

CONSTRUCTION PLANS FOR ADDISON OFFICE / WAREHOUSE COMPLEX LOTS 1 & 2, BLOCK A WESTGROVE / BENT TREE PLAZA ADDITION

18.742 ACRES

WILLIAM LOMAX SURVEY, ABSTRACT No. 792,
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

FOR

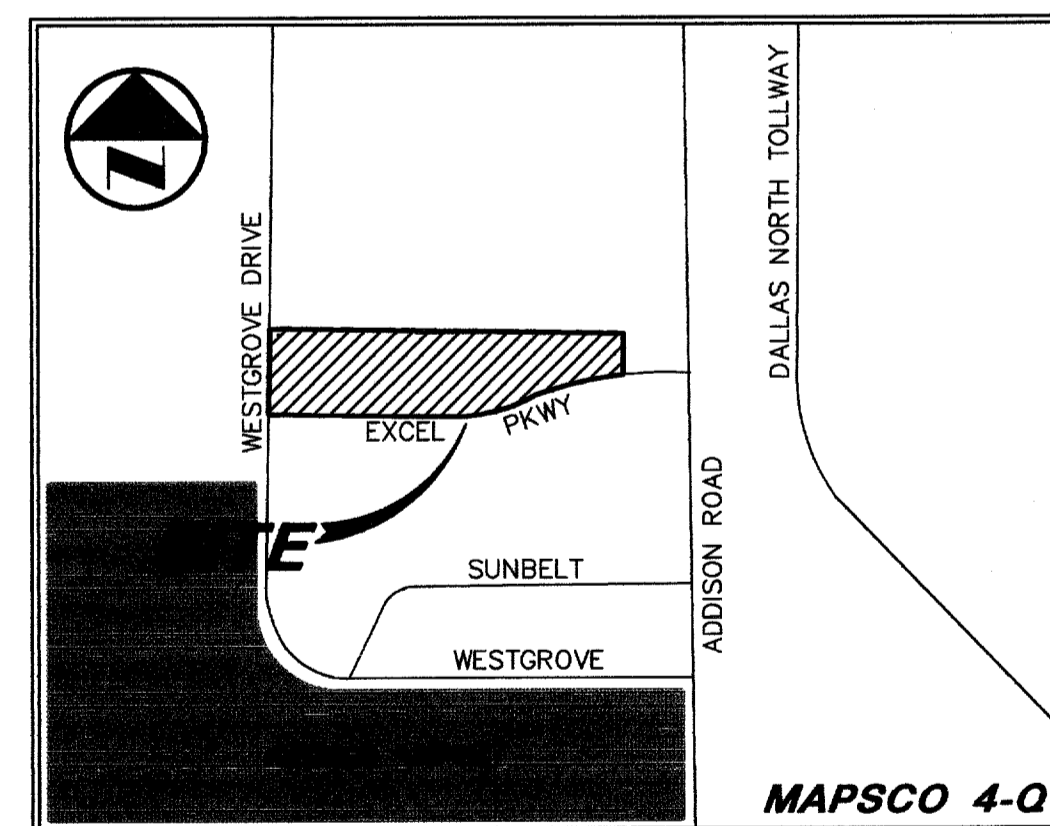
ROFDW ARCHITECTS, INC.
703 MCKINNEY AVE. STE. 401
DALLAS, TEXAS 75202
214-871-0616

OWNER

 FIRST INDUSTRIAL REALTY TRUST
13355 NOEL ROAD, STE. 1815
DALLAS, TEXAS 75240
972-386-4700

PREPARED BY

 Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031



VICINITY MAP

DRAWING SHEET INDEX

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| C2.1 | DIMENSIONAL CONTROL PLAN (SHEET 1) |
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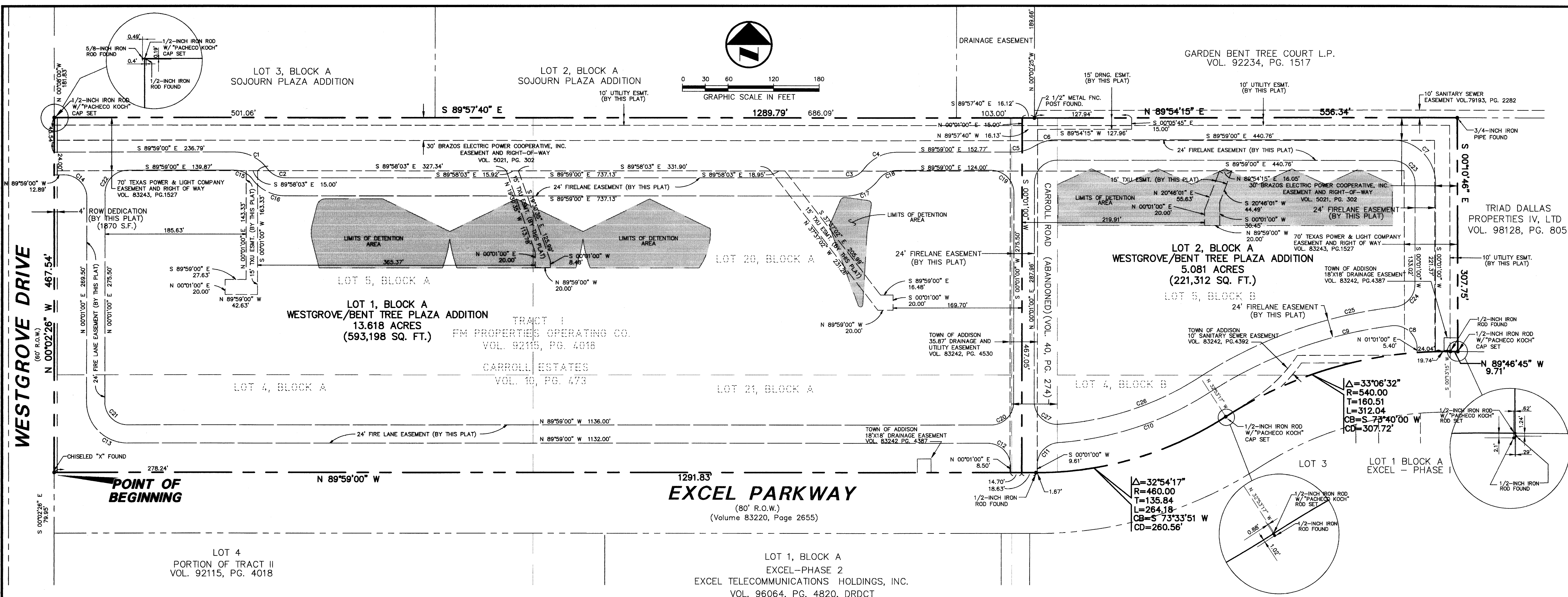
RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70090 ON 07/26/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

△ REVISED 05/04/01

FF-14



OWNERS CERTIFICATE

WHEREAS, FR Development Services, Inc., a Maryland Corporation is the owner of a 18,742 acre tract of land situated in the William Lomax Survey, Abstract No. 792, Town of Addison, Dallas County, Texas and being all of that same tract of land described in Special Warranty Deed to Excel Management Service, Inc. recorded in Volume 96107, Page 4654 in the Deed Records of Dallas County, Texas; said tract also being all of Lot 5, Lot 20 and a portion of Lot 4 and Lot 21 Block A of said tract also being a portion of Lot 4 and Lot 5 Block B of Carroll Estates, an addition to the Town of Addison as described by plat records in Volume 10, Page 473, in the Plat Records of Dallas County, Texas; said tract also being a portion of Carroll Road now abandoned as described by plat records in Volume 40, Page 274 of the Plat Records of Dallas County, Texas; said 18,742 acre tract being more particularly described as follows;

BEGINNING, at a chiseled "X" found for the point of intersection of the north right-of-way line of Bent Tree Plaza Parkway (formerly Bent Tree Plaza Parkway, a 80 foot right-of-way line as described in Volume 83220 Page 2655 of the Deed Records of Dallas County, Texas; said point also being in the east line of Westgrove Drive (a 60 foot right-of-way line); said point also being the southwest corner of said FR Development Services tract;

THENCE, North 00 degrees, 02 minutes, 26 seconds West, along said east line of Westgrove Drive a distance of 467.54 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap set for the southwest corner of Lot 3, Block A, Sojourn Plaza Addition, an addition to the Town of Addison, Dallas County, Texas; said point also being the northwest corner of said FR Development Services tract;

THENCE, South 89 degrees, 57 minutes, 40 seconds East, along the common line of said FR Development Services tract and said Lot 3, Block A, a distance of 1289.79 feet to a 2-1/2-inch metal fence post found for the southeast corner of Lot 2, Block A of said Sojourn Plaza Addition; said point also being the southwest corner of Bent Tree Gardens, Phase II, an addition to the Town of Addison described by plat records Volume 79193, Page 2282 of the Plat Records of Dallas County, Texas; said point also described by the deed records to Garden Bent Tree L.P. Volume 92234, Page 1517 of the Deed Records of Dallas County, Texas;

THENCE, North 89 degrees, 54 minutes, 15 seconds East, along the common line of said Excel Management Service tract and said Bent Tree Gardens, Phase II, a distance of 556.34 feet to a 3/4-inch iron pipe found for the northeast corner of a tract of land described in Deed to Triad Dallas Properties IV, LTD. recorded in Volume 98128, Page 805 of the Deed Records of Dallas County, Texas;

THENCE, South 00 degrees, 10 minutes, 46 seconds East, along the common line of said FR Development Services tract and said Triad tract, a distance of 307.75 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap set in the north line of said Excel Parkway; said point also being the southwest corner of said Triad tract; said point also being the southeast corner of said FR Development Services tract;

THENCE, along the south line of said FR Development Services tract and the north line of said Excel Parkway the following four courses:

North 89 degrees, 46 minutes, 45 seconds West, a distance of 9.71 feet to a 1/2-inch iron rod found for point of curvature of a curve whose centers bears South 00 degrees, 13 minutes, 16 seconds West a distance of 540.00 feet from said point;

Southwesterly through a central angle of 33 degrees, 06 minutes, 32 seconds, for an arc distance of 312.04 feet, on a chord bearing and distance of South 73 degrees, 40 minutes, 00 seconds, 307.72 feet, to a 1/2-inch iron rod with "PACHECO KOCH" cap set for the point of reverse curvature of a curve to the right whose center bears North 32 degrees, 53 minutes, 17 seconds, a distance of 460.00 feet from said point;

Southwesterly through a central angle of 32 degrees, 54 minutes, 17 seconds for an arc distance of 264.18 feet, on a chord bearing and distance of South 73 degrees, 33 minutes, 51 seconds West, 260.56 feet, to a 1/2-inch iron rod found for the point of tangency;

North 89 degrees, 59 minutes, 00 seconds West, a distance of 1291.83 feet to the POINT OF BEGINNING;

CONTAINING 816,380 square feet or 18,742 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I, JAMES A. KOCH, JR., Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an accurate and accurate survey of the land made on the ground and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Addison, Texas.

James A. Koch, Jr.
Registered Professional Land Surveyor
No. 4688

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James A. Koch, Jr., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

STATE OF TEXAS
COUNTY OF DALLAS

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2001.
My commission expires: _____

Notary Public in and for the State of Texas

That FR Development Services, Inc., a Maryland Corporation ("Owner") does hereby adopt this plat designating the hereinabove property as Westgrove/Bent Tree Plaza Addition, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown hereon. The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use the easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regard to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement shall remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of inspection and for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of the natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels, and the owners hereby agree to indemnify and hold harmless the City from any such damages.

and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation of each lot shall be shown on the plat. The maintenance or paving of the utility and fire line easements is the responsibility of the property owner. All public utilities shall at all times have upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity of anytime procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by the utility. Buildings, fences, trees shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easement as shown; provided, however, that owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS my hand at Dallas, Texas, this ____ day of _____, 2001.

FR Development Services, Inc., a Maryland Corporation

Robert H. Muir
Executive Vice President

STATE OF ILLINOIS
COUNTY OF COOK

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Illinois, on this day personally appeared Robert H. Muir, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2001.
My commission expires: _____

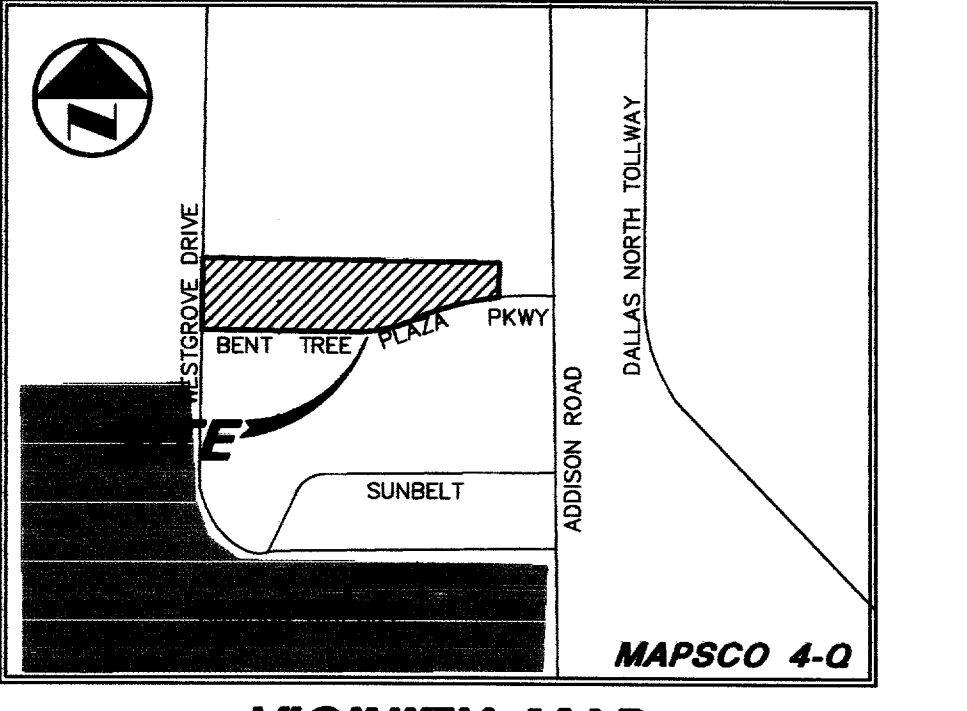
Notary Public in and for the State of Illinois

AREA SUMMARY TABLE

| AREA | S.F. | AC. |
|---------------|---------|--------|
| LOT 1 | 593,198 | 13.618 |
| LOT 2 | 221,312 | 5.081 |
| WESTGROVE ROW | 1870 | 0.043 |
| TOTAL | 816,380 | 18.742 |

CURVE TABLE

| CURVE | LENGTH | RADIUS | DELTA | TANGENT | CHORD | BEARING |
|-------|--------|--------|-----------|---------|--------|---------------------|
| C1 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C2 | 28.00 | 54.00 | 33°28'13" | 15.11 | 6.62 | 14°55' E 26.99 |
| C3 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C4 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C5 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C6 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C7 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C8 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C9 | 30.32 | 54.00 | 32°28'13" | 27.20 | 5.62 | 14°55' E 48.99 |
| C10 | 218.43 | 260.00 | 30°00'00" | 108.22 | 218.43 | 71°00'11" W 210.27 |
| C11 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C12 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C13 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C14 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C15 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C16 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C17 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C18 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C19 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C20 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C21 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C22 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C23 | 47.12 | 30.00 | 30°00'00" | 30.00 | 47.12 | N 44°59'00" E 45.43 |
| C24 | 43.37 | 30.00 | 88°12'26" | 26.64 | 41.37 | 13° W 39.84 |
| C25 | 43.37 | 30.00 | 88°12'26" | 26.64 | 41.37 | 13° W 39.84 |
| C26 | 198.39 | 397.50 | 88°36'18" | 101.87 | 171.84 | 19° W 136.87 |
| C27 | 43.37 | 30.00 | 94°19'05" | 32.39 | 47.06 | 3° W 43.99 |



AMENDED PLAT OF LOT 1, LOT 2, BLOCK A WESTGROVE/BENT TREE PLAZA ADDITION

LOCATED IN TOWN OF ADDISON, TEXAS AND BEING OUT OF THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792, DALLAS COUNTY, TEXAS

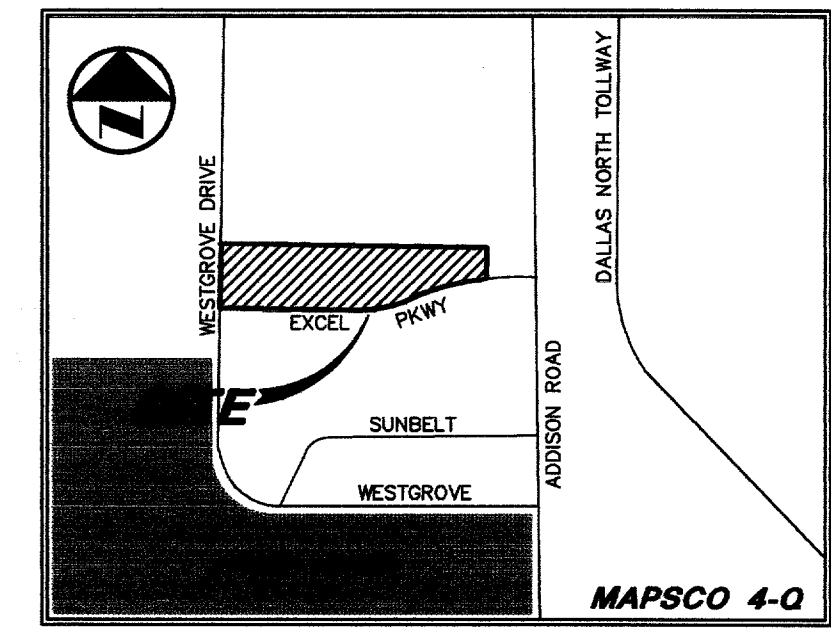
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.236.3031

OWNER
FR Development Services, Inc.
13355 Noel Road, Suite 1815
Dallas, Texas 75240
(972) 386-4700

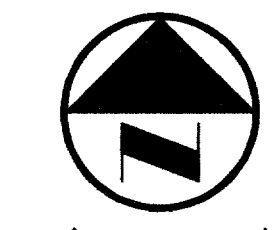
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JM MUBIAN
05/10/2001 2:30PM
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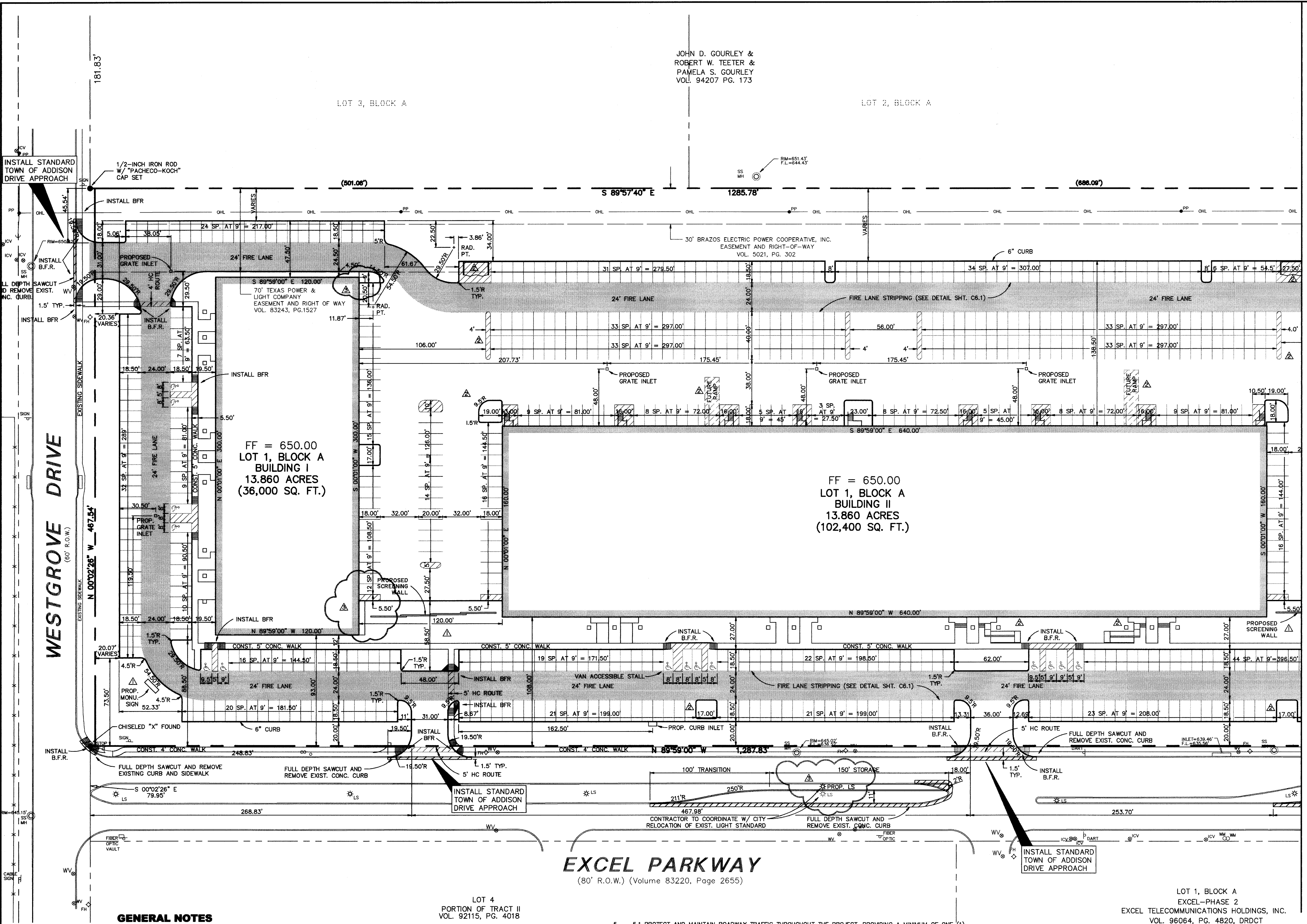
VICINITY MAP



0 20' 40' 80' 120'
GRAPHIC SCALE IN FEET

LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- PH FIRE HYDRANT
- CM CLEANOUT
- MH MANHOLE
- GM GAS METER
- TSC TRAFFIC SIGNAL CONTROL
- TSP TRAFFIC SIGNAL POLE
- TELE TELEPHONE BOX
- TV TV BOX
- FP FLAG POLE
- EM ELECTRIC METER
- SIGN TRAFFIC SIGN
- PROPERTY LINE
- O.H. POWER LINE
- U/G TELEPHONE LINE
- U/G WATER LINE
- U/G GAS LINE
- FENCE
- B.F.R. BARRIER FREE RAMP



MATCH LINE SEE SHEET

RECORD DRAWING
THIS DRAWING HAS BEEN REVISIONED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISIONED: 05/04/01

- △ REVISED 05/04/01
- △ REVISED 10/11/00
- △ REVISED 08/29/00

GENERAL NOTES

1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT, AND TOWN OF ADDISON STANDARD CONSTRUCTION SPECIFICATIONS.
2. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS AND THE CITY STANDARDS FOR CONSTRUCTION AND ANY OTHER APPLICABLE STANDARD AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO BE FAMILIAR WITH ALL STANDARDS AND SPECIFICATION PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY OF PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
3. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
4. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. THEY MUST BE ADJUSTED TO PROPER LINE, AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING AND GRADING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING THE CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

- 5.1 PROTECT AND MAINTAIN ROADWAY TRAFFIC THROUGHOUT THE PROJECT, PROVIDING A MINIMUM OF ONE (1) LANE OPEN IN EACH DIRECTION.
- 5.2 PROVIDE AND MAINTAIN INTERIM ACCESS FROM ROADWAYS CURRENTLY IN USE TO ALL DRIVEWAYS AND INTERSECTING STREETS OR ALLEYS.
- 5.3 MAINTAIN NORMAL PROJECT DRAINAGE UNTIL NEW DRAINAGE FACILITIES ARE FUNCTIONAL, INCLUDING, WHERE NECESSARY, INTERIM REPLACEMENT OF EXISTING DRAINAGE STRUCTURES REMOVED FOR CONSTRUCTION OF NEW DRAINAGE FACILITIES.
- 5.4 MAINTAIN ALL WORK AND MATERIAL STORAGE AREAS IN ORDERLY CONDITION, FREE OF DEBRIS AND WASTE; ON COMPLETION OF CONSTRUCTION, CLEAN UP THE PROJECT AND ADJACENT AFFECTED AREAS TO ACCEPTABLE CONDITION, ALL AS PROVIDED IN THE GENERAL CONDITIONS.
6. PRIOR TO COMMENCEMENT OF CONSTRUCTION, BONDS AND THREE-WAY CONTRACTS SHALL BE SUBMITTED TO THE CITY AS REQUIRED.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
8. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
9. REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING ENTRANCE LAYOUTS, RAMPS, LANDSCAPE AND
10. BARRICADING AND PROJECT SIGNS SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND LATEST UPDATES.
11. ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
12. CONTRACTOR IS TO ADJUST ALL EXISTING UTILITIES (MANHOLES, WATER VALVES, FIRE HYDRANTS, ETC.) TO MATCH PROPOSED GRADES.
13. CONTRACTOR IS TO REFER TO ARCHITECTS PLANS FOR THE LAYOUT, LOCATION, AND THE DESIGN DETAILS OF THE SCREEN WALLS, SITE MONUMENTS, AND DUMPSTERS.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70900 ON 07/28/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

DIMENSIONAL CONTROL PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C2.1 |

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 07/26/00
REVISIONS:

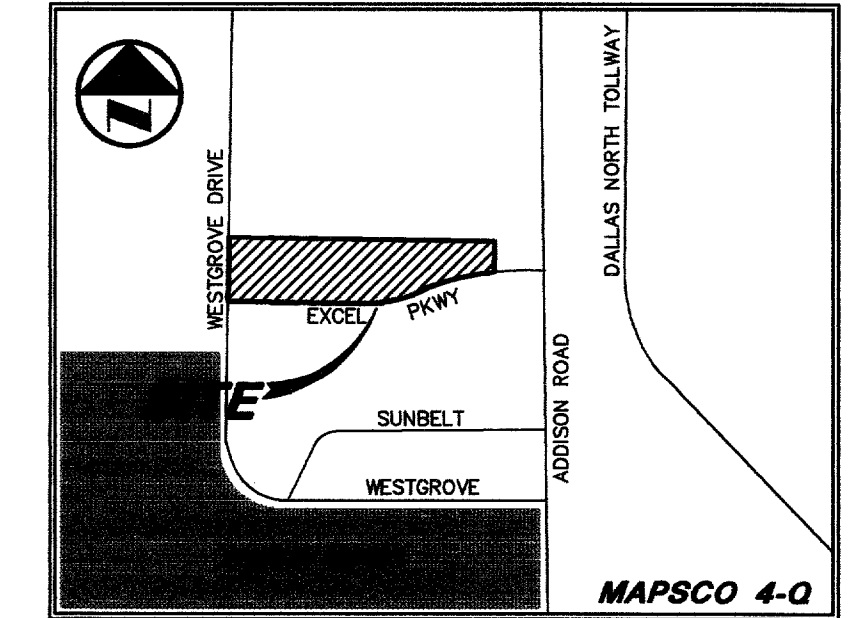
SHEET NO. + TITLE:
C2.1
DIMENSIONAL CONTROL PLAN

MATCH LINE SEE SHEET

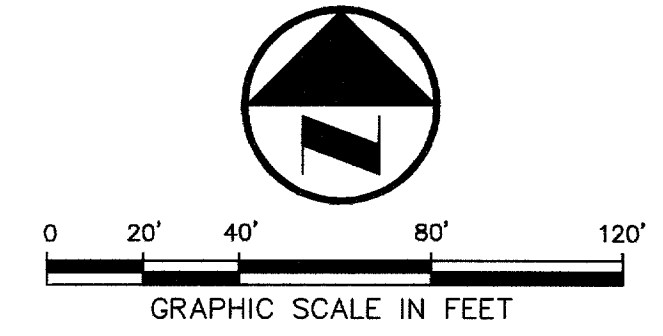
GARDEN BENT TREE COURT L.P.
VOL. 92234, PG. 1517

LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- FH FIRE HYDRANT
- CH CLEANOUT
- MH MANHOLE
- GM GAS METER
- TSC TRAFFIC SIGNAL CONTROL
- TELE TRAFFIC SIGNAL POLE
- TELE TELEPHONE BOX
- FP FLAG POLE
- EM ELECTRIC METER
- SIGL TRAFFIC SIGN
- PL PROPERTY LINE
- OHL O.H. POWER LINE
- TEL U/G TELEPHONE LINE
- W U/G WATER LINE
- G U/G GAS LINE
- F FENCE
- B.F.R. BARRIER FREE RAMP



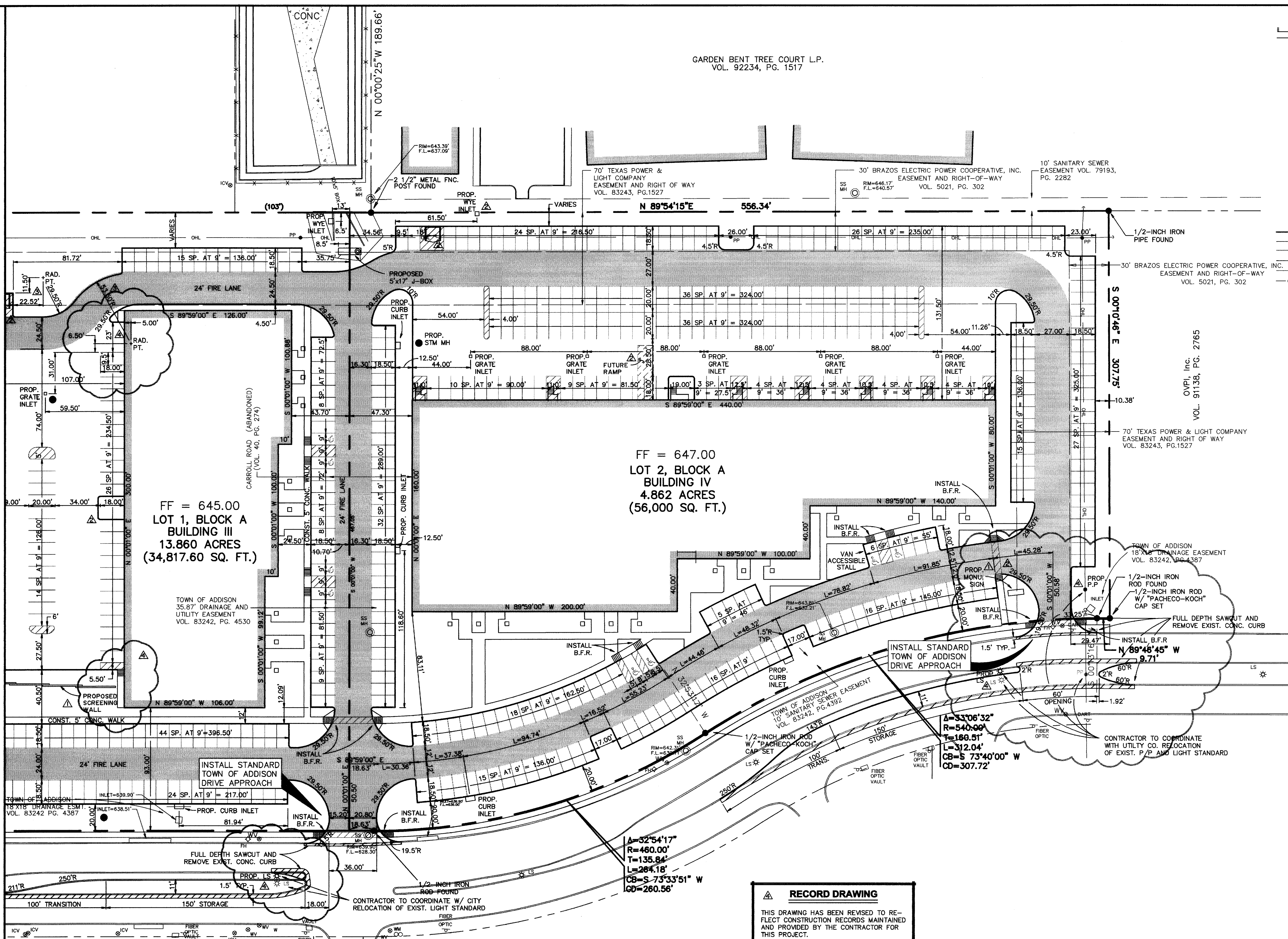
VICINITY MAP



DALLAS
MCALLEN
HARLINGEN

703 McKinney Avenue, Suite 401
Dallas, TX 75202-1052
214-954-0855
214-954-0855
www.rofdw.com

PROJECT ARCHITECT
RIKE
OGDEN
FIGUEROA
DICKSON
WELLS
PLC



FF = 645.00
LOT 1, BLOCK A
BUILDING III
13.860 ACRES
(34,817.60 SQ. FT.)

FF = 647.00
LOT 2, BLOCK A
BUILDING IV
4.862 ACRES
(56,000 SQ. FT.)

RECORD DRAWING

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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

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- ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT, AND TOWN OF ADDISON STANDARD CONSTRUCTION SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS AND THE CITY STANDARDS FOR CONSTRUCTION AND ANY OTHER APPLICABLE STANDARD AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO BE FAMILIAR WITH ALL STANDARDS AND SPECIFICATION PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY OF PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. THEY MUST BE ADJUSTED TO PROPER LINE, AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING AND GRADING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING THE CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
- 5.1 PROTECT AND MAINTAIN ROADWAY TRAFFIC THROUGHOUT THE PROJECT, PROVIDING A MINIMUM OF ONE (1) LANE OPEN IN EACH DIRECTION;
5.2 PROVIDE AND MAINTAIN INTERIM ACCESS FROM ROADWAYS CURRENTLY IN USE TO ALL DRIVEWAYS AND INTERSECTING STREETS OR ALLEYS;
5.3 MAINTAIN NORMAL PROJECT DRAINAGE, UNTIL NEW DRAINAGE FACILITIES ARE FUNCTIONAL, INCLUDING, WHERE NECESSARY, INTERIM REPLACEMENT OF EXISTING DRAINAGE STRUCTURES REMOVED FOR CONSTRUCTION OF NEW DRAINAGE FACILITIES;
5.4 MAINTAIN ALL WORK AND MATERIAL STORAGE AREAS IN ORDERLY CONDITION, FREE OF DEBRIS AND WASTE; ON COMPLETION OF CONSTRUCTION, CLEAN UP THE PROJECT AND ADJACENT AFFECTED AREAS TO ACCEPTABLE CONDITION, ALL AS PROVIDED IN THE GENERAL CONDITIONS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, BONDS AND THREE-WAY CONTRACTS SHALL BE SUBMITTED TO THE CITY AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING ENTRANCE LAYOUTS, RAMPS, LANDSCAPE AND SIDEWALKS.
- BARRICADING AND PROJECT SIGNS SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND LATEST UPDATES.
- ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO ADJUST ALL EXISTING UTILITIES (MANHOLES, WATER VALVES, FIRE HYDRANTS, ETC.) TO MATCH PROPOSED GRADES.
- CONTRACTOR IS TO REFER TO ARCHITECTS PLANS FOR THE LAYOUT, LOCATION, AND THE DESIGN DETAILS OF THE SCREEN WALLS, SITE MONUMENTS, AND DUMPSTERS.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70090 ON 07/25/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

- REVISD 05/04/01
- REVISD 03/05/01
- REVISD 10/11/00
- REVISD 08/29/00

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

DIMENSIONAL CONTROL PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

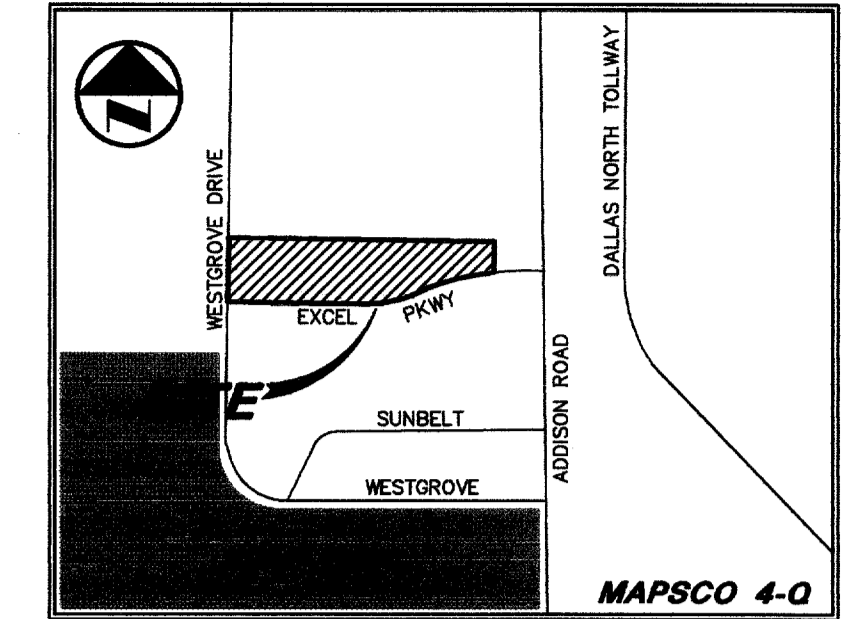
| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C2.2 |

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 07/26/00
REVISIONS:

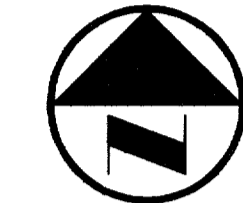
SHEET NO. + TITLE: **C2.2**

DIMENSIONAL CONTROL PLAN

JOHN D. GOURLEY &
ROBERT W. TEETER &
PAMELA S. GOURLEY
VOL. 94207 PG. 173



VICINITY MAP



0 20' 40' 80' 120'
GRAPHIC SCALE IN FEET

LEGEND

- B₁ BOLLARD
- EM₁ ELECTRIC METER
- PP₁ POWER POLE
- LS LIGHT STANDARD
- WM₁ WATER METER
- WV₁ WATER VALVE
- ICV₁ IRRIGATION CONTROL VALVE
- FR₁ FIRE HYDRANT
- CL CLEANOUT
- MH₁ MANHOLE
- GM₁ GAS METER
- TSC₁ TRAFFIC SIGNAL CONTROL
- TSP₁ TRAFFIC SIGNAL POLE
- TELE₁ TELEPHONE BOX
- TV₁ TV BOX
- FP₁ FLAG POLE
- EM₂ ELECTRIC METER
- SIGN₁ TRAFFIC SIGN
- PROPERTY LINE
- OHL O.H. POWER LINE
- TEL U/G TELEPHONE LINE
- W U/G WATER LINE
- G U/G GAS LINE
- FENCE
- B.F.R. BARRIER FREE RAMP

ROF
DW
ARCHITECTS

DALLAS
MARGEN
HARGEN
703 McKinney Avenue, Suite 401
Dallas, TX 75202-1052
Phone: 214-861-0855
Fax: 214-861-0855
Web Page: www.rofdw.com

ARCHITECT
RIKE
ODDEN
FIGUEROA
DICKSON
WELLS
PLC

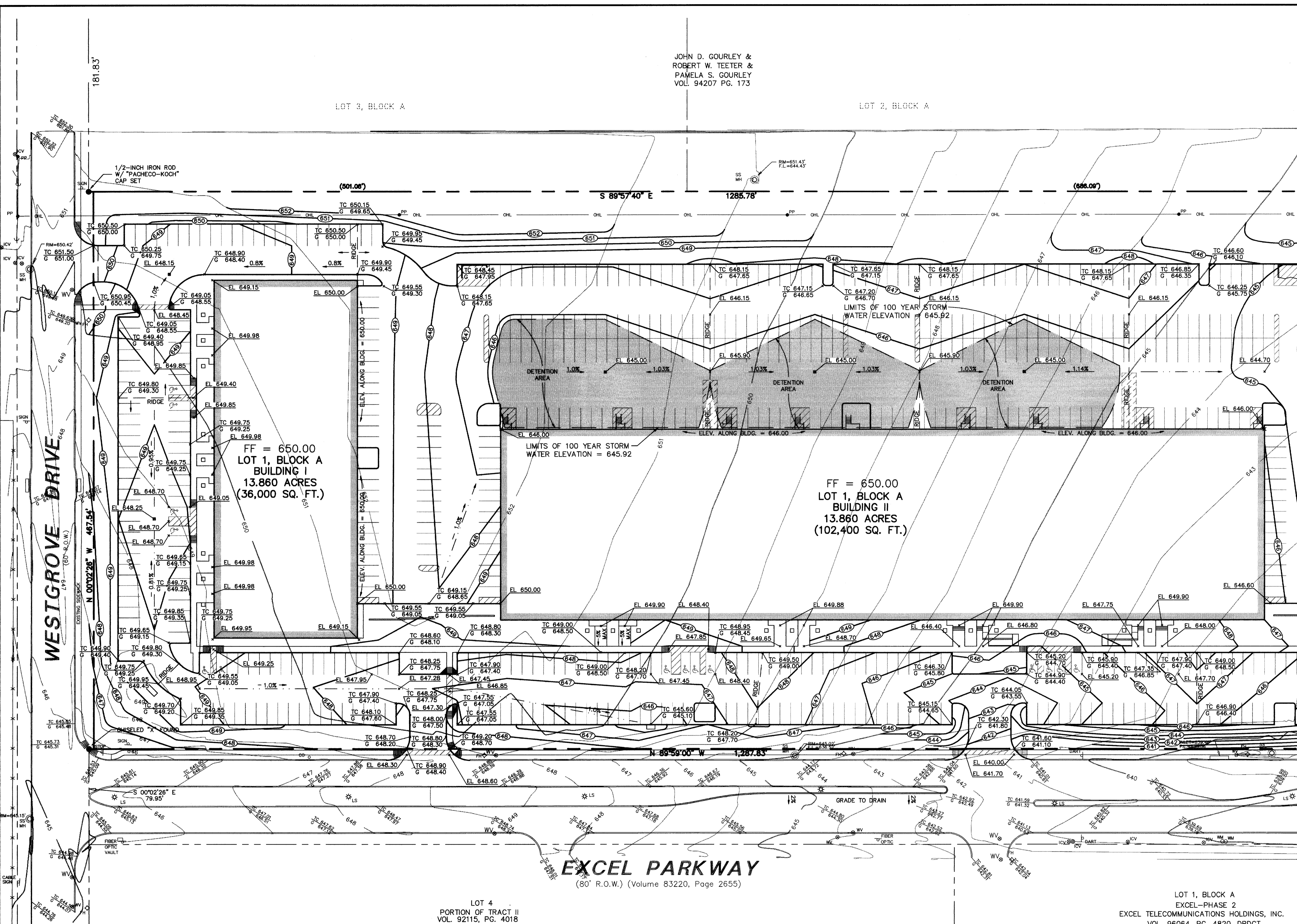
PROJECT
ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
PR DEVELOPMENT SERVICES, INC.

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 05/04/01
REVISIONS:

SHEET NO. + TITLE:

C3.1

GRADING
PLAN



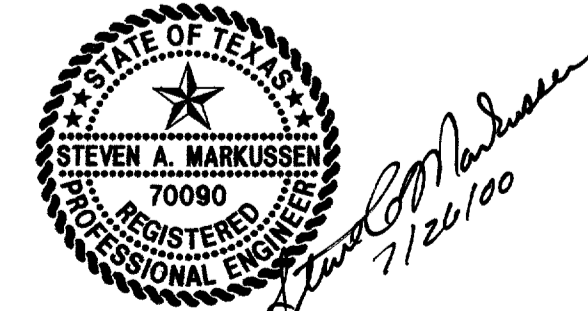
MATCH LINE SEE SHEET

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

- GRADING AND DRAINAGE GENERAL NOTES**
- REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
 - UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN A MAXIMUM OF 6" LIFTS.
 - ALL WALKS TO HAVE A MAXIMUM CROSS SLOPE OF 2%.
 - GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO STATE, LOCAL AND FEDERAL GUIDELINES.
 - UNLESS NOTED, STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS:
 - A. RCP C-76, CLASS III
 - B. ADS N-12
 - C. HANCOCK HI-Q
 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - UNLESS NOTED, GRATE INLET TO BE "AMERICAN INDUSTRIAL PRE-CAST PRODUCTS, INC." PRECAST CATCH BASIN, SIZED AS SHOWN. OF APPROVED EQUAL.
 - FINAL PAVING, CURB AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
 - REFER TO LANDSCAPE SPECIFICATION FOR SEEDING AND SOODING REQUIREMENTS.
 - ANY CONCRETE, ROCK OR MATERIAL DEEMED UNSUITABLE FOR SUBGRADE, BY ENGINEER, SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.

- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 5.2.10, AND SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH NCTCOG ITEM 6.2.9 TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 6.2.9 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS. THE MANHOLE COVER SHALL BE PLACED NEAR THE OUTLET PIPE.
- ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 7.4.5, CLASS "A" UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD CITY SPECIFICATIONS.
- CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM OF THE CRUSHED STONE BEDDING.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTORS EXPENSE.

| BENCHMARKS | | |
|------------|--|--------------|
| BM 1 | "d" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD. | ELEV.=642.92 |
| BM 2 | 60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL | ELEV.=648.07 |
| BM 3 | "d" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR. | ELEV.=651.73 |
| BM 4 | " " CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF Q OF WESTGROVE | ELEV.=645.69 |



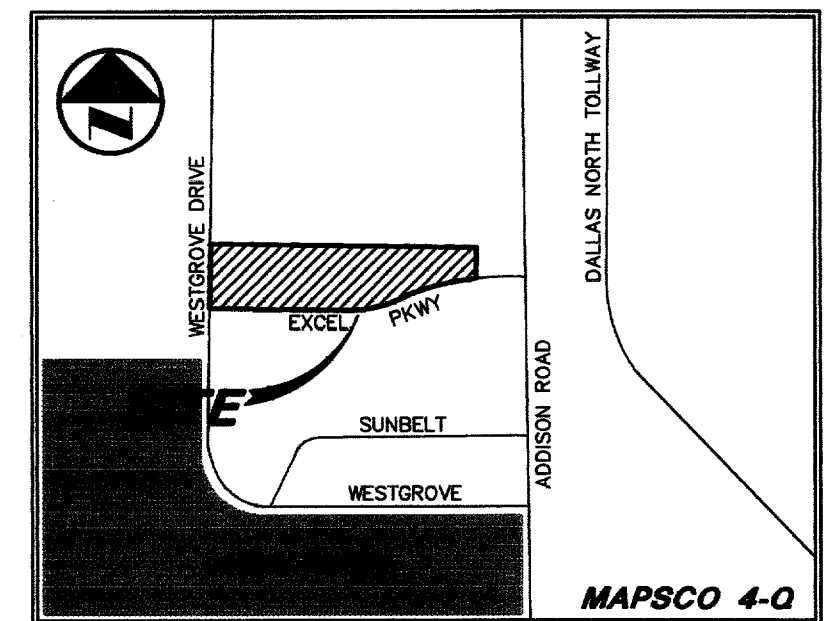
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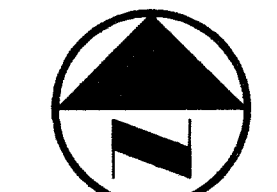
| GRADING PLAN | | | | | |
|------------------------------------|-------|---------------|--------|-------|----------|
| ADDISON OFFICE / WAREHOUSE COMPLEX | | | | | |
| LOTS 1 & 2, BLOCK A | | | | | |
| WESTGROVE/BENT TREE PLAZA ADDITION | | | | | |
| TOWN OF ADDISON, TEXAS | | | | | |
| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE NO. |
| CJE | JLM | JULY 26, 2000 | 1"=40' | | C3.1 |

LEGEND

| | |
|--------|--------------------------|
| B | BOLLARD |
| EM | ELECTRIC METER |
| PP | POWER POLE |
| LS | LIGHT STANDARD |
| WM | WATER METER |
| WV | WATER VALVE |
| ICV | IRRIGATION CONTROL VALVE |
| FH | FIRE HYDRANT |
| CL | CLEANOUT |
| MH | MANHOLE |
| GM | GAS METER |
| TS | TRAFFIC SIGNAL CONTROL |
| TP | TRAFFIC SIGNAL POLE |
| TE | TELEPHONE BOX |
| TV | TV BOX |
| FP | FLAG POLE |
| EM | ELECTRIC METER |
| TS | TRAFFIC SIGN |
| PL | PROPERTY LINE |
| OHL | O.H. POWER LINE |
| TEL | U/G TELEPHONE LINE |
| W | U/G WATER LINE |
| G | U/G GAS LINE |
| F | FENCE |
| B.F.R. | BARRIER FREE RAMP |



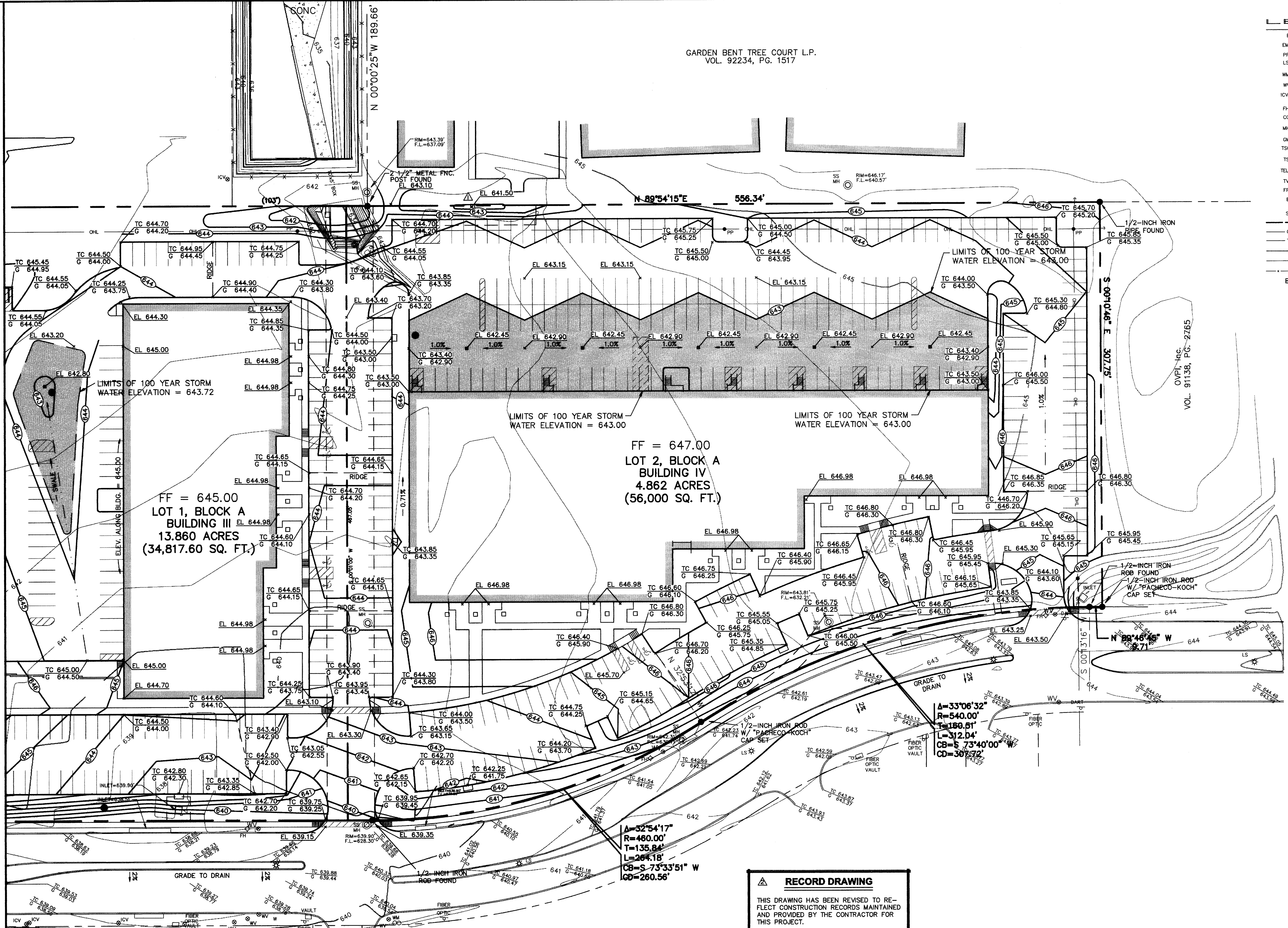
VICINITY MAP



0 20' 40' 80' 120'
GRAPHIC SCALE IN FEET

MATCH LINE SEE SHEET

GARDEN BENT TREE COURT L.P.
VOL. 92234, PG. 1517



FF = 645.00
LOT 1, BLOCK A
BUILDING III
13.86 ACRES
(34,817.60 SQ. FT.)

FF = 647.00
LOT 2, BLOCK A
BUILDING IV
4.862 ACRES
(56,000 SQ. FT.)

$\Delta=33^{\circ}06'32''$
 $R=540.00'$
 $T=180.51'$
 $L=312.04'$
 $CB=S\ 73^{\circ}40'00''\ W$
 $CD=30^{\circ}57'27''$

$\Delta=52^{\circ}54'17''$
 $R=460.00'$
 $T=135.84'$
 $L=264.18'$
 $CB=S\ 73^{\circ}33'51''\ W$
 $CD=260.56'$

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

BENCHMARKS

| | | |
|------|--|--------------|
| BM 1 | "d" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD. | ELEV.=642.97 |
| BM 2 | 60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL | ELEV.=648.07 |
| BM 3 | "d" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR. | ELEV.=651.73 |
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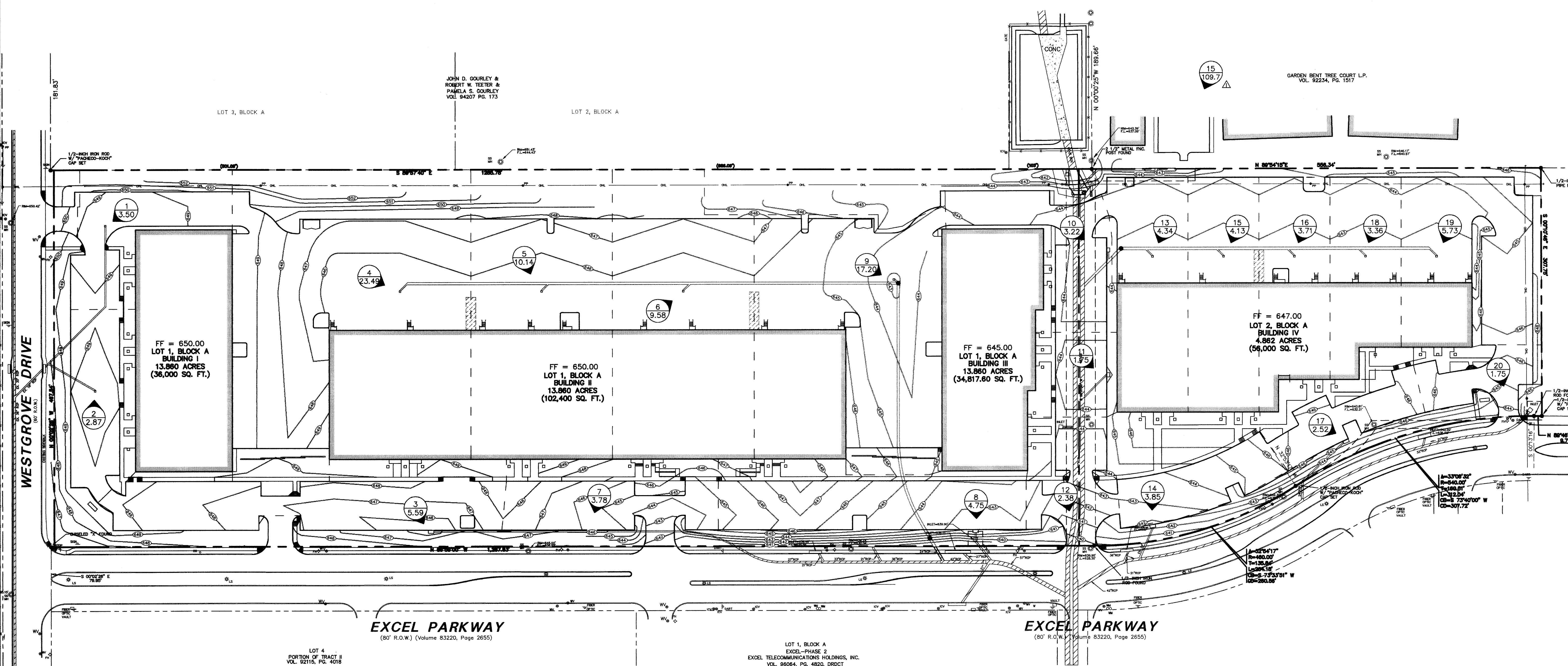


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| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C3.2 |

PK FILE: 2112-00.031



EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

LEGEND

- PROPOSED DRAINAGE DIVIDE
- 1 WATERSHED DESIGNATION NUMBER
- 5.74 EXPECTED QUANTITY IN CUBIC FEET PER SECOND

| RUNOFF CALCULATIONS | | | | | | | |
|---------------------|--------------|--------------|-----|-------------------------|--------------------------|-----------------------|------------------------|
| DRAINAGE AREA | AREA (ACRES) | Tc (Minutes) | C | I ₂₅ (in/hr) | I ₁₀₀ (in/hr) | Q ₂₅ (cfs) | Q ₁₀₀ (cfs) |
| 1 | 0.50 | 10 | 0.8 | 7.29 | 8.74 | 2.92 | 3.50 |
| 2 | 0.41 | 10 | 0.8 | 7.29 | 8.74 | 2.39 | 2.87 |
| 3 | 0.80 | 10 | 0.8 | 7.29 | 8.74 | 4.67 | 5.59 |
| 4 | 3.36 | 10 | 0.8 | 7.29 | 8.74 | 19.60 | 23.49 |
| 5 | 1.45 | 10 | 0.8 | 7.29 | 8.74 | 8.46 | 10.14 |
| 6 | 1.37 | 10 | 0.8 | 7.29 | 8.74 | 7.99 | 9.58 |
| 7 | 0.54 | 10 | 0.8 | 7.29 | 8.74 | 3.15 | 3.78 |
| 8 | 0.68 | 10 | 0.8 | 7.29 | 8.74 | 3.97 | 4.75 |
| 9 | 2.46 | 10 | 0.8 | 7.29 | 8.74 | 14.35 | 17.20 |
| 10 | 0.46 | 10 | 0.8 | 7.29 | 8.74 | 2.68 | 3.22 |
| 11 | 0.25 | 10 | 0.8 | 7.29 | 8.74 | 1.46 | 1.75 |
| 12 | 0.34 | 10 | 0.8 | 7.29 | 8.74 | 1.98 | 2.38 |
| 13 | 0.62 | 10 | 0.8 | 7.29 | 8.74 | 3.62 | 4.34 |
| 14 | 0.55 | 10 | 0.8 | 7.29 | 8.74 | 3.21 | 3.85 |
| 15 | 0.59 | 10 | 0.8 | 7.29 | 8.74 | 3.44 | 4.13 |
| 16 | 0.53 | 10 | 0.8 | 7.29 | 8.74 | 3.09 | 3.71 |
| 17 | 0.36 | 10 | 0.8 | 7.29 | 8.74 | 2.10 | 2.52 |
| 18 | 0.48 | 10 | 0.8 | 7.29 | 8.74 | 2.80 | 3.36 |
| 19 | 0.82 | 10 | 0.8 | 7.29 | 8.74 | 4.78 | 5.73 |
| 20 | 0.25 | 10 | 0.8 | 7.29 | 8.74 | 1.46 | 1.75 |
| 21 | 15.7 | 10 | 0.8 | 7.29 | 8.74 | 91.56 | 109.77 |

RECORD DRAWING

THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.

CONTRACTOR: HILL & WILKINSON

DATE REVISED: 05/04/01

REVISED 05/04/01
REVISED 10/11/00

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

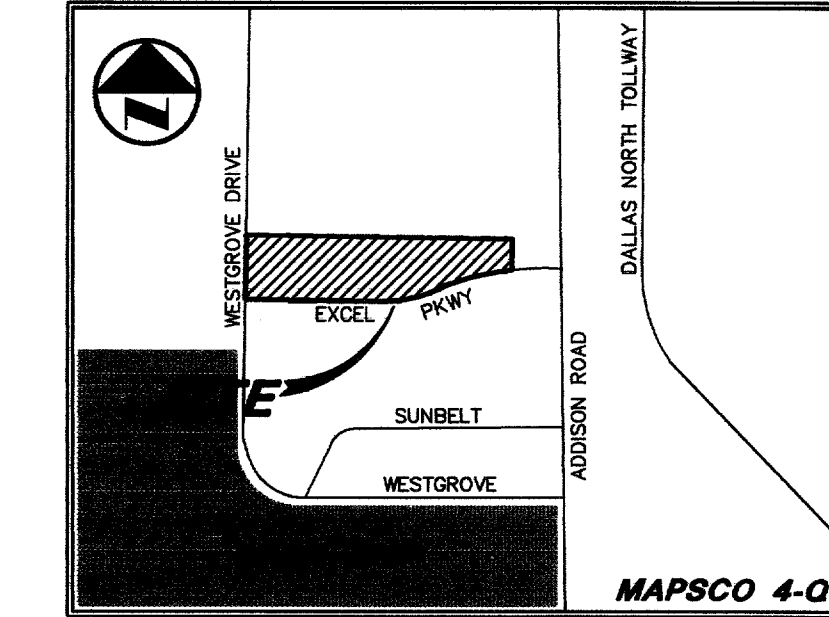
DRAINAGE AREA MAP
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=60' | | | C4.1 |

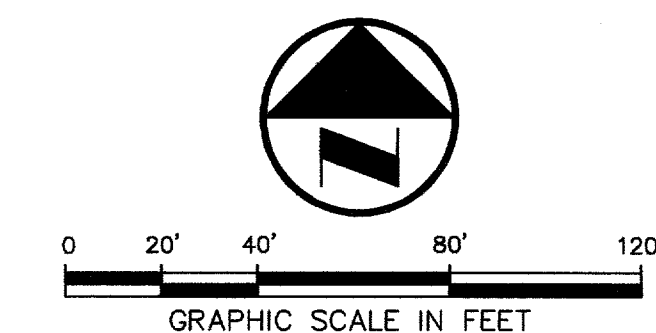


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PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE:
REVISIONS:
SHEET NO. + TITLE: **C4.1**
DRAINAGE AREA MAP



VICINITY MAP



LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- FR FIRE HYDRANT
- CO CLEANOUT
- M MANHOLE
- GM GAS METER
- TSC TRAFFIC SIGNAL CONTROL
- TSP TRAFFIC SIGNAL POLE
- TELE TELEPHONE BOX
- TV TV BOX
- FP FLAG POLE
- EM ELECTRIC METER
- SIGN TRAFFIC SIGN
- PL PROPERTY LINE
- OHL O.H. POWER LINE
- TEL U/G TELEPHONE LINE
- W U/G WATER LINE
- G U/G GAS LINE
- F FENCE
- B.F.R. BARRIER FREE RAMP
- DR DRAINAGE DIVIDE

DRAINAGE CRITERIA

| | |
|-----|------------------------|
| DA | Q=cfs |
| CFS | C=0.80 |
| | Tc=10 |
| | I ₁₀₀ =8.74 |

MATCH LINE SEE SHEET

INLET SIZE CALCULATIONS

Q = CA²g³
 C = 0.85 (discharge coefficient)
 A = AREA INLET OPENING (sq ft)
 g = 32.2 ft/sec
 h = 0.25' (depth of water)
 AREA GRATE INLET No.30 = 4.23 sq ft
 MAX Q GRATE INLET No.30 = 16.80 cfs

REQUIRED DETENTION VOLUME:

(USING MODIFIED RATIONAL METHOD TO DETERMINE VOLUMES)
 Q₂₅ (NET ALLOWABLE RELEASE) = 82.23 cfs
 Q₁₀₀ (BYPASS) = 38.17 cfs
 Allowable Q out Detention = 44.05 cfs
 TOTAL REQUIRED DETENTION VOLUME = 19,191 cubic feet
 VOLUME PROVIDED IN PIPE = 6,579 cubic feet
 TOTAL ON GROUND STORAGE REQUIRED = 12,601 cubic feet
 VOLUME PROVIDED ON GROUND = 12,644 cubic feet

RECORD DRAWING

THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.

CONTRACTOR: HILL & WILKINSON
 DATE REVISED: 05/04/01

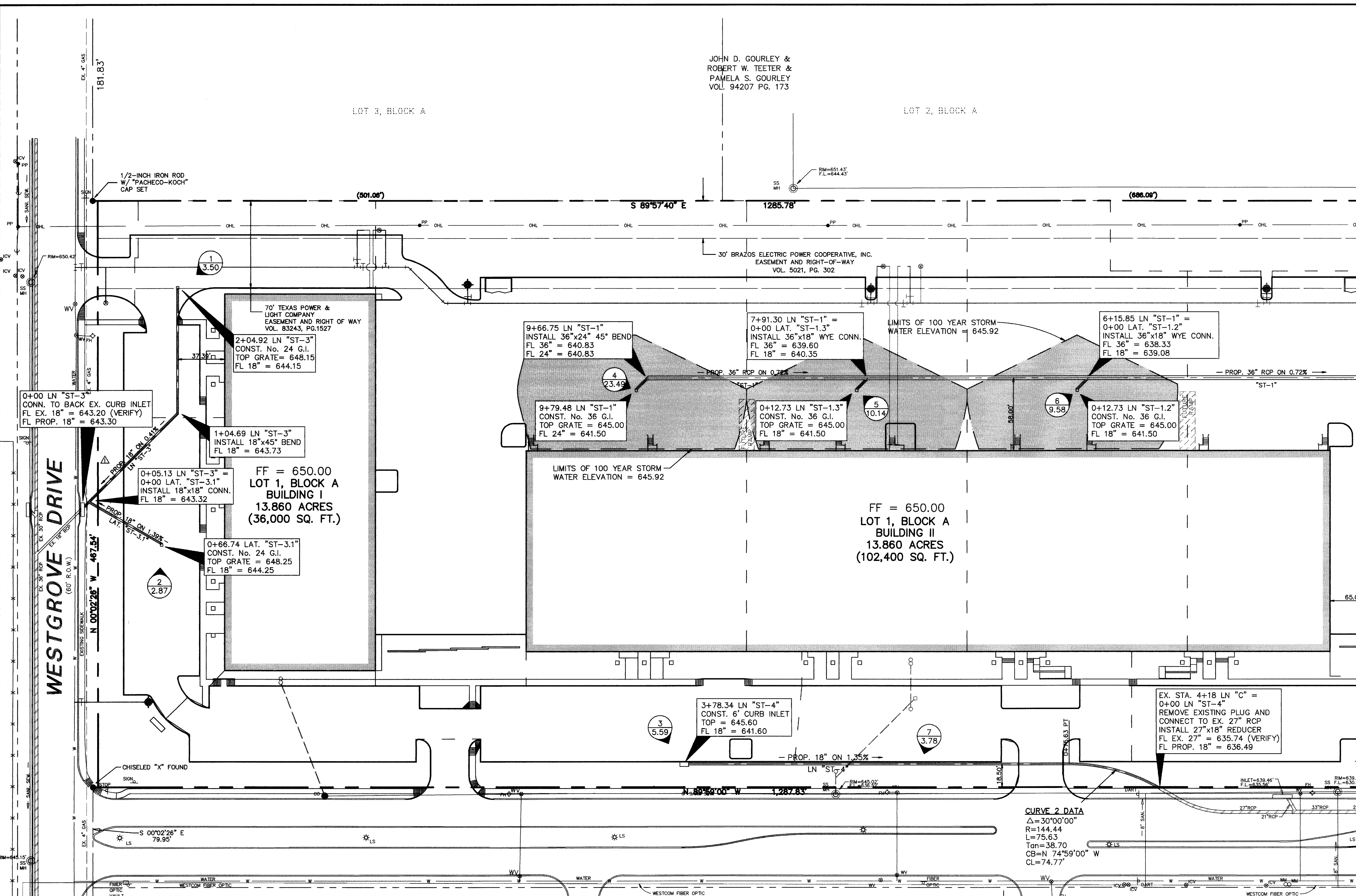
REVISOR: [Symbol] 05/04/01
 REVISOR: [Symbol] 11/27/00

Pacheco Koch Consulting Engineers
 9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

| DRAINAGE PLAN | | | | | | |
|------------------------------------|-------|---------------|--------|-------|------|-------------|
| ADDISON OFFICE / WAREHOUSE COMPLEX | | | | | | |
| LOTS 1 & 2, BLOCK A | | | | | | |
| WESTGROVE/BENT TREE PLAZA ADDITION | | | | | | |
| TOWN OF ADDISON, TEXAS | | | | | | |
| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C4.2 |



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EXCEL PARKWAY

(80' R.O.W.) (Volume 83220, Page 2655)

RUNOFF CALCULATIONS

| DRAINAGE AREA | AREA (ACRES) | Tc (Minutes) | C | I ₂₅ (in/hr) | I ₁₀₀ (in/hr) | Q ₂₅ (cfs) | Q ₁₀₀ (cfs) |
|---------------|--------------|--------------|-----|-------------------------|--------------------------|-----------------------|------------------------|
| 1 | 0.50 | 10 | 0.8 | 7.29 | 8.74 | 2.92 | 3.50 |
| 2 | 0.41 | 10 | 0.8 | 7.29 | 8.74 | 2.39 | 2.87 |
| 3 | 0.80 | 10 | 0.8 | 7.29 | 8.74 | 4.67 | 5.59 |
| 4 | 3.36 | 10 | 0.8 | 7.29 | 8.74 | 19.60 | 23.49 |
| 5 | 1.45 | 10 | 0.8 | 7.29 | 8.74 | 8.46 | 10.14 |
| 6 | 1.37 | 10 | 0.8 | 7.29 | 8.74 | 7.99 | 9.58 |
| 7 | 0.54 | 10 | 0.8 | 7.29 | 8.74 | 3.15 | 3.78 |
| 8 | 0.68 | 10 | 0.8 | 7.29 | 8.74 | 3.97 | 4.75 |
| 9 | 2.46 | 10 | 0.8 | 7.29 | 8.74 | 14.35 | 17.20 |
| 10 | 0.46 | 10 | 0.8 | 7.29 | 8.74 | 2.68 | 3.22 |
| 11 | 0.25 | 10 | 0.8 | 7.29 | 8.74 | 1.46 | 1.75 |
| 12 | 0.34 | 10 | 0.8 | 7.29 | 8.74 | 1.98 | 2.38 |
| 13 | 0.62 | 10 | 0.8 | 7.29 | 8.74 | 3.62 | 4.34 |
| 14 | 0.55 | 10 | 0.8 | 7.29 | 8.74 | 3.21 | 3.85 |
| 15 | 0.59 | 10 | 0.8 | 7.29 | 8.74 | 3.44 | 4.13 |
| 16 | 0.53 | 10 | 0.8 | 7.29 | 8.74 | 3.09 | 3.71 |
| 17 | 0.36 | 10 | 0.8 | 7.29 | 8.74 | 2.10 | 2.52 |
| 18 | 0.48 | 10 | 0.8 | 7.29 | 8.74 | 2.80 | 3.36 |
| 19 | 0.82 | 10 | 0.8 | 7.29 | 8.74 | 4.78 | 5.73 |
| 20 | 0.25 | 10 | 0.8 | 7.29 | 8.74 | 1.46 | 1.75 |
| 21 | 15.7 | 10 | 0.8 | 7.29 | 8.74 | 91.56 | 109.77 |

LOT 4
 PORTION OF TRACT II
 VOL. 92115, PG. 4018

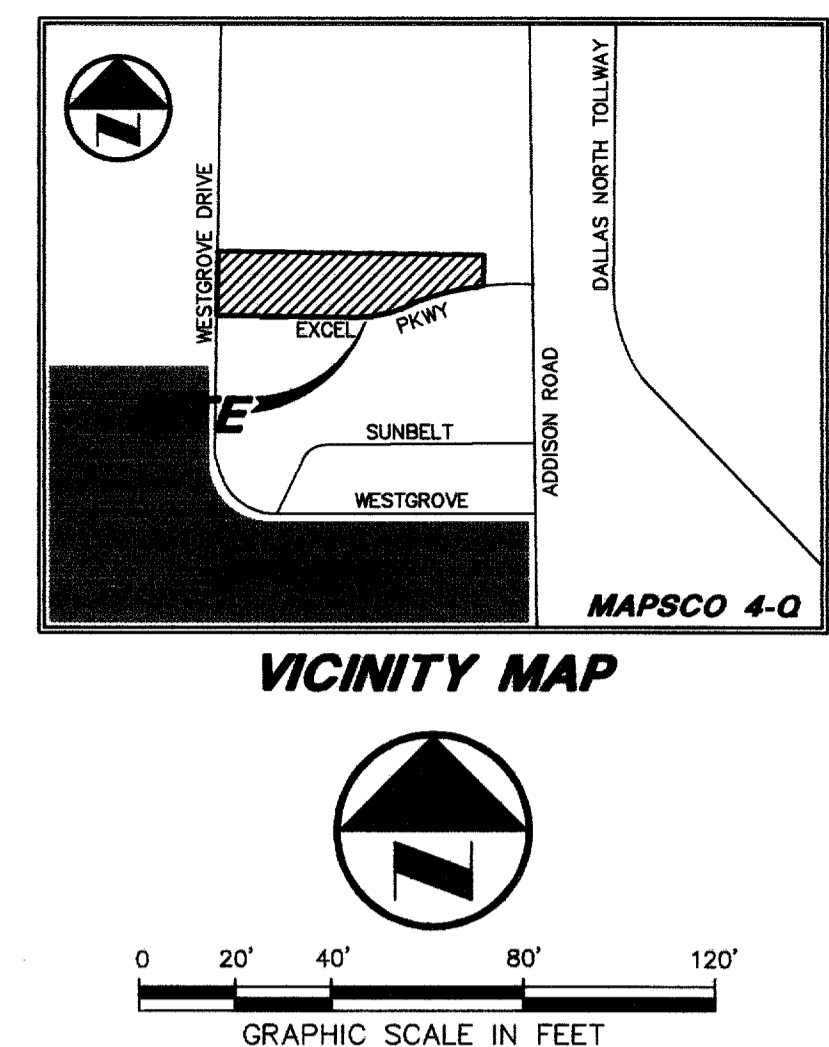
STORM SEWER CALCULATIONS

| LINE / STATION | SIZE | Q ₁₀₀ (cfs) | C (cfs) | V (fps) | V ² /2g | S _f |
|----------------------------------|------|------------------------|---------|---------|--------------------|----------------|
| LINE "ST-1" (0+00.00 - 0+34.52) | 36" | 44.05 | 56.95 | 6.23 | 0.60 | 0.004362 |
| LINE "ST-1" (0+34.52 - 3+58.48) | 36" | 44.05 | 56.95 | 6.23 | 0.60 | 0.004362 |
| LINE "ST-1" (3+58.48 - 6+15.85) | 36" | 43.21 | 56.95 | 6.11 | 0.58 | 0.004197 |
| LINE "ST-1" (6+15.85 - 7+91.30) | 36" | 33.63 | 56.95 | 4.76 | 0.35 | 0.002543 |
| LINE "ST-1" (7+91.30 - 9+66.75) | 36" | 23.49 | 56.95 | 3.32 | 0.17 | 0.001240 |
| LINE "ST-1" (9+66.75 - 9+79.48) | 24" | 23.49 | 51.83 | 7.48 | 0.87 | 0.010783 |
| LAT "ST-1.1" (0+00.00 - 0+6.36) | 18" | 17.20 | 63.58 | 9.73 | 1.47 | 0.026814 |
| LAT "ST-1.2" (0+00.00 - 0+12.73) | 18" | 9.58 | 40.79 | 5.42 | 0.46 | 0.008318 |
| LAT "ST-1.3" (0+00.00 - 0+12.73) | 18" | 10.14 | 23.74 | 5.74 | 0.51 | 0.009319 |
| LINE "ST-3" (0+00.00 - 0+5.13) | 18" | 6.37 | 17.45 | 3.60 | 0.20 | 0.003678 |
| LINE "ST-3" (0+5.13 - 2+04.92) | 18" | 3.50 | 17.45 | 1.98 | 0.06 | 0.001110 |
| LAT "ST-3.1" (0+00.00 - 0+66.74) | 18" | 2.87 | 30.46 | 1.62 | 0.04 | 0.000747 |
| LINE "ST-4" (0+00.00 - 3+78.34) | 18" | 5.59 | 12.20 | 3.16 | 0.16 | 0.002832 |

* REFER TO SHEET C4.3 FOR THE PLAN VIEW OF THIS PORTION OF LINE "ST-1"

LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- FH FIRE HYDRANT
- CL CLEANOUT
- MH MANHOLE
- GM GAS METER
- TSC TRAFFIC SIGNAL CONTROL
- TSP TRAFFIC SIGNAL POLE
- TELE TELEPHONE BOX
- TV TV BOX
- FP FLAG POLE
- EM ELECTRIC METER
- SIGN TRAFFIC SIGN
- PROPERTY LINE
- O.H. POWER LINE
- TEL U/G TELEPHONE LINE
- W U/G WATER LINE
- G U/G GAS LINE
- B.F.R. BARRIER FREE RAMP
- DRAINAGE DIVIDE



- GRADING AND DRAINAGE GENERAL NOTES**
- REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
 - UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN A MAXIMUM OF 6" LIFTS.
 - ALL WALKS TO HAVE A MAXIMUM CROSS SLOPE OF 2%.
 - GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO STATE, LOCAL AND FEDERAL GUIDELINES.
 - UNLESS NOTED, STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS:
 - A. RCP C-76, CLASS III
 - B. ADS N-12
 - C. HANCOR HI-Q
 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - UNLESS NOTED, GRATE INLET TO BE "AMERICAN INDUSTRIAL PRE-CAST PRODUCTS, INC." PRECAST CATCH BASIN, SIZED AS SHOWN, OF APPROVED EQUAL.
 - FINAL PAVING, CURB AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
 - REFER TO LANDSCAPE SPECIFICATION FOR SEEDING AND SODDING REQUIREMENTS.
 - ANY CONCRETE, ROCK OR MATERIAL DEEMED UNSUITABLE FOR SUBGRADE, BY ENGINEER, SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.
 - TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 6.2.10 AND SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH NCTCOG ITEM 6.2.9 TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
 - EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 6.2.9 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
 - A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS. THE MANHOLE COVER SHALL BE PLACED NEAR THE OUTLET PIPE.
 - ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 7.4.5, CLASS "A" UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD CITY SPECIFICATIONS.
 - CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM OF THE CRUSHED STONE BEDDING.
 - IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.
 - EXACT FLOW LINE ELEVATIONS OF STUBOUTS WERE UNABLE TO BE DETERMINED FROM CITY DRAWINGS. CONTRACTOR IS TO VERIFY EXACT ELEVATIONS AND CONTACT THE ENGINEER.

DRAINAGE CRITERIA

Q=cfs
C=0.80
Tc=10
I₁₀₀=8.74

INLET SIZE CALCULATIONS

Q = CA√2gh
C = 0.65 (discharge coefficient)
A = AREA INLET OPENING (sq ft)
g = 32.2 ft/sec
h = 0.25' (depth of water)
AREA GRATE INLET No.30 = 4.23 sq ft
MAX Q GRATE INLET No.30 = 16.80 cfs

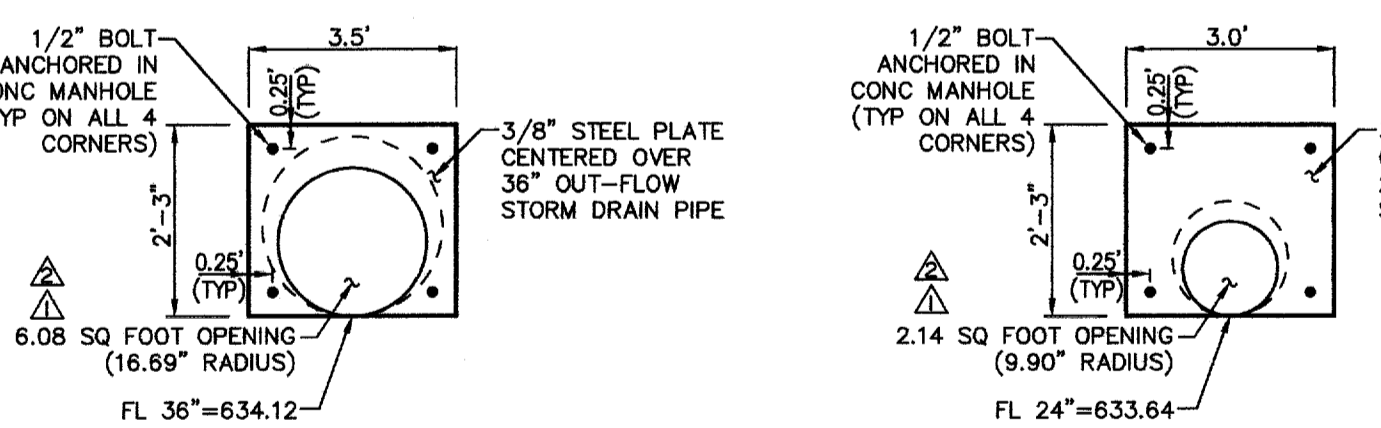
REQUIRED DETENTION VOLUME:
(USING MODIFIED RATIONAL METHOD TO DETERMINE VOLUMES)
Q₂₅ (NET ALLOWABLE RELEASE) = 27.06 cfs
Q₁₀₀ (BYPASS) = 11.19 cfs
Allowable Q out Detention = 15.87 cfs
TOTAL REQUIRED DETENTION VOLUME = 6,196 cubic feet
VOLUME PROVIDED IN PIPE = 1,875 cubic feet
TOTAL ON GROUND STORAGE REQUIRED = 4,321 cubic feet
VOLUME PROVIDED ON GROUND = 5,196 cubic feet

REVISD 05/04/01
REVISD 11/14/00
REVISD 10/11/00

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

DRAINAGE PLAN
ADDITION OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C4.3 |



FLOW REDUCER PLATE DETAIL "A"

ORIFACE PLATE CALCS
Q = CA√2gh = 44.05 cfs
C = 0.65 (discharge coefficient)
A = AREA OPENING (sq ft)
g = 32.2 ft/sec
h = 1.93 (depth of water)
A = 6.08 SQUARE FOOT

FLOW REDUCER PLATE DETAIL "B"

ORIFACE PLATE CALCS
Q = CA√2gh = 15.87 cfs
C = 0.65 (discharge coefficient)
A = AREA OPENING (sq ft)
g = 32.2 ft/sec
h = 2.03 (depth of water)
A = 2.14 SQUARE FOOT

RECORD DRAWING

THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.

CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

BENCHMARKS

| BM | DESCRIPTION | ELEVATION |
|------|---|--------------|
| BM 1 | "□" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD. | ELEV.=642.97 |
| BM 2 | 60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL | ELEV.=648.07 |
| BM 3 | "□" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR. | ELEV.=651.73 |
| BM 4 | "□" CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF Q OF WESTGROVE. | ELEV.=645.69 |



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70990 ON 07/26/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

STORM SEWER CALCULATIONS

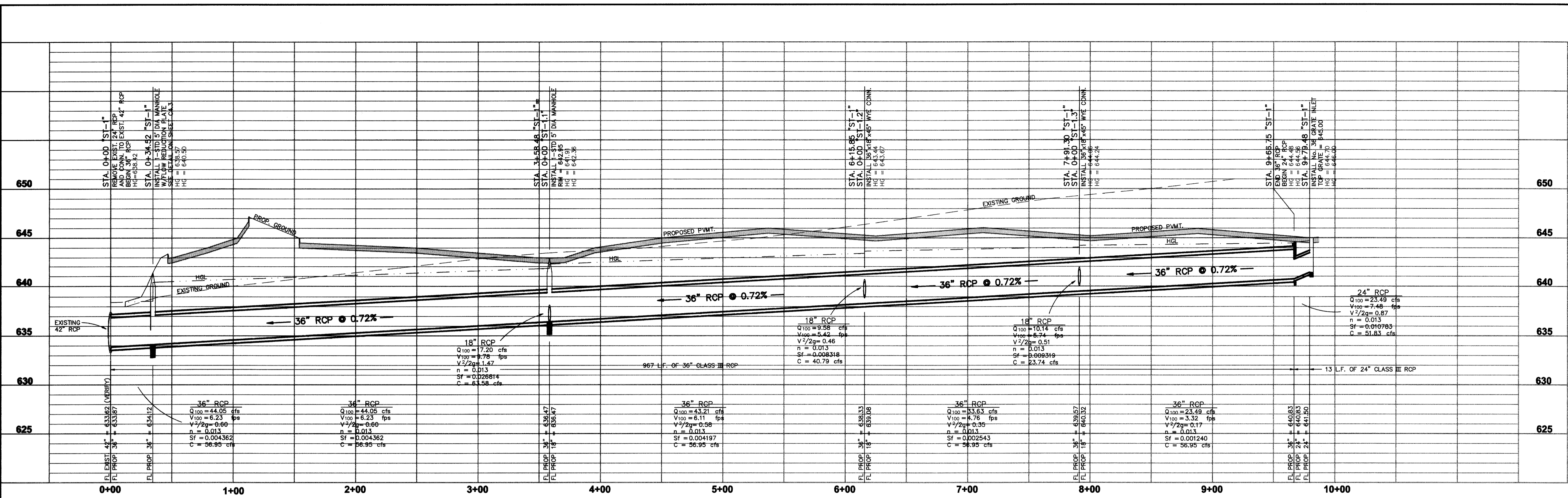
| LINE / STATION | SIZE | Q100 (cfs) | C | V _s (ft/s) | V ² /2g | S _f |
|----------------------------------|------|------------|--------|-----------------------|--------------------|----------------|
| LINE "ST-2" (0+00 - 0+45.36) | 24" | 19.09 | 19.85 | 6.08 | 0.57 | 0.007122 |
| LINE "ST-2" (0+45.36 - 0+67.83) | 24" | 15.87 | 19.85 | 5.05 | 0.40 | 0.004922 |
| LINE "ST-2" (0+67.83 - 0+97.83) | 30" | 15.87 | 105.37 | 3.23 | 0.16 | 0.001497 |
| LINE "ST-2" (0+97.83 - 1+85.63) | 30" | 15.87 | 35.99 | 3.23 | 0.16 | 0.001497 |
| LINE "ST-2" (1+85.63 - 2+73.63) | 30" | 12.80 | 35.99 | 2.61 | 0.11 | 0.000974 |
| LINE "ST-2" (2+73.63 - 3+61.63) | 30" | 9.09 | 35.99 | 1.85 | 0.05 | 0.000491 |
| LINE "ST-2" (3+61.63 - 4+49.63) | 30" | 5.73 | 35.99 | 1.17 | 0.02 | 0.000195 |
| LINE "ST-2" (4+49.63 - 4+62.36) | 18" | 5.73 | 23.18 | 3.24 | 0.16 | 0.002976 |
| LAT "ST-2-1" (0+00 - 0+11.73) | 18" | 3.22 | 56.12 | 1.82 | 0.05 | 0.000940 |
| LAT "ST-2-2" (0+00.00 - 0+12.73) | 18" | 4.34 | 44.93 | 2.46 | 0.09 | 0.001707 |
| LAT "ST-2-3" (0+00.00 - 0+12.73) | 18" | 4.13 | 37.81 | 2.34 | 0.08 | 0.001546 |
| LAT "ST-2-4" (0+00.00 - 0+12.73) | 18" | 3.71 | 28.99 | 2.10 | 0.07 | 0.001248 |
| LAT "ST-2-5" (0+00.00 - 0+12.73) | 18" | 3.36 | 16.14 | 1.90 | 0.06 | 0.001023 |
| LINE "ST-5" (0+00.00 - 0+20.76) | 18" | 3.85 | 49.87 | 2.18 | 0.07 | 0.001343 |
| LINE "ST-6" (0+00.00 - 0+70.94) | 18" | 2.52 | 32.03 | 1.43 | 0.03 | 0.000576 |
| LINE "ST-7" (0+00.00 - 0+10.74) | 18" | 4.75 | 49.66 | 2.69 | 0.11 | 0.002045 |
| LINE "ST-8" (0+00.00 - 0+42.18) | 18" | 1.75 | 37.71 | 0.99 | 0.02 | 0.000278 |

RUNOFF CALCULATIONS

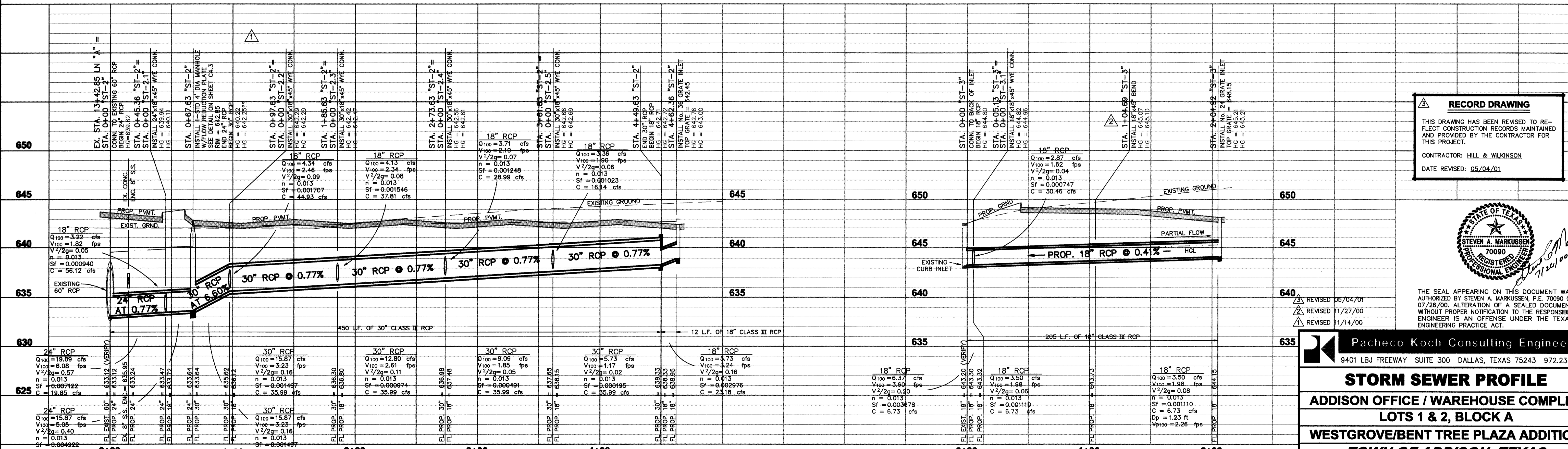
| DRAINAGE AREA | AREA (ACRES) | Tc (Minutes) | C | I _{ss} (in/hr) | I ₁₀₀ (in/hr) | Q _{ss} (cfs) | Q ₁₀₀ (cfs) |
|---------------|--------------|--------------|-----|-------------------------|--------------------------|-----------------------|------------------------|
| 1 | 0.50 | 10 | 0.8 | 7.29 | 8.74 | 2.92 | 3.50 |
| 2 | 0.41 | 10 | 0.8 | 7.29 | 8.74 | 2.39 | 2.87 |
| 3 | 0.80 | 10 | 0.8 | 7.29 | 8.74 | 4.67 | 5.59 |
| 4 | 3.36 | 10 | 0.8 | 7.29 | 8.74 | 19.60 | 23.49 |
| 5 | 1.45 | 10 | 0.8 | 7.29 | 8.74 | 8.46 | 10.14 |
| 6 | 1.37 | 10 | 0.8 | 7.29 | 8.74 | 7.99 | 9.58 |
| 7 | 0.54 | 10 | 0.8 | 7.29 | 8.74 | 3.15 | 3.78 |
| 8 | 0.68 | 10 | 0.8 | 7.29 | 8.74 | 3.97 | 4.76 |
| 9 | 2.46 | 10 | 0.8 | 7.29 | 8.74 | 14.35 | 17.20 |
| 10 | 0.48 | 10 | 0.8 | 7.29 | 8.74 | 2.68 | 3.22 |
| 11 | 0.25 | 10 | 0.8 | 7.29 | 8.74 | 1.46 | 1.75 |
| 12 | 0.34 | 10 | 0.8 | 7.29 | 8.74 | 1.98 | 2.38 |
| 13 | 0.62 | 10 | 0.8 | 7.29 | 8.74 | 3.62 | 4.34 |
| 14 | 0.55 | 10 | 0.8 | 7.29 | 8.74 | 3.21 | 3.85 |
| 15 | 0.59 | 10 | 0.8 | 7.29 | 8.74 | 3.44 | 4.13 |
| 16 | 0.53 | 10 | 0.8 | 7.29 | 8.74 | 3.09 | 3.71 |
| 17 | 0.36 | 10 | 0.8 | 7.29 | 8.74 | 2.10 | 2.52 |
| 18 | 0.48 | 10 | 0.8 | 7.29 | 8.74 | 2.80 | 3.36 |
| 19 | 0.82 | 10 | 0.8 | 7.29 | 8.74 | 4.78 | 5.73 |
| 20 | 0.25 | 10 | 0.8 | 7.29 | 8.74 | 1.46 | 1.75 |
| 21 | 15.7 | 10 | 0.8 | 7.29 | 8.74 | 91.56 | 109.77 |

MATCH LINE SEE SHEET

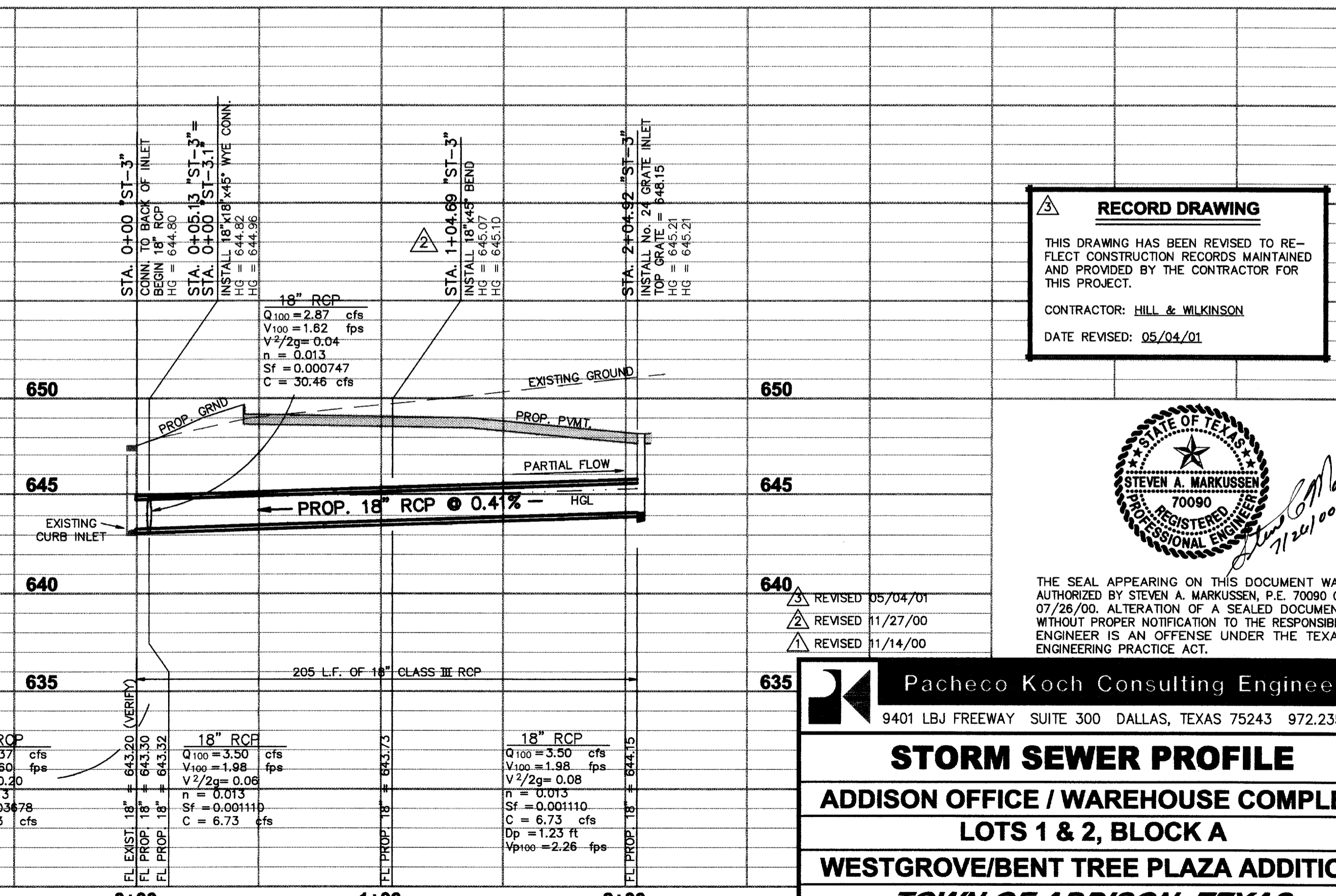
JLM
05/10/2001
M:\DWG-21\112-05.DWG



PROFILE "ST-1"
SCALE: HORIZ. 1"=40'
VERT. 1"=5'



PROFILE "ST-2"
SCALE: HORIZ. 1"=40'
VERT. 1"=5'



PROFILE "ST-3"
SCALE: HORIZ. 1"=40'
VERT. 1"=5'

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01



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- REVISD 05/04/01
- REVISD 11/27/00
- REVISD 11/14/00

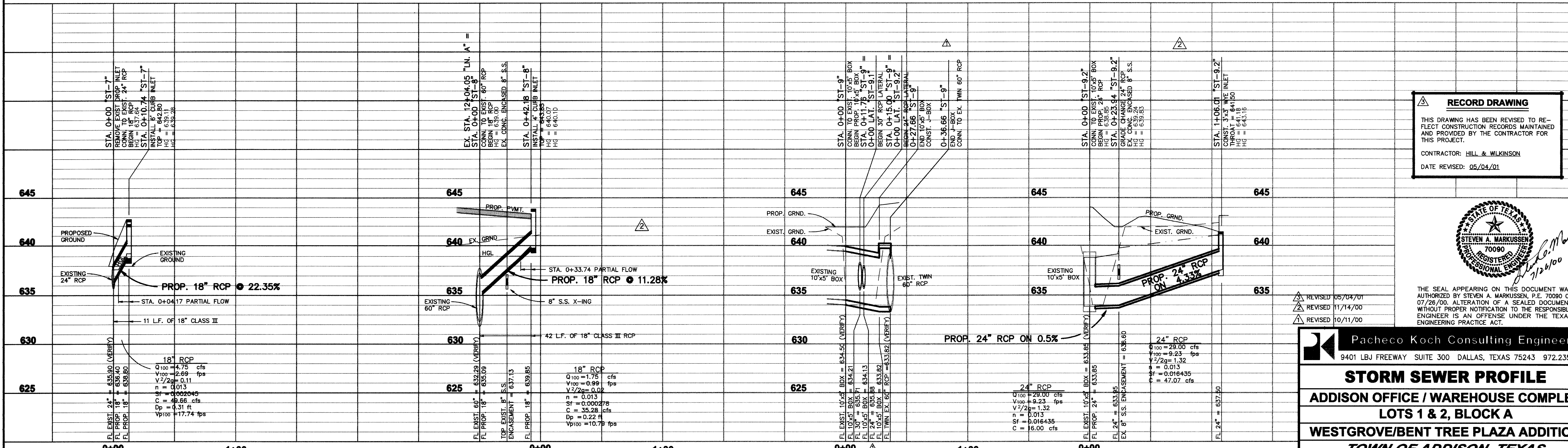
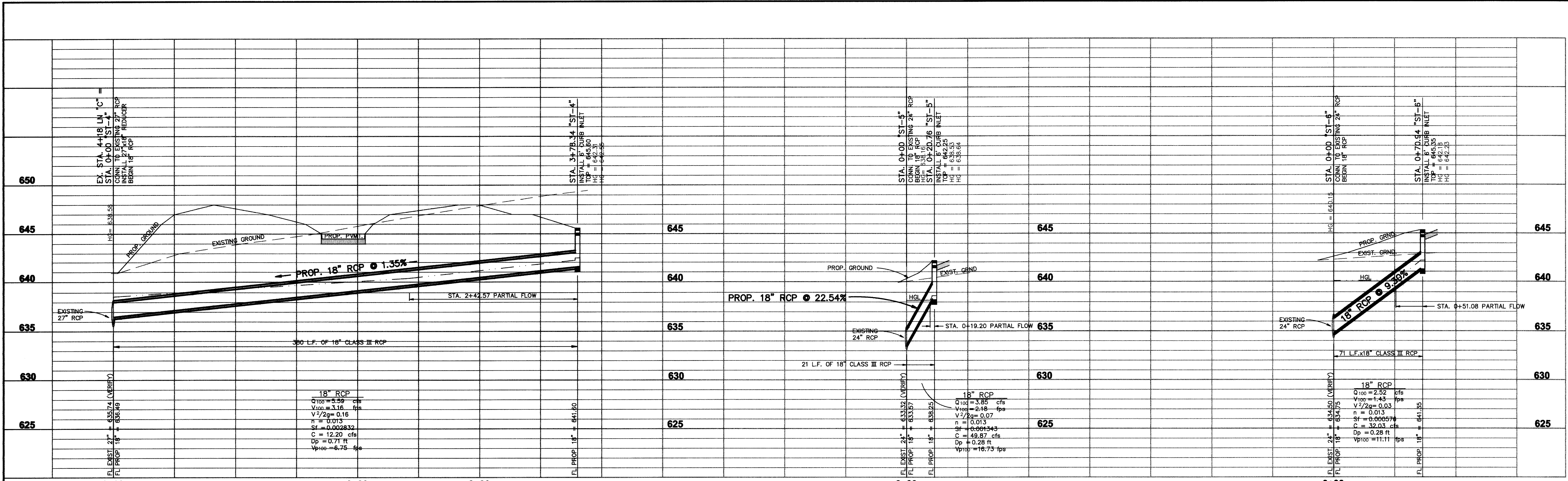
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

STORM SEWER PROFILE
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C4.4 |

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 7/26/00
REVISIONS:

SHEET NO. + TITLE:
C4.4
STORM SEWER
PROFILE



RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01



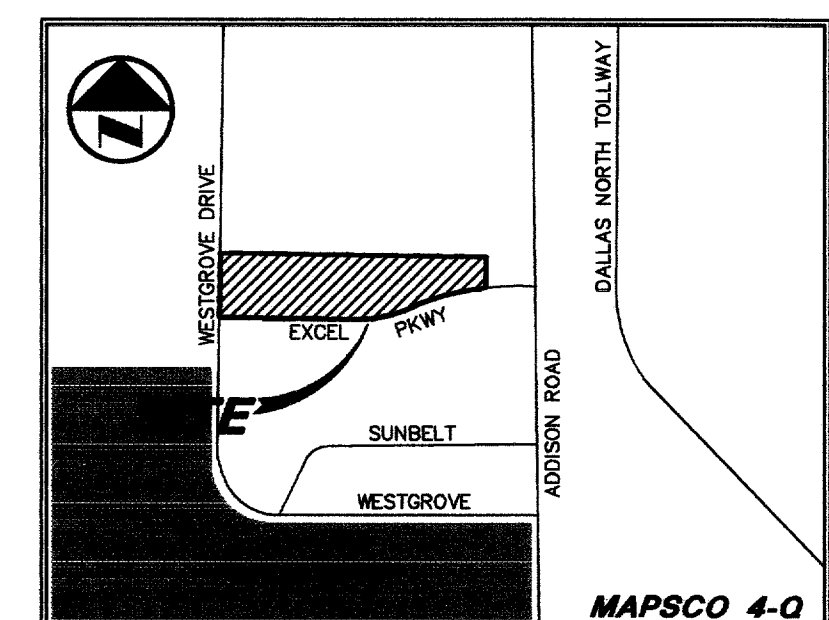
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70090 ON 07/26/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

- REVISD 05/04/01
- REVISD 11/14/00
- REVISD 10/11/00

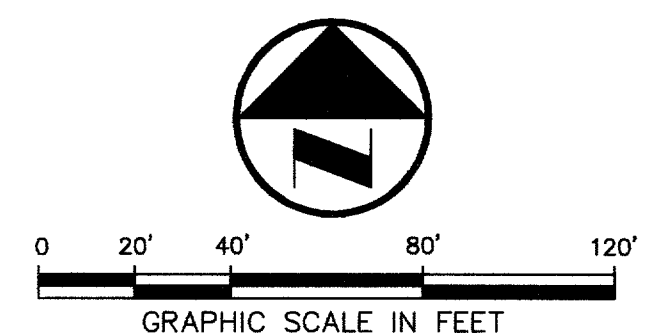
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

| STORM SEWER PROFILE | | | | | |
|------------------------------------|-------|---------------|--------|-------|----------|
| ADDISON OFFICE / WAREHOUSE COMPLEX | | | | | |
| LOTS 1 & 2, BLOCK A | | | | | |
| WESTGROVE/BENT TREE PLAZA ADDITION | | | | | |
| TOWN OF ADDISON, TEXAS | | | | | |
| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE NO. |
| CJE | JLM | JULY 26, 2000 | 1"=40' | | C4.5 |

SHEET NO. + TITLE:
C4.5
STORM SEWER PROFILE



VICINITY MAP

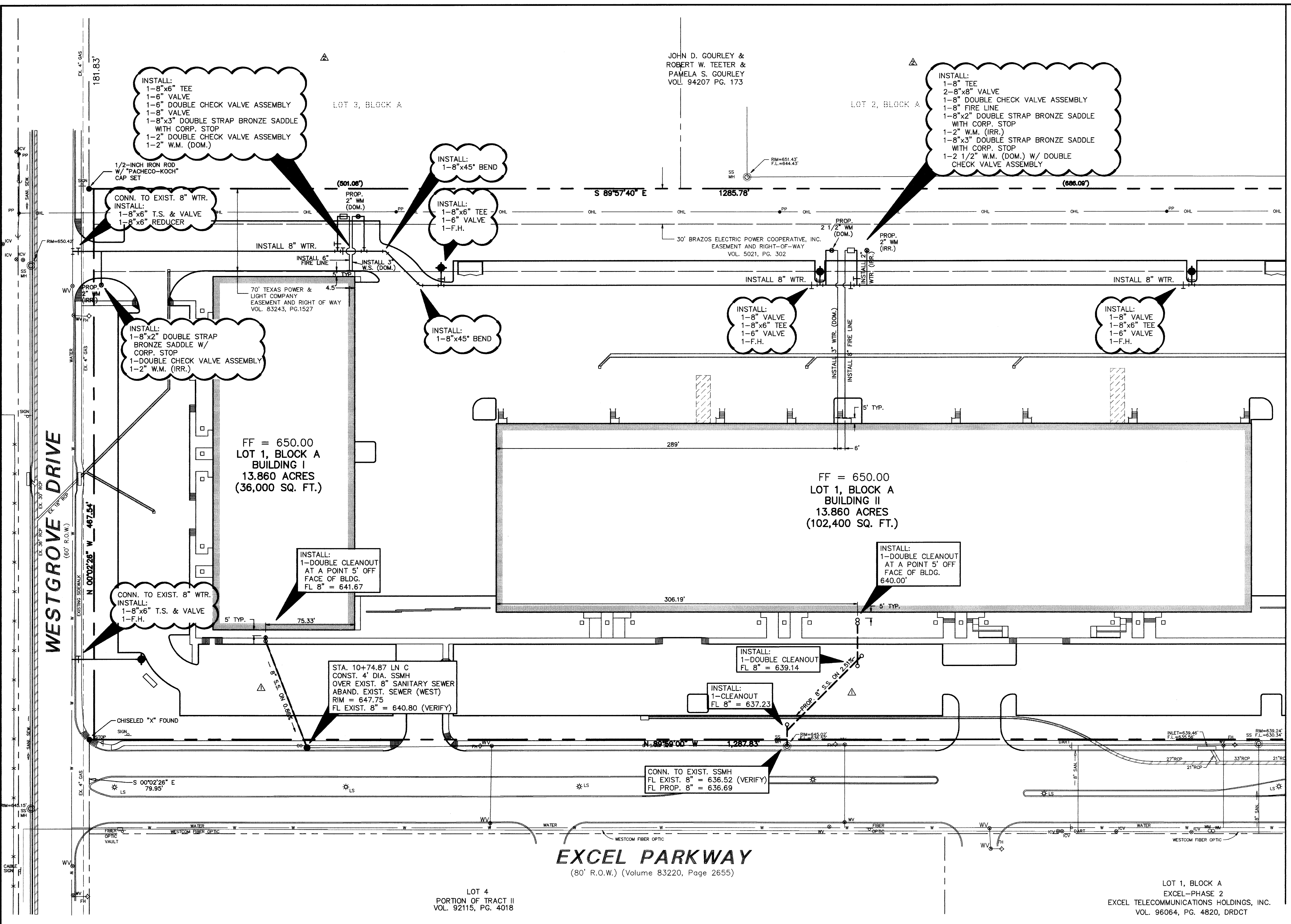


LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- PH FIRE HYDRANT
- CL CLEANOUT
- MH MANHOLE
- GM GAS METER
- TSC TRAFFIC SIGNAL CONTROL
- TSP TRAFFIC SIGNAL POLE
- TELE TELEPHONE BOX
- TV TV BOX
- FP FLAG POLE
- EM ELECTRIC METER
- TRAF TRAFFIC SIGN
- PL PROPERTY LINE
- OHL O.H. POWER LINE
- TEL U/G TELEPHONE LINE
- W U/G WATER LINE
- G U/G GAS LINE
- F FENCE
- B.F.R. BARRIER FREE RAMP

DALLAS
MCGILLEN
HARRINGTON
703 McKinney Avenue, Suite 401
Dallas, TX 75202-1052
214-964-1985
214-964-1985
www.rofdw.com
Facsimile:
Web Page:

PROJECT
ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
P.R. DEVELOPMENT SERVICES, INC.



MATCH LINE SEE SHEET

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

REVISOR: JLM
DATE: 05/04/01
REVISOR: CJM
DATE: 11/02/00
REVISOR: JLM
DATE: 08/29/00

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

LOT 4
PORTION OF TRACT II
VOL. 92115, PG. 4018

LOT 1, BLOCK A
EXCEL—PHASE 2
EXCEL TELECOMMUNICATIONS HOLDINGS, INC.
VOL. 96064, PG. 4820, DRDCT

BENCHMARKS

| | | |
|------|---|--------------|
| BM 1 | "G" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD. | ELEV.=642.97 |
| BM 2 | 60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL | ELEV.=648.07 |
| BM 3 | "G" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR. | ELEV.=651.73 |
| BM 4 | " " CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF C. OF WESTGROVE | ELEV.=645.69 |



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Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

WATER & SANITARY SEWER PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A

WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C5.1 |

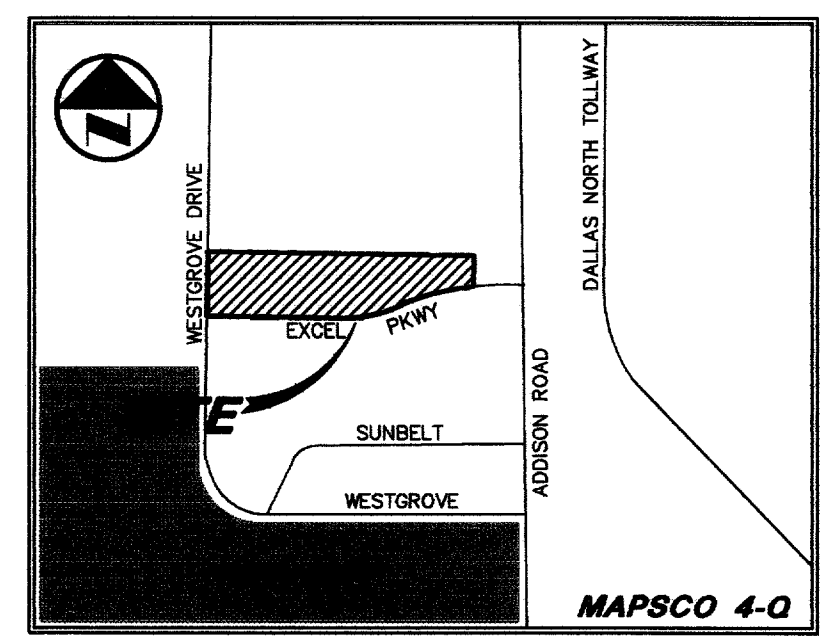
PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJM
DATE: 05/04/01
REVISIONS:

SHEET NO. + TITLE: **C5.1**

WATER & SANITARY SEWER PLAN

LEGEND

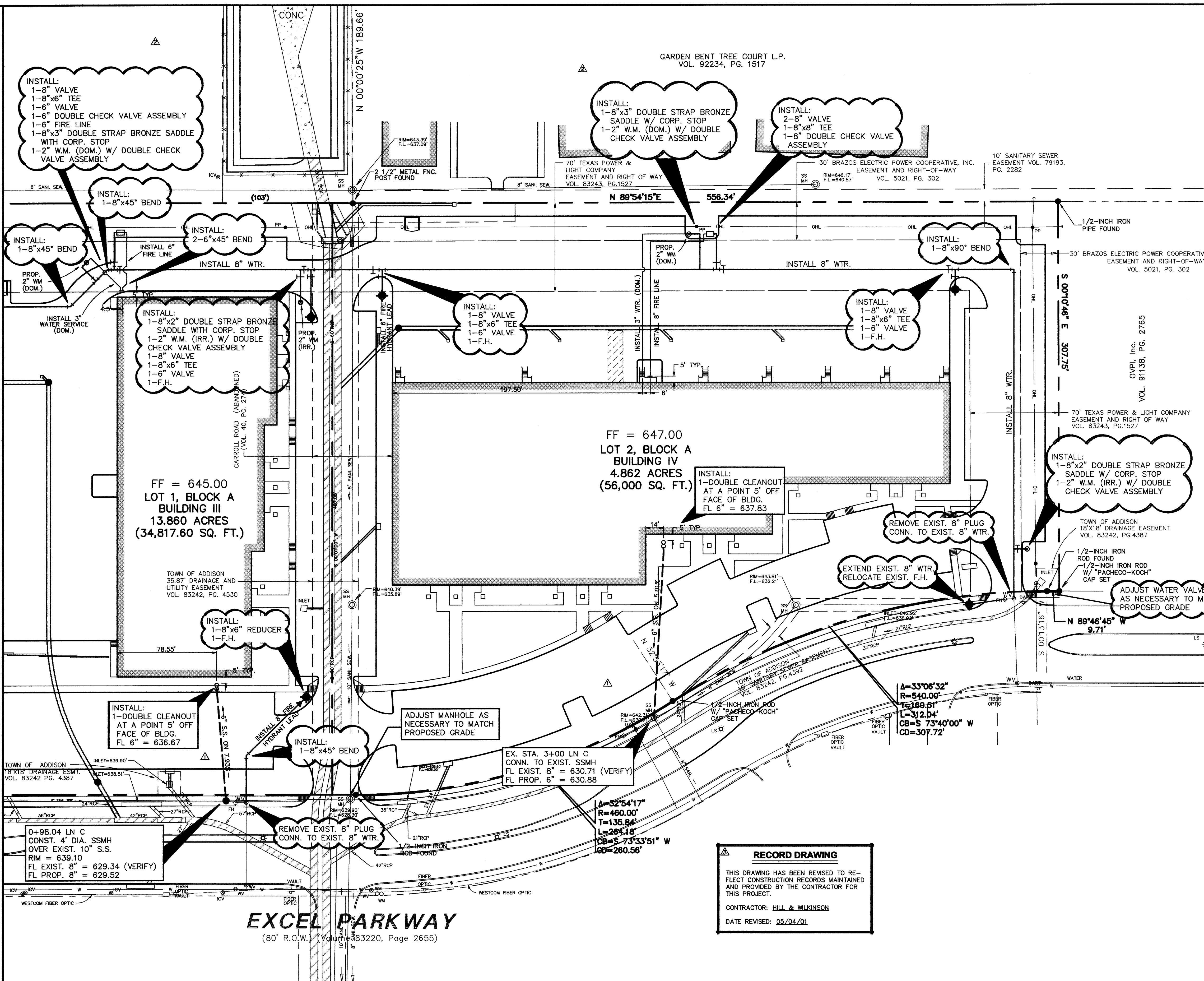
- B BOLLARD
- EM ELECTRIC METER
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- PL PROPERTY LINE
- OHL O.H. POWER LINE
- TEL U/G TELEPHONE LINE
- W U/G WATER LINE
- G U/G GAS LINE
- F FENCE
- B.F.R. BARRIER FREE RAMP



WATER AND SANITARY SEWER GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A", (3000 PSI).
2. ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 150.
3. WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
4. ALL WATER MAINS UNLESS OTHERWISE NOTED SHALL HAVE A MINIMUM COVER OF 48" BELOW FINISHED GRADE.
5. SANITARY SEWER PIPE SHALL BE PVC SDR-35.
6. WHEN WATER MAINS AND SANITARY SEWERS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING GUIDELINES SHALL APPLY:
 - (A) WHERE A SANITARY SEWER PARALLELS A WATERLINE, THE SEWER SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC MEETING ASTM SPECIFICATIONS WITH A PRESSURE RATING FOR BOTH THE PIPE AND JOINTS OF 150 PSI. THE VERTICAL SEPARATION SHALL BE A MINIMUM OF TWO FEET BETWEEN OUTSIDE DIAMETERS AND THE HORIZONTAL SEPARATION SHALL BE A MINIMUM OF FOUR FEET BETWEEN OUTSIDE DIAMETERS. THE SEWER SHALL BE LOCATED BELOW THE WATERLINE.
 - (B) WHERE A SANITARY SEWER CROSSES A WATERLINE AND THE SEWER IS CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI, AN ABSOLUTE MINIMUM DISTANCE OF SIX INCHES BETWEEN OUTSIDE DIAMETERS SHALL BE MAINTAINED. IN ADDITION, THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF THE SEWER PIPE MUST BE CENTERED ON THE WATERLINE.
 - (C) WHERE A SEWER CROSSES UNDER A WATERLINE AND THE SEWER IS CONSTRUCTED OF ABS TRUSS PIPE, SIMILAR SEMI-RIGID PLASTIC COMPOSITE PIPE, CLAY PIPE OR CONCRETE PIPE WITH GASKETED JOINTS, A MINIMUM TWO FOOT SEPARATION DISTANCE SHALL BE MAINTAINED. IN ADDITION, THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF THE SEWER PIPE MUST BE CENTERED ON THE WATERLINE.
 - (D) WHERE A SEWER CROSSES OVER A WATERLINE ALL PORTIONS OF THE SEWER WITHIN NINE FEET OF THE WATERLINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC PIPE WITH A PRESSURE RATING OF AT LEAST 150 PSI USING APPROPRIATE ADAPTERS. IN LIEU OF THIS PROCEDURE, THE NEW CONVEYANCE MAY BE ENCASED IN A JOINT OF 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE FEET INTERVALS WITH SPACERS OR BE FILLED TO THE SPRING LINE WITH WASHED SAND. THE ENCASEMENT PIPE SHOULD BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEAL.
 - (E) THE SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO BE INSTALLED PARALLEL TO AN EXISTING SEWER THAT SHOWS NO EVIDENCE OF LEAKAGE AND THE WATERLINE IS INSTALLED ABOVE THE SEWER A MINIMUM OF TWO FEET VERTICALLY AND FOUR FEET HORIZONTALLY. SHOULD EXCAVATION FOR THE WATERLINE PRODUCE EVIDENCE THAT THE SEWER IS LEAKING, THE SEWER MUST BE REPAIRED OR REPLACED AS DESCRIBED IN SUBPARAGRAPHS (A) OR (D) OF THIS PARAGRAPH.
 - (F) THE SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO CROSS OVER (BY TWO FEET OR MORE) EXISTING SEWER SHOWING NO EVIDENCE OF LEAKAGE. SHOULD EXCAVATION FOR THE WATERLINE PRODUCE EVIDENCE THAT THE SEWER IS LEAKING, THEN THE SEWER MUST BE REPAIRED OR REPLACED AS DESCRIBED IN SUBPARAGRAPHS (C) OR (D).
7. CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
8. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OF ALLEY IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
9. ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
10. THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO (2) FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE CURB, WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE RECORD DRAWINGS.
11. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
12. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL MEETING NCTCOG ITEM 6.2.10 AND MECHANICALLY COMPACTED IN 8" LIFTS TO THE TOP OF THE SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
13. VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE CONTRACTOR (UTILITY) SHALL POUR A CONCRETE BLOCK 24"x24"x6" AROUND ALL VALVE BOXES TOPS SO THE FINISHED GRADE.
14. IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTORS EXPENSE.
15. USE RESTRAINING GLANDS ON ALL M.J. FITTINGS @ 90°, 45°, AND F.H. LEADS (MEGA LUG OR APPROVED EQUAL).
16. "GRADE-LOK" ON HYDRANT LEADS IS OPTIONAL.
17. ADJUST ALL EXISTING VALVES, MANHOLES, AND FIRE HYDRANTS TO FINISH GRADE.
18. WHERE SANITARY SEWER CONNECTS TO EXISTING MANHOLE - CORE AND SEAL MANHOLE WALL.

MATCH LINE SEE SHEET



RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

BENCHMARKS

| | | |
|------|--|--------------|
| BM 1 | "d" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD. | ELEV.=642.97 |
| BM 2 | 60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL | ELEV.=648.07 |
| BM 3 | "d" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR. | ELEV.=651.73 |
| BM 4 | " " CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF C OF WESTGROVE | ELEV.=645.69 |

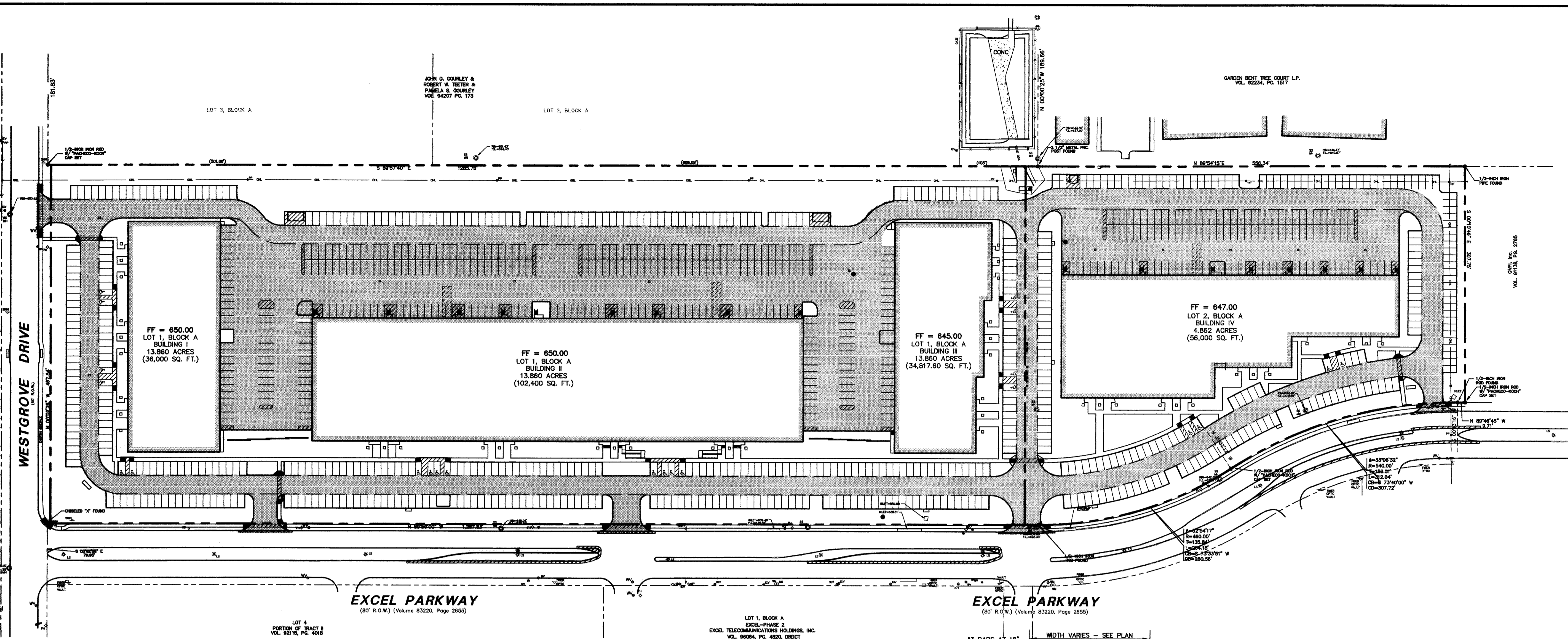


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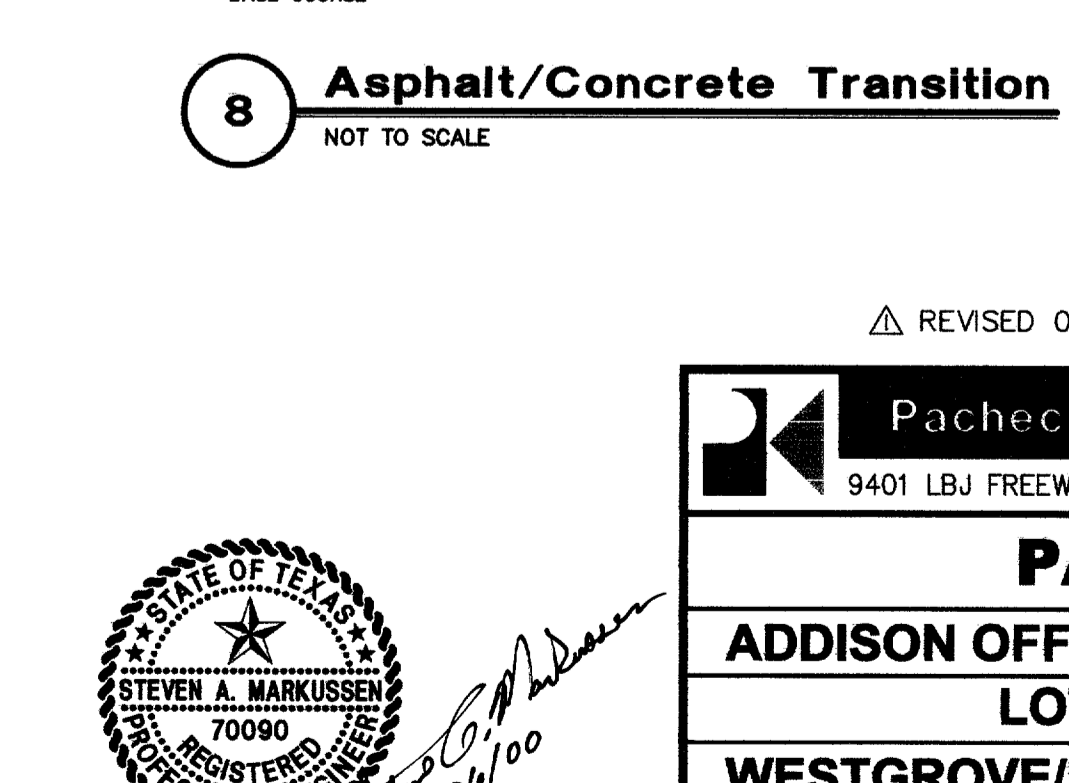
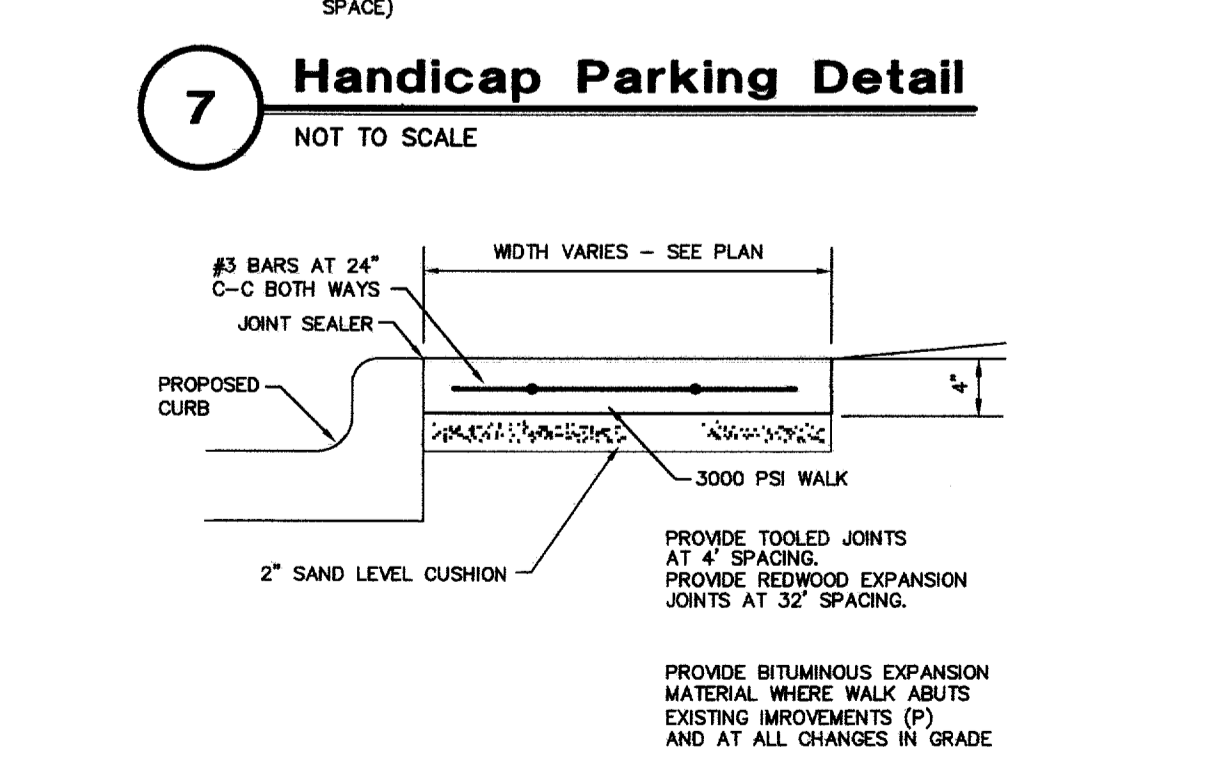
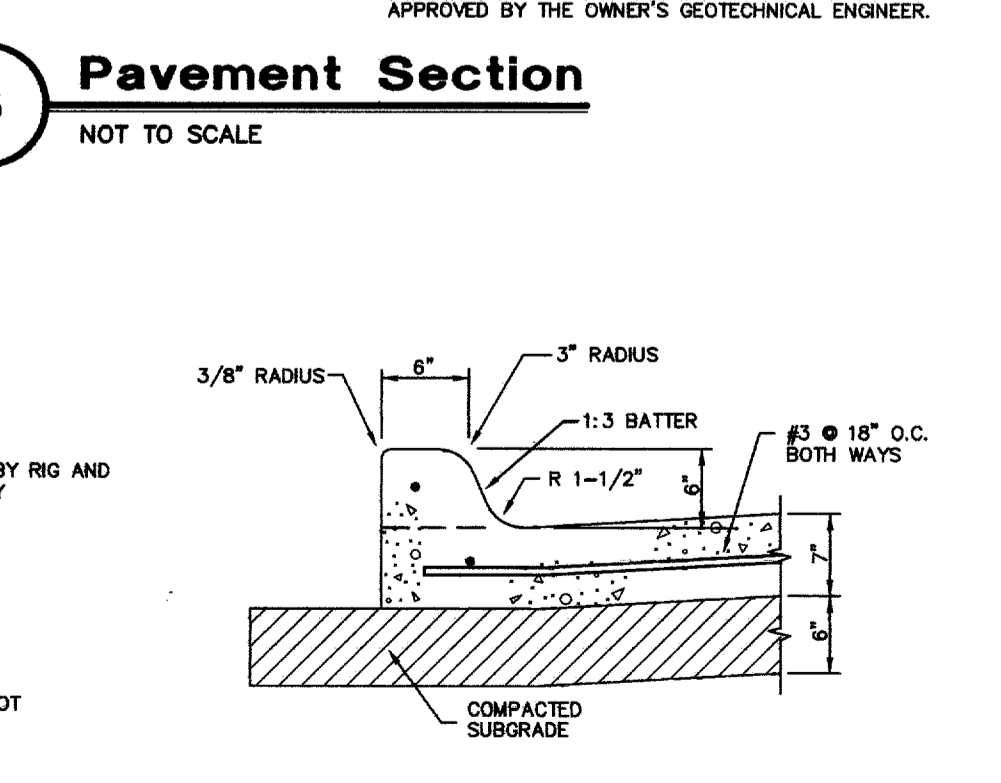
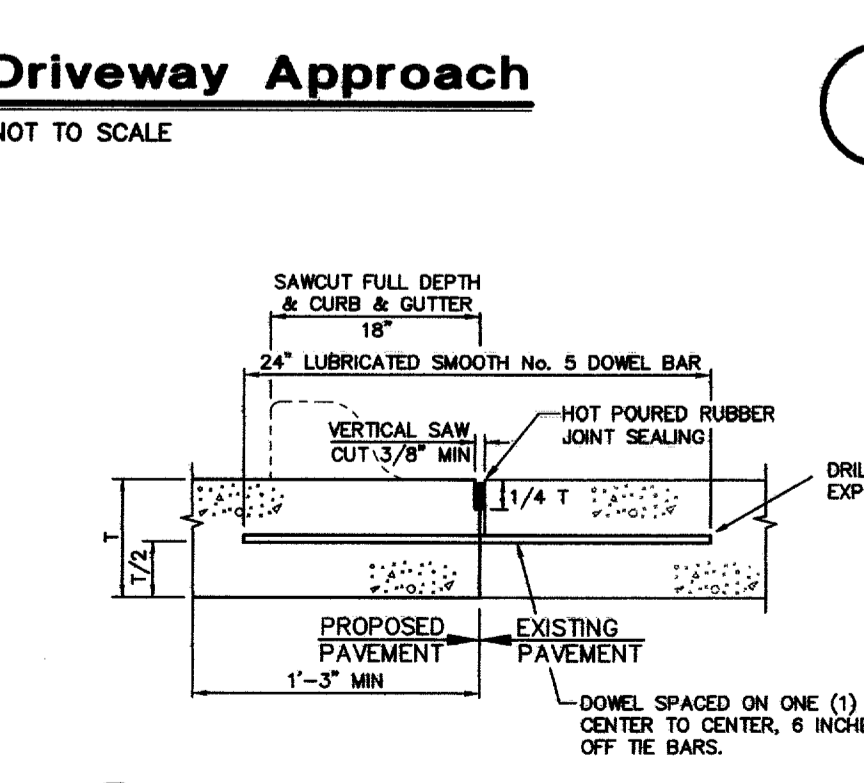
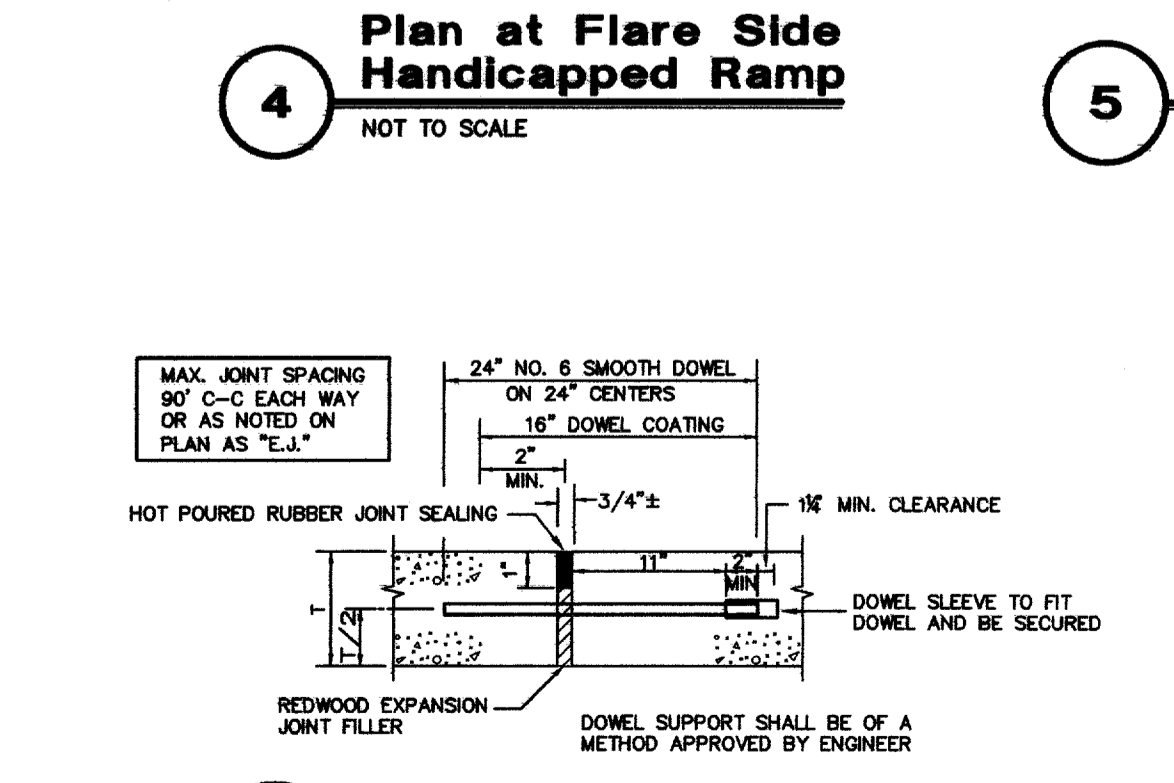
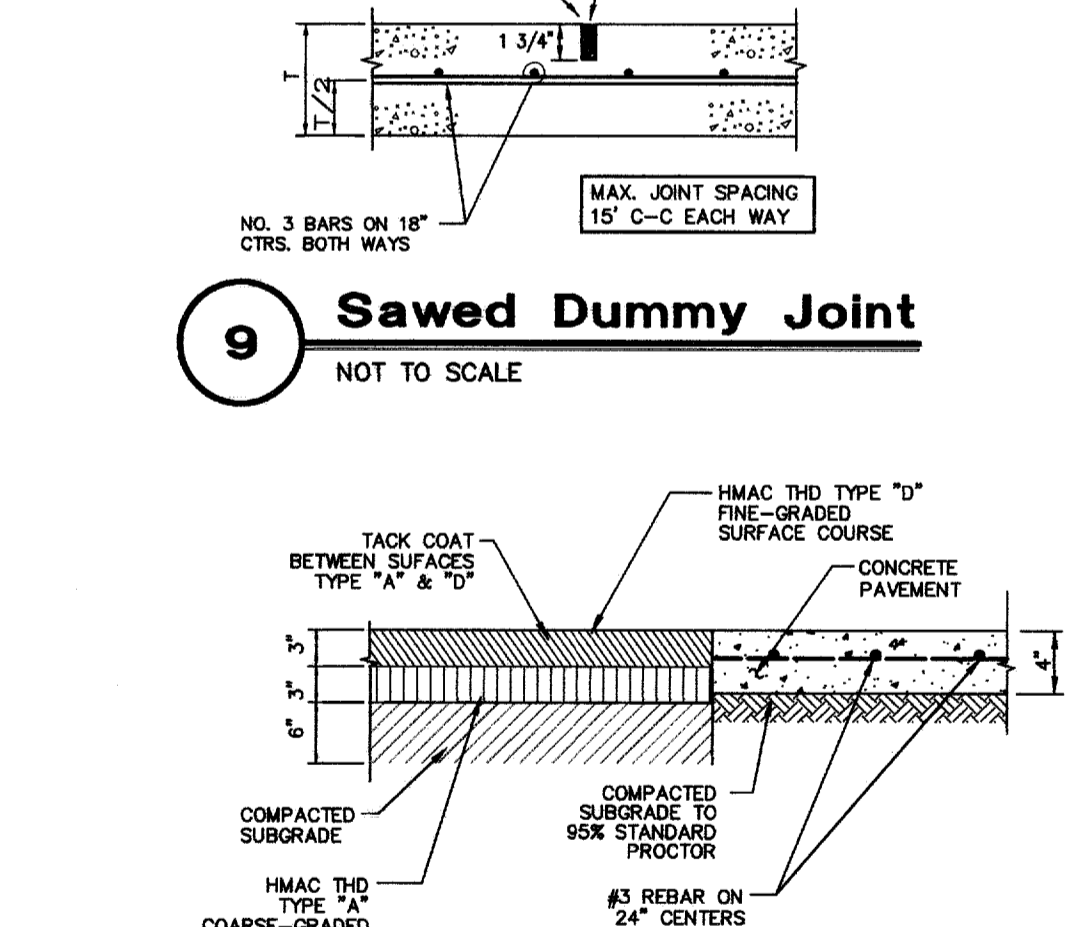
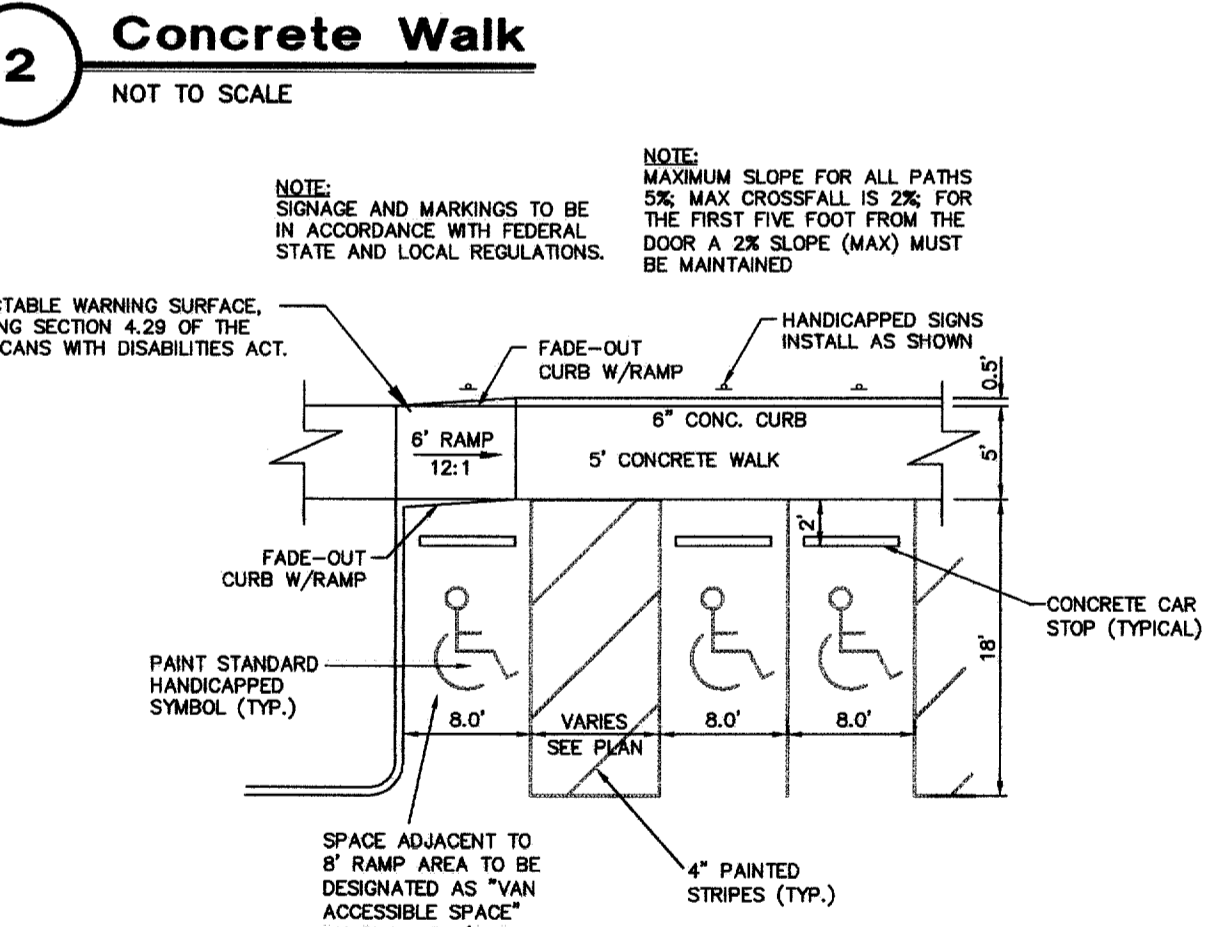
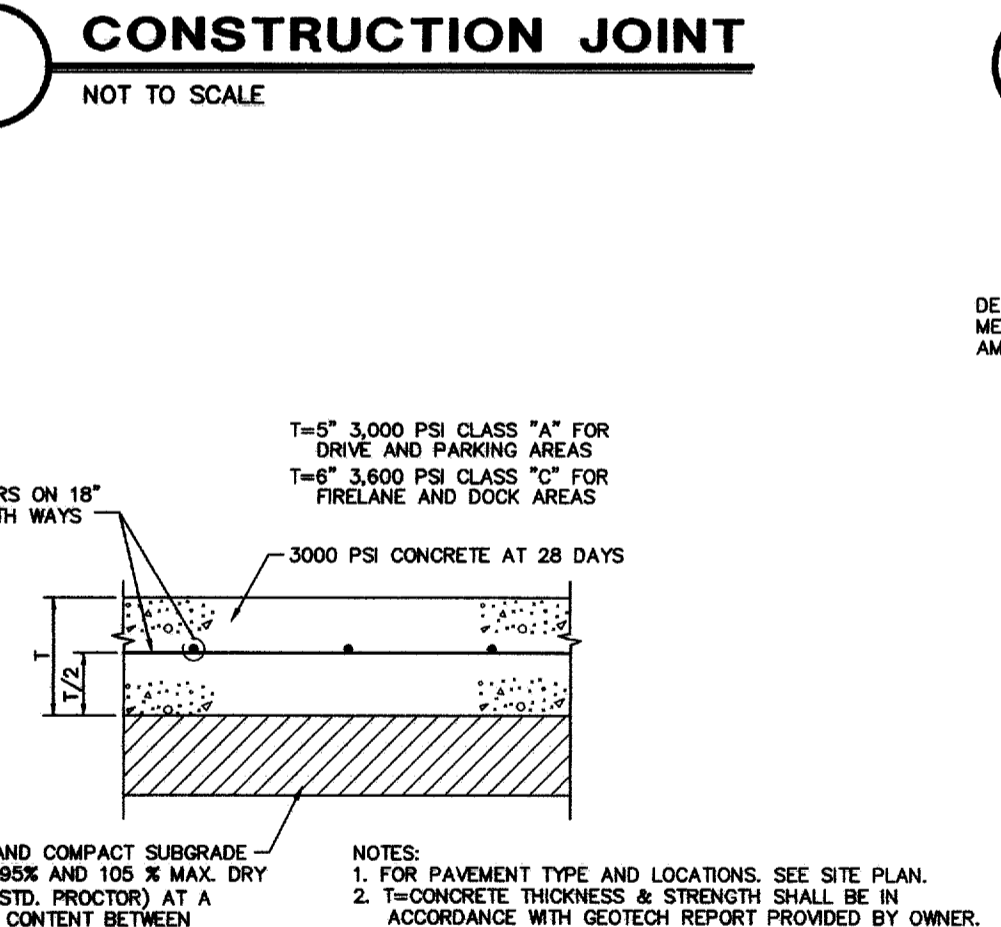
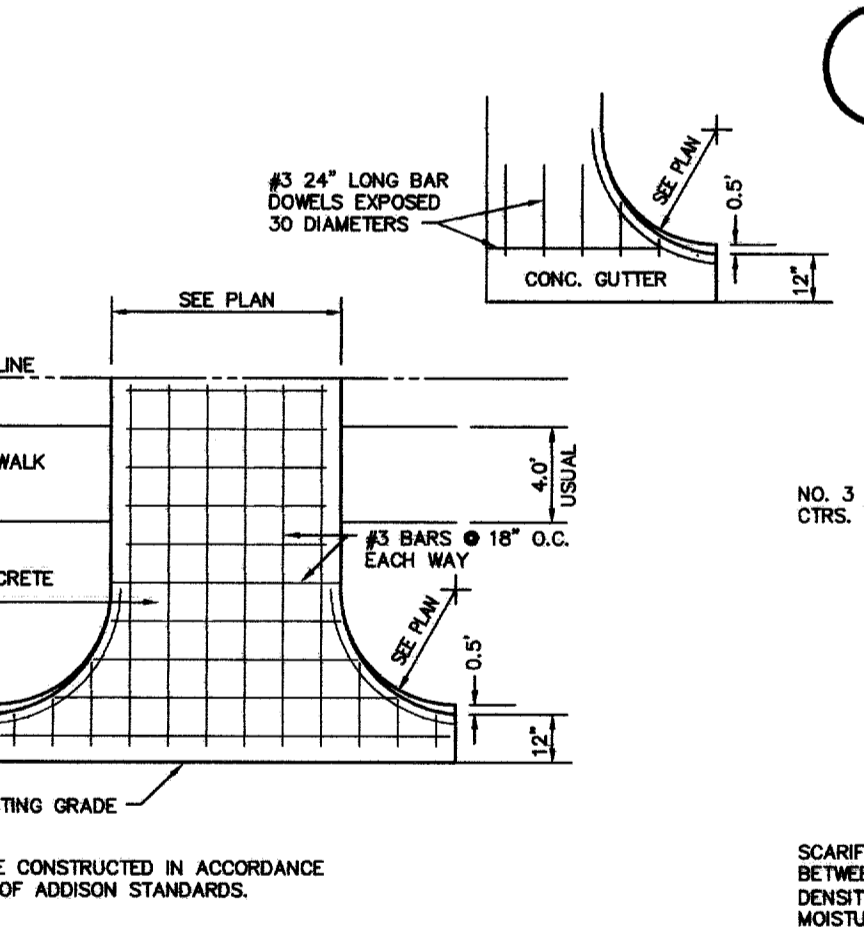
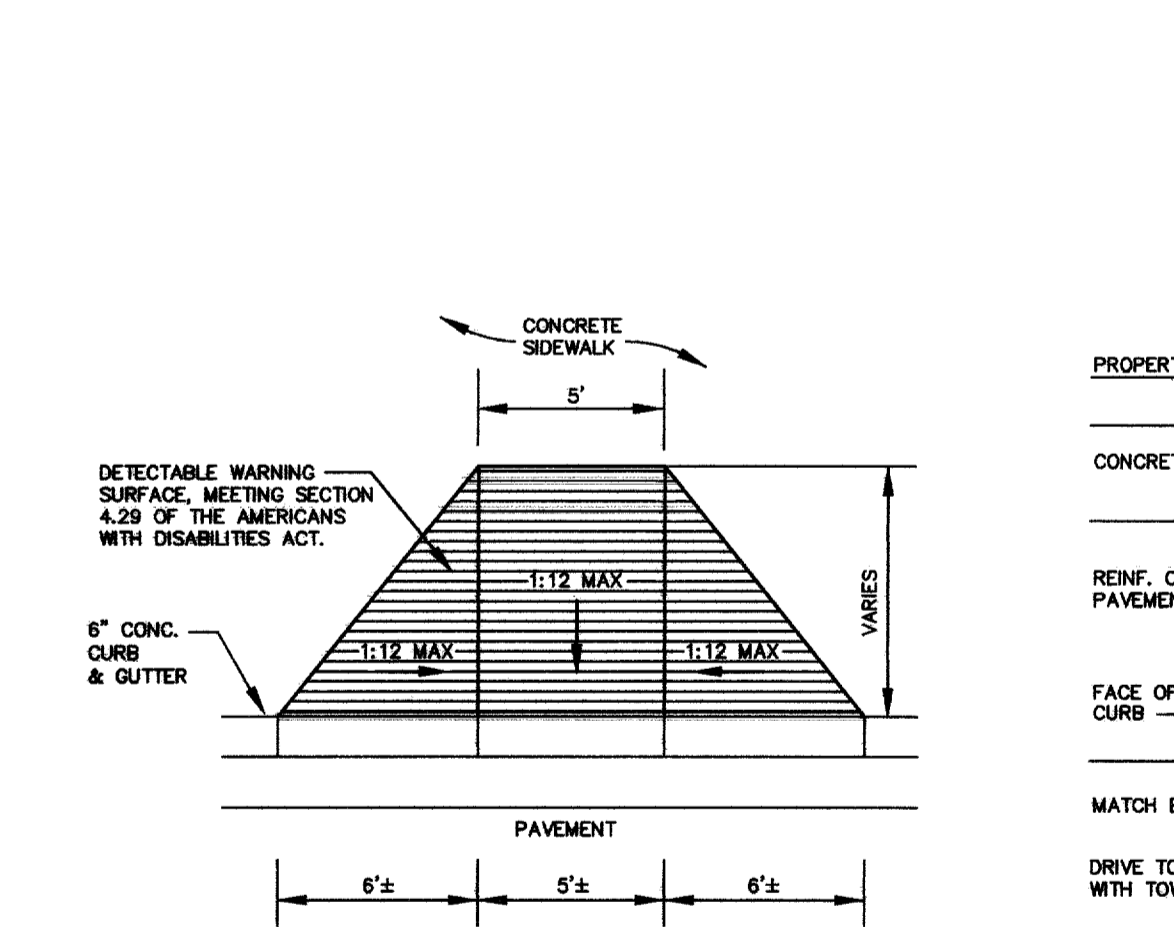
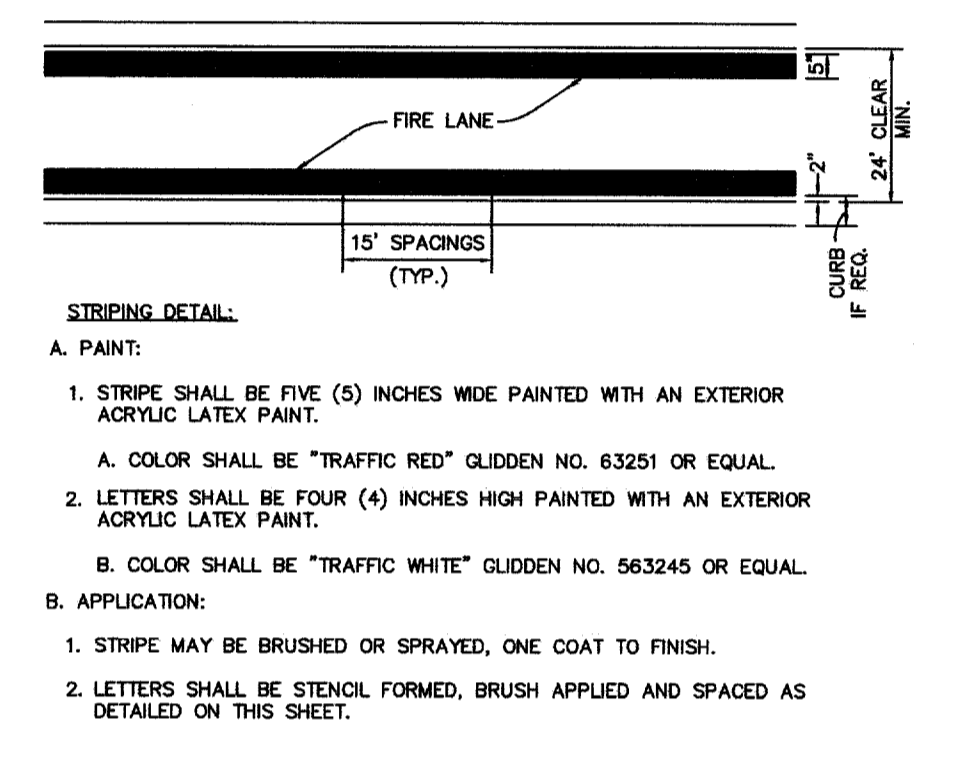
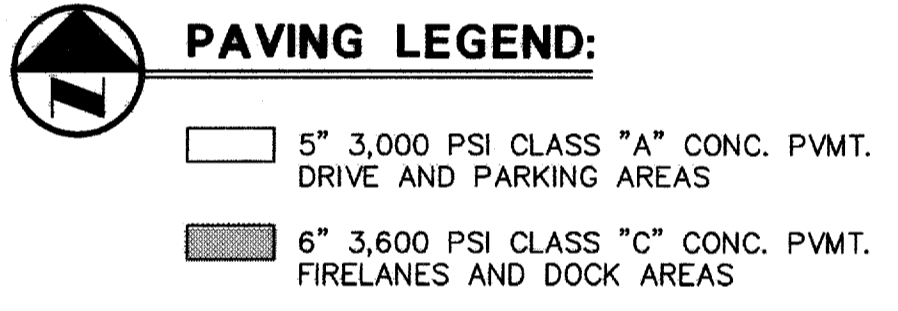
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

WATER & SANITARY SEWER PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=40' | | | C5.2 |



- PAVING NOTES**
- UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A", (3000 PSI).
 - UNLESS NOTED, ALL FILL PLACED UNDER PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6 INCH LIFTS. REFER TO STRUCTURAL SPECIFICATION FOR FILL PLACED BENEATH BUILDING AREAS. ALL OTHER FILL AREAS TO BE COMPACTED TO 90% STANDARD PROCTOR.
 - THE CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER FOR APPROVAL. UNLESS NOTED, EXPANSION JOINT SPACING SHALL BE 90' MAXIMUM EACH WAY WITH NO KEYWAYS AND SAVED DUMMY JOINTS SHALL BE 15' EACH WAY.
 - TRANSVERSE CONSTRUCTION JOINTS SHALL BE USED AT THE END OF EACH DAY'S PAVING AND WHERE INTERRUPTIONS SUSPEND OPERATIONS FOR 30 MINUTES OR MORE.
 - ALL PAVEMENTS TO BE REMOVED SHALL BE FULL DEPTH SAWCUT TO A NEAT LINE, AND THE PAVEMENT REMOVED IN SUCH A MANNER AS TO PRESERVE THE EXISTING TRANSVERSE REINFORCING STEEL TO THE MAXIMUM EXTENT POSSIBLE.
 - ALL CURBS AND GUTTERS SHALL BE INTEGRAL WITH THE PAVEMENT AND HAVE THE SAME COMPRESSIVE STRENGTH.
 - PAVEMENT REINFORCEMENT SHALL BE #3 BARS, SPACED AT 18" CENTER TO CENTER EACH WAY EXCEPT WHERE NOTED IN THE PLANS.
 - BAR LAPS SHALL BE 30 DIAMETERS IN LENGTH.
 - ALL STRIPES SHALL BE 4" WIDE, UNLESS OTHERWISE NOTED.
 - INSTALLATION AND PLACEMENT OF IRRIGATION SLEEVES AND UTILITY CONDUITS SHALL BE IN ACCORDANCE WITH LANDSCAPE ARCHITECTS AND MEP PLANS.
 - SIDEWALKS SHALL HAVE A SLOPE NO GREATER THAN 5% AND A CROSS FALL NO GREATER THAN 2% UNLESS NOTED OTHERWISE.
 - DEVELOPER WILL BE REQUIRED TO REHAB OR REPLACE ALL EXISTING CRACKED OR DETERIORATED SIDEWALKS.



RECORD DRAWING

THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.

CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01



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REVISD 05/04/01

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PAVING PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=80' | | | C6.1 |

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 05/04/01
REVISIONS:

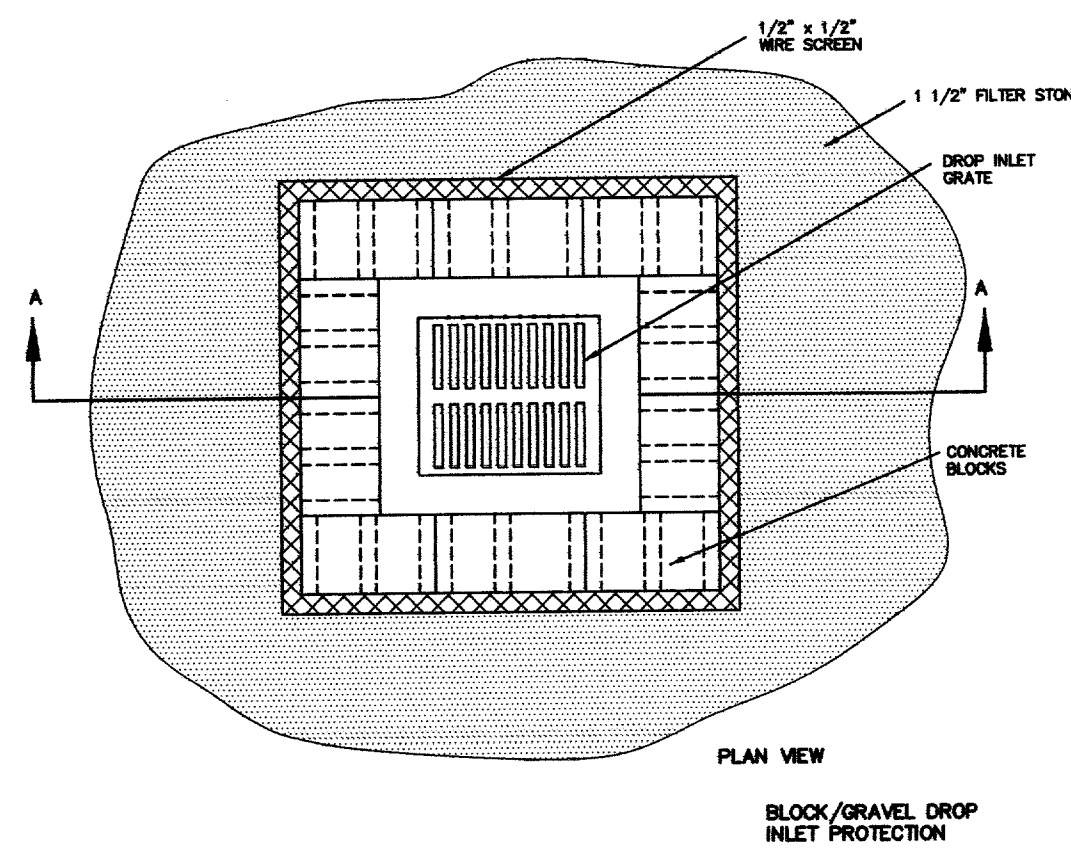
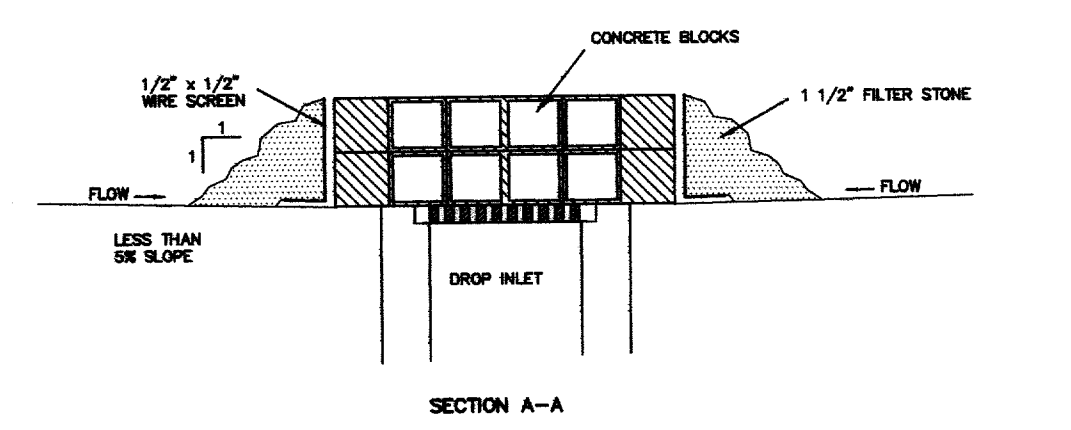
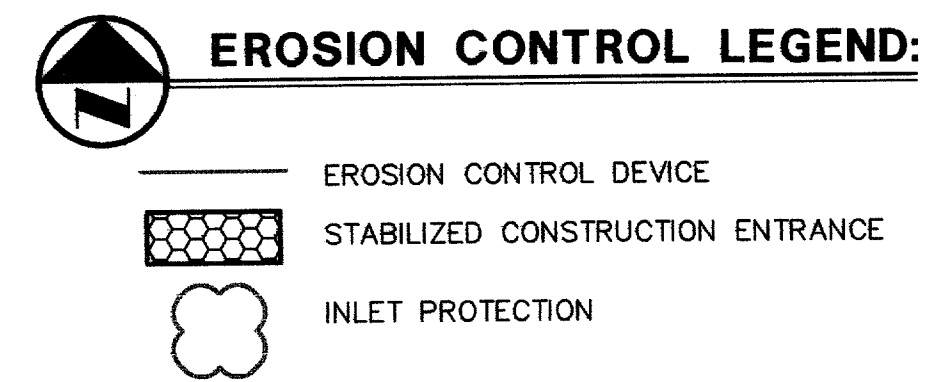
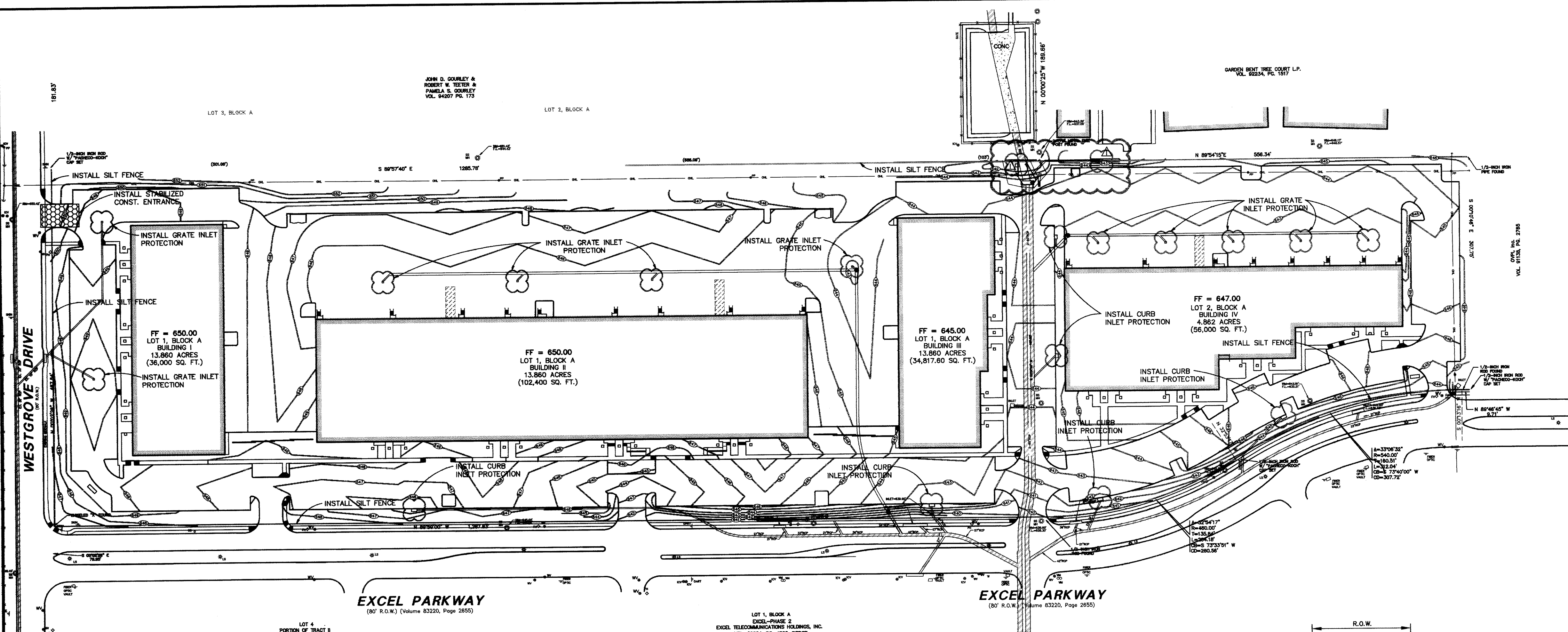
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PAVING PLAN

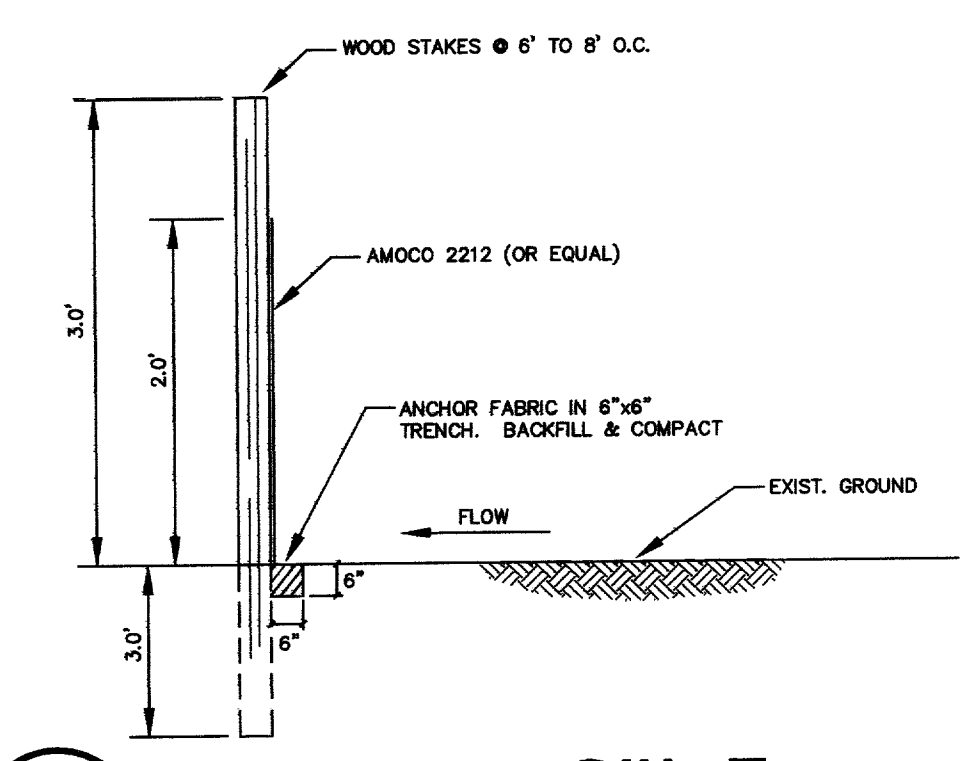
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Mc DWG-21 1212-05.DWG

POLLUTION CONTROL GENERAL NOTES

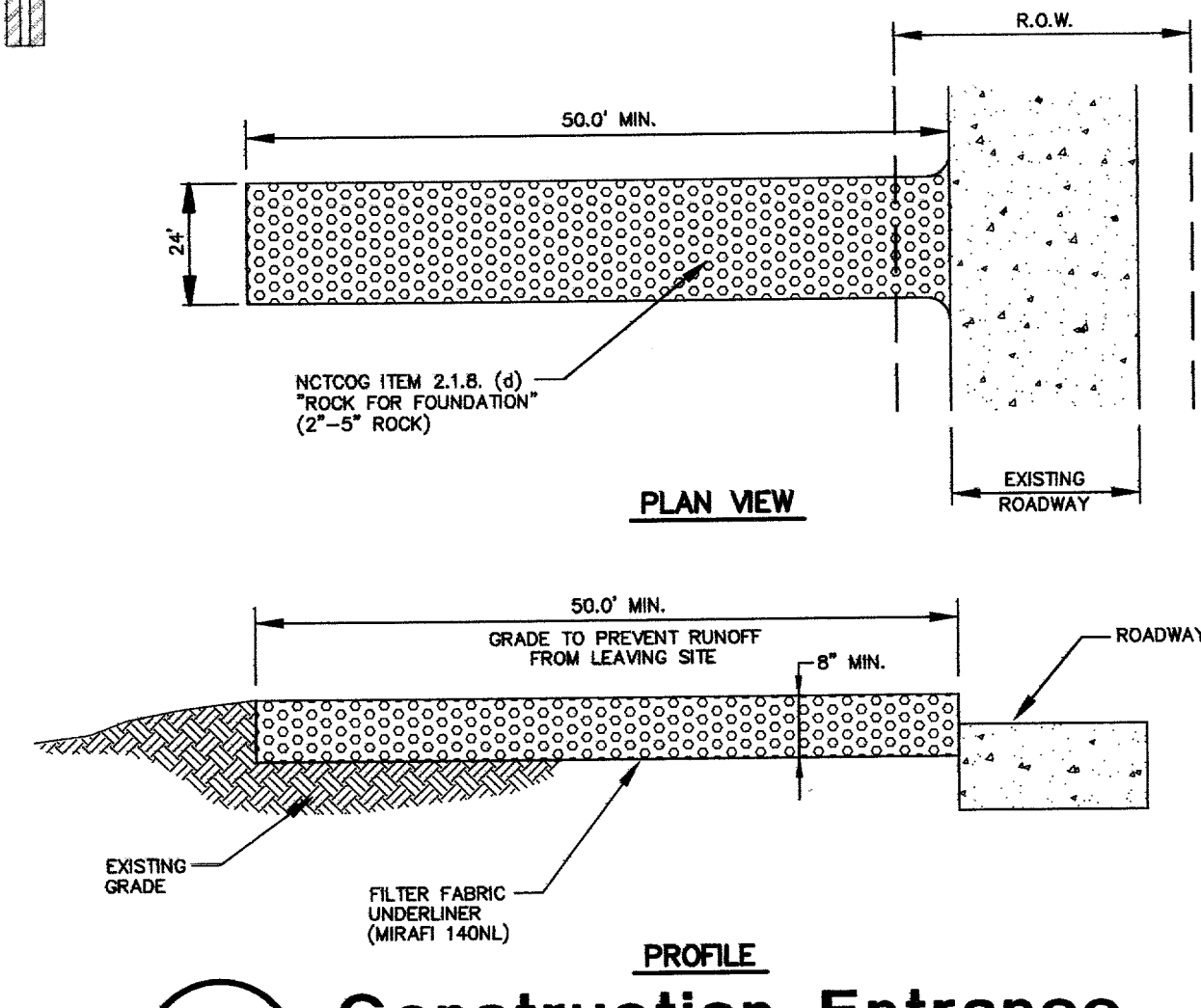
- THIS PLAN HAS BEEN PREPARED TO PROVIDE MEANS TO PREVENT OR MINIMIZE POLLUTION OF STORM
- THE CONSTRUCTION ACTIVITY INCLUDED IN THIS PLAN WILL INCLUDE:
 - CLEARING AND GRUBBING
 - ROUGH GRADING
 - FINAL GRADING
 - UTILITY INSTALLATION
 - PAVEMENT INSTALLATION
 - BUILDING CONSTRUCTION
- THE TOTAL ESTIMATED LAND AREA TO BE DISTURBED IS 18.742 ACRES.
- THE ESTIMATED RUNOFF COEFFICIENT UPON COMPLETION OF THE PROJECT IS 0.80.
- THE STORM WATER EXITING THE SITE IS COLLECTED IN AN EXISTING DRAINAGE SYSTEM MAINTAINED BY THE TOWN OF ADDISON, TEXAS.
- THE SOILS ON THE SITE ARE GENERALLY EXPANSIVE CLAYS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION PROTECTION AROUND THE WORK AREA PERIMETER AND AT ALL INLET MOUTHS PRIOR TO COMMENCING WORK AND UNTIL THE WORK AREA HAS BEEN STABILIZED.
- THE CONTRACTOR WILL REMOVE ALL EXCESS SOIL FROM CONSTRUCTION VEHICLES PRIOR TO EXITING THE SITE.
- ALL DISTURBED AREAS WHICH WILL NOT BE RE-DISTURBED FOR A MINIMUM OF 21 DAYS MUST BE STABILIZED BY THE CONTRACTOR TO CONTROL EROSION.
- THE CONTRACTOR SHALL UNDERTAKE PROPER METHODS TO REDUCE DUST GENERATION FROM THE SITE.
- THE CONTRACTOR MUST COMPLY WITH FEDERAL, STATE AND LOCAL REGULATIONS REGARDING SEDIMENT AND EROSION CONTROL.
- A COPY OF THIS PLAN MUST BE KEPT AT THE CONSTRUCTION FACILITY DURING THE ENTIRE CONSTRUCTION PERIOD.
- CONSTRUCTION SEQUENCING MUST PROVIDE FOR THE EXCAVATION OF AN ON-SITE BASIN AS A SEDIMENT COLLECTION BASIN PRIOR TO THE DISTURBANCE OF GREATER THAN 10 ACRES OF LAND.
- ALL FINISHED GRADES ARE TO BE HYDROMULCHED, SPOT SOODED OR SEEDED AND WATERED UNTIL GROWTH IS ESTABLISHED ON AND OFF-SITE.
- A PIT OR WASH OUT BASIN SHALL BE CONSTRUCTED ON-SITE BY THE CONTRACTOR FOR THE "WASH OUT" OF CONCRETE TRUCKS.
- A BERM OR OTHER SPILL PROTECTION MEASURE SHALL BE USED FOR ANY TEMPORARY FUEL STORAGE TANK ON SITE.
- IF "SUMP" PUMPS ARE USED TO REMOVE WATER FROM EXCAVATED AREAS, FILTER THE DISCHARGE TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER LEAVES THE SITE.
- TO PREVENT DAMAGE TO VEGETATION IN DOWNSTREAM WATER COURSES, LIMIT ANY PROPOSED LIME STABILIZATION OPERATIONS TO THAT WHICH CAN BE MIXED AND COMPACTED BY THE END OF EACH WORK DAY. GEOTEXTILE FABRIC IS NOT EFFECTIVE IN FILTERING LIME SINCE THE GRAIN SIZE IS SMALLER THAN THE OPENING IN THE FABRIC.
- VEHICLE PARKING AREAS, STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCRICLING THE AREAS WITH PROTECTIVE MEASURES SHALL BE NECESSARY.
- STORE ALL TRASH AND BUILDING MATERIALS WASTE IN AN ENCLOSURE UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES.
- CONTRACTOR IS TO USE DETENTION AREAS AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION.
- DETENTION AREAS ARE TO BE UTILIZED AS TEMPORARY SEDIMENTATION BASINS UNTIL LESS THAN 10 ACRES OF DISTURBED AREA IS CONTRIBUTING TO SAID DISCHARGE LOCATION



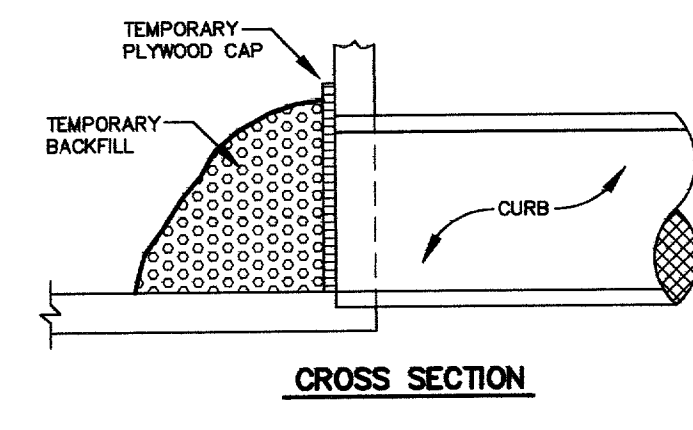
4 Drop Inlet
NOT TO SCALE



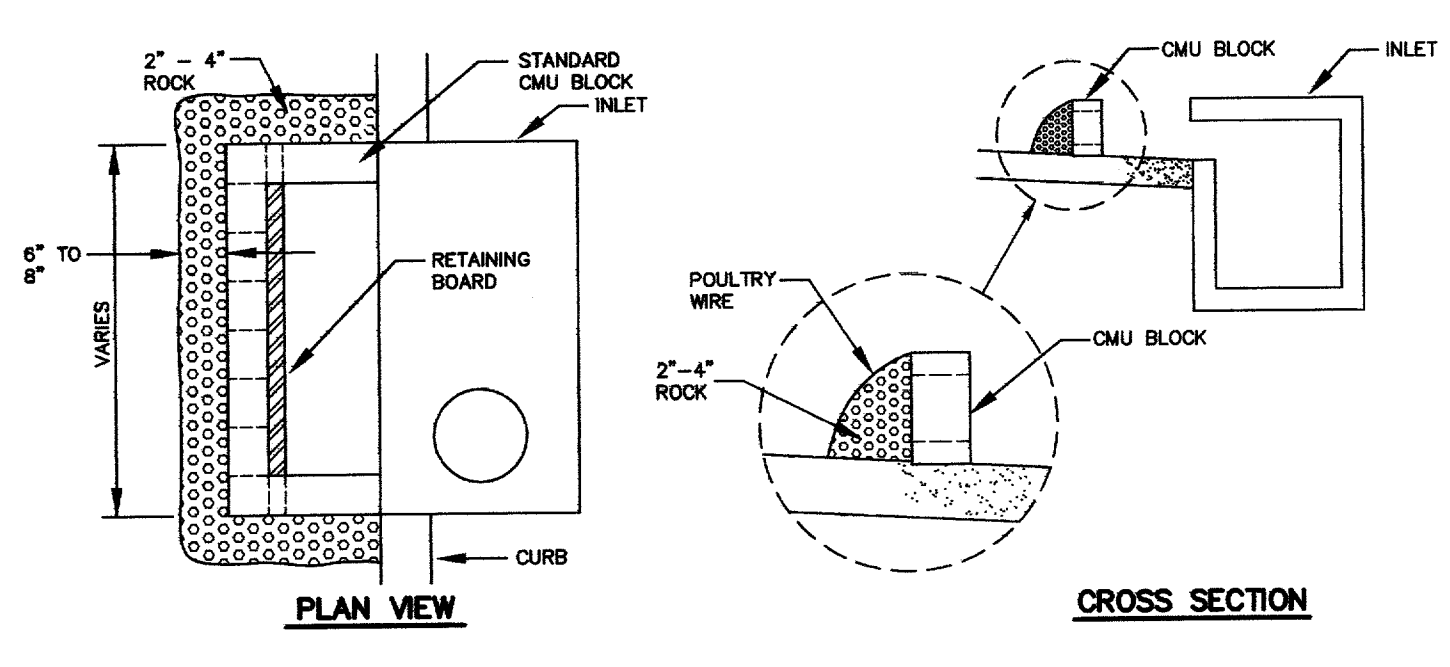
1 Low Flow Silt Fence Detail
NOT TO SCALE



2 Construction Entrance
NOT TO SCALE



3 Curb-Inlet-Protection-A
NOT TO SCALE



5 Curb Inlet Protection
NOT TO SCALE

RECORD DRAWING

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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

REVISD 05/04/01
REVISD 10/11/00



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EROSION CONTROL PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

| DESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|--------|-------|---------------|--------|-------|------|-------------|
| CJE | JLM | JULY 26, 2000 | 1"=80' | | | C7.1 |

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJL
DATE: 05/04/01
REVISIONS:
SHEET NO. + TITLE: **C7.1**
EROSION CONTROL PLAN

CONSULTANT
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PROJECT
ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
P.R. DEVELOPMENT SERVICES, INC.