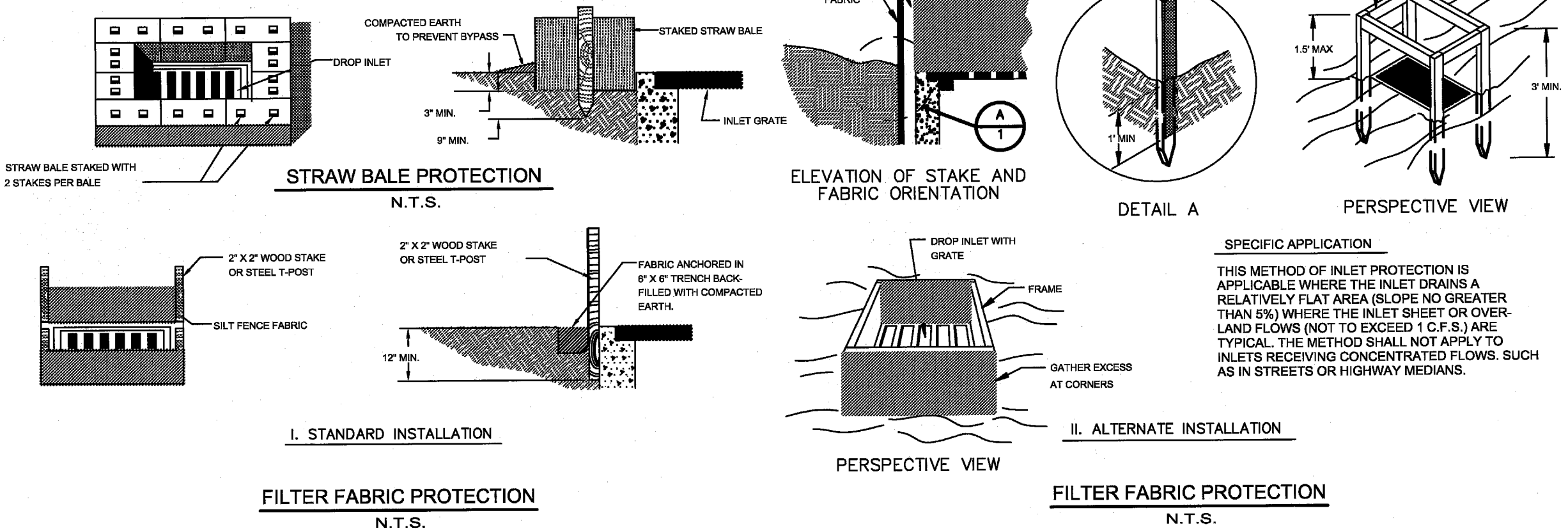
**EXCEL PARKWAY**

**01 EROSION CONTROL PLAN**



**03 SILT FENCE**

NOT TO SCALE



**02 INLET PROTECTION**

NOT TO SCALE



1" = 30'-0"



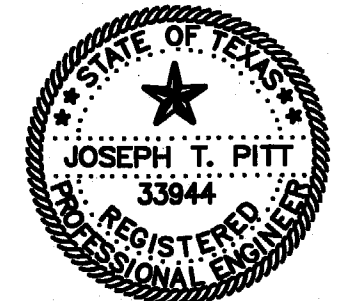
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CITY COMMENT	05/20/09

DRAWING INFO:

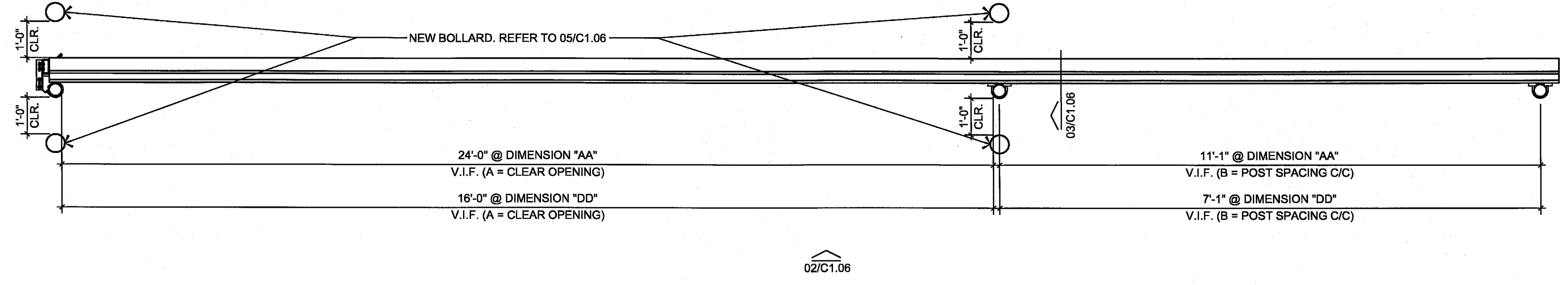
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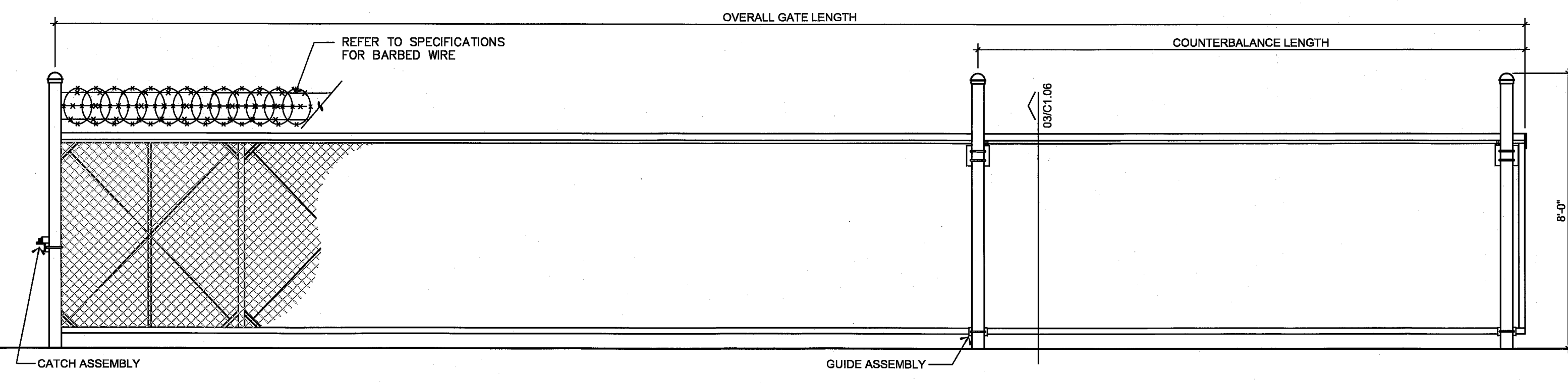
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**C1.06**

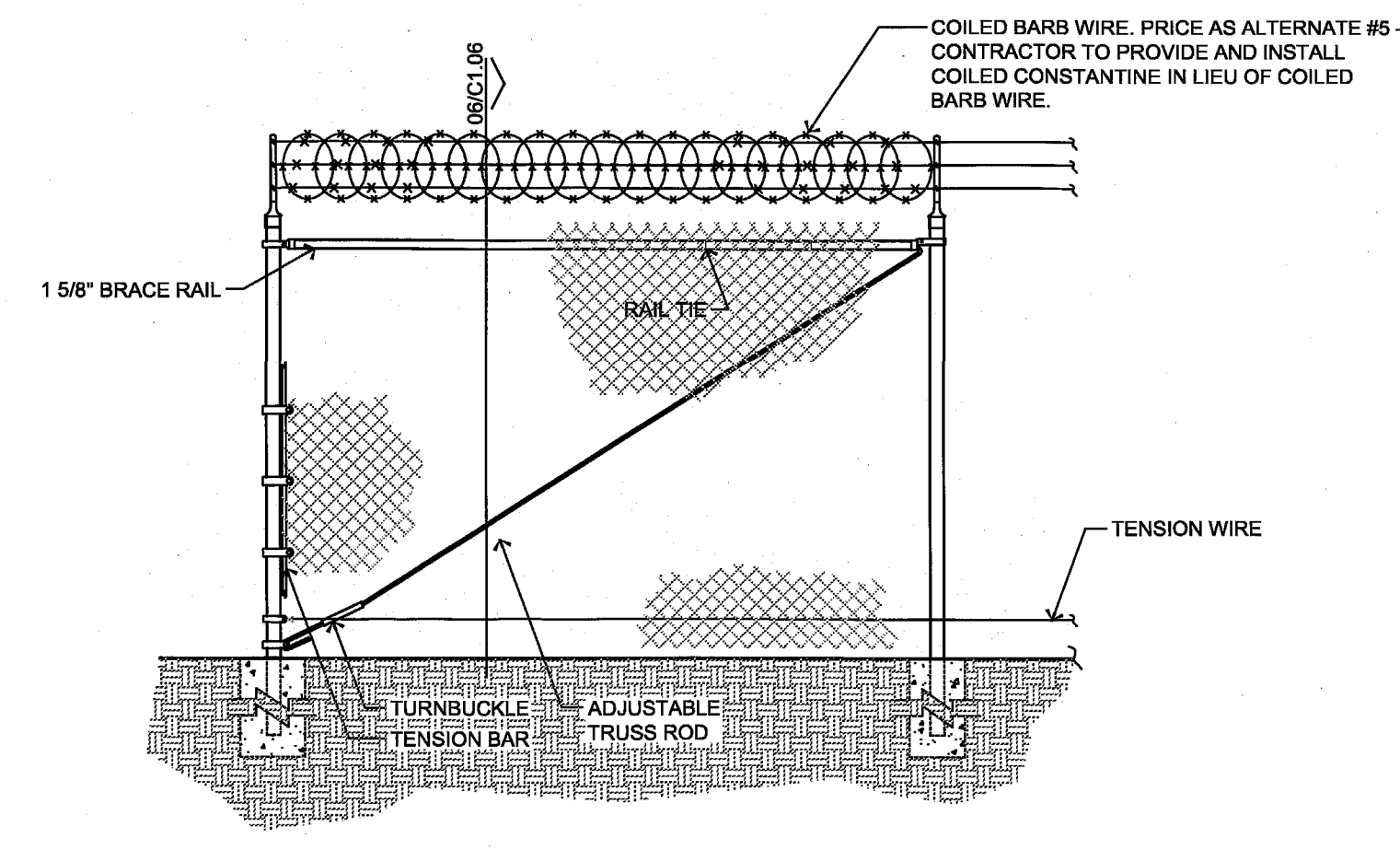
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A	CLEAR OPENING	A	-
B	COUNTERBALANCE POST SPACING C/C	(A/2)-11"	-
C	OVERALL GATE LENGTH	A x 1.5	-
D	COUNTERBALANCE LENGTH	A x 0.5	-
E	NOMINAL GATE HEIGHT	E	-
F	POST HEIGHT (W BARB ARMS)	E + 1'-6"	-
G	FABRIC HEIGHT	E - 1'-0"	-



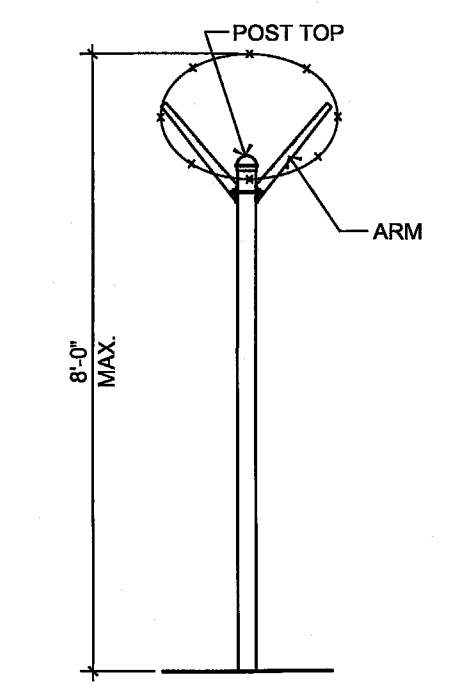
01 PLAN VIEW @ GATE 3/8"=1'-0"



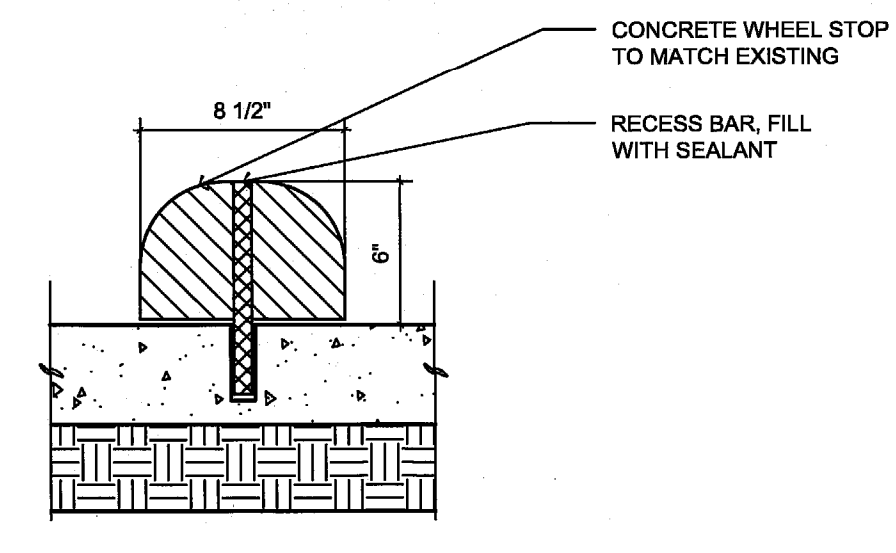
02 ELEVATION @ GATE 3/8"=1'-0"



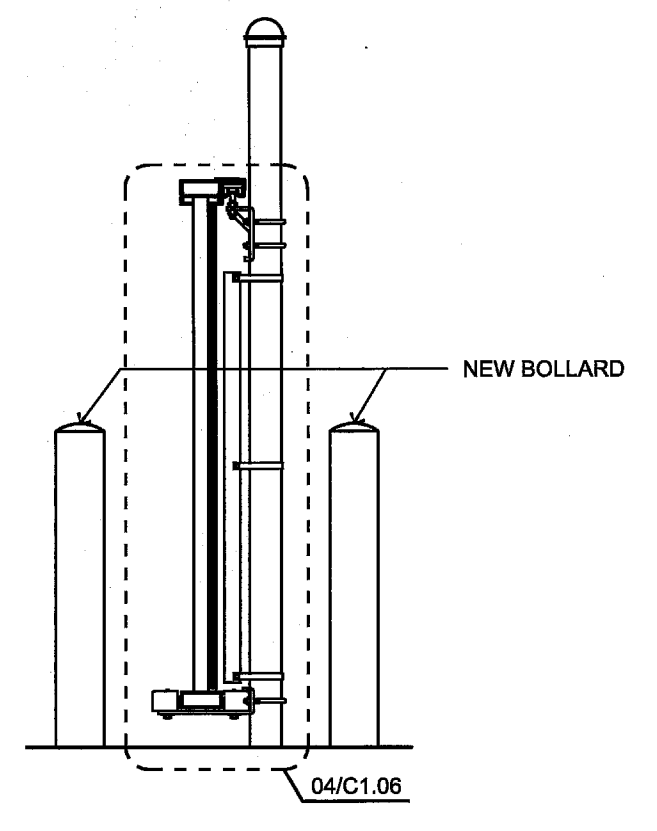
05 TYP. FENCE DETAIL 3/8"=1'-0"



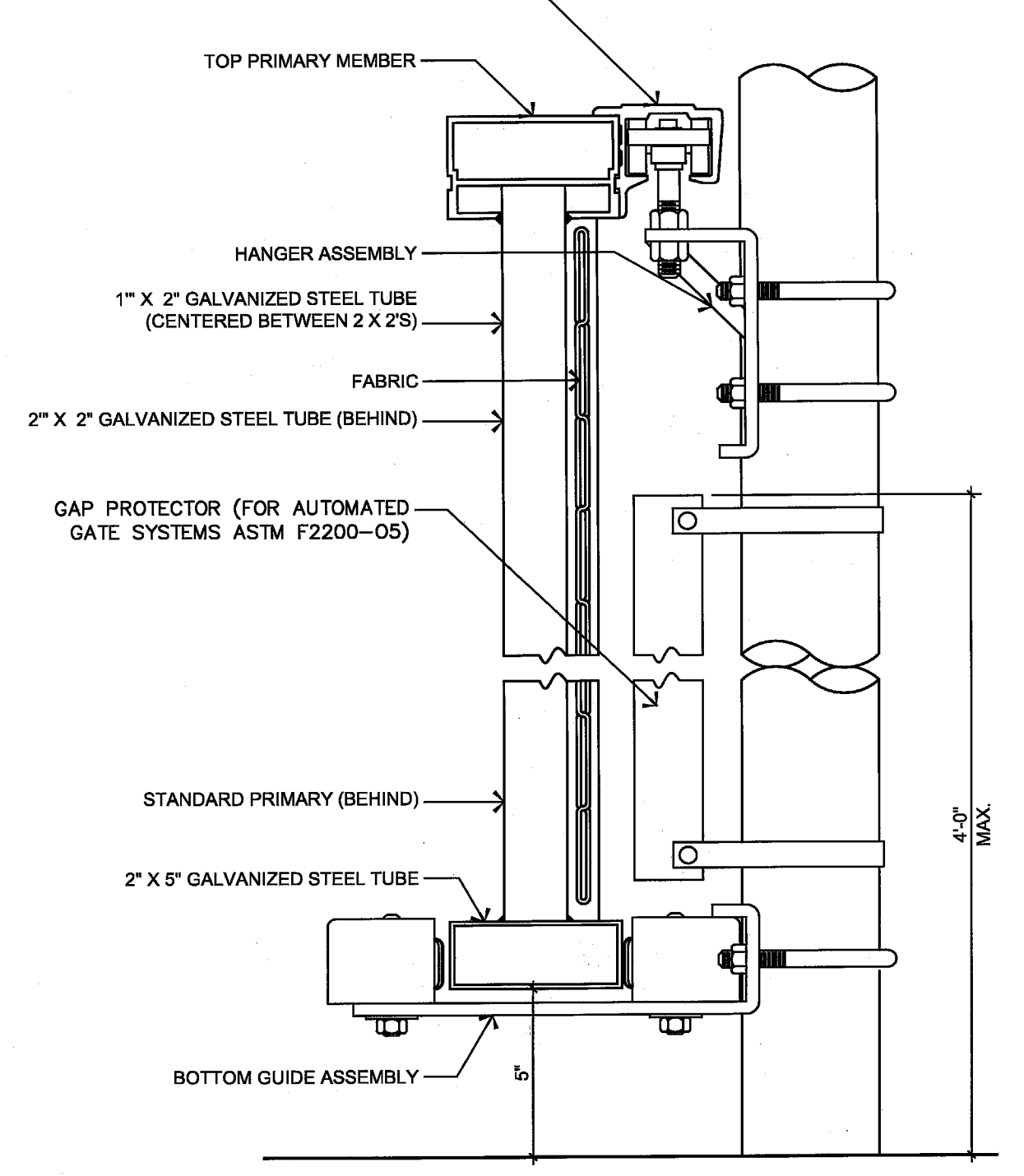
06 SECTION @ FENCE 3/8"=1'-0"



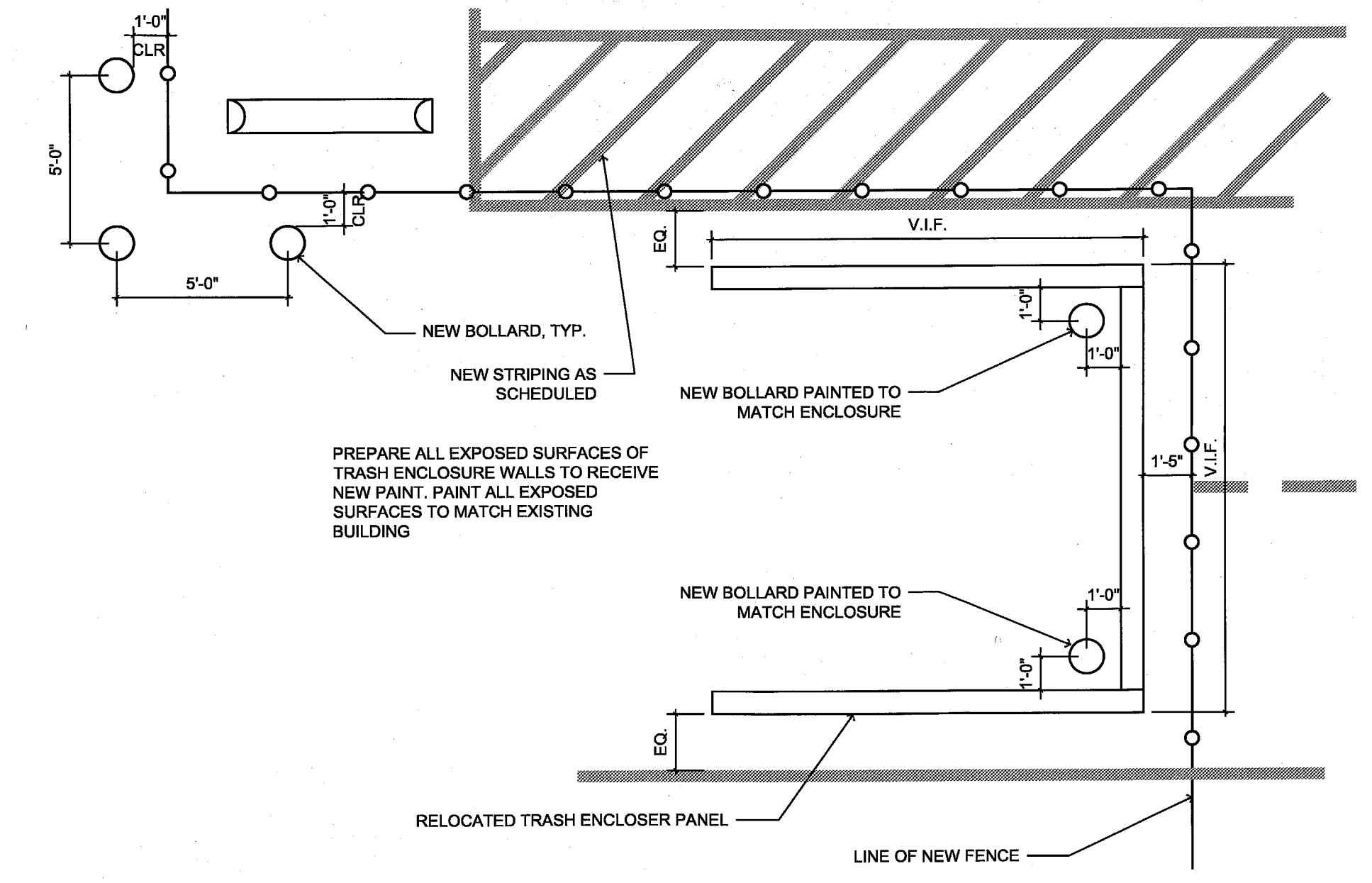
07 DETAIL @ WHEEL STOP 1-1/2"=1'-0"



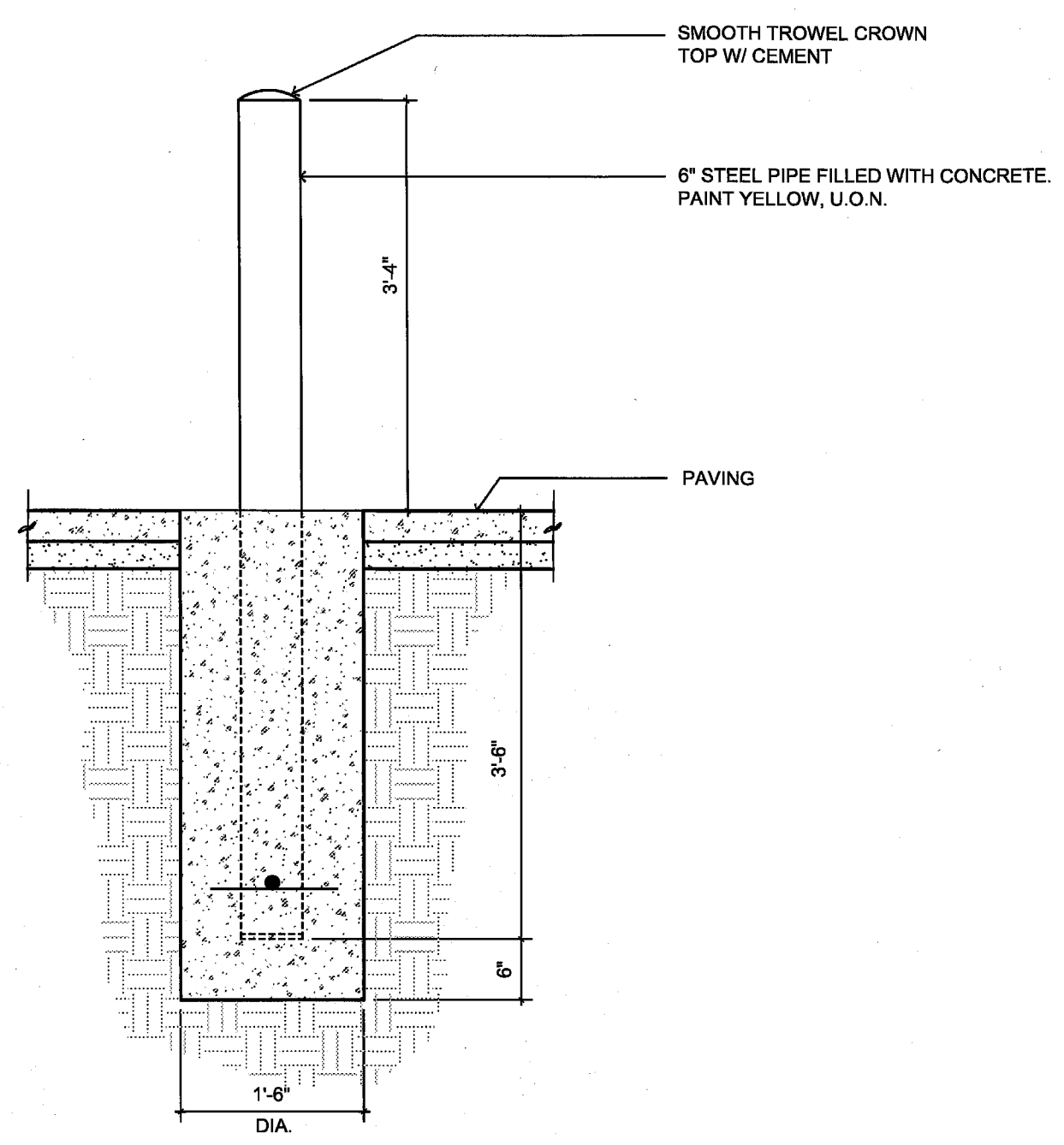
03 SECTION @ GATE 1/2"=1'-0"



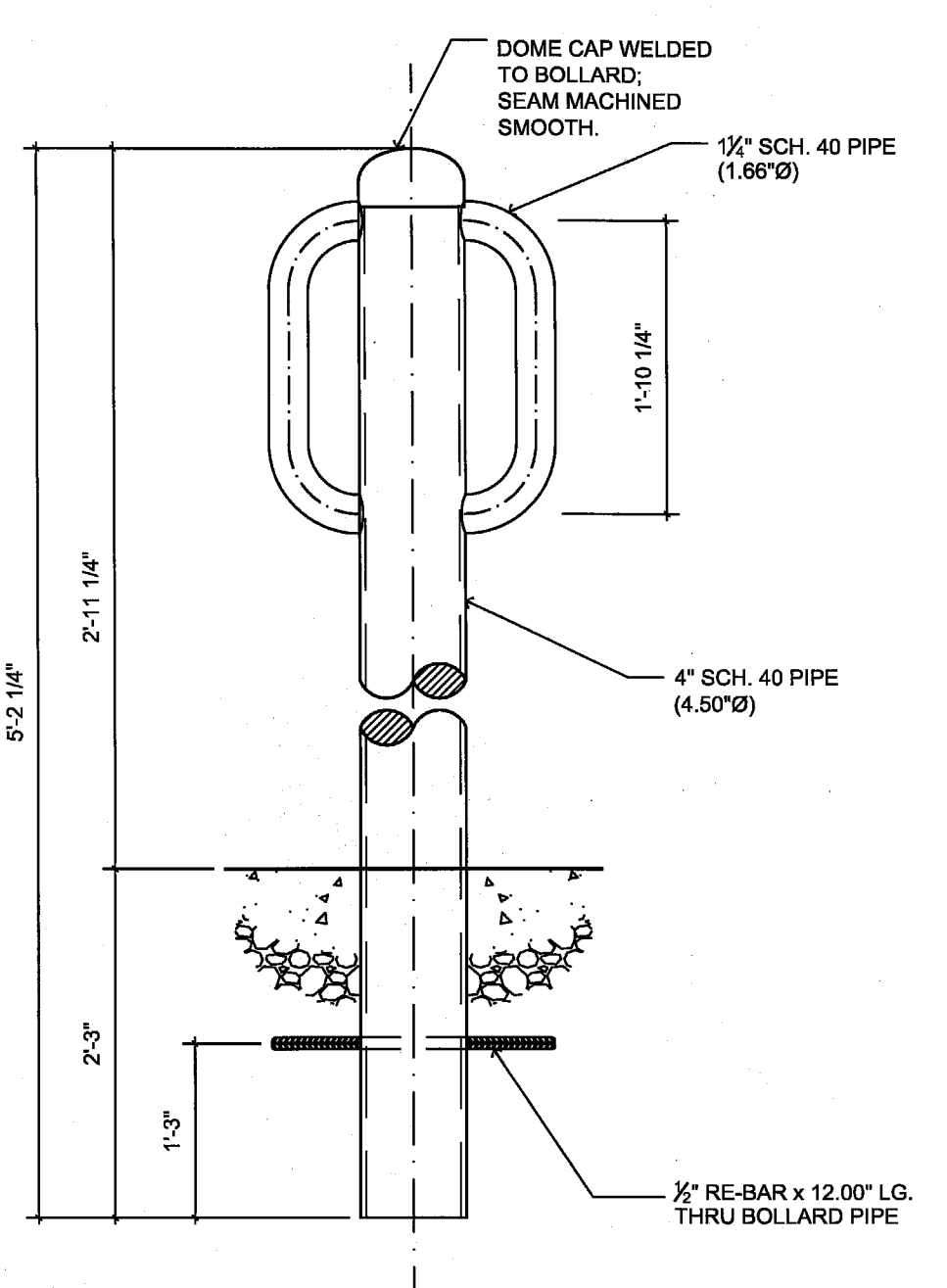
04 ENLARGED SECTION @ GATE N.T.S.



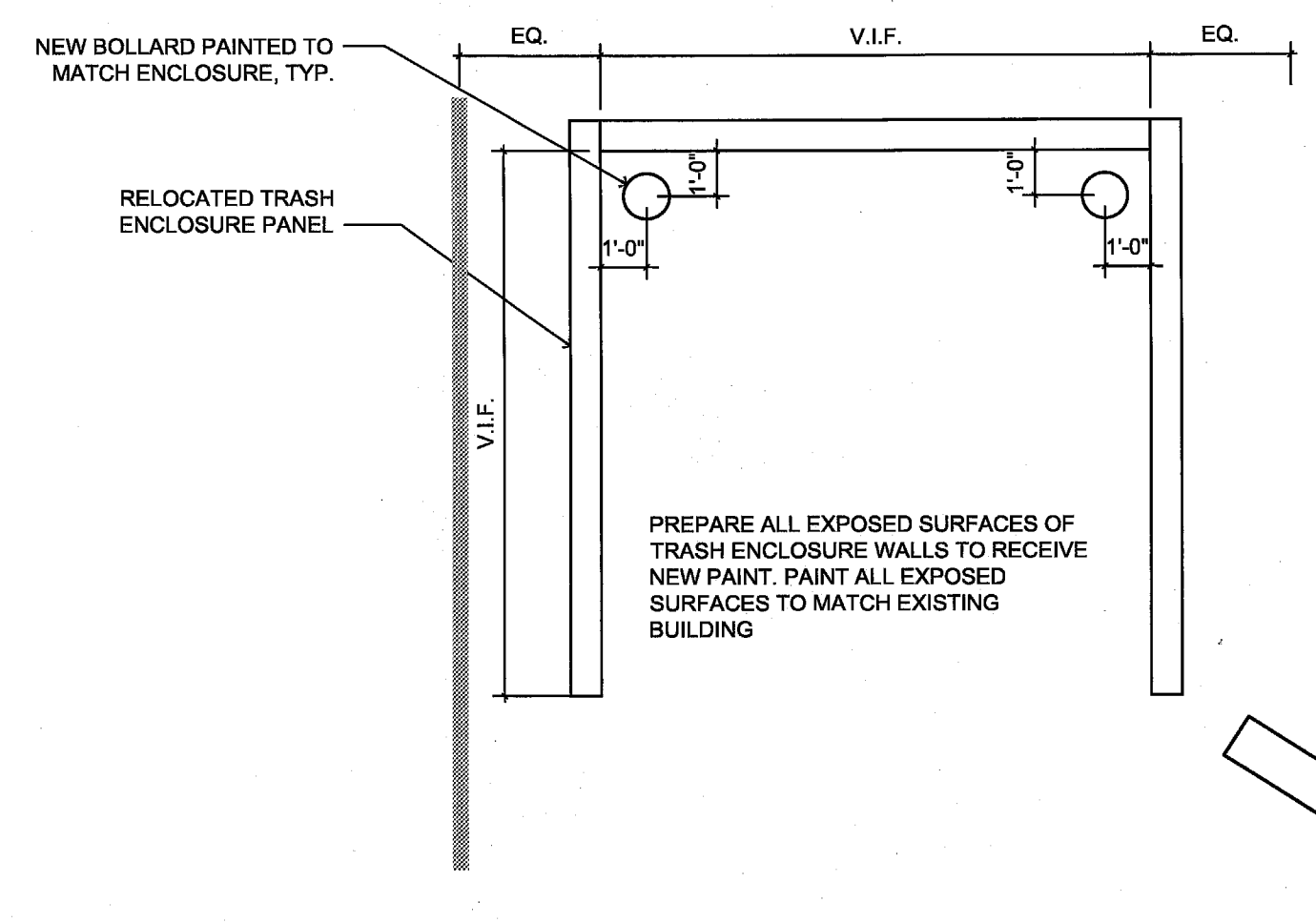
08 PLAN @ TRASH ENCLOSURE 1/4"=1'-0"



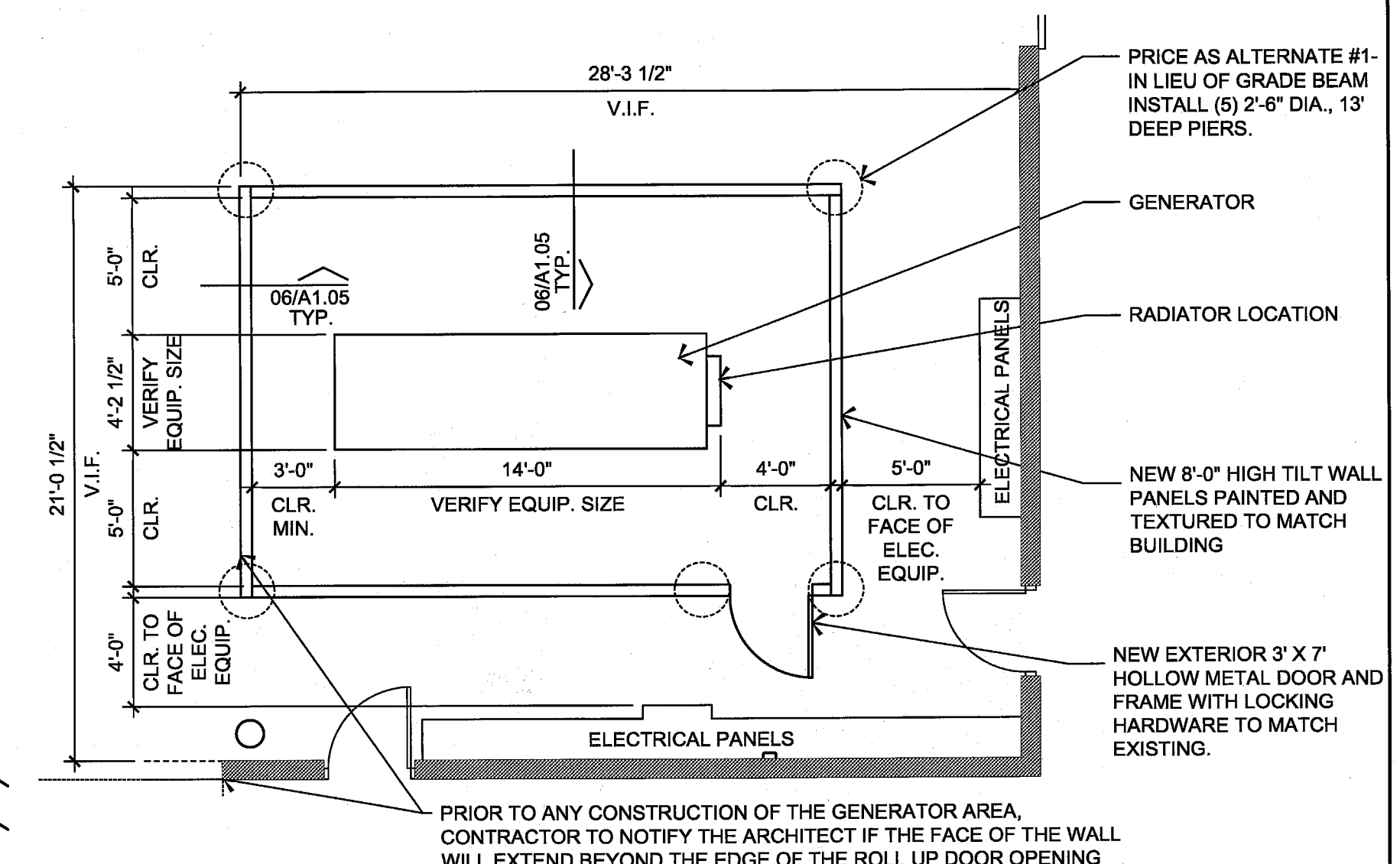
05 DETAIL @ BOLLARD 3/4"=1'-0"



09 DETAIL @ BIKE RACK 3/4"=1'-0"



10 PLAN @ TRASH ENCLOSURE 1/4"=1'-0"



11 PLAN @ GENERATOR 3/16"=1'-0"



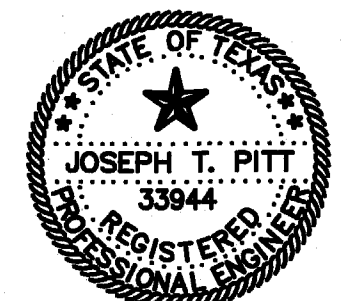
ARCHITECT



3311 Elm Street, Suite 105  
 Dallas, Texas 75226  
 214-742-6044  
 214-742-6041 Fax

ARCHITECT'S  
 SEAL:

CONSULTANT:



**TMBP**  
 CONSULTING ENGINEERS INC.  
 2301 N. AKARD ST. SUITE 400  
 DALLAS, TEXAS 75205  
 (214) 671-2300 (214) 671-8718 FAX  
 "THE SEAL APPEARING ON THIS  
 DOCUMENT WAS AUTHORIZED BY  
 JOSEPH T. PITT, P.E. 33844 ON  
 APRIL 8, 2009"

ISSUE HISTORY:

CITY REVIEW	01/07/09
CITY COMMENT	04/09/09
CONTRACTOR'S PRICING	04/28/09
CITY COMMENT	05/14/09
CITY COMMENT	05/18/09
CITY COMMENT	05/20/09

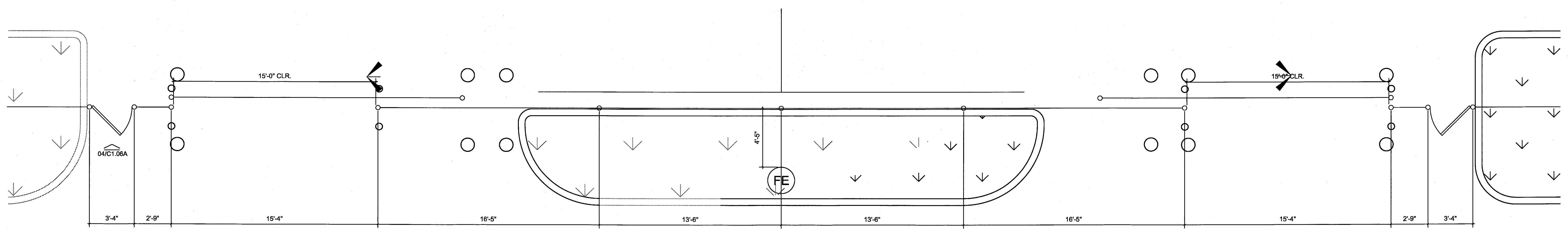
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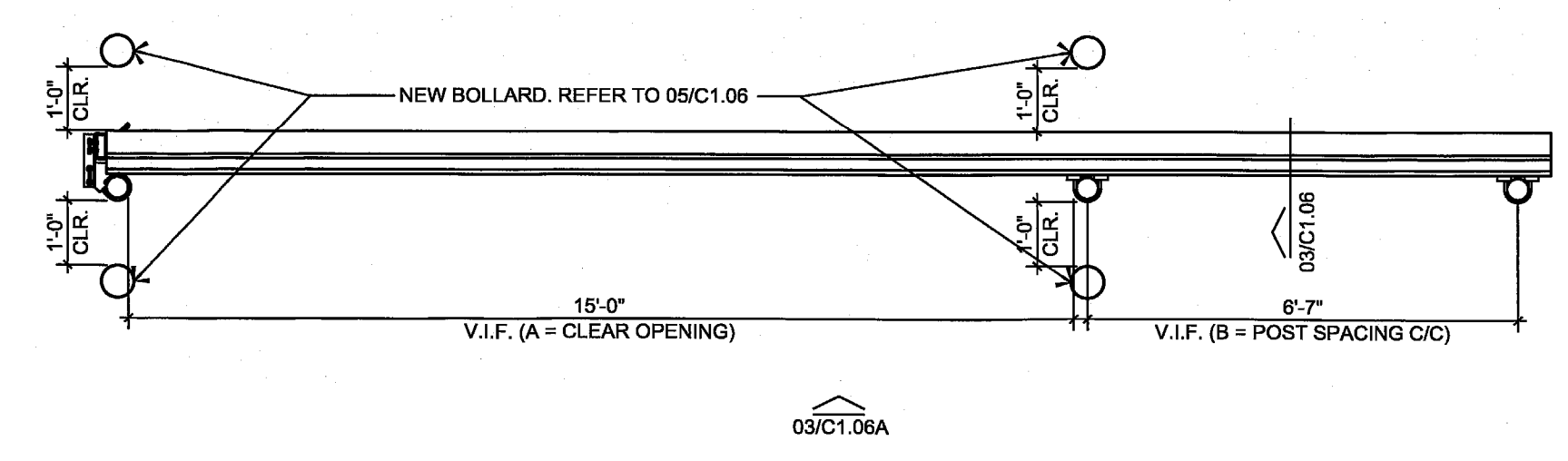
**SITE DETAILS**

**C1.06a**

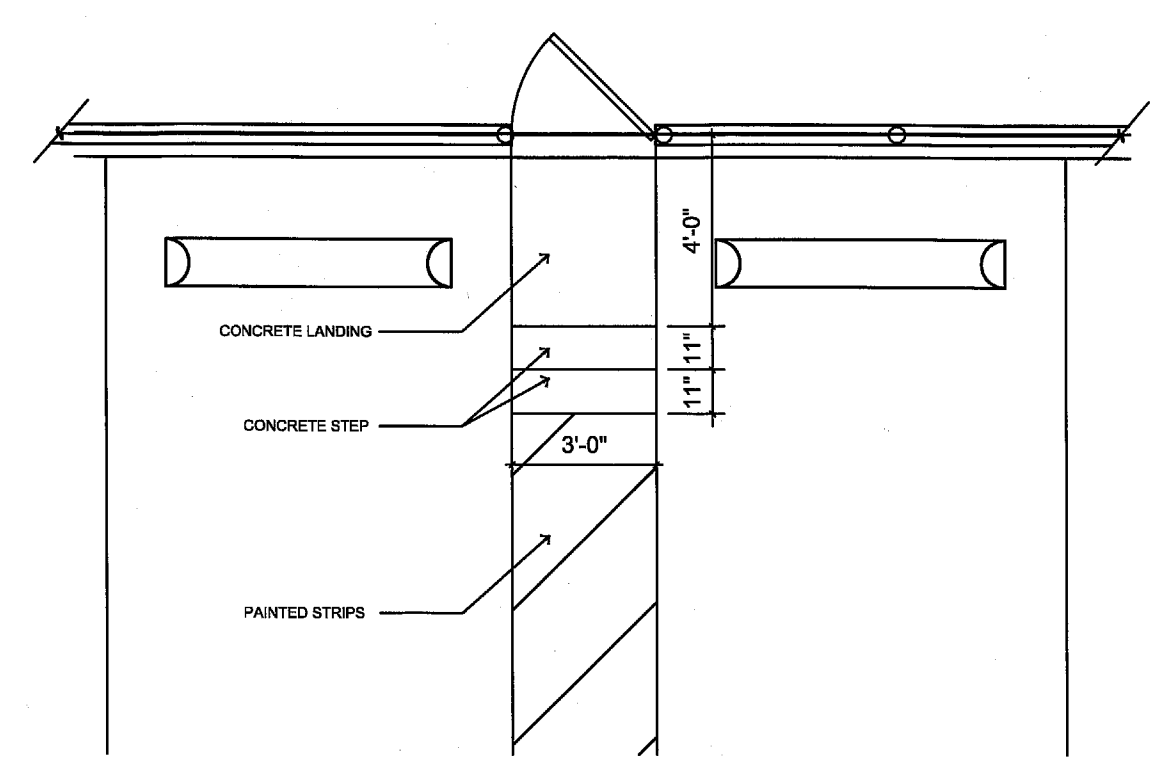


**01 ENLARGED PLAN @ GATE**  
 1/4"=1'-0"

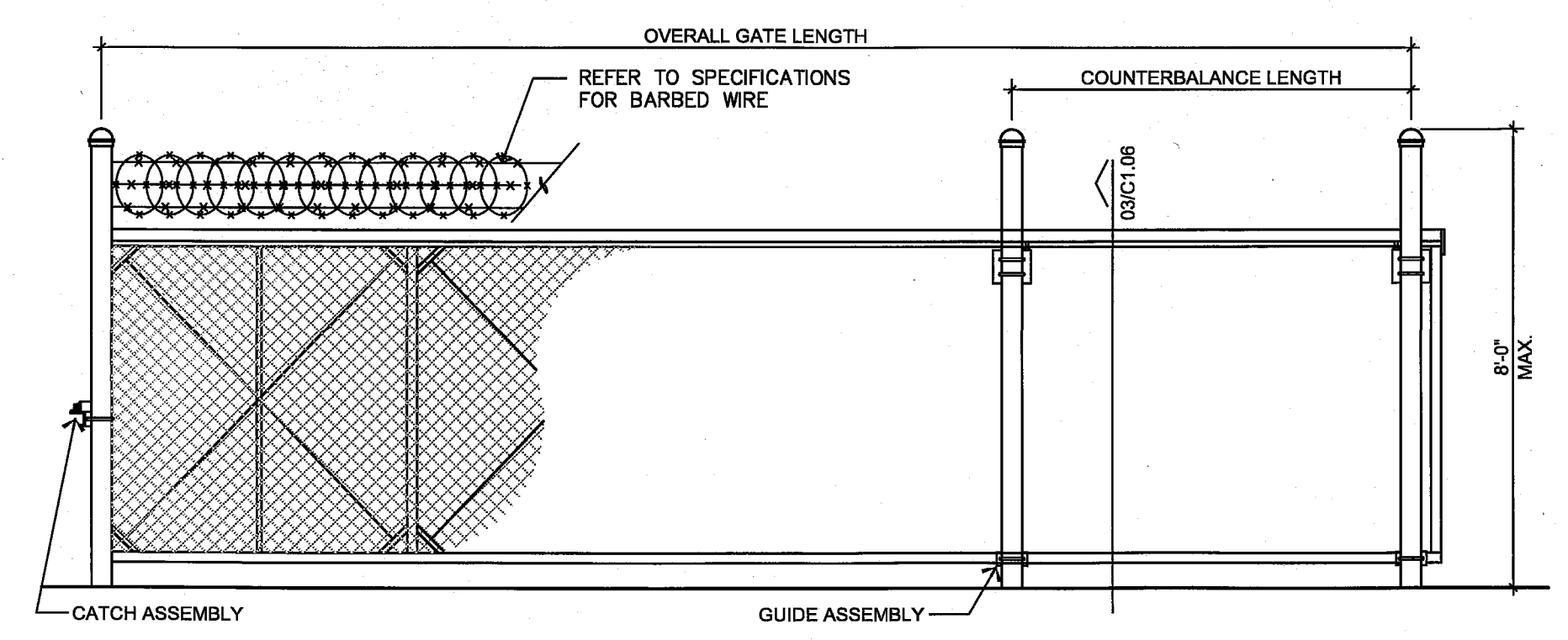
MARK	DESCRIPTION	FORMULA	DIM.
A	CLEAR OPENING	A	-
B	COUNTERBALANCE POST SPACING C/C	(A/2)-11"	-
C	OVERALL GATE LENGTH	A x 1.5	-
D	COUNTERBALANCE LENGTH	A x 0.5	-
E	NOMINAL GATE HEIGHT	E	-
F	POST HEIGHT (W BARB ARMS)	E + 1'-6"	-
G	FABRIC HEIGHT	E - 1'-0"	-



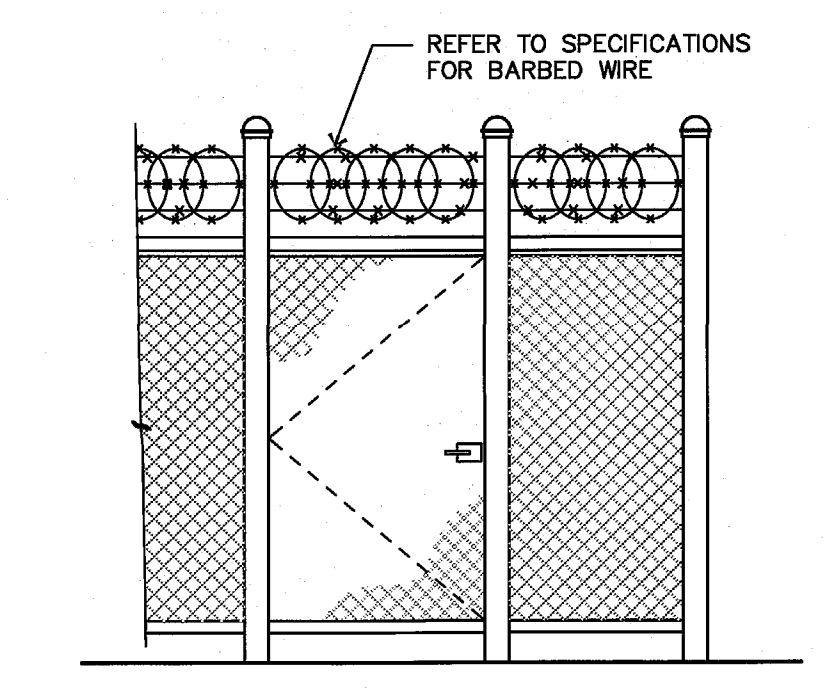
**02 PLAN @ GATE**  
 3/8"=1'-0"



**05 ENLARGED PLAN @ FIREMAN'S GATE**  
 1/4"=1'-0"



**03 ELEVATION @ PARKING GATE**  
 3/8"=1'-0"

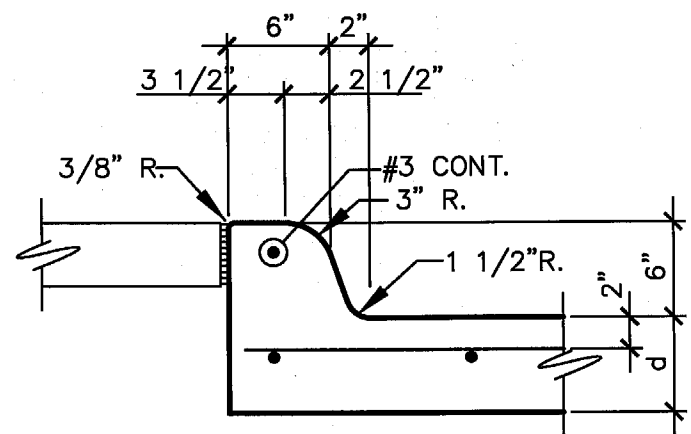


**04 ELEVATION @ PEDESTRIAN GATE**  
 3/8"=1'-0"



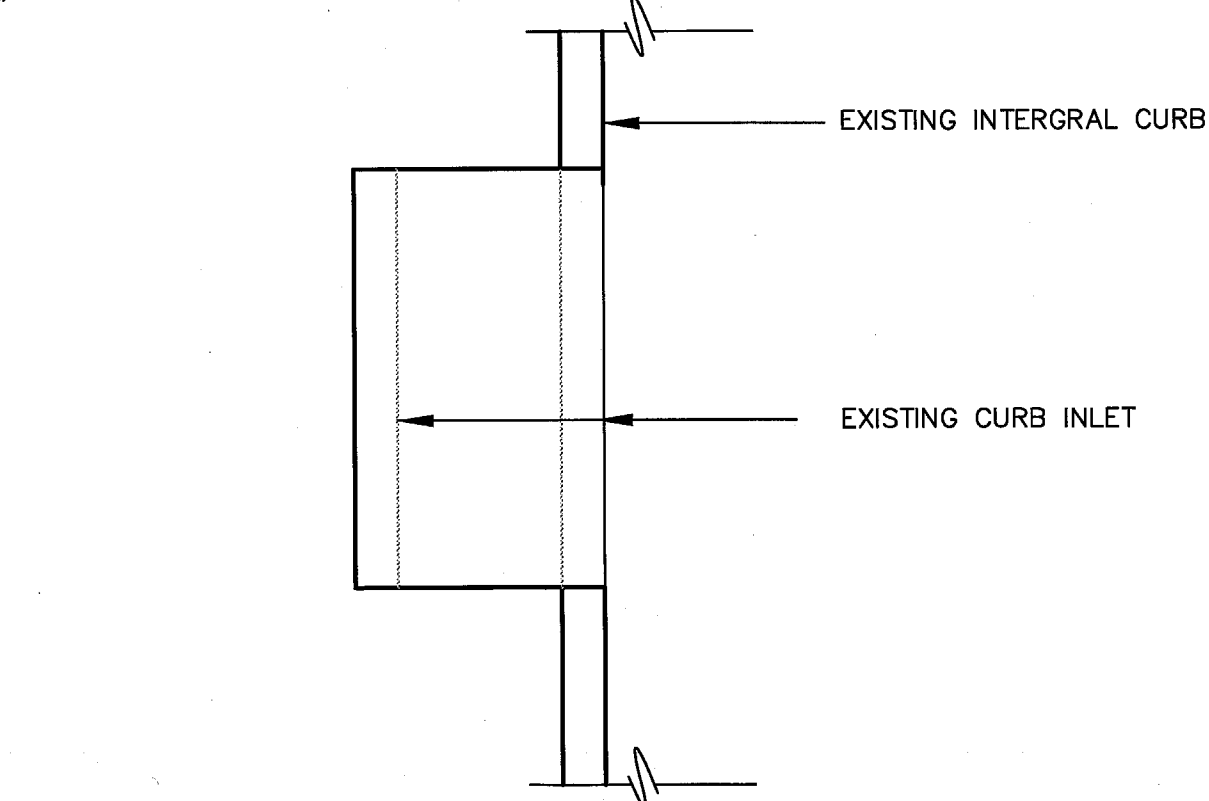
**GENERAL NOTES:**

- BOUNDARY INFORMATION TAKEN FROM ARCHITECTURAL PLANS PREPARED BY BY HALF ASSOCIATES 8616 NORTHWEST PLAZA DRIVE, DALLAS, TEXAS 75225 CONTRACTOR SHALL FIELD VERIFY ALL CONTROL DIMENSIONS, ELEVATIONS AND FLOW LINE ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT DISCREPANCIES TO THE ARCHITECT. TOPOGRAPHIC INFORMATION PROVIDED BY GLOBAL LAND SURVEYING, INC. 704 CENTRAL PARKWAY EAST PLANO, TEXAS.
- ELEVATIONS/SPOT GRADES SHOWN ARE FINISH GRADES/CONTOURS. COORDINATE GRADING AND/OR ELEVATIONS WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS. REFER TO SITE PLAN FOR ALL DIMENSIONS NOT SHOWN.
- LOCATION, SIZE AND TYPE OF EXISTING UTILITIES WERE BASED UPON NOTED PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES TO CONNECT WITH, OR THAT MAY CONFLICT WITH, HIS/HER CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL UTILITIES DURING CONSTRUCTION.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND DETAILS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS WITH THE CITY OF ADDISON, TEXAS AMENDMENTS UNLESS NOTED OTHERWISE.
- TYPICAL PAVING AT FIRE LANE SHALL BE 8" THICK, NORMAL WEIGHT CONCRETE WITH A MINIMUM 28 DAY ULTIMATE COMPRESSIVE STRENGTH OF 3500 PSI REINFORCED WITH #3 @ 18" ON CENTER EACH WAY, 2" CLEAR FROM TOP OF SLAB. SEE NOTE 6 FOR SUBGRADE AND JOINTING REQUIREMENTS.
- OTHER PAVING SHALL BE 6" THICK, NORMAL WEIGHT CONCRETE WITH A MINIMUM 28 DAY ULTIMATE COMPRESSIVE STRENGTH OF 3500 PSI REINFORCED WITH #3 @ 18" ON CENTER EACH WAY, 2" CLEAR FROM TOP OF SLAB. SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR MINIMUM, AT A MOISTURE CONTENT OF MINUS 1% TO PLUS 4% OF OPTIMUM PER ASTM D-698. CONTRACTOR SHALL PROVIDE CONSTRUCTION OR CONTRACTION JOINTS AT 15' ON CENTER EACH WAY MAXIMUM, WITH EXPANSION JOINTS AT EVERY FOURTH JOINT (60' ON CENTER MAX.) EACH DIRECTION. CONTRACTOR SHALL SUBMIT JOINTING PLAN FOR REVIEW AND APPROVAL.
- ALL OTHER SITE CONCRETE SHALL BE NORMAL WEIGHT, 28 DAY MIN. ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI. ALL REINFORCING SHALL CONFORM TO ASTM A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. ALL SIDEWALKS SHALL BE 4" THICK, REINFORCED WITH 6X6-W1.4XW1.4 WWF OVER 2" SAND CUSHION. SEE ARCHITECTURAL FOR SPECIFICATIONS AND FINISHES.
- ALL SITE FILL MATERIAL MAY BE ON-SITE, OR SIMILAR, MATERIAL (REFER TO SOILS REPORT FOR TYPE) UNDER PAVING. AT CUT SECTIONS, OR EXISTING GROUND PRIOR TO FILLS, SCARIFY 6" AND RECOMPACT TO A MINIMUM OF 95 % OF MAX DRY DENSITY FROM ASTM D-698 AT MOISTURE CONTENT BETWEEN -1% AND +4% ABOVE OPTIMUM. FILLS SHALL BE PLACED IN LESS THAN EIGHT LOOSE INCH LIFTS AND COMPACTED AS NOTED ABOVE. REFER TO SPECIFICATIONS FOR FILL AND COMPACTION UNDER BUILDING.
- CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE PROJECT AND SHALL PROVIDE CONSTRUCTION PER OSHA REQUIREMENTS, TITLE 29, (LATEST), AS WELL AS OTHER APPLICABLE BUILDING CODE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE EROSION PROTECTION PER BMP MANUAL "STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES" AS PUBLISHED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS. PROVIDE HAY BALES OR SILT FENCE AT DOWNHILL SIDE OF ALL EXCAVATIONS GREATER THAN TEN FEET WIDE AND AT NO GREATER THAN 100' APART AT LARGER, OR LONGER, EXCAVATIONS.



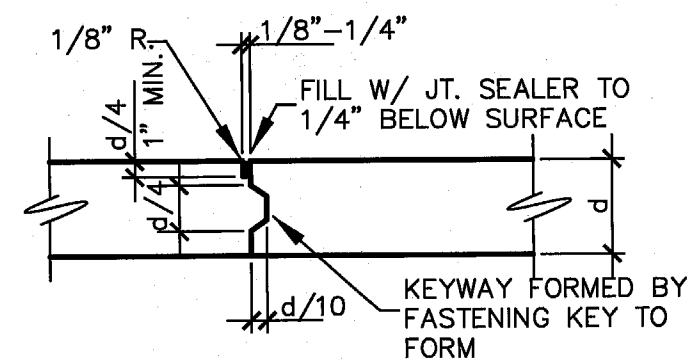
**01 TYPICAL INTEGRAL CURB DET.**

1"=1'-0"



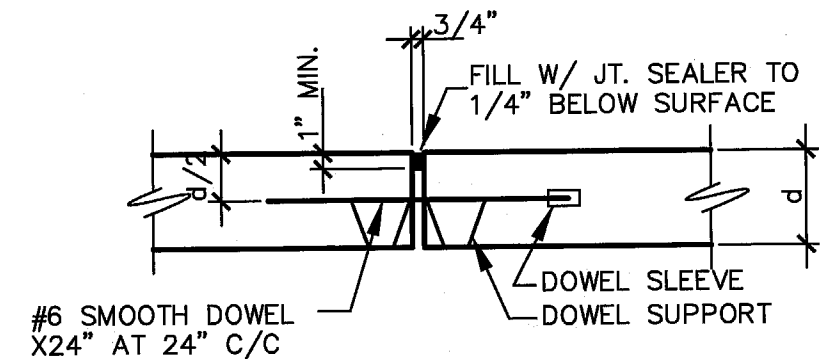
**02 TYP. CONTRACTION JT.**

1"=1'-0" SAWED OR DUMMY GROOVE



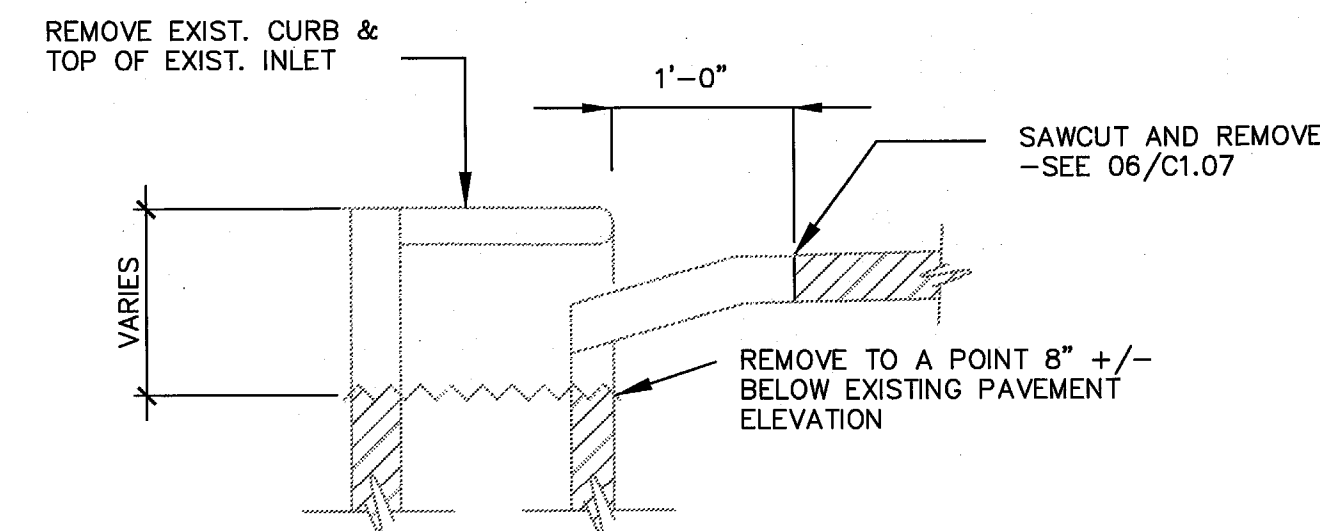
**03 TYP. KEYED CONST. JT.**

1"=1'-0" LOCATE CONSTRUCTION OR CONTRACTION JOINT AT



**04 TYP. EXPANSION JT.**

1"=1'-0" LOCATE 60'-0" C/C MAX. AND PARALLEL W/ TYPICAL PAVING AND INNER CURB RETURN

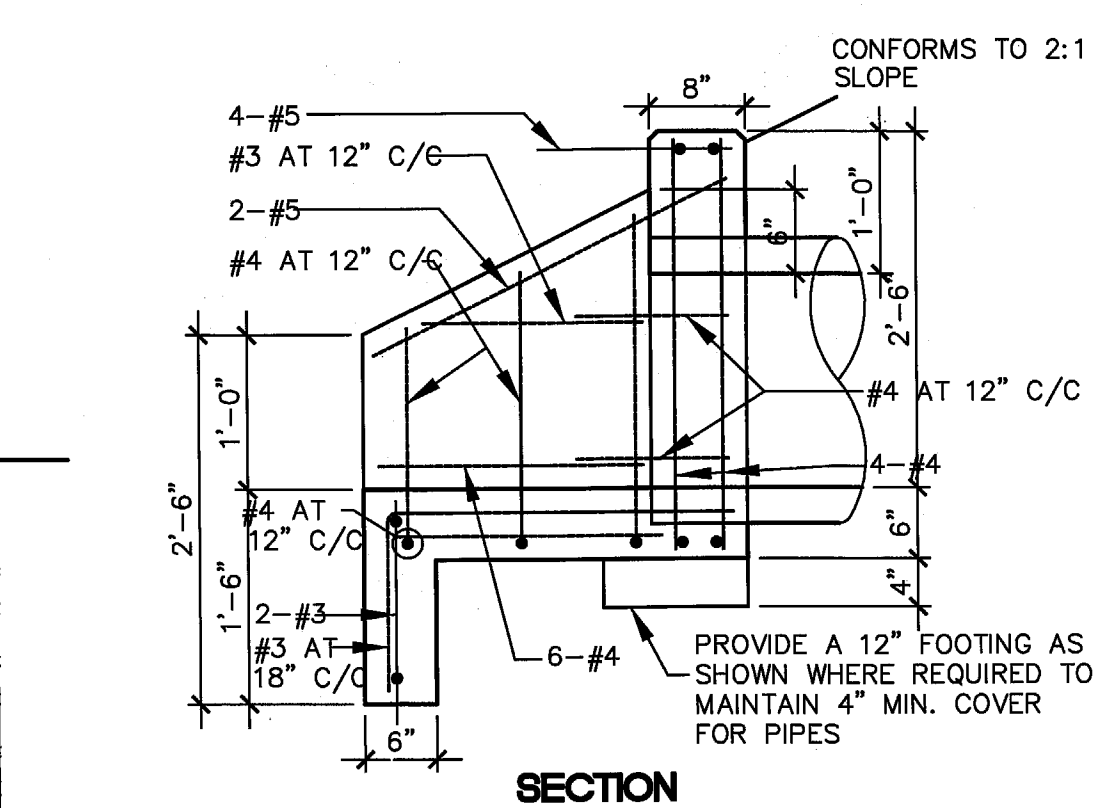
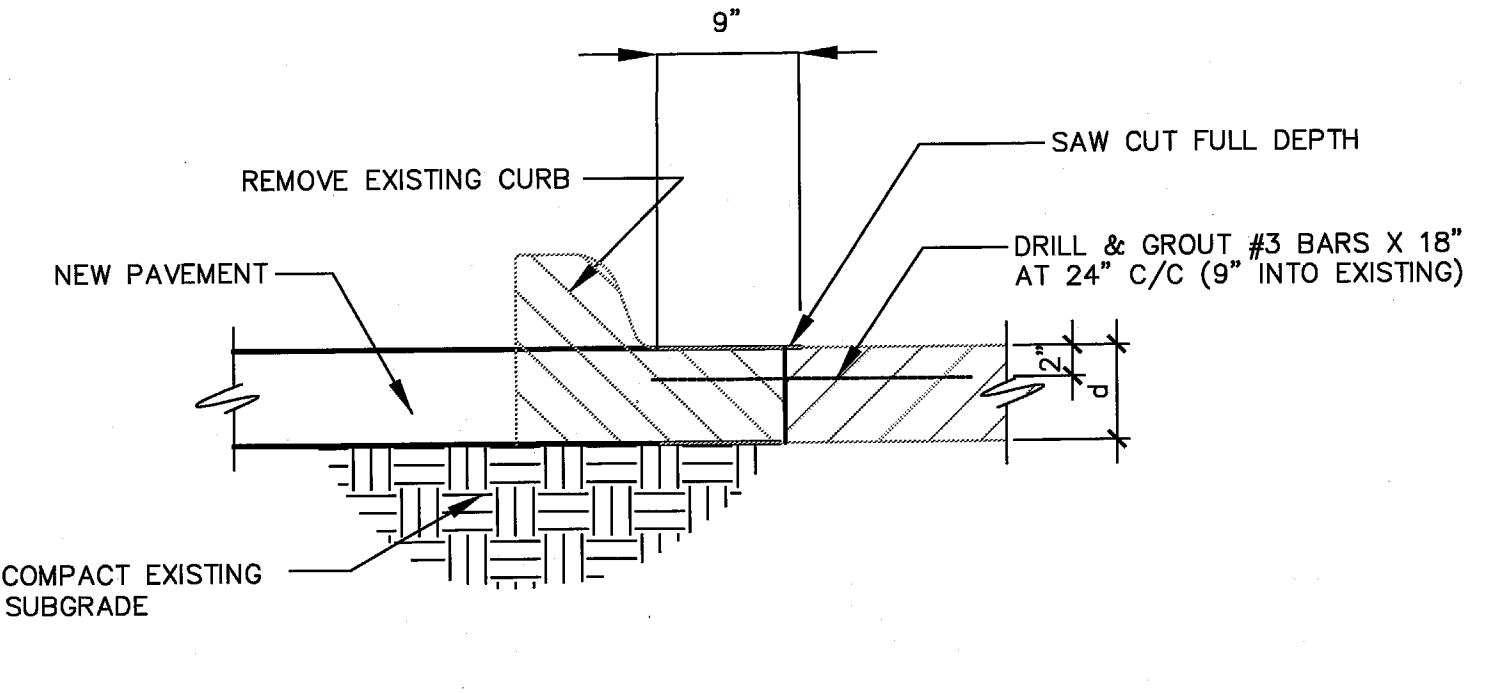
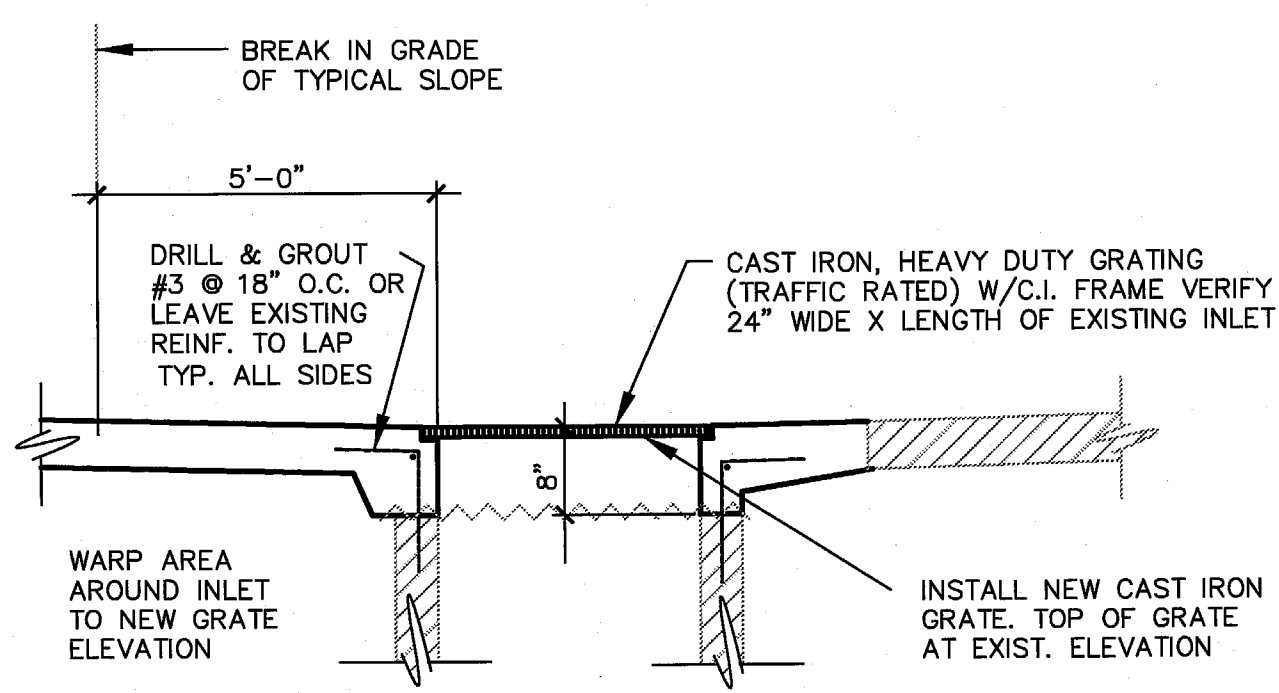


**05 SECTION AT EXISTING INLETS**

NOT TO SCALE

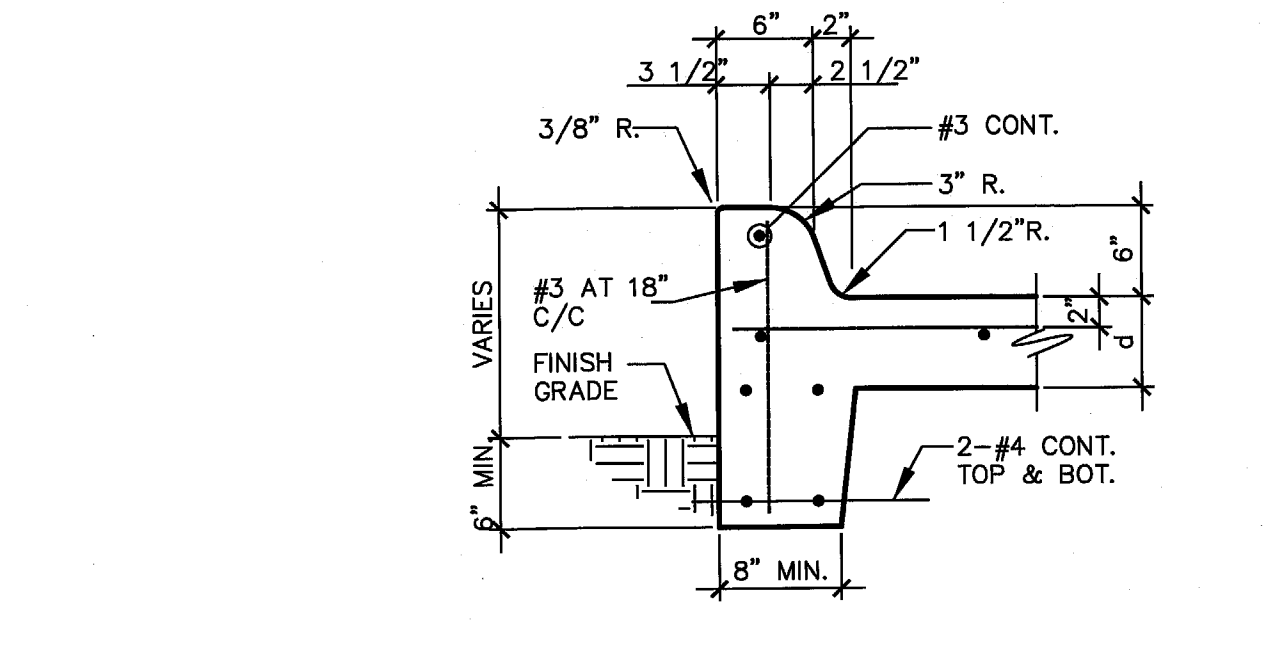
**06 CONNECTION AT EXISTING PAVEMENT**

1"=1'-0"



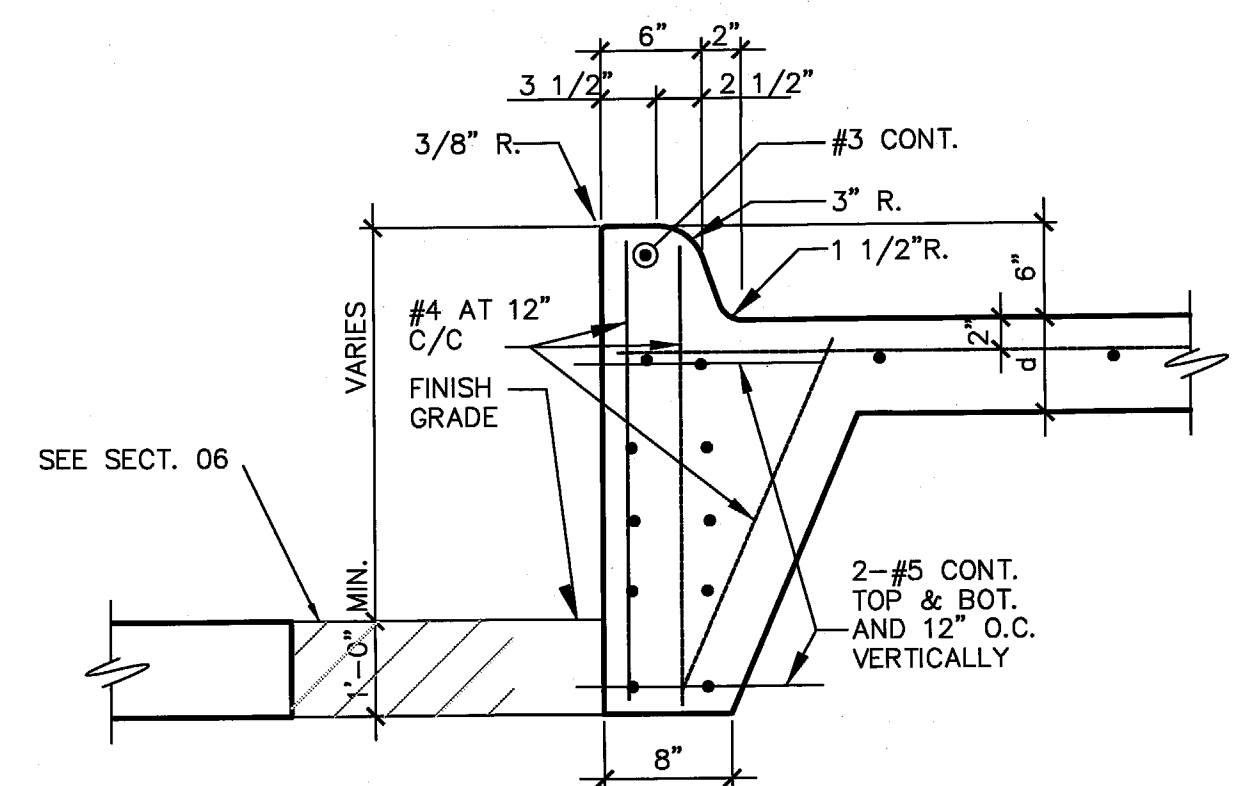
**07 STANDARD HEADWALL**

3/4"=1'-0"



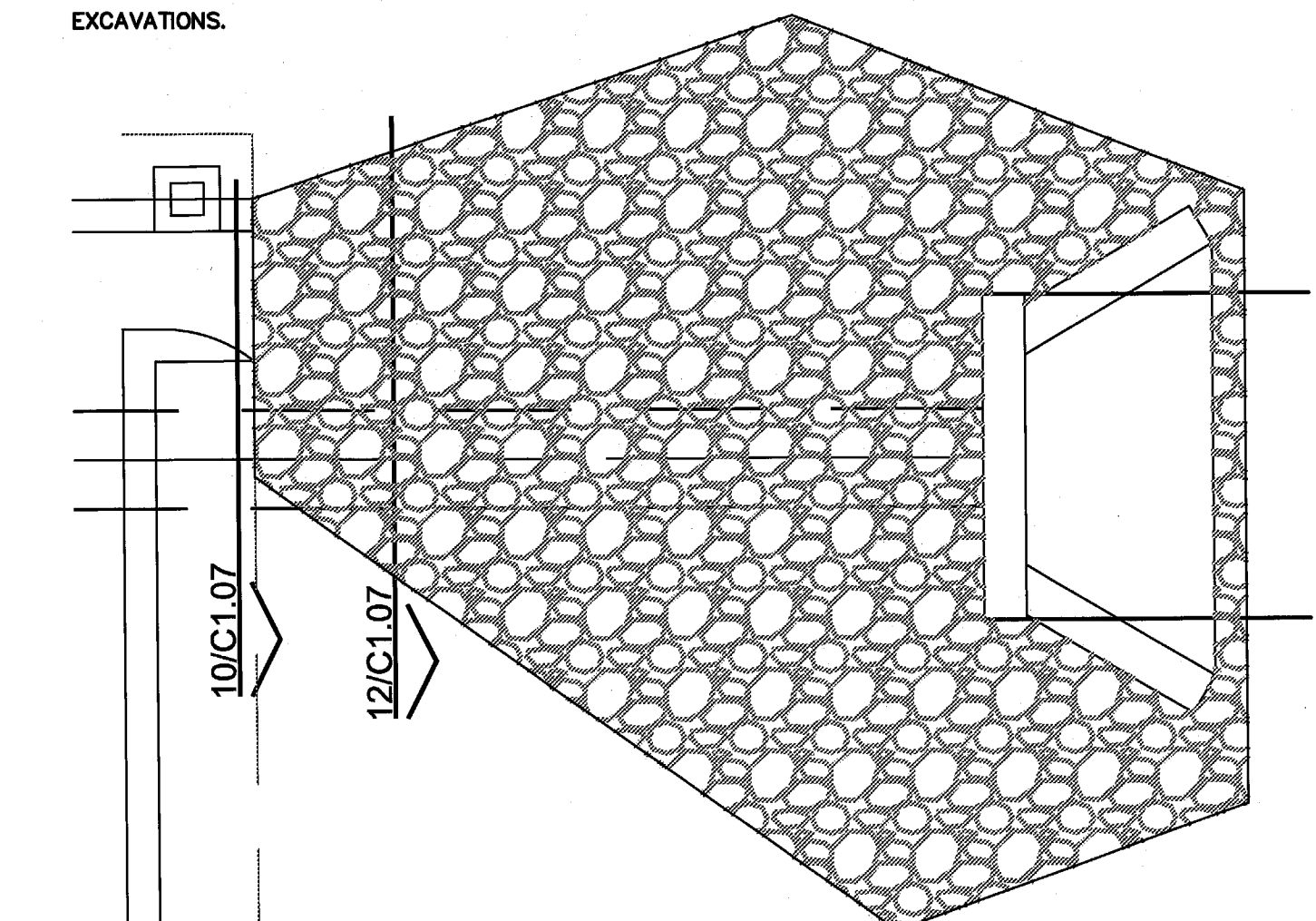
**08 TYPICAL TURNED-DOWN CURB**

1"=1'-0"

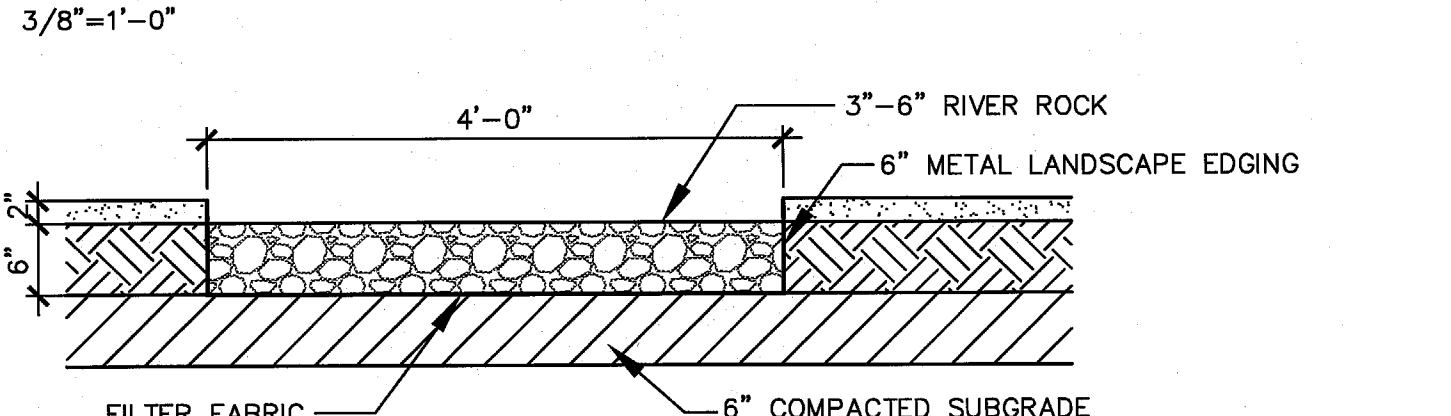


**09 CURB AT RELOCATED FIRE LANE**

1"=1'-0"

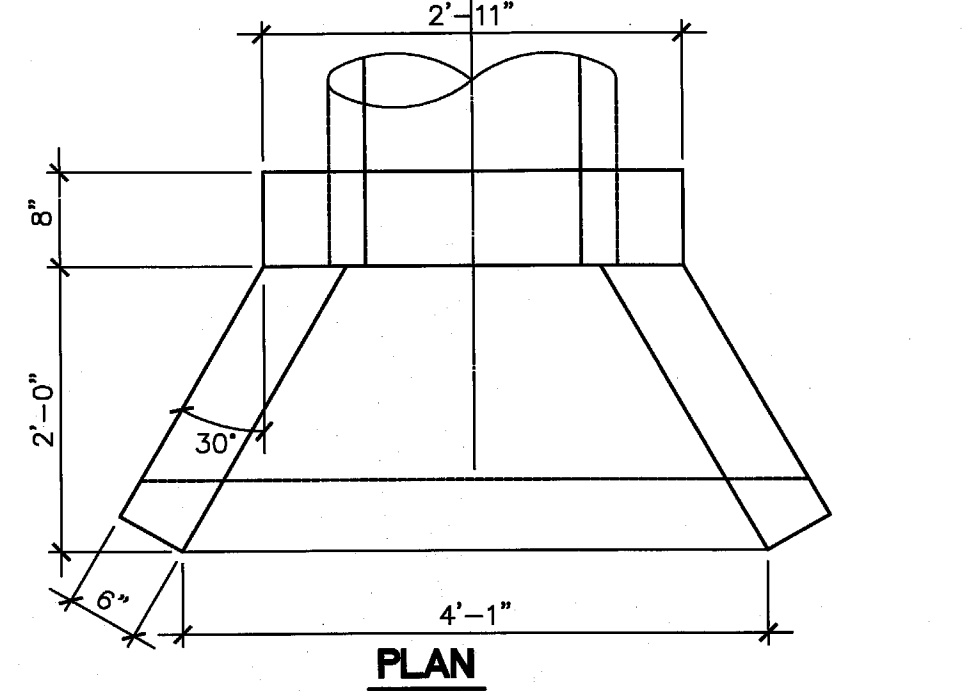


**11 ENLARGED PLAN • CURB/ROCK FLUME**



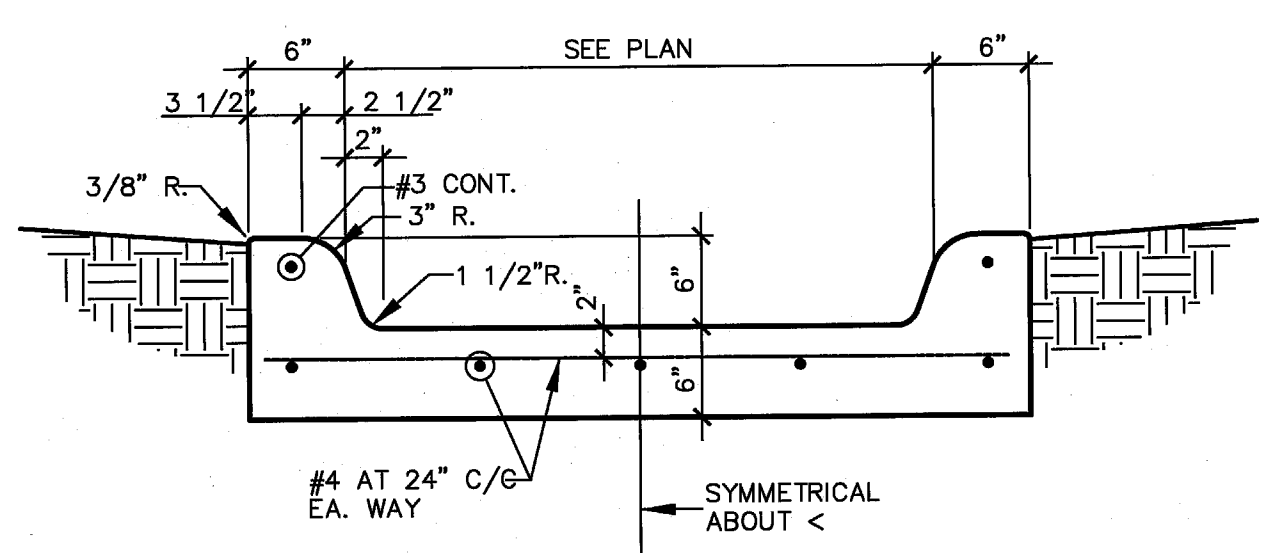
**12 RIVER ROCK FLUME**

3/4"=1'-0"



**10 TYPICAL CURB FLUME**

1"=1'-0"



PROJECT:  
**UNITED STATES ENVIRONMENTAL PROTECTION AGENCY**  
 16650 WESTGROVE DRIVE SUITES 200 & 300 ADDISON, TEXAS 75001  
 CITY PROJECT NUMBER PW# 2008-20



3311 Elm Street, Suite 105  
 Dallas, Texas 75226  
 214-742-6044  
 214-742-6041 Fax

ARCHITECT'S SEAL:

CONSULTANT:

**TMBP**  
 CONSULTING ENGINEERS INC.  
 3201 W. AVARD ST. SUITE 400 DALLAS, TEXAS 75226  
 (214) 871-0200 (214) 871-0718 FAX  
 "THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JOSEPH T. PITT, P.E. 33944 ON APRIL 8, 2009"

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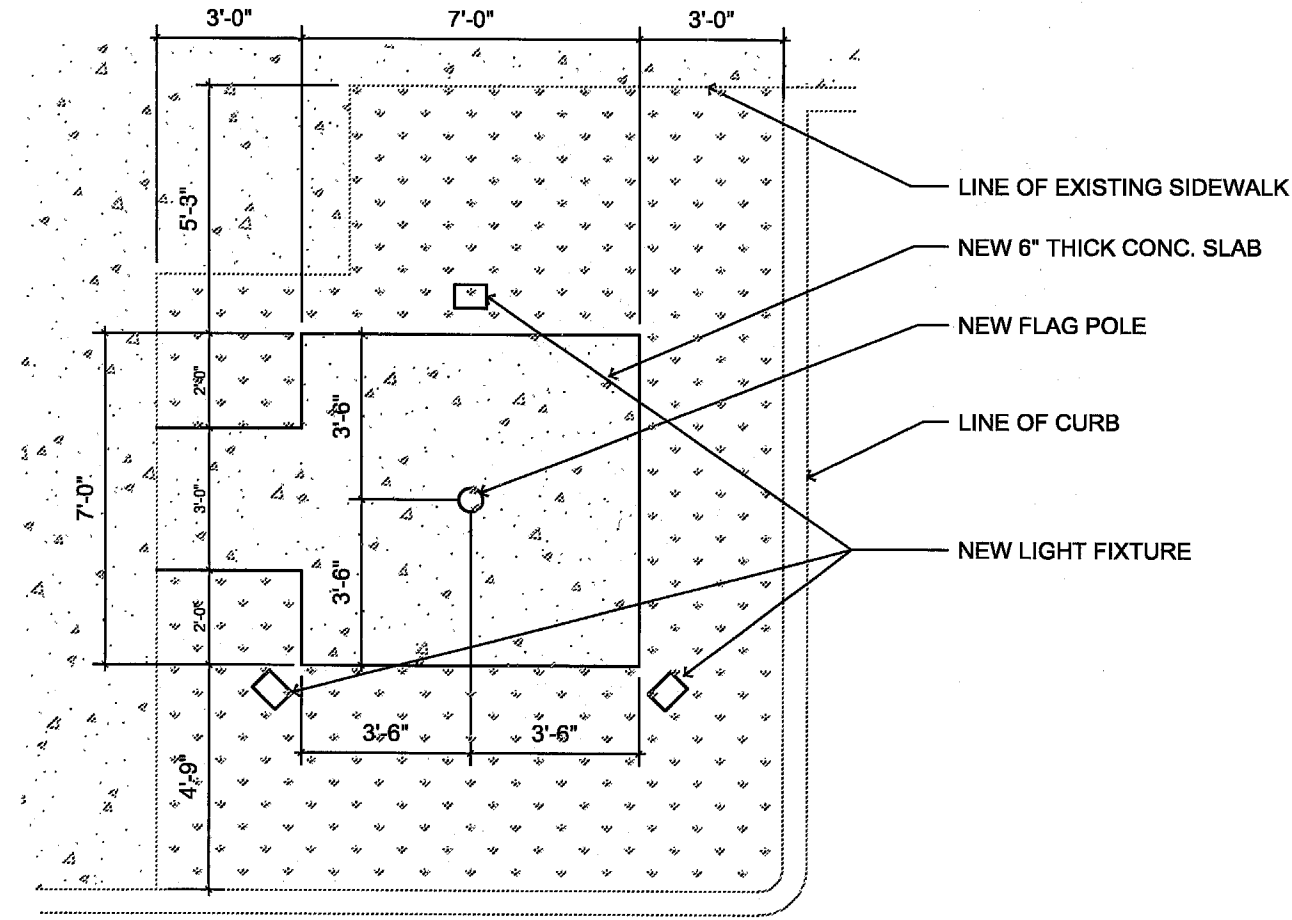
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CITY COMMENT	04/08/09
CONTRACTOR'S PRICING	04/28/09
CITY COMMENT	05/14/09

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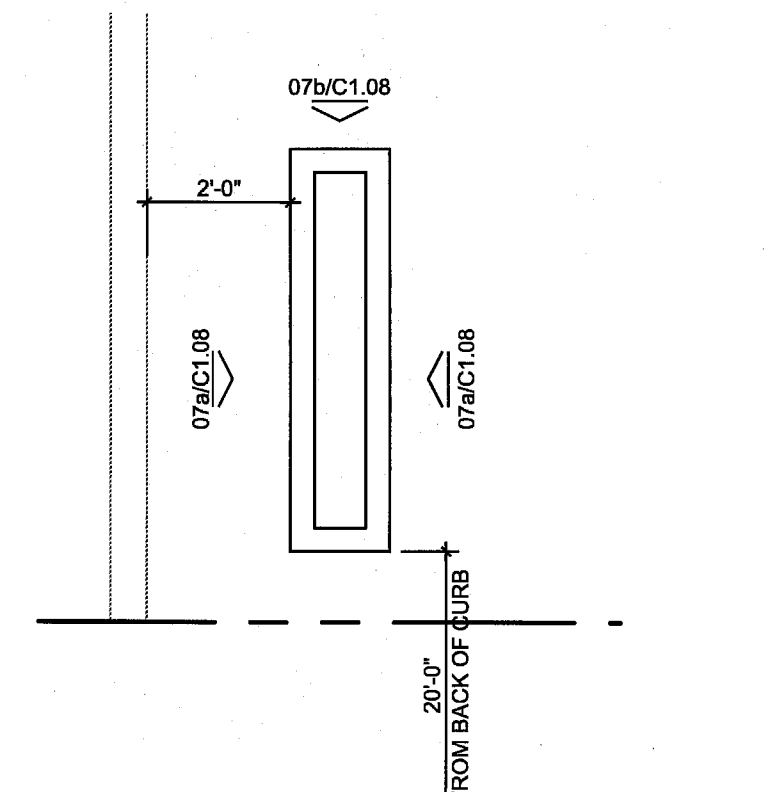
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**GENERAL NOTES AND DETAILS**

**C1.07**

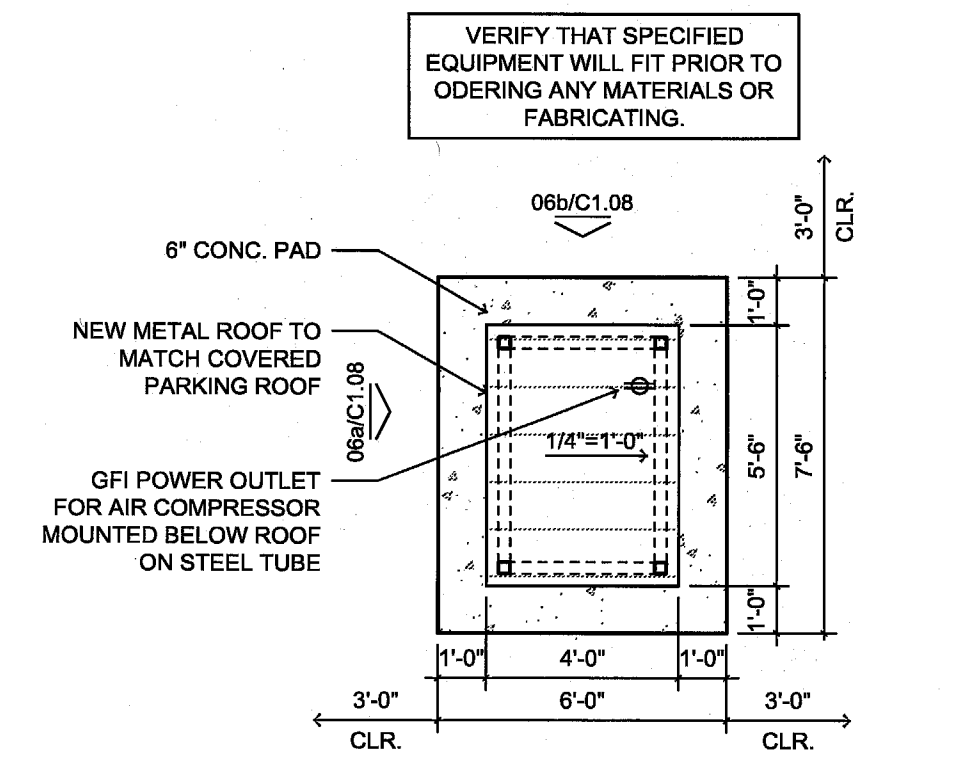




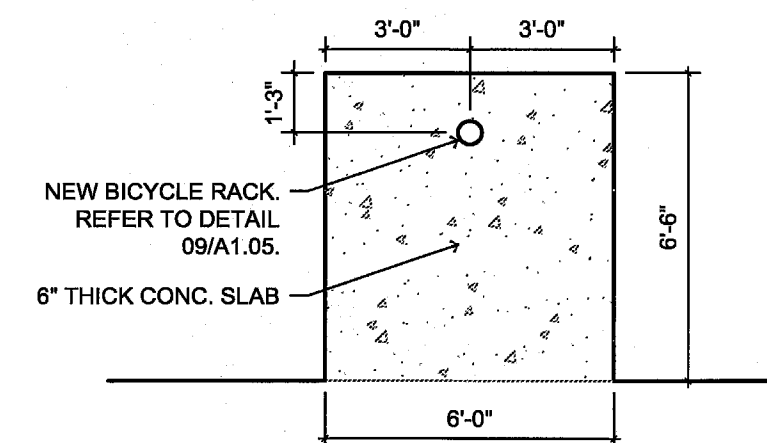
01 PLAN @ FLAG POLE  
1/4"=1'-0"



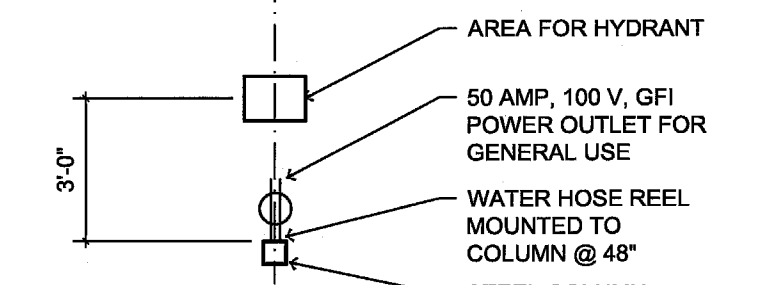
02 PLAN @ SIGN  
3/8"=1'-0"



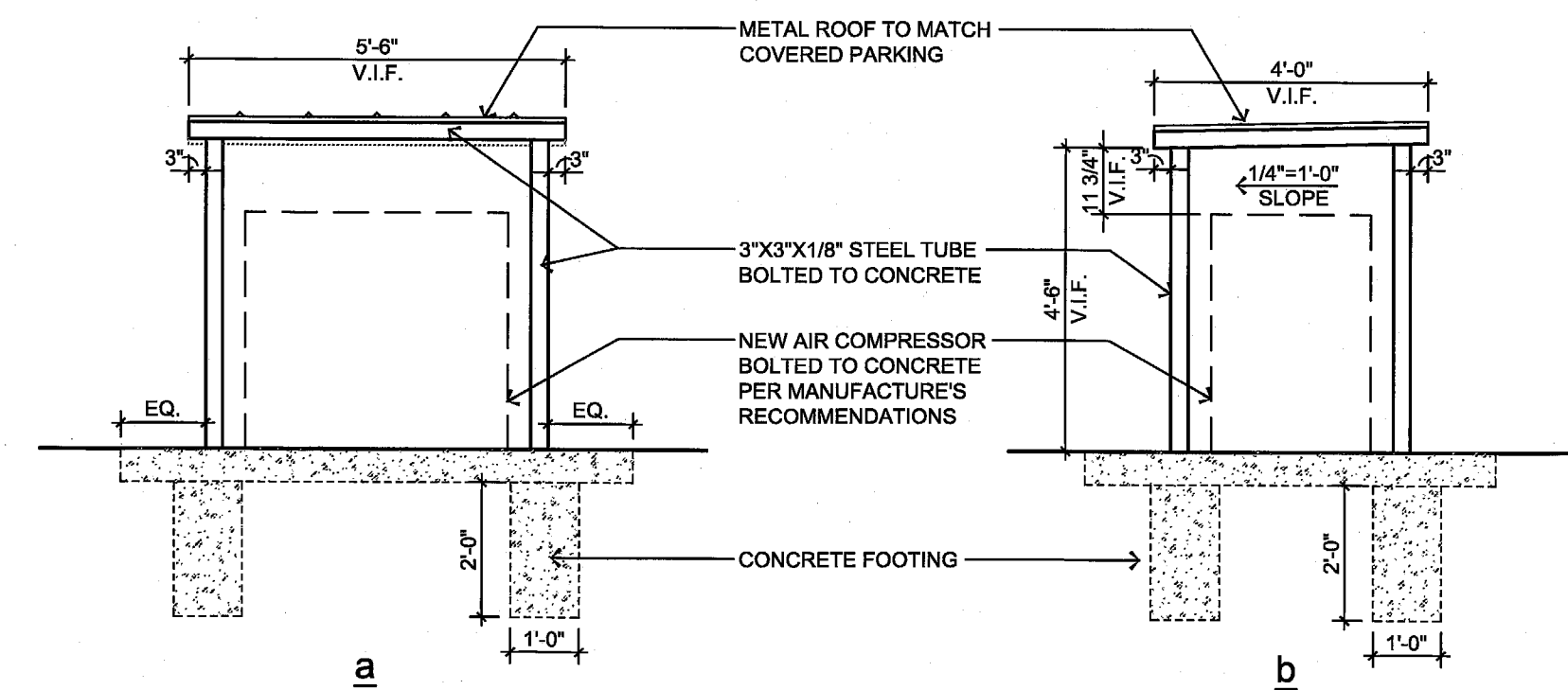
03 PLAN @ AIR COMPRESSOR  
1/4"=1'-0"



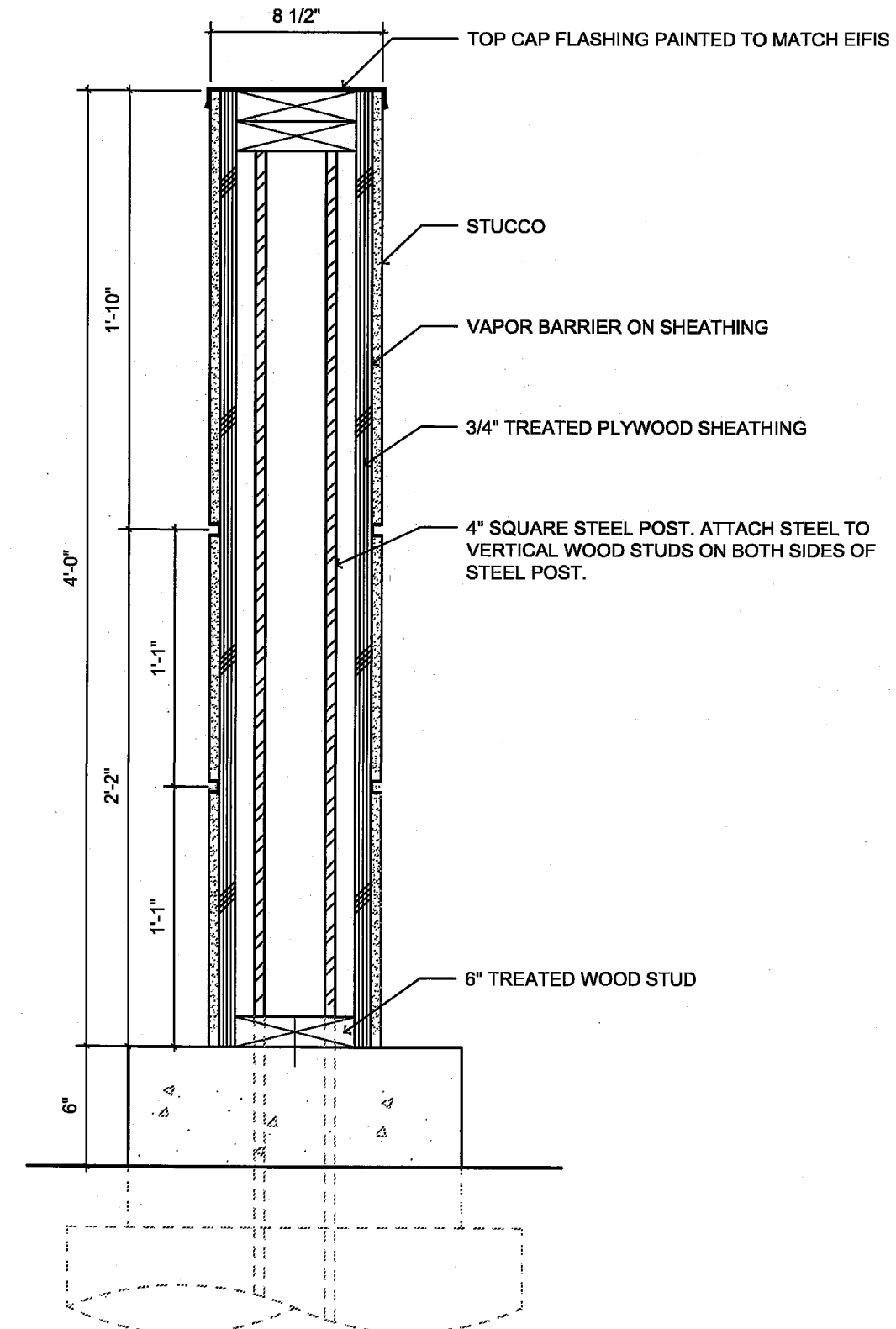
04 PLAN @ BICYCLE POST  
1/4"=1'-0"



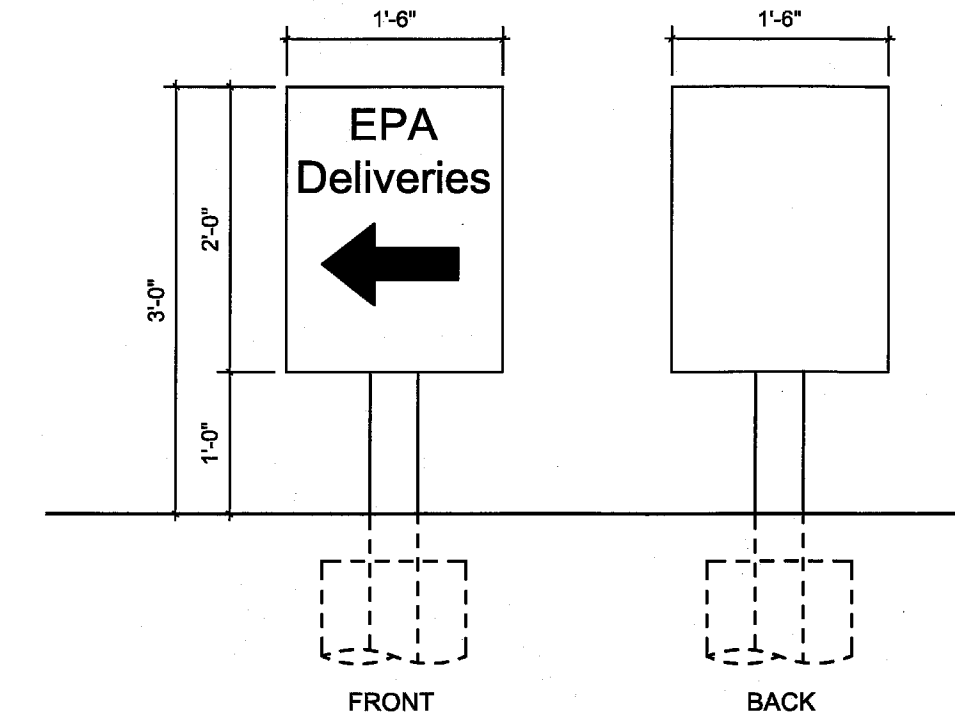
05 PLAN @ WATER HYDRANT  
1/4"=1'-0"



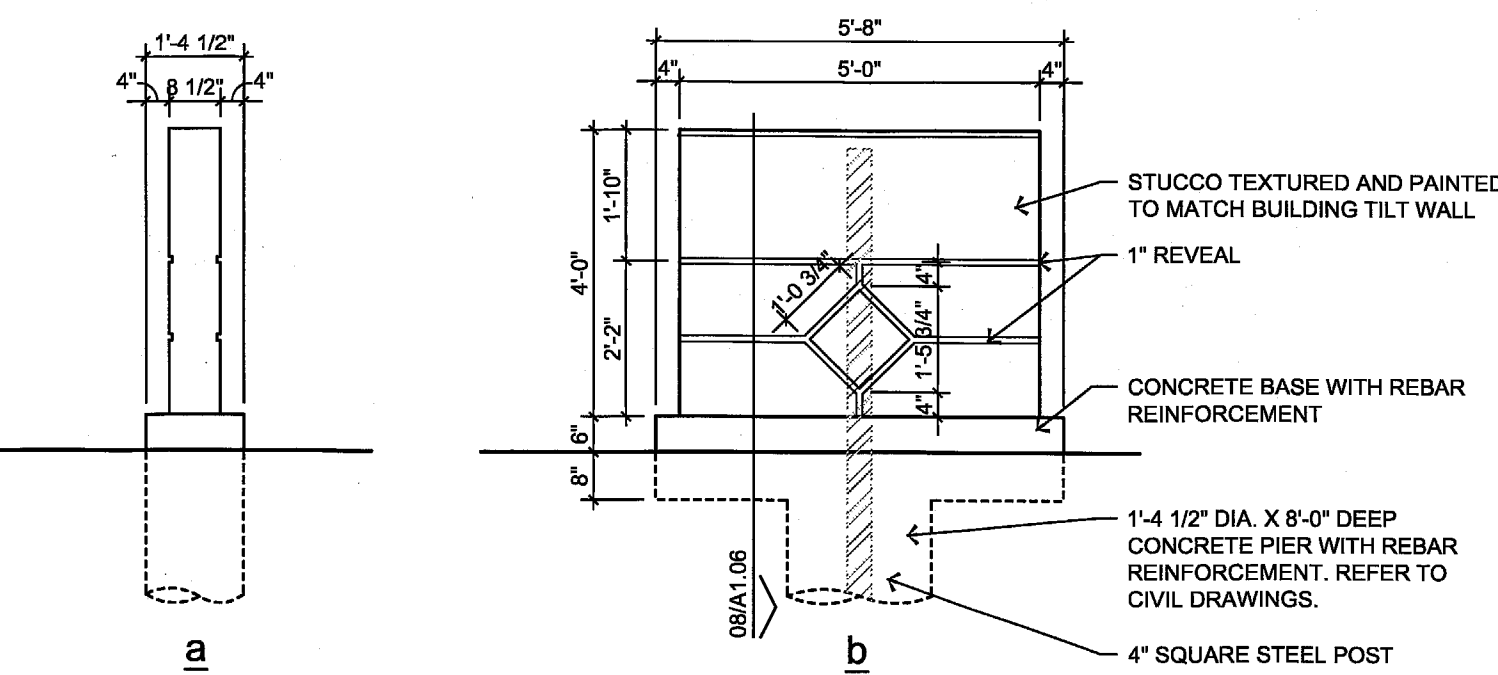
06 ELEVATION @ COMPRESSOR  
3/8"=1'-0"



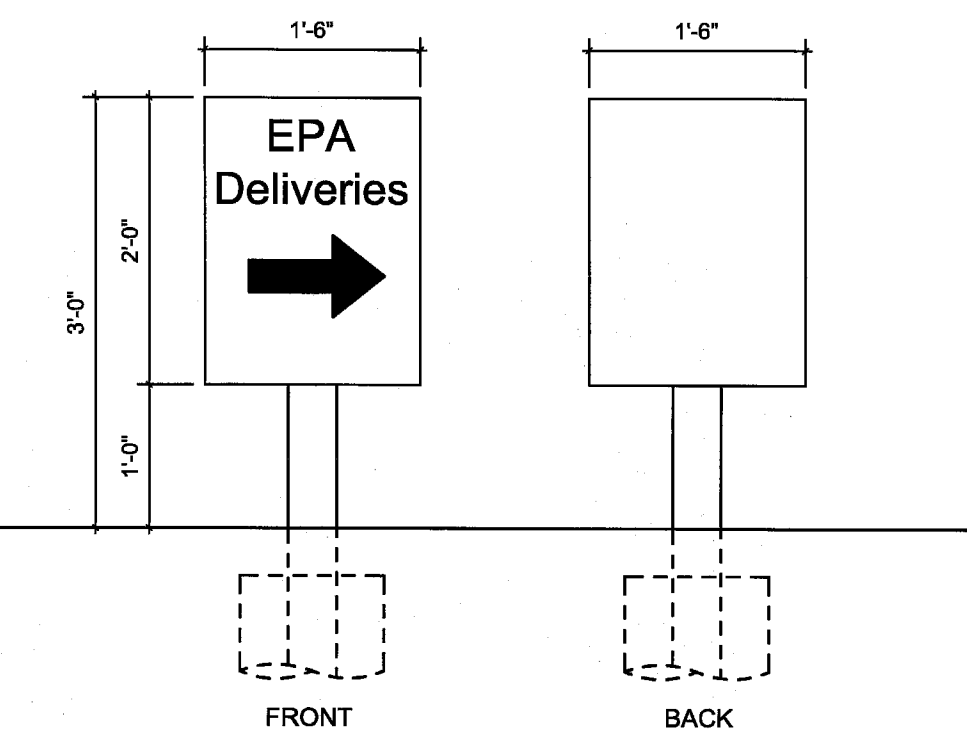
08 MONUMENT DETAIL  
1-1/2"=1'-0"



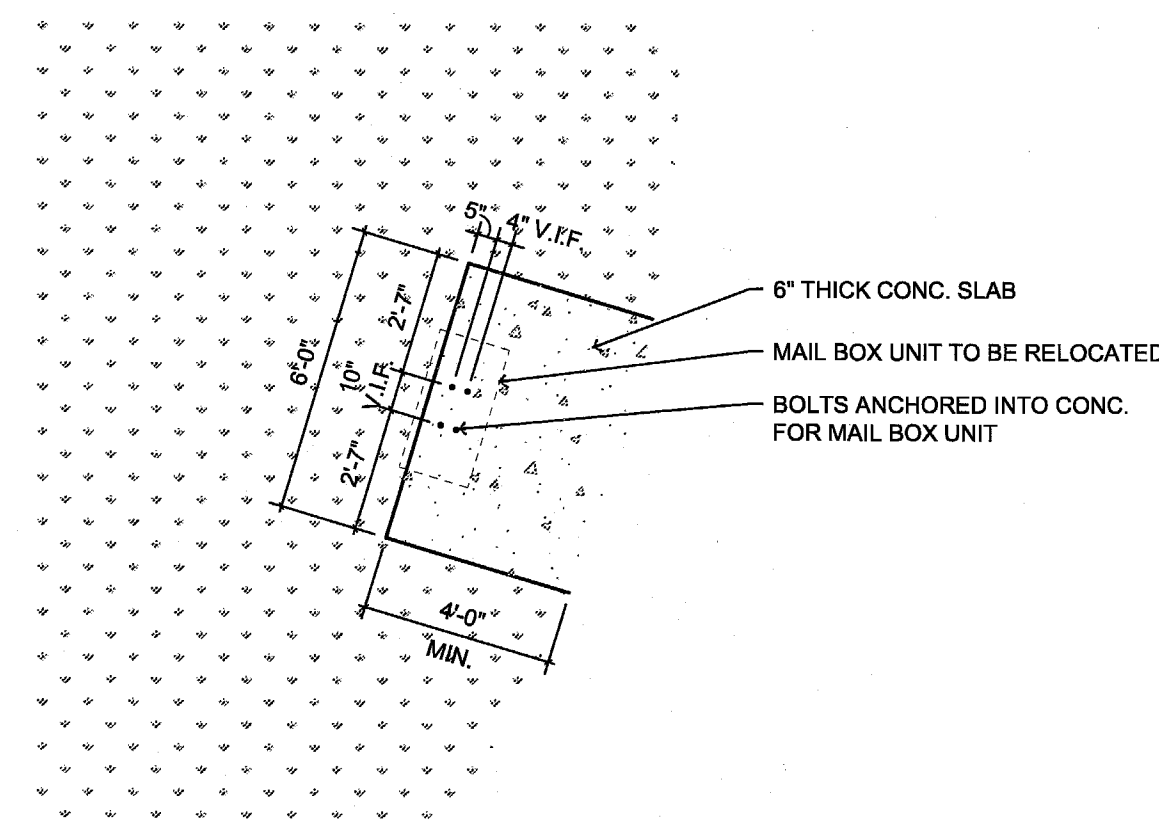
11 DIRECTIONAL SIGN  
3/4"=1'-0"



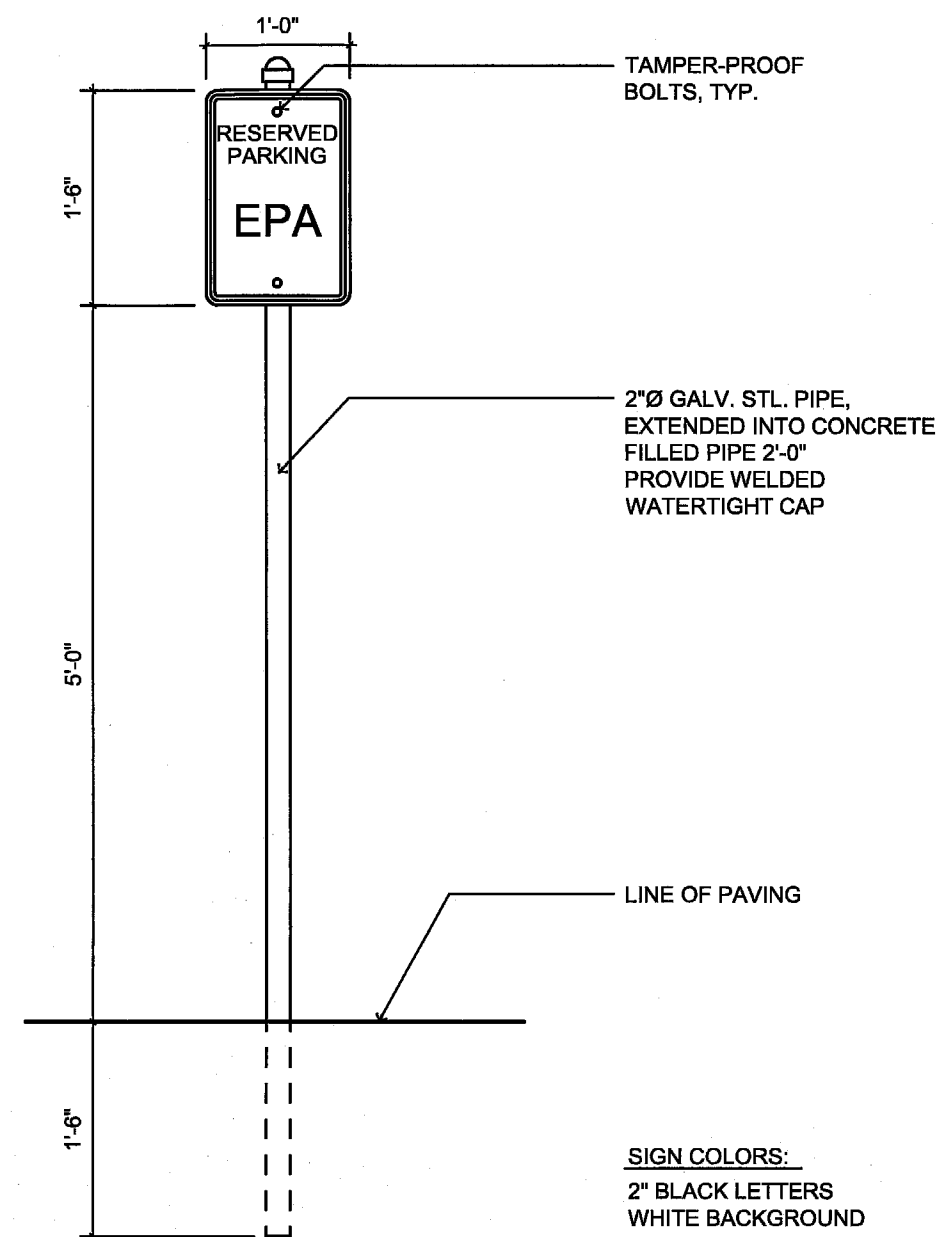
07 MONUMENT SIGN  
3/8"=1'-0"



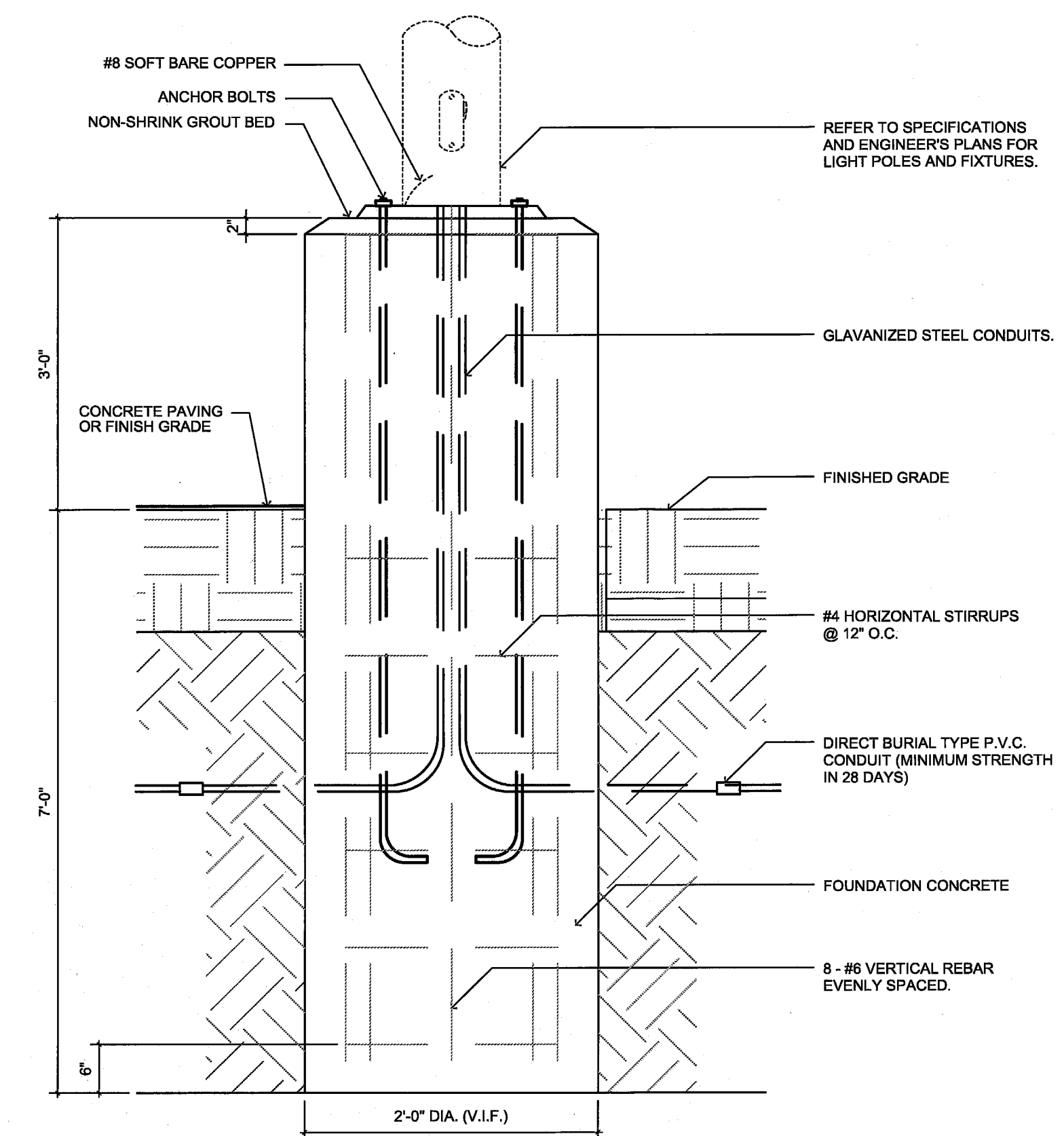
09 DIRECTIONAL SIGN  
3/4"=1'-0"



10 PLAN @ MAIL BOX PAD  
1/4"=1'-0"



12 DETAIL @ HC SIGN MOUNTED ON BUILDING  
3/4"=1'-0"



13 DETAIL @ PARKING LIGHT FOUNDATION  
3/4"=1'-0"

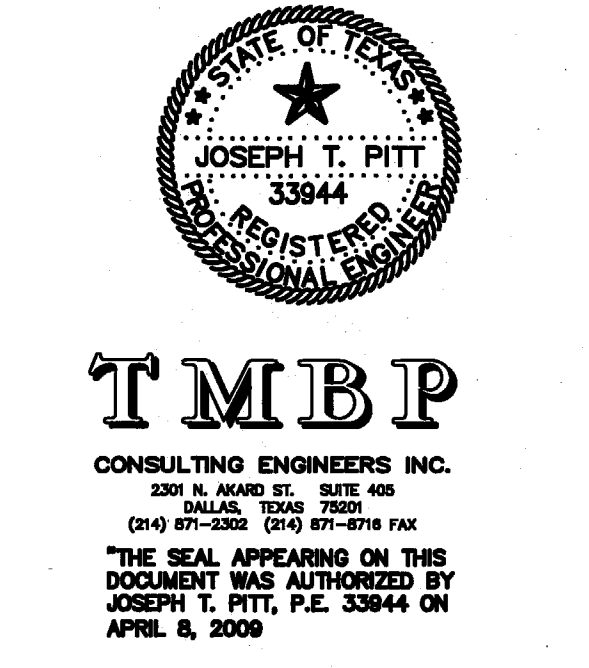
PROJECT:  
**UNITED STATES ENVIRONMENTAL PROTECTION AGENCY**  
16650 WESTGROVE DRIVE SUITES 200 & 300 ADDISON, TEXAS 75001  
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ARCHITECT'S SEAL:

CONSULTANT:



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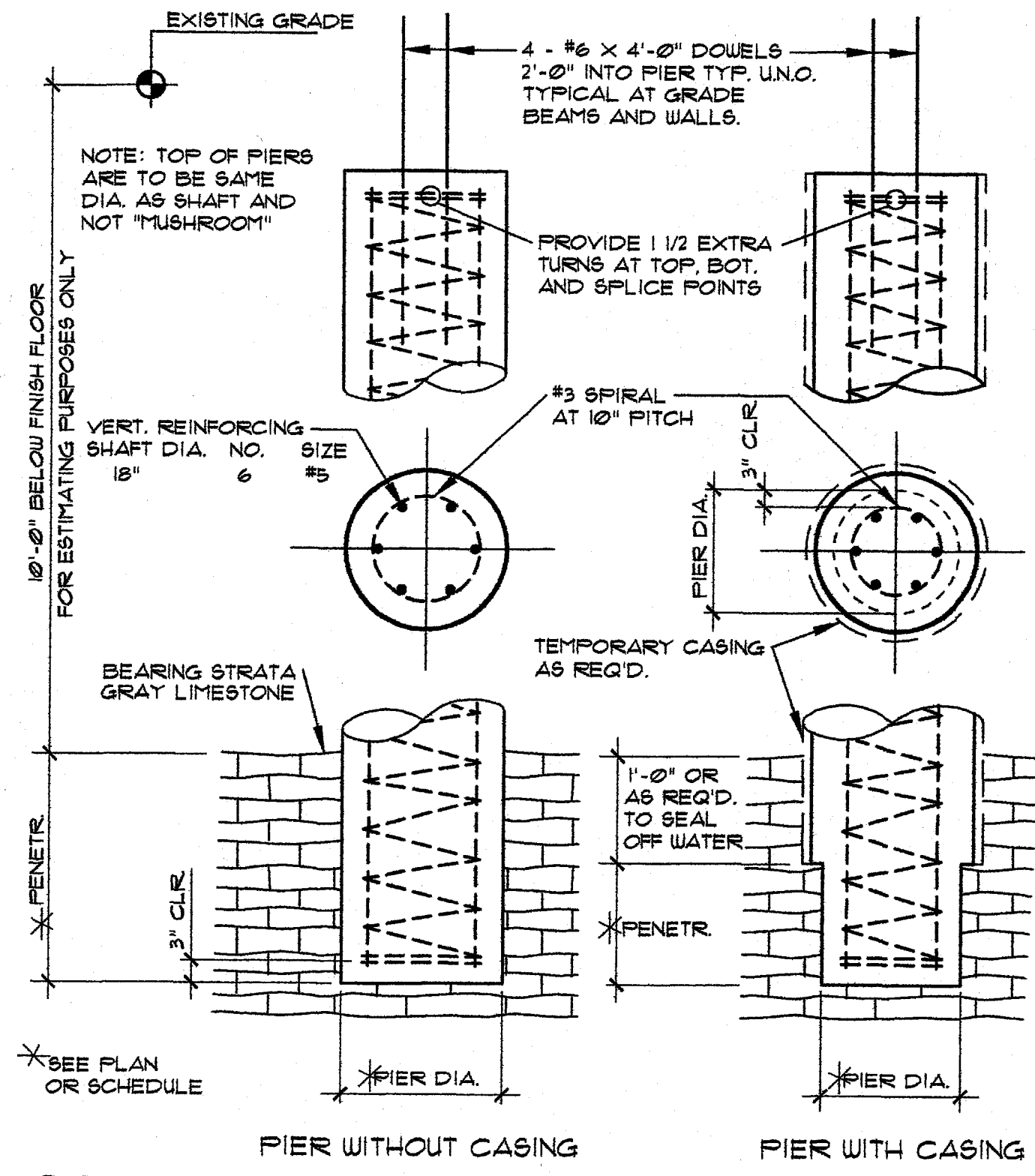
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**C1.08**



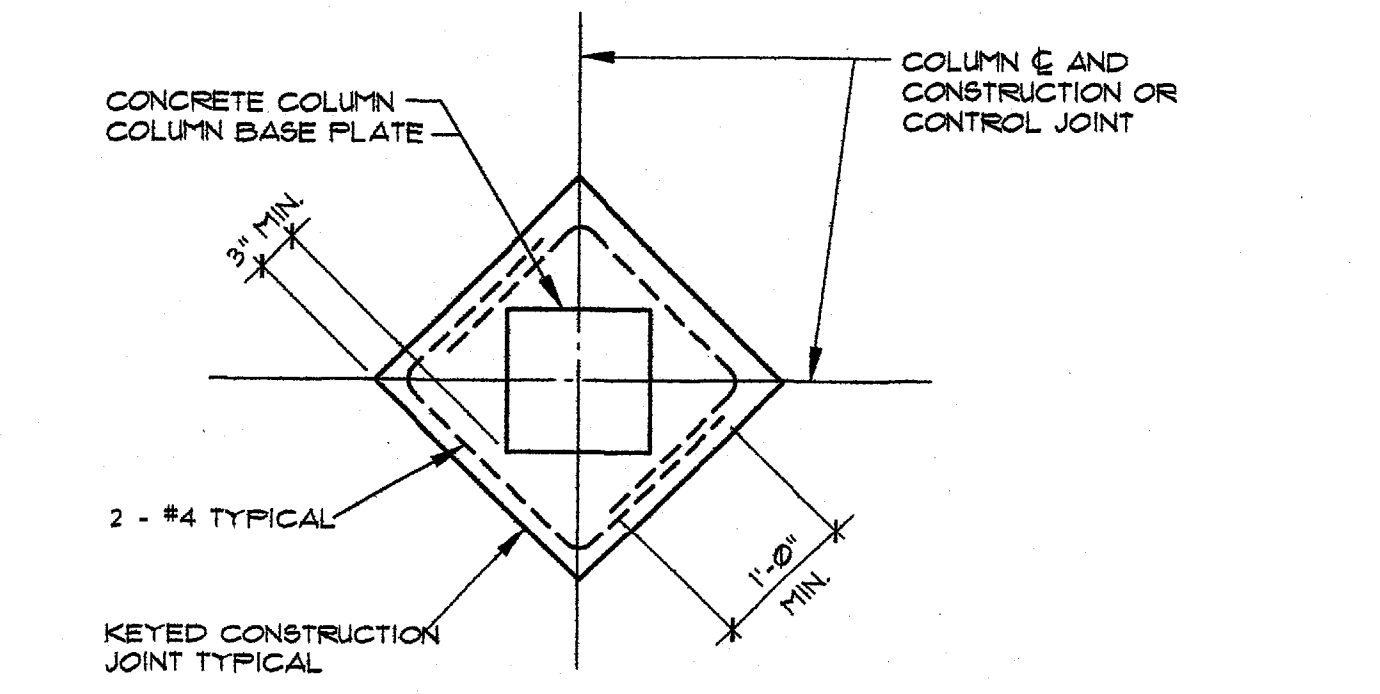
**GENERAL NOTES**

- THIS PROJECT SHALL MEET ALL REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AND THE CITY OF ADDISON, TEXAS.
- DESIGN LOADS:  
ROOF = 20 PSF  
WIND LOAD  
BASIC WIND SPEED = 90 MPH  
W = 1.0  
WIND EXPOSURE C  
ROOF  
NET UPLIFT IS PSF
- FOUNDATIONS ARE DESIGNED TO MEET THE RECOMMENDATIONS CONTAINED IN A REPORT PREPARED FOR THIS PROJECT BY CHJ ENGINEERING, INC. DATED MARCH 2009.
- FOUNDATION DESIGN IS BASED ON AN ALLOWABLE BEARING VALUE OF 40,000 PSF AND AN ALLOWABLE SIDE FRICTION VALUE OF 6,500 PSF IN GRAY LIMESTONE, AT AN AVERAGE OF 10 FEET BELOW EXISTING GRADE. DRILLED PIER SHAFT SIZES SHOWN ARE MINIMUM PER STRUCTURAL REQUIREMENTS.
- ALL FILL MATERIAL SHALL HAVE A MINIMUM PLASTICITY INDEX OF 4 AND A MAXIMUM PLASTICITY INDEX OF 12 WITH A LIQUID LIMIT OF 30 OR LESS, AND SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF ASTM D698 (STANDARD PROCTOR) UNLESS OTHERWISE NOTED.
- ALL PIERS SHALL BE CENTERED UNDER COLUMNS UNLESS OTHERWISE SHOWN.
- SHOP DRAWINGS: TWO PRINTS AND ONE SET OF TRACING OF EACH DRAWING ARE TO BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW. DISTRIBUTION OF PRINTS IS TO BE MADE ONLY FROM RETURNED SETS BEARING A SIGNED REVIEW STAMP. NO WORK ON ITEMS SHOWN THEREON IS TO PROCEED UNLESS THE STAMP CLEARLY INDICATES "NO EXCEPTIONS TAKEN" OR "MAKE CORRECTIONS NOTED". GENERAL CONTRACTOR SHALL PRECHECK ALL SHOP DRAWINGS BEFORE SUBMISSION TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW THE ENGINEER TWO WEEKS FOR REVIEWING SHOP DRAWINGS.
- STRUCTURAL DRAWINGS MAY NOT BE USED AS SHOP DRAWINGS.
- PROVIDE ALL CONCRETE PADS, TRAPS, BASINS, ETC., SHOWN ON ARCHITECTURAL OR MECHANICAL DRAWINGS WHERE INDICATED TO BE SUPPLIED BY GENERAL CONTRACTOR.
- VERIFY ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS. IN CASE OF DISCREPANCY BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS, CONTRACTOR IS TO NOTIFY ARCHITECT AND OBTAIN CLARIFICATION IN WRITING PRIOR TO PROCEEDING.
- ALL CONCRETE AND METAL REINFORCEMENT SHALL BE FABRICATED AND PLACED IN CONFORMITY WITH THE "ACI STANDARD BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318-99).
- FOURD IN PLACE CONCRETE SHALL STRICTLY ADHERE TO THE PROPORTIONS ESTABLISHED IN DESIGN MIXES, CONSISTING OF THE ACTUAL MATERIALS TO BE USED DURING CONSTRUCTION, FOR THE SEVERAL STRENGTHS AND USES INTENDED. THESE DESIGN MIXES ARE TO BE PREPARED BY A PREQUALIFIED LABORATORY, AND THE MATERIALS AND TEST RESULTS ARE TO BE REVIEWED BY THE ENGINEER AND OWNER'S LAB PRIOR TO USE.
- FOURD IN PLACE CONCRETE IS TO BE NORMAL WEIGHT AND IS TO DEVELOP A COMPRESSIVE STRENGTH  $f'_c$  OF 3000 PSI AT 28 DAYS.
- UNLESS NOTED OTHERWISE, METAL REINFORCEMENT FOR FOURD IN PLACE CONCRETE IS TO BE ASTM A-615, GRADE 60, WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- UNLESS OTHERWISE SHOWN, ALL SLABS AND STEPS ON FILL SHALL BE REINFORCED WITH #3 BARS AT 12" CENTERS EACH WAY, SUPPORTED TWO INCHES FROM THE TOP OF SLAB, LAP 10" AT SPLICES.
- THE CONTRACTOR SHALL VERIFY DEPTHS OF PIERS BEFORE PIER STEEL IS CUT. PIER STEEL SHALL BE DELIVERED TO THE JOB SITE IN STANDARD 60"-0" LENGTHS AND CUT AS REQUIRED. CLASS B LAPS WILL BE ALLOWED IN THE PIER STEEL. NO MORE THAN 90% OF THE BARS ARE TO BE LAPPED IN ANY 5'-0" LENGTH OF THE PIER.
- ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN CONFORMITY WITH THE REQUIREMENTS OF THE 9TH EDITION, AISC MANUAL OF STEEL CONSTRUCTION.
- UNLESS OTHERWISE SHOWN OR NOTED, CONNECTIONS AT NONCONTINUOUS JOINTS SHALL BE DETAILED AS REQUIRED BY PART 4, CONNECTIONS FOR THE END REACTION FOR BEAMS AS TABULATED IN PART 2. FIELD CONNECTIONS AT NONCONTINUOUS JOINTS ARE TO BE BOLTED OR WELDED, SHOP CONNECTIONS TO BE WELDED.
- EXCEPT AS SHOWN OR NOTED, ALL STRUCTURAL SHAPES ARE TO BE ASTM A-992 OR 50 MATERIAL. TUBE STEEL TO BE FT 46 K51, ASTM A500, GRADE B. STRUCTURAL PLATES AND MISCELLANEOUS STEEL SHALL BE ASTM A36 MATERIAL.
- ALL WELDS SHALL BE MADE ONLY BY PREQUALIFIED WELDERS PER AWS D11 CERTIFIED WITHIN THE LAST 12 MONTHS. ALL WELDS SHALL BE MADE USING E70 ELECTRODES. ALL WELDS TO BE MINIMUM 3/16 INCH FILLET CONTIGUOUS WELDS UNLESS NOTED OTHERWISE.
- ERECTION TOLERANCES SHALL CONFORM TO THE AISC CODE OF STANDARD PRACTICE EXCEPT THAT THE MAXIMUM TOTAL DISPLACEMENT AT THE CENTERLINES OF ANY COLUMN FROM THE ESTABLISHED COLUMN CENTERLINES SHALL NOT EXCEED 1/2 INCH AT ANY LEVEL.
- A RECOGNIZED TESTING LABORATORY, REVIEWED BY THE STRUCTURAL ENGINEER, SHALL BE ENGAGED FOR THE PURPOSE OF SHOP AND FIELD INSPECTION. THE LABORATORY SHALL ASSURE THAT APPROVED WELDING MATERIALS AND SEQUENCES ARE USED, AND SHALL CERTIFY IN WRITING THAT THE QUALITY AND STRENGTH REQUIREMENTS OF ALL CONNECTIONS HAVE BEEN ATTAINED AND THAT ALL TOLERANCES ARE WITHIN SPECIFIED LIMITS.
- PROVIDE BOLTS AND HUNCH HOLES IN STRUCTURAL AND MISCELLANEOUS METAL FOR ATTACHMENT OF WOOD NAILERS AS REQUIRED ON THE ARCHITECTURAL, MECHANICAL OR STRUCTURAL DRAWINGS.
- ALL STRUCTURAL AND MISCELLANEOUS METAL IS TO BE CLEANED PRIOR TO SHOP PAINTING AND SHIPMENT IN ACCORD WITH THE STRUCTURAL STEEL PAINTING COUNCIL REQUIREMENTS FOR THE FOLLOWING GRADE: POWER TOOL.
- ALL EXPOSED STEEL SHALL BE HOT DIP GALVANIZED AND PAINTED PER ARCHITECTURAL REQUIREMENTS.
- PROVIDE MINIMUM 1/4 INCH CAP PLATE AT ENDS OF ALL TUBE STEEL MEMBERS, UNLESS NOTED OTHERWISE.
- ROOF DECK SHALL BE A 3 1/2" 16 GAGE, VERSA-DEK 35LB, AS MANUFACTURED BY METAL DEK GROUP OR EQUAL, MEETING THE REQUIREMENTS OF THE STEEL DECK INSTITUTE. DECK SHALL BE CONTINUOUS OVER ALL SPANS AND SHALL BE WELDED TO THE SUPPORTING STEEL WITH 5/8" DIAMETER PUDDLE WELDS. WELDS TO BE 6" O.C. AT END LAPS AND INTERMEDIATE SUPPORTS. EQUIVALENT SCREW ATTACHMENT IS ACCEPTABLE.
- SECURE PERIMETER OF DECK TO STRUCTURAL MEMBERS WITH 5/8" DIAMETER PUDDLE WELDS AT 6" O.C. UNLESS SHOWN OTHERWISE. AT PERIMETER MEMBERS RUNNING PARALLEL TO DECK ATTACH WITH 5/8" DIAMETER PUDDLE WELDS AT 12" O.C. (OR SCREWS).
- SIDE LAPS SHALL HAVE MINIMUM OF TWO #10 TKS FASTENERS PER SPAN AT MAXIMUM SPACING OF 3'-0" O.C.
- WHERE PARTIAL PANELS MAY BE REQUIRED TO COMPLETE DECK INSTALLATION AT PERIMETER OF STRUCTURE, PROVIDE WELDS IN EACH FLUTE TO STRUCTURAL MEMBERS.
- CEILING LIGHT FIXTURES, DUCTS, ETC., SHALL NOT BE SUPPORTED BY STEEL DECK.



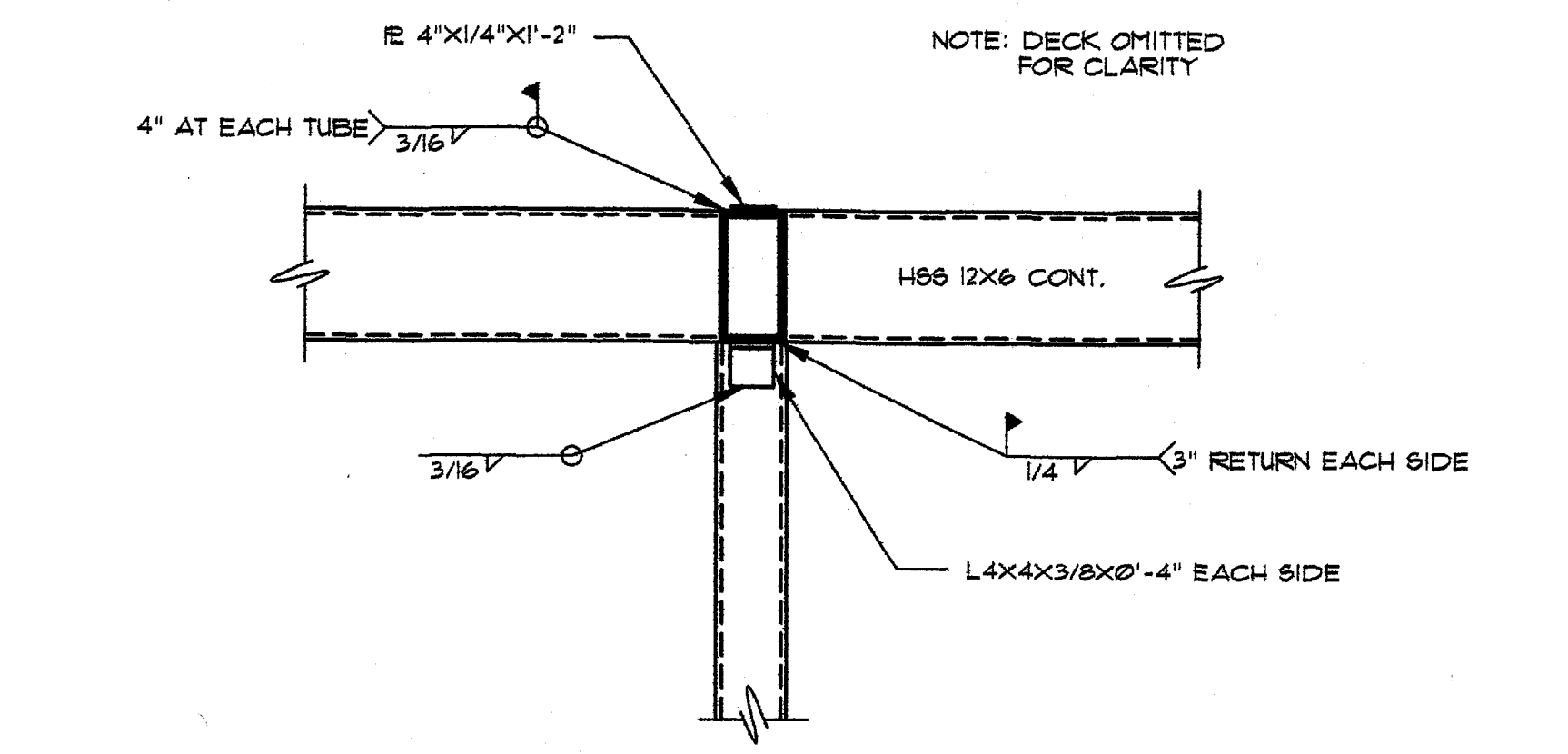
**01 TYPICAL DRILLED PIER**

NOT TO SCALE



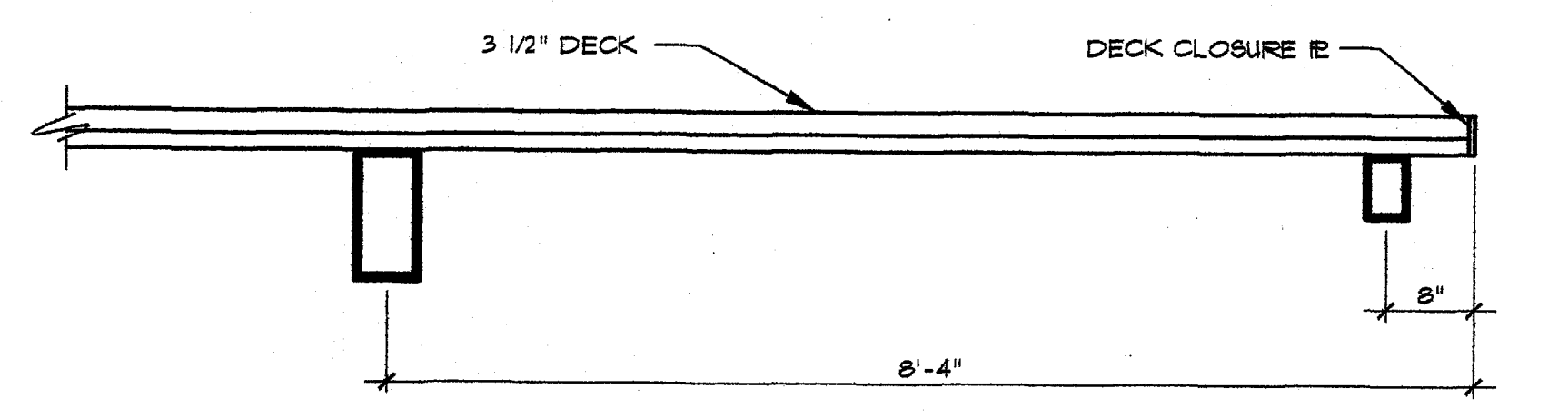
**02 TYPICAL INT. COL. BLOCK-OUT**

NOT TO SCALE



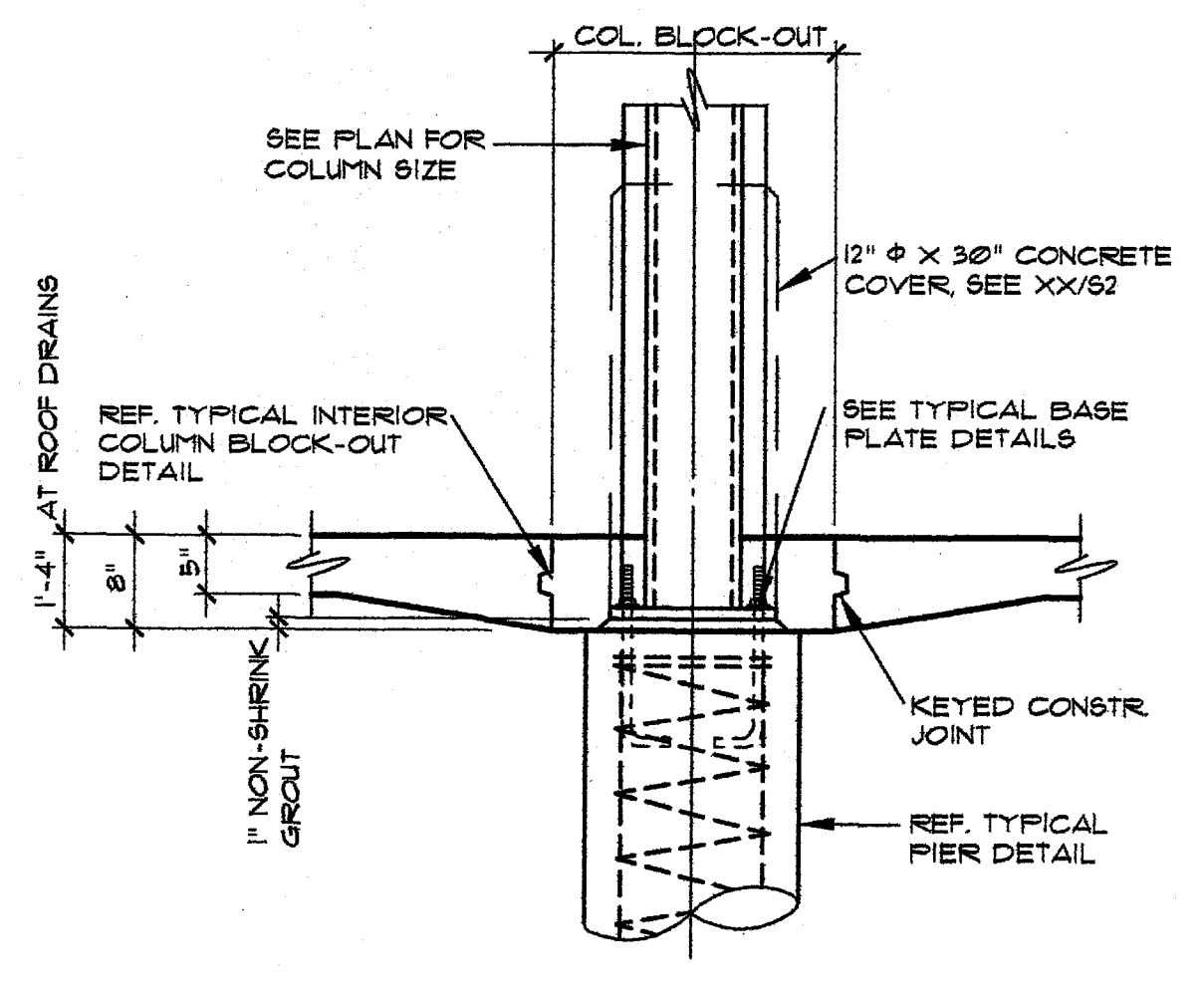
**05 SECTION**

3/4" x 1'-0"



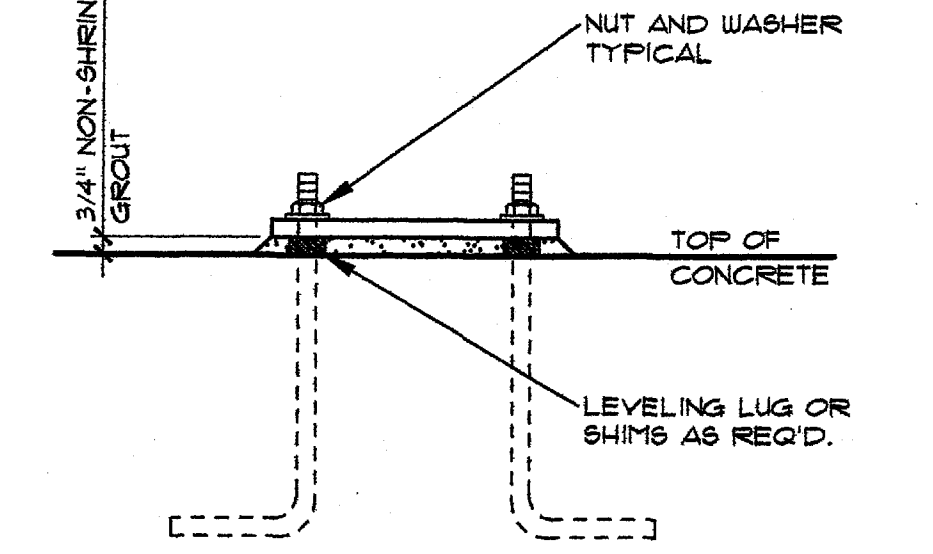
**07 SECTION**

3/4" x 1'-0"



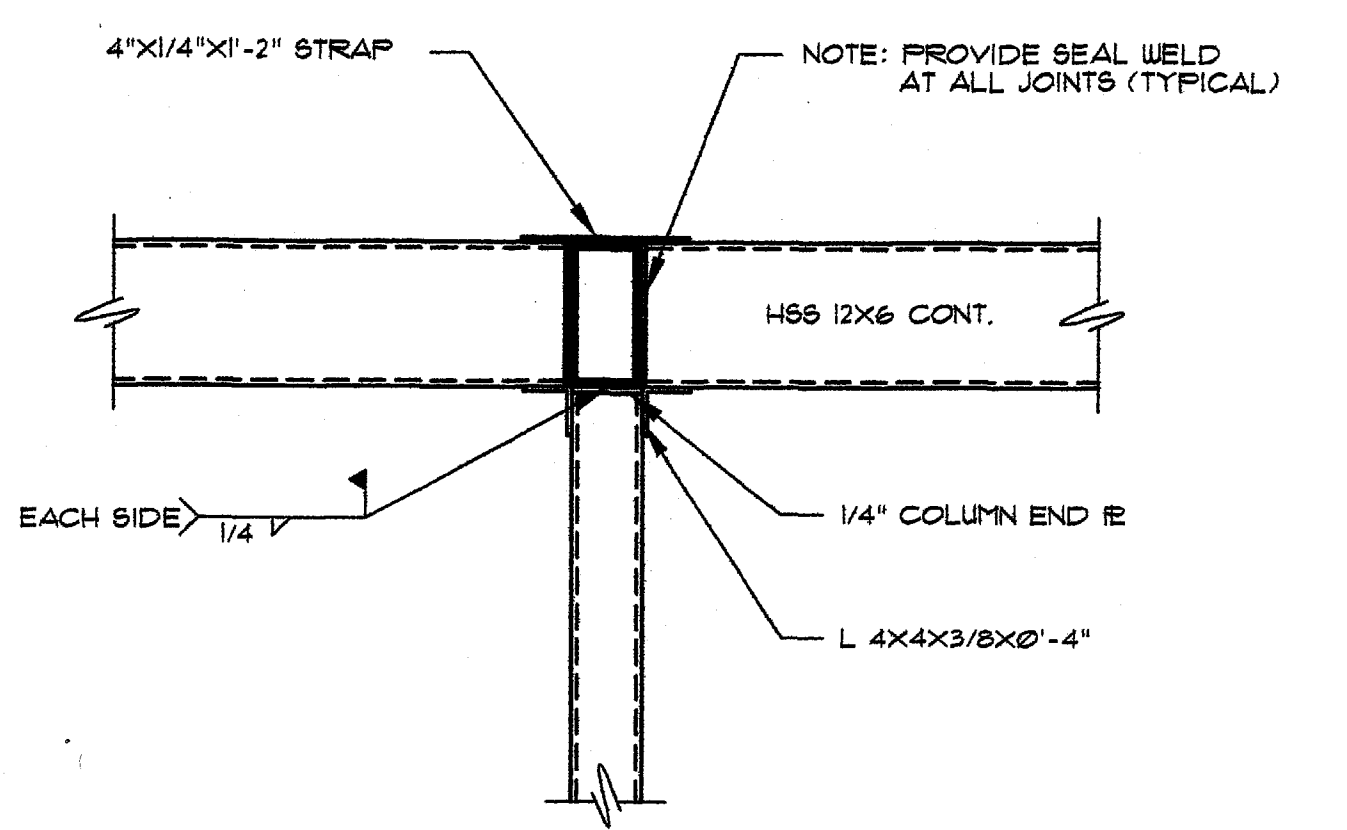
**03 TYPICAL COLUMN TO PIER**

NOT TO SCALE



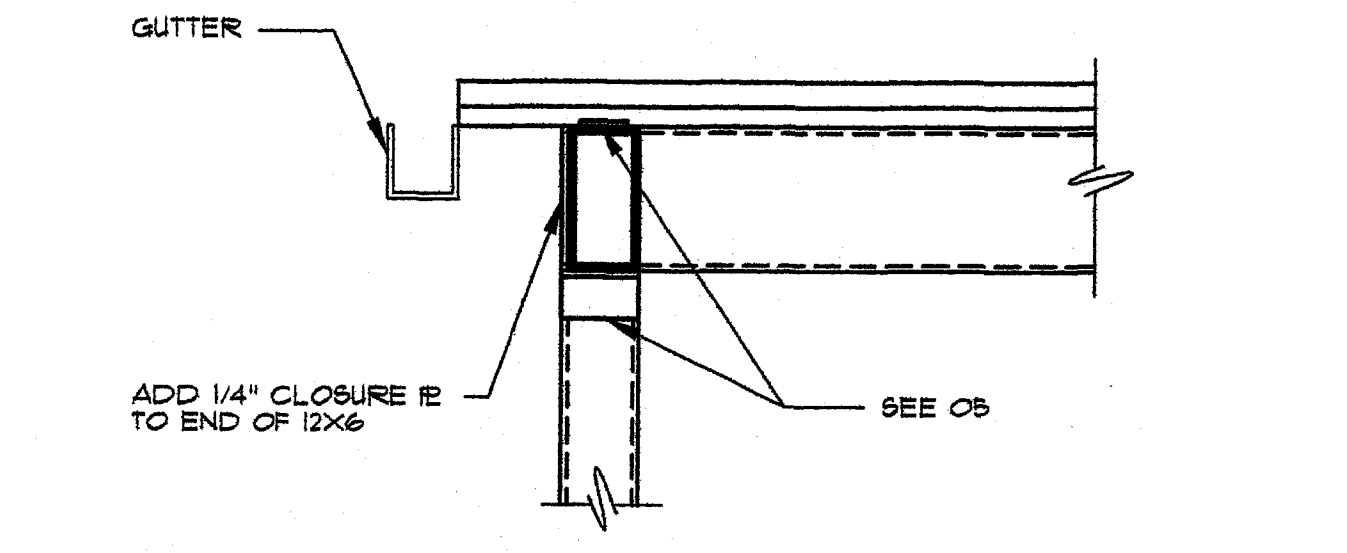
**04 TYPICAL BASE PLATE DETAILS**

NOT TO SCALE



**06 SECTION**

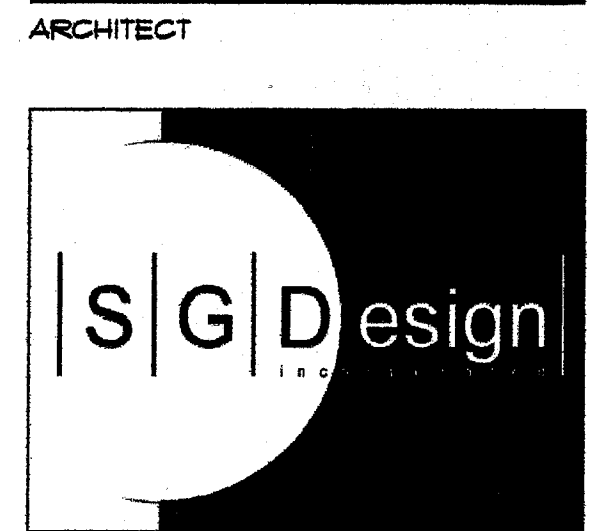
3/4" x 1'-0"



**08 SECTION**

3/4" x 1'-0"

PROJECT:  
**UNITED STATES ENVIRONMENTAL PROTECTION AGENCY**  
16650 WESTGROVE DRIVE SUITES 200 & 300 ADDISON, TEXAS 75001

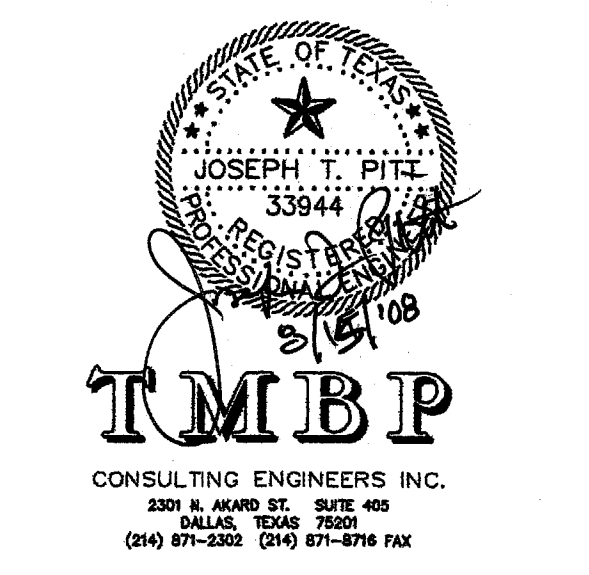


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Dallas, Texas 75226  
214-742-6044  
214-742-6041 Fax

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CONSULTANT:



ISSUE HISTORY:

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CLIENT 50% REVIEW	02/21/07
CLIENT 100% REVIEW	10/19/07
FOR BID	08/15/08

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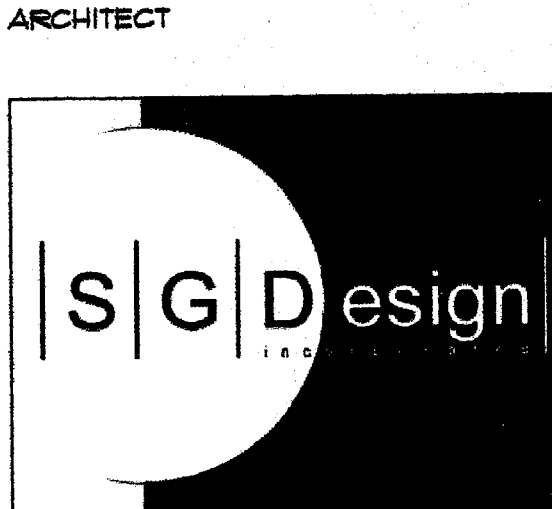
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DRAWN BY: RGM  
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GENERAL NOTES AND DETAILS  
**S1.00**



PROJECT:  
 UNITED STATES ENVIRONMENTAL PROTECTION AGENCY  
 16650 WESTGROVE DRIVE SUITES 200 & 300 ADDICK, TEXAS 75001

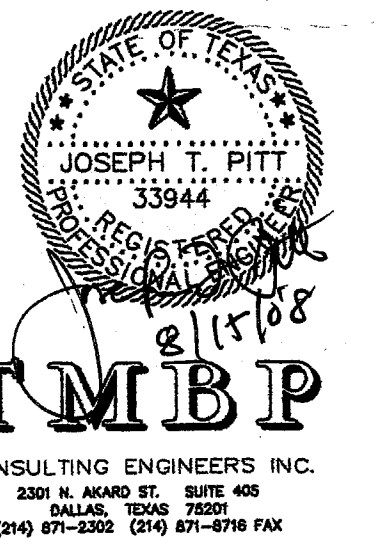


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CONSULTANT:



TMBP CONSULTING ENGINEERS INC.  
 3325 N. MEADOWS BLVD., SUITE 400  
 DALLAS, TEXAS 75245  
 (214) 671-2300 (214) 671-8716 FAX

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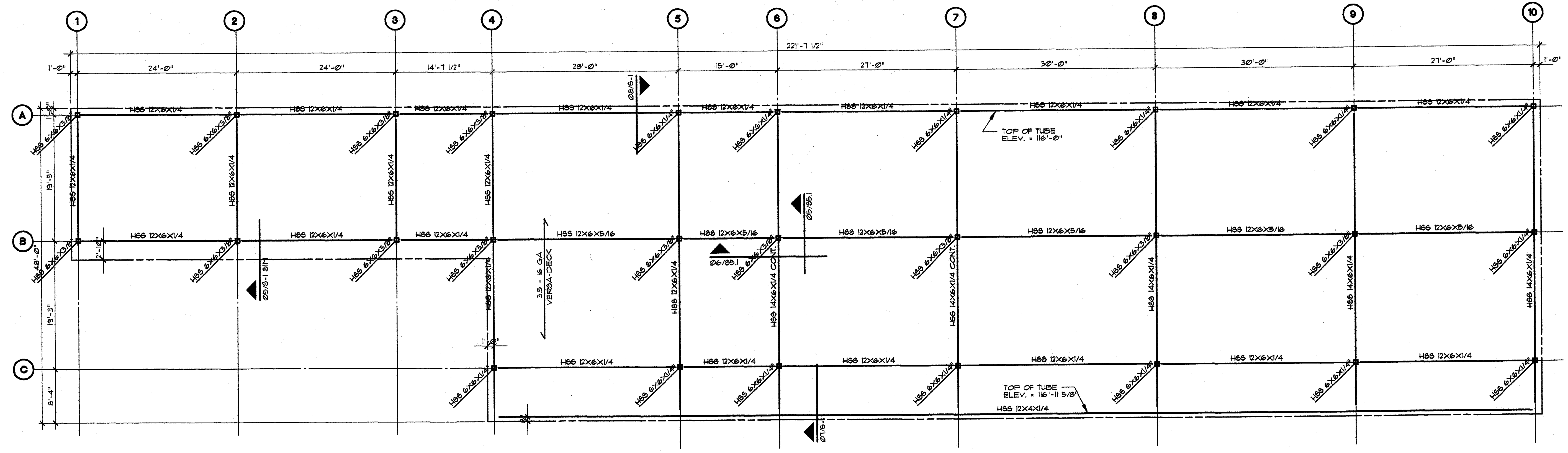
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	09/15/08

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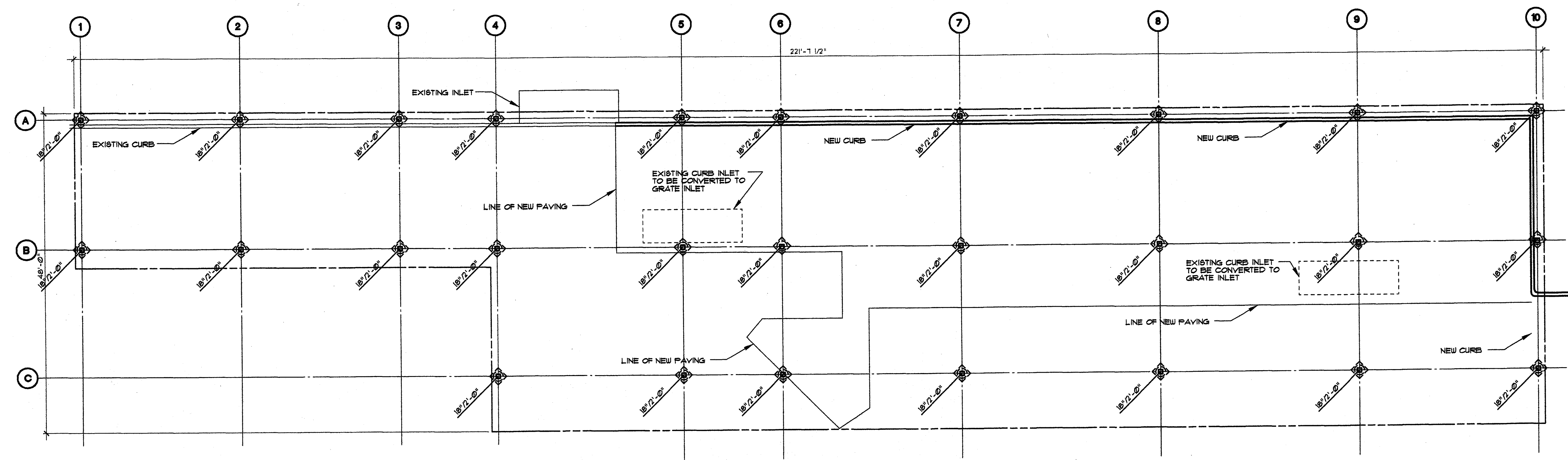
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FOUNDATION PLAN  
 ROOF FRAMING PLAN  
**S2.00**



**02 ROOF FRAMING PLAN**  
 1/8" = 1'-0"



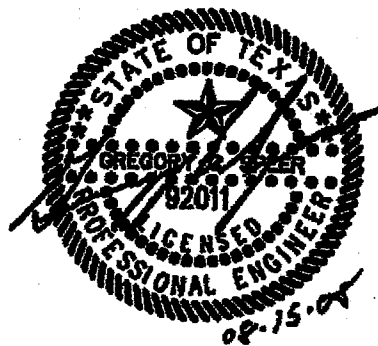
**01 FOUNDATION PLAN**  
 1/8" = 1'-0"

ARCHITECT



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ARCHITECT'S SEAL:



CONSULTANT:



ISSUE HISTORY:

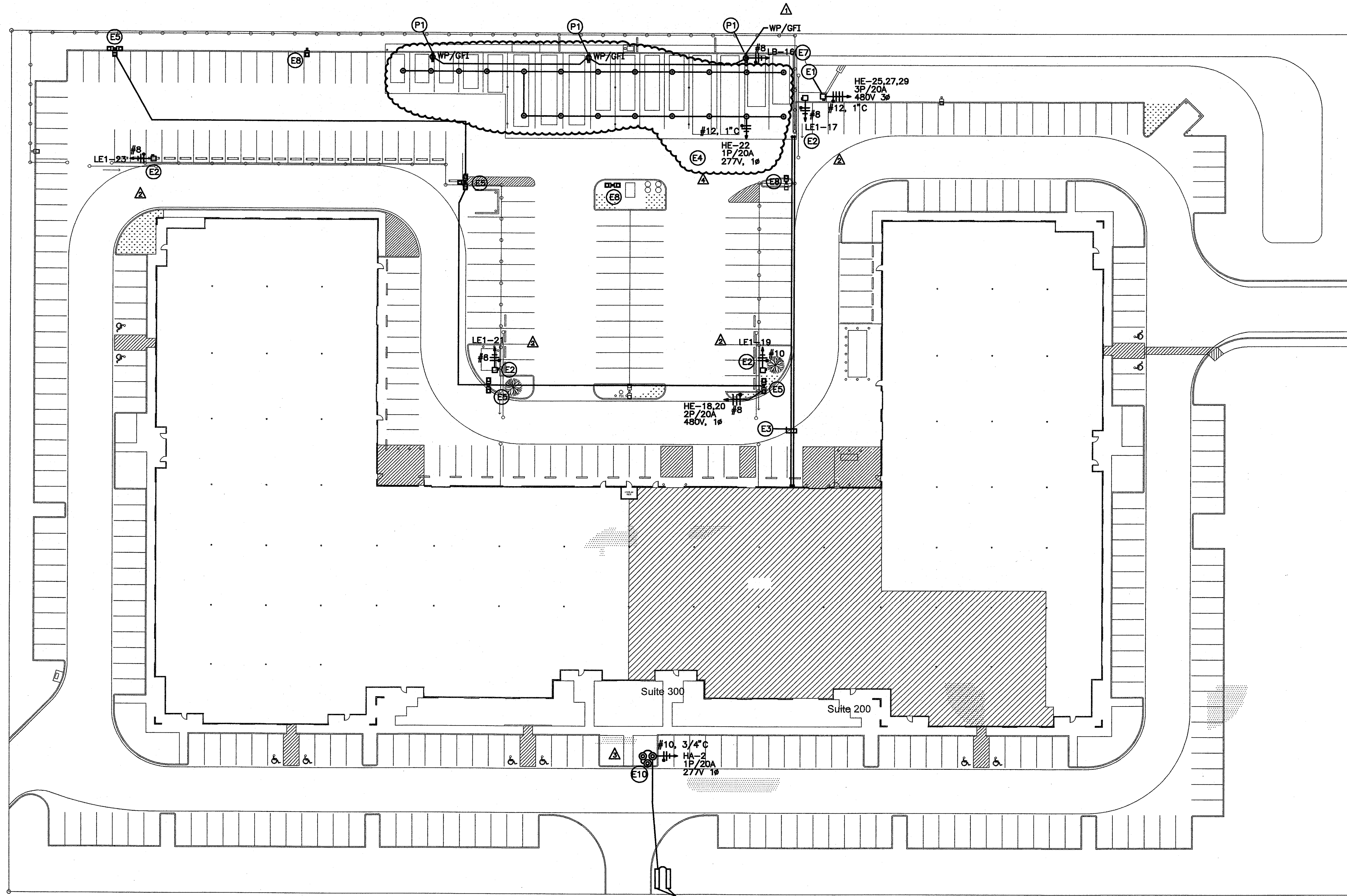
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PERMIT	10/19/07
100% RE-SUBMITTAL 1	11/08/07
100% RE-SUBMITTAL 2	5/02/08
CLIENT REVIEW	5/20/08
CLIENT REVIEW	8/17/08
100% RE-SUBMITTAL 4	8/26/08
BID	8/15/08

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SHEET NUMBER:

**ELECT/PLUMB SITE PLAN**  
**EP-1**



**PLUMBING NOTES:**

- (P1) PROVIDE YARD HYDRANT EQUAL TO WOODFORD MODEL S3, BACKFLOW PROTECTED, AUTOMATIC DRAINING AND FREEZELESS.

LOCATE MONUMENT SIGN LIGHTS ON BOTH SIDES OF SIGN

**1 SITE PLAN - ELECTRICAL / PLUMBING**  
 SCALE: 1" = 30'-0"

**ELECTRICAL NOTES:**

- (E1) CONTRACTOR TO INSTALL CIRCUIT TO AIR COMPRESSOR AT NEW COVERED PARKING AREA. COORDINATE EXACT CIRCUITRY REQUIREMENTS WITH MANUFACTURER PRIOR TO ROUTING CIRCUIT.
- (E2) CONTRACTOR TO INSTALL CIRCUIT TO GATE MOTOR. COORDINATE EXACT CIRCUITRY REQUIREMENTS WITH MANUFACTURER PRIOR TO ROUTING CIRCUITRY. INSTALL UNISTRUT STRUCTURE AS REQUIRED TO MOUNT DISCONNECT. ROUTE POWER IN 3/4" C, ALSO ROUTE ADDITIONAL 1" C TO EACH GATE FOR SECURITY CONTROL WIRING, COORDINATE IN FIELD WITH TENANT.
- (E3) IN ADDITION TO POWER CONDUITS IN NOTES E1 & E2, CONTRACTOR TO ALSO INSTALL (2) 2" EMPTY CONDUITS WITH PULL STRINGS TO NEW COVERED PARKING AREA. VERIFY EXACT SOURCE/TERMINATION POINTS AND EXACT CONDUIT SIZES AND QUANTITIES WITH TENANT PRIOR TO INSTALLATION.
- (E4) ROUTE CIRCUIT FOR CANOPY LIGHTS. VERIFY EXACT QUANTITY AND LOCATIONS OF CANOPY LIGHTS WITH ARCHITECT/TENANT PRIOR TO PURCHASE AND INSTALLATION. INSTALL PHOTOCCELL TO CONTROL CIRCUIT.
- (E5) PROVIDE POWER TO NEW POLE LIGHTS AS SHOWN. VERIFY VOLTAGE WITH MANUFACTURER PRIOR TO ROUTING CIRCUITRY.
- (E6) FOR ALL CONDUITS IN NOTES E1-E5, CONTRACTOR TO TRENCH EXISTING PARKING LOT BETWEEN BUILDING AND NEW COVERED PARKING AREA TO ALLOW INSTALLATION OF CONDUITS. COORDINATE TRENCHING PATH WITH ARCHITECT. PATCH AND REPAIR SURFACE AFTER WORK IS COMPLETED.

- (E7) VERIFY EXACT RECEPTACLE MOUNTING LOCATIONS WITH ARCHITECT.
- (E8) RELOCATE EXISTING POLE CIRCUITRY TO NEW LOCATION. VERIFY EXACT REQUIREMENTS IN FIELD.
- (E9) VERIFY EXACT SECURITY CONDUIT AND J-BOX REQUIREMENTS FOR ENTIRE PARKING AREA WITH TENANT. INSTALL ADDITIONAL CONDUITS/BOXES AS DIRECTED.
- (E10) INSTALL (3) FIXTURES IN A TRIANGULAR PATTERN AROUND FLAGPOLE AS SHOWN. FIXTURES TO BE SET BACK 4' FROM POLE. FLAG TO BE FULLY ILLUMINATED TO MATTER WHICH DIRECTION IT IS FLYING.

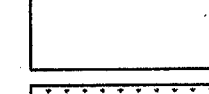

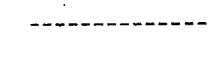
LIGHTING FIXTURE SCHEDULE			
DESCRIPTION	CATALOG No.	LAMP	VOLTAGE
⊙ CANOPY LIGHT AT COVERED PARKING	McGRAW EDISON PSC-114-CF-277 VERIFY FINISH W/ ARCHITECT	(2) 57W COMPACT FLOURESCENT	277V
⊙ FLAG POLE LIGHT	GREENLEE RDS SERIES RDS-100MH-277-SPV	(1) 100W MH	277V
▬ MONUMENT SIGN LIGHT	HYDREL 4754-54TSH0-MVOLT-WWD-KM-TPH NOTE 2	(1) 54W TSH0	277V

- NOTES:
- SUBMIT ALL LIGHT FIXTURES TO ARCHITECT/ENGINEER FOR APPROVAL. VERIFY ALL FINISHES WITH ARCHITECT.
  - VERIFY EXACT LENGTH OF SIGNAGE WITH ARCHITECT PRIOR TO ORDERING FIXTURE. ADJUST LENGTH OF FIXTURE TO MATCH SIGNAGE.

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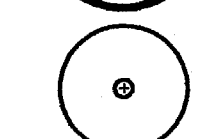
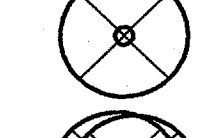



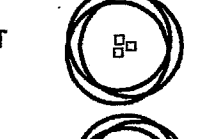
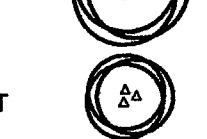
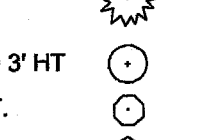
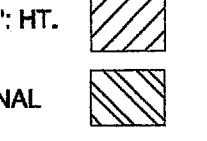


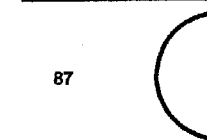
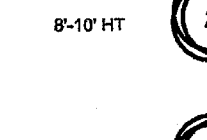


**SITE PLAN LEGEND**

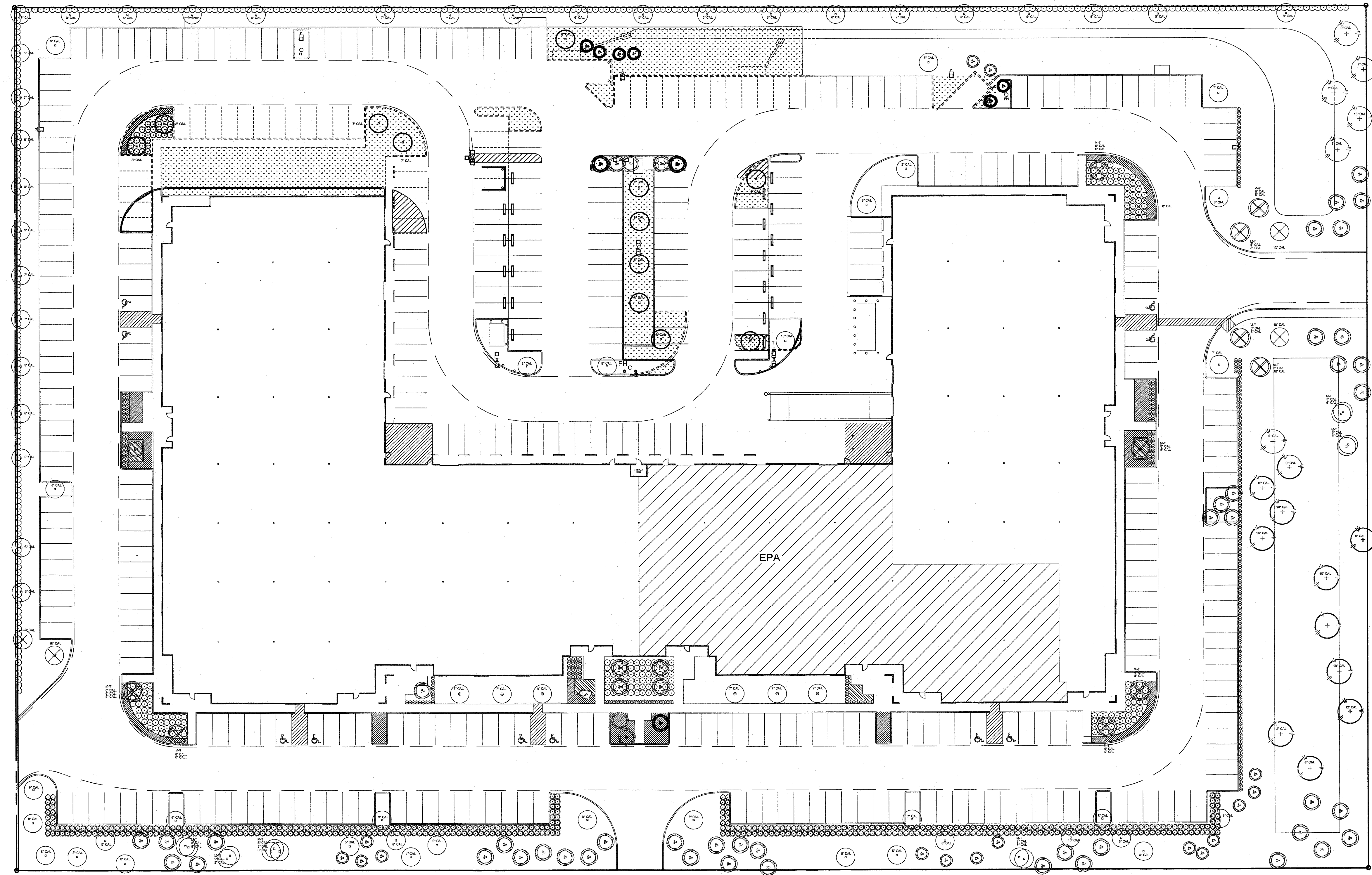
-  EXISTING LANDSCAPE (PERVIOUS) AREA TO REMAIN
-  EXISTING LANDSCAPE (PERVIOUS) AREA TO BE REMOVED
-  INDICATES ITEMS TO BE REMOVED

**LOT 2, BLOCK A  
 EXCEL PLAZA  
 7.771 ACRE TRACT OF LAND  
 (338,503 SF.)**

WILLIAM LOMAX SURVEY AVSTRACT NO. 792  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**PLANT KEY - EXISTING**

TOTAL CALIPER	KEY	QUAN.	NAME
154		17	BALD CYPRESS
43		06	SWEET GUM
08		01	LIVE OAK
84		06	LIVE OAK, M-T
574		80	CEDAR ELM
159		10	CEDAR ELM, M-T
09		01	TEXAS ASH
8'-10" HT		02	YAUPON HOLLY TREE
8'-10" HT		55	GRAPE MYRTLE
8'-10" HT		22	WAX MYRTLE
4'-5" HT		-	TAM JUNIPER
2'-6" TO 3' HT		-	INDIAN HAWTHORN
3'-4" HT.		-	ELEAAGNUS
2'-3'-HT.		-	BOXWOOD
FULL, 8" HT.		-	ASIAN JASMINE
SEASONAL		-	SEASONAL COLOR



**01 EXISTING LANDSCAPE**

**SITE LANDSCAPE TABULATION**

ARTICLE XXI LANDSCAPING REGULATIONS  
 SECTION 3. APPLICABILITY  
 SECTION 3, F, (3)  
 INCREASES THE NON-PERMEABLE LOT COVERAGE BY MORE THAN 2,000 SF.  
 SECTION 3, F, (4)  
 BUILDING PERMIT APPLICATIONS FOR EXTERIOR REMODELING WITH A VALUE EQUAL TO OR GREATER THAN \$10,000.00 EXCLUSIVE OF MAINTENANCE AND REPAIR.  
 SECTION 8, B TREE REPLACEMENT AND PROTECTION  
 SECTION 8, REPLACEMENT TREES, (1)  
 EVERY PROPERTY OWNER SHALL BE RESPONSIBLE FOR REPLACING DEAD OR MISSING TREES WITHIN 30 DAYS AFTER NOTIFICATION BY THE TOWN. THIS PROVISION SHALL ALSO APPLY TO TREES THAT HAVE BEEN SEVERELY DAMAGED, DISFIGURED OR TOPPED. IN ADDITION TO THIS SECTION, REPLACEMENT TREES' SIZE AND CONFIGURATION SHALL COMPLY WITH THE STANDARD SET FORTH IN SECTION 9 OF THIS ORDINANCE.  
 SECTION 8, C TREE PERMIT, (2)  
 APPLICATION FOR TREE PERMIT: TREE PERMITS SHALL BE OBTAINED BY MAKING APPLICATION TO THE DIRECTOR OF PARKS OR THE DIRECTOR'S DESIGNEE. AN APPLICATION MUST INCLUDE THE CONSENT OF THE OWNER OF THE LAND ON WHICH A TREE WHICH IS THE SUBJECT OF THE APPLICATION IS LOCATED. THE APPLICATION MUST INCLUDE A WRITTEN DOCUMENT INDICATING THE REASON FOR TRANSPLANTING AND/OR REMOVING (OR TRIMMING, IN THE CASE OF UTILITY COMPANY) OF A TREE AND A COPY OF A SITE PLAN OR PLANTING PLAN SHOWING THE TREE(S) PROPOSED FOR REMOVAL.

SECTION 9. LANDSCAPE STANDARDS AND SPECIFICATIONS  
 SECTION 9, B TREE REPLACEMENTS AND NEW PLANTINGS  
 1. REQUIRED TREES SHALL HAVE A MINIMUM OF (4) FOUR CALIPER INCHES. PROVIDED TREES THAT HAVE A MINIMUM OF (4) FOUR CALIPER INCHES.  
 2. REQUIRED TREES SHALL HAVE A MINIMUM CALIPER INCH OF (2-1/2 TO 3) TWO AND ONE HALF INCHES TO 3 INCH CALIPER.  
 SECTION 9, C SIZE AND SPACING STANDARDS  
 1. CALIPER MEASURED 12" ABOVE FINISH GRADE  
 2. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES WILL BE 6' HT.  
 3. MINIMUM SIZE IS 4 INCH CALIPER, 14'-16' HT MIN.  
 4. MAXIMUM HEIGHT IS SHALL NOT EXCEED 16' IN HT.  
 5. TREES SHALL BE HEALTHY AND FREE OF PHYSICAL DAMAGE.  
 6. THE TOWN OF ADDISON SHALL REJECT ANY TREES DELIVERED AND/OR NOT MEETING THE MINIMUM SIZE AND SHAPE STANDARDS.  
 7. GRAPE MYRTLES SHALL BE 6'-8' MIN. HT.  
 8. EVERGREEN TREES SHALL BE 8'-10' MIN. HT.  
 SECTION 10. LANDSCAPE MAINTENANCE  
 PROPERTY OWNER AND TENANTS SHALL KEEP THEIR LANDSCAPING IN A WELL-MAINTAINED, SAFE, CLEAN AND ATTRACTIVE CONDITION AT ALL TIMES. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT, INCLUDING TREES, WITHIN 30 DAYS AFTER NOTIFICATION BY THE TOWN.

**SHADE TREES AND ORNAMENTAL TREES REMOVED**

KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	12	CEDAR ELM	ULMUS CARASSIFOLIA	6" to 8" CAL.	87 TOTAL CALIPER INCH REMOVED
WM	06	WAX MYRTLE	MYRICA CERIFERA	8'-10" HEIGHT	
CM	03	GRAPE MYRTLE	LAGERSTROMIA INDICA	8'-10" HEIGHT	

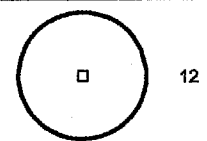


**LANDSCAPE CALCULATIONS**

TOTAL SITE	338,123 SF (+/- 7.7 AC.)
TOTAL LANDSCAPE AREA EXISTING	87,994 SF
LANDSCAPE AREA REMOVED	8,851 SF
LANDSCAPE AREA ADDED	1,547 SF
TOTAL SITE, LANDSCAPE AREA PROVIDED	80,690 SF (+/- 23.8 %)

**PERVIOUS AREA REMOVED**

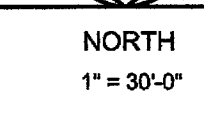
PERVIOUS (LANDSCAPE) AREA REMOVED	8,851 SF
PERVIOUS (LANDSCAPE) AREA ADDED	-1,547 SF
TOTAL, IMPROVMENT, LANDSCAPE AREA ADDED	7,304 SF

**PLANT KEY-REMOVED**

TOTAL CALIPER	KEY	QUAN.	NAME
87		12	CEDAR ELM
8'-10" HT		06	WAX MYRTLE
8'-10" HT		03	GRAPE MYRTLE

WESTGROVE DRIVE

EXCEL PARKWAY



NORTH  
 1" = 30'-0"

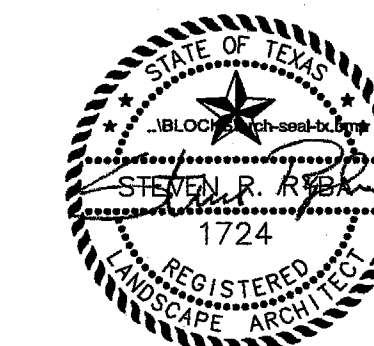


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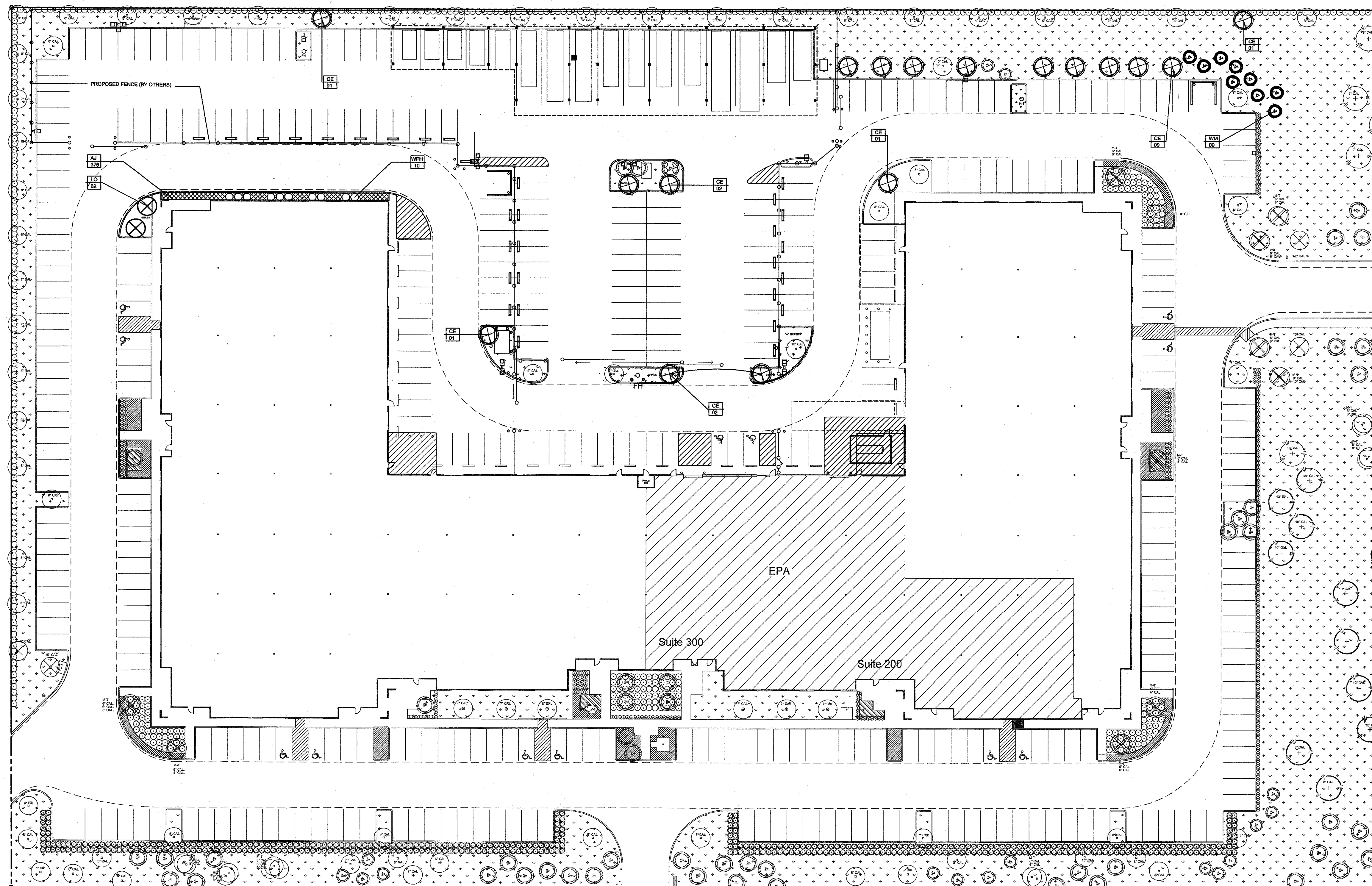
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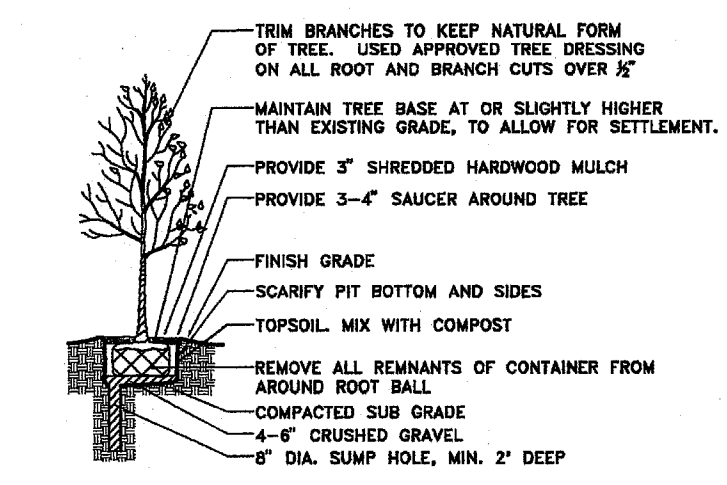
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 11/05/08  
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CONSULTANT:

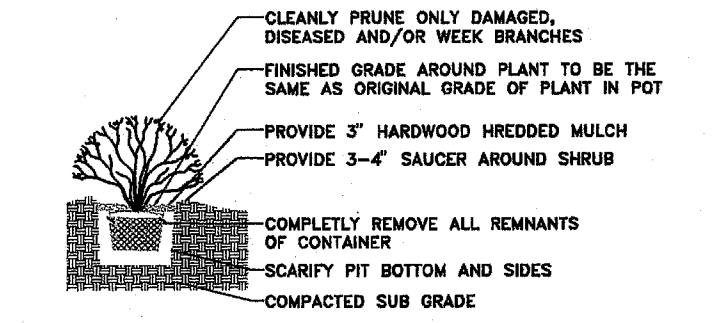


WESTGROVE DRIVE

**02 TREE PLANTING DETAIL** NTS



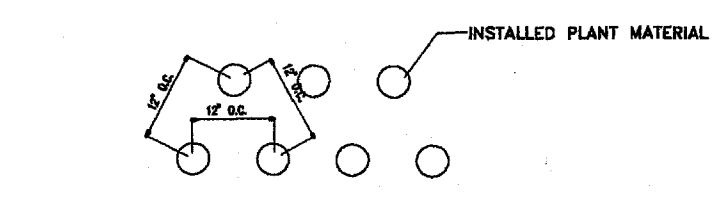
- TRIM BRANCHES TO KEEP NATURAL FORM OF TREE. USED APPROVED TREE BRACING ON ALL ROOT AND BRANCH CUTS OVER 1/2"
- MAINTAIN TREE BASE AT OR SLIGHTLY HIGHER THAN EXISTING GRADE, TO ALLOW FOR SETTLEMENT.
- PROVIDE 3" SHREDED HARDWOOD MULCH PROVIDE 3-4" SAUCER AROUND TREE
- FINISH GRADE
- SCAFFRY PIT BOTTOM AND SIDES
- TOPSOIL MIX WITH COMPOST
- REMOVE ALL REMNANTS OF CONTAINER FROM AROUND ROOT BALL
- COMPACTED SUB GRADE
- 4-6" CRUSHED GRAVEL
- 8" DIA. SUMP HOLE, MIN. 2" DEEP



- CLEANLY PRUNE ONLY DAMAGED, DISEASED AND/OR WEEK BRANCHES
- FINISH GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT
- PROVIDE 3" HARDWOOD SHREDED MULCH PROVIDE 3-4" SAUCER AROUND SHRUB
- COMPLETELY REMOVE ALL REMNANTS OF CONTAINER
- SCAFFRY PIT BOTTOM AND SIDES
- COMPACTED SUB GRADE

- NOTES:
1. USE TOPSOIL COMPOST MIX TO BACKFILL
  2. FERTILIZE AND WATER THOROUGHLY AFTER INSTALLATION
  3. LOCATE ENTIRE SHRUB BED AS SHOWN
  4. NO SHRUB, EDGE OF ROOT BALL, SHALL BE PLANTED CLOSER THAN 2" FROM FOUNDATION OF BUILDING.

**03 SHRUB PLANTING DETAIL** NTS



- INSTALLED PLANT MATERIAL

- NOTES:
1. THE "ON CENTERS" MAY VARY PER PLANT TYPE. REFER TO PLANT SCHEDULE FOR VARIOUS "ON CENTERS".

**04 GROUND COVER DETAIL** NTS

**PERVIOUS AREA REMOVED**

PERVIOUS (LANDSCAPE) AREA REMOVED	11,967 SF
PERVIOUS (LANDSCAPE) AREA ADDED	-1,547 SF
<b>TOTAL, IMPROVMENT, LANDSCAPE AREA ADDED</b>	<b>10,420 SF</b>

**LANDSCAPE CALCULATIONS**

TOTAL SITE	338,123 SF (+/- 7.7 AC.)
TOTAL LANDSCAPE AREA EXISTING	87,984 SF
LANDSCAPE AREA REMOVED	10,420 SF
LANDSCAPE AREA ADDED	-1,547 SF
<b>TOTAL SITE, LANDSCAPE AREA PROVIDED</b>	<b>78,122 SF (+/- 23.4 %)</b>

TREE MITIGATION  
 87 TOTAL CALIPER INCH REMOVED  
 87 TOTAL CALIPER INCH PROVIDED  
 9 ORNAMENTAL TREES REMOVED (8-12 HT.)  
 9 ORNAMENTAL TREES PROVIDED (8-12 HT.)

**01 LANDSCAPE PLAN**

**ADDED PLANT MATERIAL**

- CEDAR ELM
- LIVE OAK
- WAX MYRTLE / 8-10' HT.
- WILL FLEMING HOLLY
- ASIAN JASMINE

**EXISTING PLANT MATERIAL**

- EXISTING SHADE TREES REMAINING (CEDAR ELM)
- EXISTING ORNAMENTAL TREES REMAINING (CRAPE MYRTLE)
- EXISTING ORNAMENTAL TREES REMAINING (WAX MYRTLE)

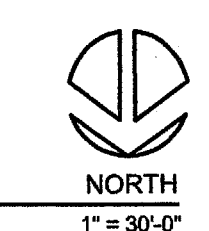
**PLANT SCHEDULE-PLANT MATERIAL ADDED** (ALL PLANT MATERIAL MUST BE CONTAINERIZED)

KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	17	CEDAR ELM	ULMUS CARASSIFOLIA	4.5" CAL.	PLANT WHERE INDICATED, (SEE PLANT REQUIREMENTS)
LO	02	LIVE OAK	QUEERCUS VIRGINIANA	4.5" CAL.	PLANT WHERE INDICATED, (SEE PLANT REQUIREMENTS)
WM	09	WAX MYRTLE	MYRTICA CERIFERA	8-10' HEIGHT	PLANT WHERE INDICATED, (SEE PLANT REQUIREMENTS)
WFH	10	WILL FLEMING HOLLY	ILEX VOMITORIA 'WILL FLEMING'	15 GAL.	PLANT WHERE INDICATED,
AJ	375	ASIAN JASMINE	TRACHELOSPERMUM ASIATICUM	4" POTS	PLANT 12" O.C. (SEE PLANT REQUIREMENTS)
GRASS	1547 SF	COMMON BERMAUDA	CYNODOON DACTYLON	90D	PLANT IN A "STAGGER" PATTERN

**IRRIGATION:**  
 THE EXISTING UNDERGROUND IRRIGATION SYSTEM WILL BE ADJUSTED TO ACCOMMODATE THE REVISED LANDSCAPE. THIS SYSTEM WILL BE EQUIPPED WITH RAIN GAUGE AND FREEZE THAW SENSOR. 100% COVERAGE WILL BE PROVIDED.

**PLANT REQUIREMENTS**

- SECTION 8, C SIZE AND SPACING STANDARDS
1. CALIPER MEASURED 12" ABOVE FINISH GRADE
  2. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES WILL BE 6' HT.
  3. MINIMUM SIZE IS 4 INCH CALIPER, 14-16' HT MIN.
  4. MAXIMUM HEIGHT IS SHALL NOT EXCEED 16' HT.
  5. TREES SHALL BE HEALTHY AND FREE OF PHYSICAL DAMAGE.
  6. THE TOWN OF ADDISON SHALL REJECT ANY TREES DELIVERED AND/OR NOT MEETING THE MINIMUM SIZE AND SHAPE STANDARDS.
  7. CRAPE MYRTLES SHALL BE 6-8' MIN. HT.
  8. EVERGREEN TREES SHALL BE 6-10' MIN. HT.



DRAWING INFO: 102308SGDEPA1

FILE:  
 CURRENT ISSUE:  
 DRAWN BY: RLA  
 CHECKED BY: SR

SHEET NUMBER:

**LANDSCAPE PLAN**  
**L2.00**