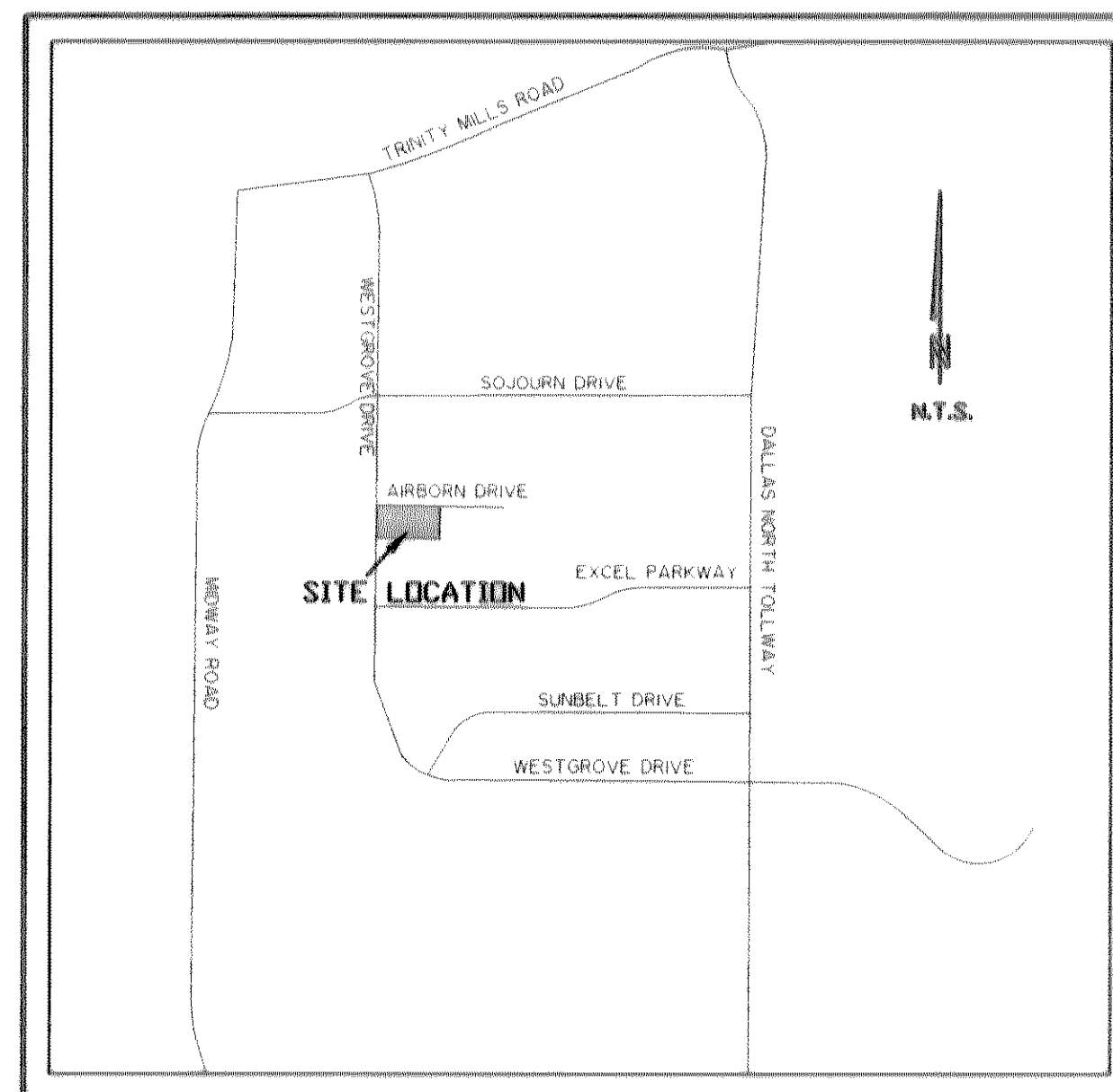


# THE TOWN OF ADDISON, TEXAS

## CIVIL SITE IMPROVEMENTS

TO SERVE

### LOT 4, BLOCK A SOJOURN PLAZA 16800 WESTGROVE DRIVE ADDISON, TX



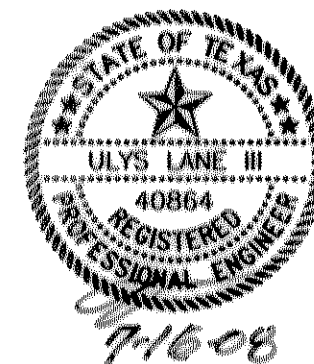
VICINITY MAP

#### SHEET INDEX

COVER
COPY OF PLAT
N101 PRIVATE IMPROVEMENTS GENERAL CONSTRUCTION NOTES (1 OF 2)
N102 PRIVATE IMPROVEMENTS GENERAL CONSTRUCTION NOTES (2 OF 2)
P101 PAVING PLAN
P201 PRIVATE PAVING DETAILS
P202 PRIVATE HANDICAP DETAILS
G101 GRADING PLAN
D001 DRAINAGE AREA MAP
D101 STORM DRAIN PLAN
D201 STORM DRAIN PROFILES
U101 UTILITY PLAN
U201 UTILITY DETAILS
E001 STORM WATER POLLUTION PREVENTION NOTES (1 OF 2)
E002 STORM WATER POLLUTION PREVENTION NOTES (2 OF 2)
E101 STORM WATER POLLUTION PREVENTION PLAN
E201 STORM WATER POLLUTION PREVENTION DETAILS
L1 LANDSCAPE PLAN
L2 LANDSCAPE NOTES & DETAILS

1. ALL REFERENCES TO 'CITY' SHALL MEAN 'TOWN OF ADDISON'.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON AND NORTH TEXAS COUNCIL OF GOVERNMENT STANDARD SPECIFICATIONS.

TOWN OF ADDISON  
STANDARD DETAIL  
SHEETS INCORPORATED  
HEREIN BY REFERENCE

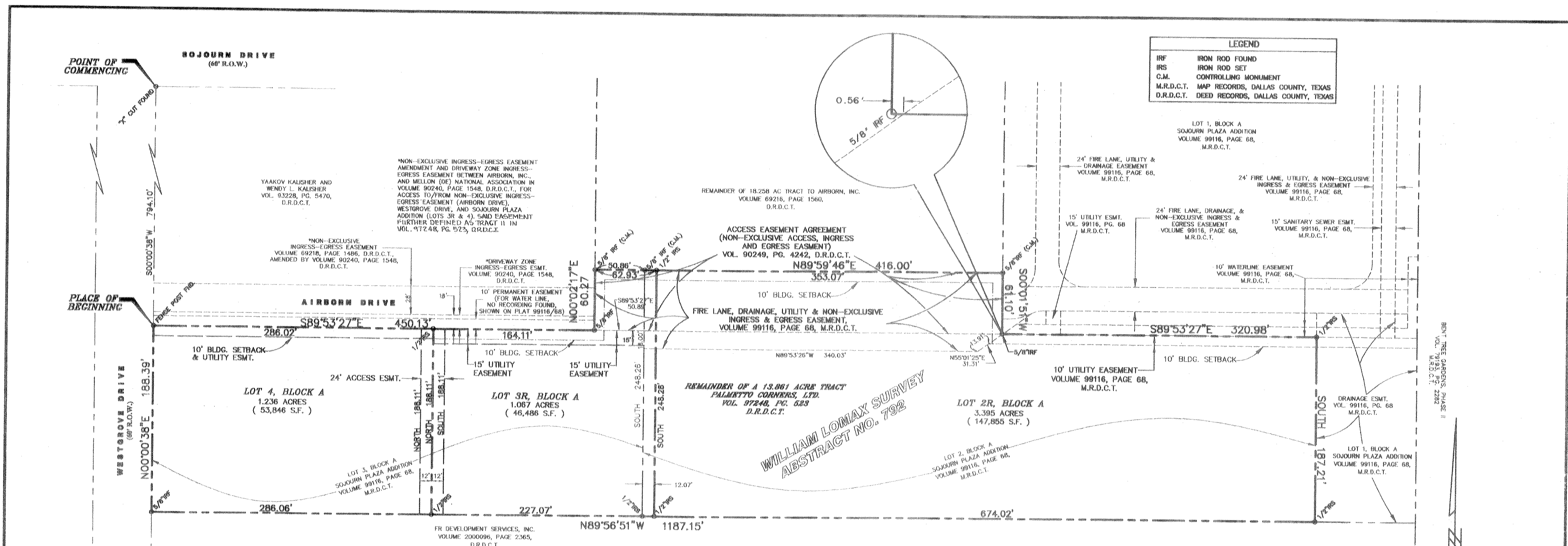


PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
701 HIGHLANDER BLVD., SUITE 300 ARLINGTON, TEXAS 76015 METRO (817)467-7700  
1380 U.S. HIGHWAY 287 N. SUITE 101 MANSFIELD, TEXAS 76063 METRO (817)477-8700  
6849 ELM STREET FROSTO, TEXAS 75034 METRO (214)387-8000  
www.WierAssociates.com

RECORD DRAWINGS  
07-16-08

THE INFORMATION SHOWN ON THESE PLANS HAS BEEN REVISED TO REFLECT CHANGES TO THE PUBLIC IMPROVEMENTS MADE DURING CONSTRUCTION PROVIDED TO THE ENGINEER BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONSTRUCTION OF THE PUBLIC IMPROVEMENTS IS IN GENERAL CONFORMANCE WITH THESE PLANS BASED ON THE INFORMATION PROVIDED BY THE CONTRACTOR AND THE RESPONSIBILITY FOR ACCURACY AND COMPLETENESS BELONGS TO THE CONTRACTOR.

ULYS LANE, III DATE 7-16-08



LEGEND	
IRF	IRON ROD FOUND
IRS	IRON ROD SET
C.M.	CONTROLLING MONUMENT
M.R.D.C.T.	MAP RECORDS, DALLAS COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DALLAS COUNTY, TEXAS

**OWNER CERTIFICATE**

WHEREAS (1) PALMETTO CORNERS, LTD. AND (2) DANIEL STERNBERG, ARE THE SOLE OWNERS OF A REMAINDER TRACT OF LAND LOCATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792, TOWN OF ADDISON, DALLAS COUNTY, TEXAS ACCORDING TO THE DEEDS RECORDED IN (1) VOLUME 97248, PAGE 523, AND (2) VOLUME 2002010, PAGE 60, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING ALL OF LOT 2 AND LOT 3, SOJOURN PLAZA ADDITION, AN ADDITION TO THE TOWN OF ADDISON, ACCORDING TO THE PLAT RECORDED IN VOLUME 99116, PAGE 68, MAP RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**LEGAL DESCRIPTION**

BEING A 5.698 ACRE TRACT OF LAND SITUATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792, TOWN OF ADDISON, DALLAS COUNTY, TEXAS AND BEING ALL OF LOT 2 AND LOT 3, SOJOURN PLAZA ADDITION, AN ADDITION TO THE TOWN OF ADDISON, AS DESCRIBED BY PLAT RECORDED IN VOLUME 99116, PAGE 68, MAP RECORDS OF DALLAS COUNTY, TEXAS (M.R.D.C.T.), SAID 5.698 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN "X" CUT FOUND FOR THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF SOJOURN DRIVE (A 60-FOOT RIGHT-OF-WAY) WITH THE EASTERLY RIGHT-OF-WAY LINE OF WESTGROVE DRIVE (A 60-FOOT RIGHT-OF-WAY);

THENCE S00°00'38"W, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID WESTGROVE DRIVE, A DISTANCE OF 794.10 FEET TO A METAL FENCE POST FOUND FOR THE PLACE OF BEGINNING AND BEING THE NORTHWEST CORNER OF SAID LOT 3 AND THE SOUTHWEST CORNER OF A CALLED TRACT OF LAND DESCRIBED TO YAAKOV AND WENDY L. KALISHER BY DEED RECORDED IN VOLUME 93228, PAGE 5470, DEED RECORDS, DALLAS COUNTY, TEXAS (D.R.D.C.T.);

THENCE S89°53'27"E, ALONG THE NORTHERLY LINE OF SAID LOT 3 AND THE SOUTHERLY LINE OF SAID KALISHER TRACT, SAME BEING THE SOUTHERLY LINE OF A DRIVEWAY ZONE RECORDED IN VOLUME 90240, PAGE 1548, D.R.D.C.T., A DISTANCE OF 450.13 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID KALISHER TRACT;

THENCE N00°02'17"E, ALONG THE EASTERLY LINE OF SAID KALISHER TRACT AND A WESTERLY LINE OF SAID LOT 3, A DISTANCE OF 80.87 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED BY DEED RECORDED IN VOLUME 99216, PAGE 1560, D.R.D.C.T.;

THENCE N89°59'46"E, ALONG THE SOUTHERLY LINE OF SAID REMAINDER TRACT AND THE NORTHERLY LINE OF SAID LOT 3, AT A DISTANCE OF 30.06 FEET PASSING A 5/8-INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID LOT 3 AND THE NORTHWEST CORNER OF AFORESAID LOT 2, CONTINUING ALONG THE NORTHERLY LINE OF SAID LOT 2 IN ALL FOR A TOTAL DISTANCE OF 416.00 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID REMAINDER TRACT, THE MOST NORTHERLY NORTHEAST CORNER OF SAID LOT 2, AND BEING IN THE WESTERLY LINE OF LOT 1, BLOCK "A", OF AFORESAID SOJOURN PLAZA ADDITION;

THENCE S00°01'51"W, ALONG AN EASTERLY LINE OF SAID LOT 2 AND THE WESTERLY LINE OF SAID LOT 1, A DISTANCE OF 61.10 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 1 AND AN INNER ELL CORNER OF SAID LOT 2;

THENCE S89°53'27"E, ALONG A SOUTHERLY LINE OF SAID LOT 1 AND A NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 320.98

FEET TO 1/2-INCH IRON ROD SET WITH A CAP STAMPED "WER & ASSOC. INC.", FOR THE NORTHEAST CORNER OF SAID LOT 2 AND AN INNER ELL CORNER OF SAID LOT 1;

THENCE SOUTH, ALONG AN EASTERLY LINE OF SAID LOT 2 AND A WESTERLY LINE OF SAID LOT 1, A DISTANCE OF 187.21 FEET TO A 1/2-INCH IRON ROD SET WITH A CAP STAMPED "WER & ASSOC. INC.", FOR THE SOUTHWEST CORNER OF SAID LOT 1, AND BEING IN THE SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED TO FR DEVELOPMENT SERVICES, INC. BY DEED RECORDED IN VOLUME 2000096, PAGE 2365, D.R.D.C.T.;

THENCE N89°56'51"W, ALONG THE SOUTHERLY LINE OF SAID LOT 2, THE SOUTHERLY LINE OF SAID LOT 3, AND THE NORTHERLY LINE OF SAID FR DEVELOPMENT TRACT, A DISTANCE OF 1187.15 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 3, AND THE NORTHWEST CORNER OF SAID FR DEVELOPMENT TRACT, AND BEING IN THE EASTERLY RIGHT-OF-WAY LINE OF AFORESAID WESTGROVE DRIVE;

THENCE N00°00'38"E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND A WESTERLY LINE OF SAID LOT 3, A DISTANCE OF 188.39 FEET TO THE PLACE OF BEGINNING CONTAINING 5.698 ACRES (248,187 SQUARE FEET) OF LAND.

**KNOW ALL MEN BY THESE PRESENTS:**

THAT (1) PALMETTO CORNERS, LTD., AND (2) DANIEL STERNBERG, DO HEREBY ADOPT THIS REPLAT DESIGNATING THE HEREBY RECORDED PROPERTY AS LOTS 2R, 3R, AND 4, BLOCK "A", SOJOURN PLAZA ADDITION, AN ADDITION TO THE TOWN OF ADDISON, TEXAS, AND, SUBJECT TO THE CONDITIONS, RESTRICTIONS AND RESERVATIONS STATED HEREINAFTER, OWNER DEDICATES TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN THEREON.

THE EASEMENTS SHOWN ON THIS PLAT ARE HEREBY RESERVED FOR THE PURPOSES AS INDICATED, INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF WATER, SANITARY SEWER, STORM SEWER, DRAINAGE, ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION. OWNER SHALL HAVE THE RIGHT TO INSTALL AND MAINTAIN SUCH EASEMENTS, PROVIDED HOWEVER, THAT IT DOES NOT UNREASONABLY INTERFERE OR IMPIDE WITH THE PROVISION OF THE SERVICES TO OTHERS. SAID UTILITY EASEMENTS ARE HEREBY RESERVED BY MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE THE SAME. AN EXPRESS EASEMENT OF INGRESS AND EGRESS IS HEREBY EXPRESSLY GRANTED ON, OVER AND ACROSS ALL SUCH EASEMENTS FOR THE BENEFIT OF THE PROVIDER OF SERVICES FOR WHICH EASEMENTS ARE GRANTED.

ANY DRAINAGE AND FLOODWAY EASEMENT SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC'S USE FOREVER, BUT INCLUDING THE FOLLOWING COVENANTS WITH REGARDS TO MAINTENANCE RESPONSIBILITIES. THE EXISTING CHANNELS OR CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT WILL REMAIN AS AN OPEN CHANNEL, UNLESS REQUIRED TO BE ENCLOSED BY GRADUATION, AT ALL TIMES AND SHALL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND FLOODWAY EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID CREEK OR CREEKS OR FOR ANY DAMAGE OR INJURY OF PRIVATE PROPERTY OR PERSON THAT RESULTS FROM THE FLOW OF WATER ALONG SAID CREEK, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF WATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE BUILDING, FENCE OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND FLOODWAY EASEMENT. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO CHANNELIZE OR CONSIDER ERRECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE

THE STORM DRAINAGE, THEN IN SUCH EVENT, THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE DRAINAGE AND FLOODWAY EASEMENT AT ANY POINT, OR POINTS, WITH ALL RIGHTS OF INGRESS AND EGRESS TO INVESTIGATE, SURVEY, ERECT, CONSTRUCT OR MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY BY THE CITY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS AND CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT ADJACENT TO HIS PROPERTY CLEAN AND FREE OF DEBRIS, SILT, GROWTH, VEGETATION, WEEDS, RUBBISH, REFUSE, MATTER AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION AND MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE CHANNELS AND CREEKS THROUGH THE DRAINAGE AND FLOODWAY EASEMENT, AS IN THE CASE OF ALL NATURAL CHANNELS, ARE SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT THAT CANNOT BE DEFINITELY DETERMINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OR INJURIES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, NOR RESULTING FROM THE FAILURE OF ANY STRUCTURE OR STRUCTURES, WITHIN THE NATURAL DRAINAGE CHANNELS, AND THE OWNERS HEREBY AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY FROM ANY SUCH DAMAGES AND INJURIES. BUILDING AREAS OUTSIDE THE DRAINAGE AND FLOODWAY EASEMENT LINE SHALL BE FILLED TO A MINIMUM ELEVATION AS SHOWN ON THE PLAT. THE MINIMUM FLOOR OF ELEVATION OF EACH LOT SHALL BE SHOWN ON THE PLAT.

THE MAINTENANCE OR PAYING OF THE UTILITY AND FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON THE SAID UTILITY EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE AND SERVICE REQUIRED OR GROWTH MAY BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE UTILITY EASEMENTS AS SHOWN PROVIDED, HOWEVER, THAT OWNER SHALL AT ITS SOLE COST AND EXPENSE BE RESPONSIBLE UNDER ANY AND ALL CIRCUMSTANCES FOR THE MAINTENANCE AND REPAIR OF SUCH IMPROVEMENTS OR GROWTH, AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTH WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM OR SERVICE.

WATER MAIN AND SANITARY SEWER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTION AND MAINTENANCE OF THE SYSTEMS. ADDITIONAL EASEMENT AREA IS ALSO CONVEYED FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEANOUTS, FIRE HYDRANTS, WATER SERVICES AND SEWER SERVICES FROM THE MAIN TO CURB OR PAVEMENT LINE, AND THE DESCRIPTIONS OF SUCH ADDITIONAL EASEMENTS HEREIN GRANTED SHALL BE DETERMINED BY THEIR LOCATIONS AS INSTALLED.

(1) THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ADDISON, TEXAS.

WITNESS MY HAND AT DALLAS COUNTY, TEXAS, THIS 14th DAY OF February 2002.

PALMETTO CORNERS, LTD., A TEXAS LIMITED PARTNERSHIP BY: PALMETTOHOLD, INC., A TEXAS CORPORATION, GENERAL PARTNER

BY: *Stacy Standridge*  
STACY STANDRIDGE, PRESIDENT

STATE OF TEXAS, COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED STACY STANDRIDGE, PRESIDENT OF PALMETTOHOLD, INC., A TEXAS CORPORATION, GENERAL PARTNER OF PALMETTO CORNERS, LTD., A TEXAS LIMITED PARTNERSHIP, ON BEHALF OF SAID CORPORATION AND LIMITED PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 14th DAY OF February 2002.

*Melanie Harmon*  
MELANIE HARMON  
Notary Public, State of Texas  
Comm. Exp. 11-12-2005

(2) THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ADDISON, TEXAS.

WITNESS MY HAND AT DALLAS COUNTY, TEXAS, THIS 14th DAY OF February 2002.

*Daniel Sternberg*  
DANIEL STERNBERG

STATE OF TEXAS, COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED DANIEL STERNBERG.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 14th DAY OF February 2002.

NOTARY PUBLIC, STATE OF TEXAS

*Rauida Harrington*  
RAUIDA HARRINGTON  
Notary Public, State of Texas  
Comm. Exp. Expires March 16, 2004

COMMISSION EXPIRES

SURVEYOR'S STATEMENT

THAT I, S. ERIC DUMAS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME OR UNDER MY DIRECTION AND SUPERVISION IN THE TOWN OF ADDISON, TEXAS ON NOVEMBER 3, 2001.

*S. Eric Dumas*  
S. ERIC DUMAS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 5371

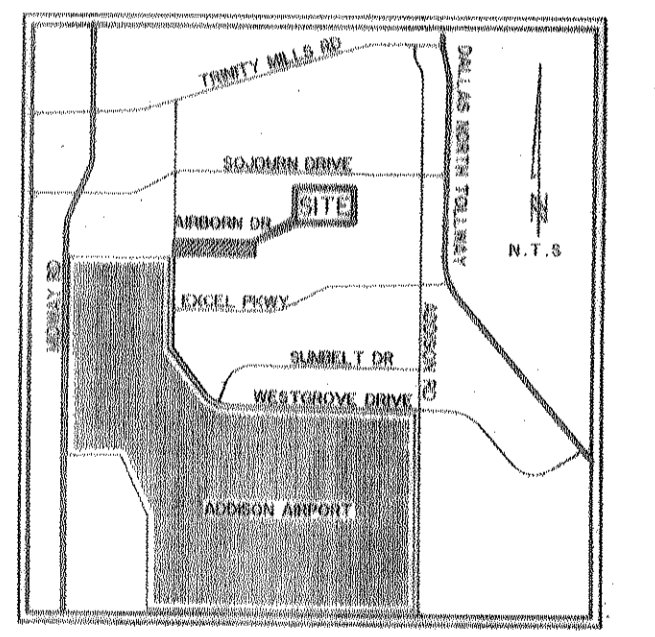
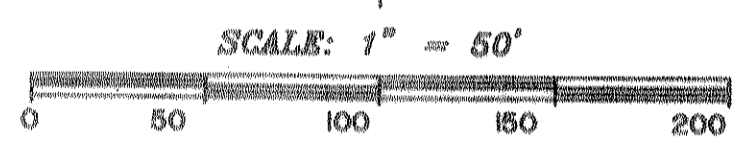
WITNESS MY HAND AT DALLAS COUNTY, TEXAS, THIS 14th DAY OF February 2002.

CERTIFICATE OF APPROVAL

APPROVED THIS 14th DAY OF February 2002 BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF ADDISON, TEXAS.

*Stacy Standridge*  
MAYOR

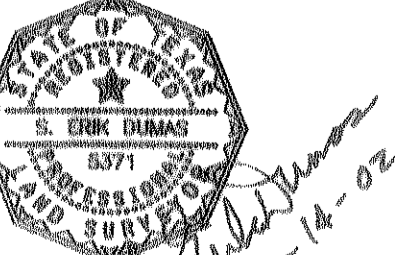
*C. Moran*  
CITY SECRETARY



# REPLAT LOTS 2R, 3R, & 4, BLOCK "A" SOJOURN PLAZA ADDITION

AN ADDITION TO THE TOWN OF ADDISON,  
DALLAS COUNTY, TEXAS. BEING 5.698 ACRES OF LAND  
LOCATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS.

PREPARED BY:  
**W.A. WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
4300 BELLEVUE PLACE SUITE 139 ADDISON, TEXAS 75010 METRO (972) 461-7700  
6721 5th STREET FRSICO, TEXAS 75034 METRO (214) 387-0000



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W.A. No. 01095

# FOR PRIVATE CONSTRUCTION ONLY. ALL FIRELANES AND PUBLIC CONSTRUCTION TO CONFORM TO CITY STANDARDS

## PAVEMENT & JOINT SEALING NOTES

- ALL CONCRETE FOR PAVEMENT SHALL BE CLASS "C" AND HAVE A MINIMUM 3,600 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH 4 TO 6 PERCENT AIR ENTRAINMENT UNLESS OTHERWISE NOTED. PAVEMENT MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE LATEST ADDITION "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" PREPARED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS. SLIP FORMED CONCRETE SHALL HAVE A MAXIMUM SLUMP OF THREE INCHES. HAND-PLACED CONCRETE SHALL HAVE A MAXIMUM FIVE-INCH SLUMP. ALL REINFORCEMENT SHALL BE CHAIRED.
- THE JOINTING SHALL CONFORM TO THE LOCATIONS AND DETAILS SHOWN ON THESE PLANS. SPECIFIC SAWED CONTRACTION OR CONSTRUCTION JOINT LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL SUBMIT A LAYOUT INDICATING THE SAWED JOINT LOCATIONS TO BE REVIEWED AND APPROVED BY THE ENGINEER. ISOLATION JOINTS SHALL BE PROVIDED AT ALL MANHOLE RIMS, LIGHT STANDARDS AND OTHER SIMILAR INSTALLATIONS. EXPANSION JOINT LOCATIONS HAVE BEEN INDICATED ON PAVING AND DIMENSIONAL CONTROL PLANS.
- PROVIDE SAWED JOINTS AT MAXIMUM 20-FOOT SPACING FOR 8-INCH CONCRETE. MAXIMUM 15 FEET FOR SIX-INCH CONCRETE AND MAXIMUM 12-FOOT SPACING FOR FIVE-INCH CONCRETE. DO NOT PLACE SAWED JOINT LONGITUDINALLY ALONG LOW POINT OR AT GUTTER LINE. SAWING OF JOINTS SHALL BEGIN AS SOON AS CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING. COMPLETE ALL SAWED JOINTS BEFORE UNCONTROLLED SHRINKAGE CRACKING OCCURS.
- DO NOT PLACE SAND OR SELECT FILL BENEATH CONCRETE PAVEMENT, SIDEWALKS, DRIVE APPROACHES OR HANDICAP RAMPS FOR LEVEL UP COURSE. UTILIZE COMPACTED NATIVE MATERIALS.
- BACKFILL ALL CURBS TO EDGE OF SUBGRADE WITH ON-SITE CLAY SOILS. COMPACT TO 95% TO 100% OF STANDARD PROCTOR DENSITY AT OR UP TO 3% ABOVE OPTIMUM MOISTURE CONTENT.
- CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY TO INSURE POSITIVE DRAINAGE. (TYP. ALL INTERSECTIONS)
- ALL EXPANSION, CONTRACTION AND CONSTRUCTION JOINTS IN PAVED AREAS SHALL BE SEALED IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE JOINT SEALING MANUFACTURERS RECOMMENDATIONS.
- CLEAN ALL JOINTS PRIOR TO PLACEMENT OF JOINT SEALING MATERIAL IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- PROVIDE BACKER RODS FOR JOINTS WITHOUT PRE-MOLDED JOINT MATERIAL IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. INSTALL CERA-ROD MANUFACTURED BY W.R. MEADOWS OR EQUAL.
- EXPANSION AND ISOLATION JOINT MATERIAL TO BE PRE-MOLDED EXPANSION JOINT MATERIAL AS RECOMMENDED BY JOINT SEALING MANUFACTURER WITH JOINT CAP TO PROTECT SEALANT RESERVOIR.
- TYPICALLY, JOINT SEALING MATERIAL IS PLACED BELOW SURFACE OF CONCRETE TO NEAR FULL LEVEL. CERTAIN PRODUCTS SUCH AS SOFT SEAL ARE RECOMMENDED TO BE PLACED TO FULL LEVEL. REFER TO MANUFACTURERS RECOMMENDATIONS.
- THE CONTRACTOR SHALL CONSTRUCT ALL DRIVEWAY APPROACHES IN CONFORMANCE WITH APPLICABLE CITY STANDARD ORDINANCES AND REQUIREMENTS. CONTRACTOR SHALL CONFIRM APPLICABLE DRIVEWAY OR ACCESS PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
- ALL COORDINATES ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL EDGE OF PAVEMENT WITH NO CURB SHALL BE THICKENED EDGE.

## WALKWAY, MARKING, AND SIGNAGE NOTES

- ALL PEDESTRIAN WALKWAYS UTILIZED FOR DISABLED ACCESS ROUTE SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE "STATE OF TEXAS PROGRAM FOR THE ELIMINATION OF ARCHITECTURAL BARRIERS", "TEXAS ACCESSIBILITY STANDARDS" (TAS) AND THE "AMERICANS WITH DISABILITIES ACT OF 1990" (ADA).
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CITY PERMITS AND NOTIFY THE CITY PRIOR TO CONSTRUCTING PUBLIC SIDEWALKS.
- UNLESS REQUIRED OTHERWISE BY CITY REGULATIONS, ALL WALKWAYS SHALL BE CONSTRUCTED OF MINIMUM 3,000 PSI CONCRETE AND A MINIMUM CEMENT CONTENT OF 5.0 SACKS PER CUBIC YARD. ALL SIDEWALKS SHALL BE REINFORCED WITH A MINIMUM OF #3 BARS AT 18-INCH CENTERS EACH WAY LOCATED AT THE CENTER OF THE THICKNESS. THE STEEL SHALL BE PLACED ON CHAIR SUPPORTS BEFORE CONCRETE PLACEMENT. IF NECESSARY, DURING CONCRETE PLACEMENT, THE STEEL SHALL BE PULLED UP TO INSURE THE PROPER LOCATION OF REINFORCEMENT.
- WALKWAYS SHALL BE CONSTRUCTED TO THE LINE AND GRADE INDICATED ON THE PLANS OR THE TYPICAL LOCATIONS SHOWN ON THE PAVING PLANS IN RELATION TO PROPOSED CURB. SEE PAVEMENT NOTE #1 ABOVE.
- PRIVATE SIDEWALKS SHALL BE CONSTRUCTED ON NATIVE MATERIALS. DO NOT PLACE SAND UNDER PRIVATE SIDEWALKS OR HANDICAP RAMPS FOR LEVEL UP COURSE. PUBLIC SIDEWALKS SHALL BE CONSTRUCTED ACCORDING TO CITY DETAILS.
- FORMS SET FOR SIDEWALKS SHALL BE TRUE TO LINE AND GRADE AND SHALL PROVIDE A SLOPE OF 1/4 INCH PER FOOT ACROSS THE SIDEWALK UNLESS INDICATED OTHERWISE ON THE PLANS. FORMS SHALL BE SET TO PROVIDE FOR A FULL DEPTH OF CONCRETE INDICATED ON THE PLANS AND FORMS SHALL REMAIN IN PLACE A MINIMUM OF 24 HOURS. UPON REMOVAL OF THE FORM WORK, THE CONTRACTOR SHALL IMMEDIATELY BACKFILL THE EDGES OF THE WALK FOR A MINIMUM OF ONE FOOT (1') EACH SIDE OF THE WALK.
- 24-INCH BY 1/2-INCH DIAMETER ASPHALT-COATED DOWELS WITH FIVE INCH BY 9/16-INCH DOWEL SLEEVE SHALL BE INSTALLED ON 16-INCH CENTERS, ALONG WITH REDWOOD EXPANSION BOARD AND SEALING COMPOUND AS PER STANDARD EXPANSION JOINT DETAIL SHEET ALONG PERIMETER OF WHEEL CHAIR RAMP AND SIDEWALK.
- PROVIDE 15-INCH MINIMUM LAP BETWEEN REINFORCING STEEL IN STREET AND REINFORCING STEEL IN WHEEL CHAIR RAMP.
- SUBGRADE FOR WALKWAYS ABUTTING CURBS, WITHIN PARKING ISLAND AREAS OR BETWEEN THE PARKING AREA AND BUILDING, SHALL BE PLACED ON COMPACTED FILL OR FIRM COMPACTED EXCAVATED GRADE. FILLS FOR SIDEWALKS SHALL CONFORM TO THE SAME REQUIREMENTS AS CONTROLLED DENSITY FILLS IN PARKING AREAS WITH THE COMPACTED MATERIAL EXTENDING A MINIMUM 18 INCHES BEYOND THE WALKWAY.
- JOINT SEALING MATERIAL UTILIZED IN WALKWAY AREAS BETWEEN THE PARKING AREA AND THE BUILDING FOR EXPANSION JOINTS SHALL CONSIST OF "POURTHANE" MANUFACTURED BY W.R. MEADOWS, INC. OR EQUAL. THIS INCLUDES WALKWAYS ABUTTING PERIMETER PARKING IN FRONT OF BUILDING.
- FOR WALKWAYS SIX FEET IN WIDTH OR LESS, GROOVED OR SAWED CONTRACTION JOINTS SHALL BE MADE AT UNIFORM INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK. ON WALKWAYS GREATER THAN SIX FEET IN WIDTH, CONTRACTION JOINTS SHALL BE SAWED. CONTRACTION JOINTS SHALL ONLY BE SEALED WHERE CONCENTRATED RUNOFF OCCURS IN PARKING AREAS, ENTRANCES AND WALKWAYS AT THE BUILDING. SEAL PARKING LOT CONCENTRATED RUNOFF AREAS SAME AS PARKING PAVEMENT. SEAL WALKWAYS WITHIN 50 FEET OF BUILDING WITH "DECK-O-SEAL" AS MANUFACTURED BY W.R. MEADOWS OR EQUAL.
- CONCRETE FINISH SHALL BE BROOMED FOR ALL WALKWAYS LESS THAN SIX FEET IN WIDTH AND MINOR ACCESS ROUTES GREATER THAN EIGHT FEET IN WIDTH. ALL HANDICAP ACCESS RAMPS SHALL HAVE SURFACE TEXTURE FINISH COMPLYING WITH ADA AND TAS GUIDELINES 4.29.2, 4.5, AND 4.7.4.
- JOINT SEALING MATERIAL FOR WALKWAY AND EXPANSION JOINTS IN THE INTERNAL PARKING AREAS AND EXTERNAL OPEN AREAS SHALL BE "HI SPEC" MANUFACTURED BY W.R. MEADOWS OR EQUAL.
- CLEAN ALL JOINTS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION PRIOR TO SEALING.
- ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL PAVEMENT MARKINGS SHALL BE FOUR INCHES WIDE COLOR WHITE UNLESS INDICATED OTHERWISE ON THE DRAWINGS. STRIPING TO BE TWO COATS OF PAINT. SECOND COAT TO THE APPLIED IMMEDIATELY PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY.
- A MINIMUM CLEARANCE OF TWO (2) FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.
- FIRE LANE STRIPING WIDTH AND RADIUS TO BE COORDINATED WITH FIRE MARSHAL WHERE FIRE LANE IS INDICATED ON PLANS. FIRE LANE IS ANTICIPATED TO REQUIRE SOLID SIX-INCH RED CONTINUOUS STRIPING ON BOTH SIDES AND CURB RETURNS. THE WORDS "FIRE LANE NO PARKING" SHALL BE PAINTED ON MINIMUM 20-FOOT CENTERS WITH FOUR-INCH WHITE LETTERS WITHIN SOLID RED STRIPE PER FIRE CODE. PAINT TYPE AND COLOR SHALL BE APPROVED BY CITY TRAFFIC ENGINEER.

### TESTING

- REFER TO PROJECT GEOTECHNICAL RECOMMENDATIONS FOR FREQUENCY OF CONCRETE TESTING AND TEST METHODS. ALL CONCRETE SHALL BE TESTED. IF TESTING IS NOT ADDRESSED IN GEOTECHNICAL RECOMMENDATIONS PROVIDE AS PER NCTCOG ITEM 303.7.3 AND ITEM 702.2.4.

## EROSION CONTROL NOTES

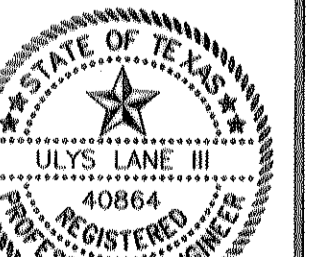
- CONTRACTOR TO INSTALL PIPE SEDIMENT FILLER AT END OF EACH WORK DAY TO PREVENT ENTRY OF SEDIMENT INTO PROPOSED STORM SEWERS DURING CONSTRUCTION.
- ALL STAGING AREAS, VEHICLE PARKING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY DO NOT ADVERSELY AFFECT THE STORM WATER QUALITY.
- ON-SITE FUEL STORAGE TANKS SHALL BE PROTECTED BY A BERMED OR OTHERWISE SPILL PROTECTED AREA.
- A CENTRAL PIT/WASH BASIN SHOULD BE CONSTRUCTED ON-SITE FOR THE PURPOSE OF TRUCK WASHING.
- A MAINTENANCE PROGRAM SHALL BE DEVELOPED USING BEST MANAGEMENT PRACTICES FOR THIS PROJECT.
- IN ORDER TO KEEP DISTURBANCE TO A MINIMUM. VEGETATION SHOULD BE RE-ESTABLISHED ON ALL DENUDED AREAS IN A TIMELY MANNER.
- GENERAL CONTRACTOR AND OWNER/DEVELOPER ARE RESPONSIBLE FOR PREVENTING SEDIMENT OR OTHER POLLUTANTS FROM LEAVING THE SITE. CARE SHALL BE EXERCISED TO PREVENT THE FLOW OR OFF-SITE TRACKING OF SEDIMENT OR OTHER POLLUTANT TO ADJACENT ROADWAYS, INLETS, STORM SEWERS AND DRAINAGE DITCHES.
- ALL SURFACE AREAS DISTURBED WITHIN OR ADJACENT TO CONSTRUCTION LIMITS MUST BE PERMANENTLY STABILIZED. STABILIZATION IS OBTAINED WHEN THE SITE IS COVERED WITH IMPERVIOUS STRUCTURES, PAVING OR A UNIFORM PERENNIAL VEGETATION COVER. THE PERENNIAL VEGETATION MUST HAVE A COVERAGE DENSITY OF AT LEAST 70 PERCENT. STABILIZATION IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- ALL PERIMETER EROSION CONTROL MEASURES AND ROCK STABILIZED EXIT MUST BE IN PLACE BEFORE STARTING SOIL DISTURBING ACTIVITIES.
- THE GENERAL CONTRACTOR OR OWNER SHALL INSPECT EROSION CONTROL MEASURES AT LEAST ONCE EACH WEEK AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. RECORDS OF EACH INSPECTION SHOULD BE RETAINED ON SITE WITH THE SWPPP. CONTRACTOR TO REPLACE OR REPAIR DAMAGED MEASURES AS NECESSARY. EROSION CONTROL MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN (7) CALENDAR DAYS.
- GENERAL CONTRACTOR AND OWNER/DEVELOPER SHALL SUBMIT NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) FORMS TO THE EPA AND COPIES TO THE CITY OF ADDISON ENGINEERING. ALL EPA ASSIGNED PERMIT NUMBERS SHALL BE COPIED TO THE CITY WHEN THEY ARE AVAILABLE.
- FOR ALTERNATIVE STABILIZATION AND EROSION CONTROL MEASURES, REFER TO THE CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) MANUAL PUBLISHED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS.
- IF "SUMP" PUMPS ARE USED TO REMOVE WATER FROM EXCAVATED AREAS, CONTRACTOR TO FILTER THE DISCHARGE TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER ENTERS STORM DRAIN FACILITIES OR LEAVES THE SITE.
- ROCK STABILIZED ACCESS SHALL BE CONSTRUCTED AT ALL POINTS USED AS AN EXIT FROM THE CONSTRUCTION SITE.
- CONTRACTOR TO LIMIT ANY PROPOSED LIME STABILIZATION OPERATIONS TO THAT WHICH CAN BE MIXED AND COMPACTED BY THE END OF EACH WORK DAY. SILT FENCE IS NOT EFFECTIVE IN FILTERING LIME SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE OPENING IN THE FABRIC.
- STORE ALL TRASH AND BUILDING MATERIAL IN AN ENCLOSURE UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES.
- SURFACE STABILIZATION MEASURES MUST BE INITIATED WITHIN 14 DAYS IN ANY AREA WHERE CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES FOR A PERIOD OF 21 DAYS OR MORE.

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NO.	DATE	DESCRIPTION

LOT 4, BLOCK A  
 SOJOURN PLAZA  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

PRIVATE IMPROVEMENTS  
 GENERAL  
 CONSTRUCTION NOTES  
 (SHEET 1 OF 2)



ULYS LANE, III  
 REGISTERED PROFESSIONAL ENGINEER  
 40864

7/6/08

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SHEET NO. N101

RECORD DRAWINGS  
 07-16-08

THE INFORMATION SHOWN ON THESE PLANS HAS BEEN REVISED TO REFLECT CHANGES TO THE PUBLIC IMPROVEMENTS MADE DURING CONSTRUCTION PROVIDED TO THE ENGINEER BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONSTRUCTION OF THE PUBLIC IMPROVEMENTS IS IN GENERAL CONFORMANCE WITH THESE PLANS BASED ON THE INFORMATION PROVIDED BY THE CONTRACTOR AND THE RESPONSIBILITY FOR ACCURACY AND COMPLETENESS BELONGS TO THE CONTRACTOR.

ULYS LANE, III  
 DATE 7/6/08

# FOR PRIVATE CONSTRUCTION ONLY. ALL FIRELANES AND PUBLIC CONSTRUCTION TO CONFORM TO CITY STANDARDS

## GENERAL GRADING & DRAINAGE NOTES

- EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGES BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. EXISTING TOPOGRAPHIC INFORMATION SHOWN IS BASED ON IN-FIELD SURVEY PREPARED BY WIER & ASSOCIATES, INC. ON JULY 9, 2007. (EXCLUDES BELOW GRADE PUBLIC UTILITY LOCATIONS PROVIDED BY UTILITY COMPANY AS DESCRIBED ABOVE.)
- NEW FINISHED CONTOURS SHOWN ARE TOP OF PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDED.
- AREAS OUTSIDE OF THE PARKING LOT PERIMETERS SHOWN TO BE SEEDED SHALL RECEIVE MINIMUM FOUR (4) INCHES OF TOPSOIL (OR TO DEPTH INDICATED ON LANDSCAPE ARCHITECT PLANS). THIS TOPSOIL TO BE PLACED AND LEVELED BY THE GRADING CONTRACTOR. THIS MATERIAL MAY BE STOCKPILED DURING STRIPPING OPERATIONS.
- ROUGH GRADING ELEVATIONS SHALL BE AS FOLLOWS:  
FOUR INCHES BELOW FINISHED CONTOURS IN SEEDED AREAS.  
SIX INCHES BELOW FINISHED CONTOURS IN PAVED AREAS, UNLESS OTHERWISE NOTED.
- DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
- GRADING CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTOR SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES IN CONFORMANCE WITH CITY STANDARDS.
- GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
- THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. THIS CAN BE ACCOMPLISHED BY SMALL TEMPORARY SEDIMENT PONDS, AND SILT FENCES OF STEEL WIRE AND GEOTEXTILE FABRIC. CONTRACTOR SHALL COMPLY WITH ALL LOCAL EROSION, CONSERVATION AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS SUFFICIENT TO PREVENT EROSION.
- FOR THE WORK ON THE STATE OR CITY RIGHT-OF-WAY, THE GRADING CONTRACTOR SHALL:
  - NOT STORE MATERIAL, EXCESS DIRT OR EQUIPMENT ON THE SHOULDERS OF PAVEMENT, IN CASE OF MULTI-LANE HIGHWAYS, IN THE MEDIAN STRIPS. THE PAVEMENT SHALL BE KEPT FREE FROM ANY MUD OR EXCAVATION WASTE FROM TRUCKS OR OTHER EQUIPMENT. ON COMPLETION OF THE WORK, ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE RIGHT-OF-WAY.
  - SHALL PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGS, LIGHTS, BARRICADES AND FLAGMEN AS REQUIRED BY THE LOCAL AUTHORITIES AND IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE GRADING CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE TEXAS DEPARTMENT OF TRANSPORTATION, THE CITY, AND THE OWNER FROM ANY CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES OR TO THE TRAVELING PUBLIC.
  - SHALL COMPLETE THE WORK TO THE SATISFACTION OF THE CITY PUBLIC WORKS DEPARTMENT AND OBTAIN A LETTER FROM THE DEPARTMENT STATING THAT THE WORK UNDER PUBLIC JURISDICTION IS ACCEPTABLE.
  - POST NECESSARY BONDS AS REQUIRED BY THE CITY AND/OR STATE.
- GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, BY APPLYING CALCIUM CHLORIDE OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER.
- REFER TO PAVING DETAILS FOR TYPE OF PAVING AND BASE TO BE USED.
- GRADING CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXISTING STRUCTURES, FENCES, DEBRIS OR TREES REMAINING ON SITE, UNLESS NOTED OTHERWISE ON PLANS AND SHALL COORDINATE WITH GENERAL CONTRACTOR.
- GRADING CONTRACTOR TO COMPLY WITH ALL STATE AND LOCAL SEDIMENT CONTROL AND AIR POLLUTION ORDINANCES OR RULES.
- A QUALIFIED SOILS LABORATORY SHALL DETERMINE THE SUITABILITY OF THE EXISTING SUBGRADE AND EXISTING ON-SITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION.
- UNSUITABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE BY GRADING CONTRACTOR.
- ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
- ALL AREAS NOT COVERED BY BUILDING, PAVING OR PLANNED LANDSCAPING, SHALL BE GRASSED ON THIS LOT INCLUDING ADJACENT PARKWAYS.

- BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION. NO EXTENSION OF TIME WILL BE GRANTED FOR THE ABOVE.
- TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO BEGINNING OF GRADING. CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES AND SHALL REMOVE SILT FROM BERM DITCHES, SILT DAMS AND SILT FENCES AS NEEDED.
- ALL DISTURBED AREAS SHALL BE HYDROMULCH SEEDED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PREVENT SOIL STABILIZATION TREATMENT FROM LEAVING THE SITE BY WAY OF STORMWATER RUNOFF WHICH MAY DAMAGE DOWNSTREAM WATER COURSES, LAKES OR PONDS. ANY DAMAGE TO WILDLIFE OR FISH KILLS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE.
- MAINTAIN AS MUCH EXISTING VEGETATION AS POSSIBLE AS WELL AS RE-ESTABLISHING THE GROUND COVER AS EARLY AS POSSIBLE. GRASS BUFFER STRIPS SHALL BE LEFT AROUND THE PERIMETER TO AID IN FILTERING SEDIMENTATION. A DENSITY OF TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO PREVENT EROSION SHALL BE ESTABLISHED ON ALL BERMS, SWALES AND SLOPES.
- ALL SITE GRADING AND EARTHWORK CONSTRUCTION SHALL COMPLY TO THE GEOTECHNICAL REPORT RECOMMENDATIONS.

## UTILITY NOTES

- THIS SHEET IS FOR SANITARY SEWER, WATER LINE AND STORM DRAINAGE CONSTRUCTION ONLY. DO NOT USE FOR GRADING CONSTRUCTION.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- ALL WATER AND SANITARY SEWER BULKHEADS TO TERMINATE APPROXIMATELY FIVE FEET OUTSIDE THE BUILDING UNLESS OTHERWISE NOTED. THE END OF THESE SERVICE LINES SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED UNTIL SUCH TIME AS CONNECTION IS MADE INSIDE BUILDING.
- CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE WATER DEPARTMENT INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING PRESSURE TESTING AND DISINFECTION OF MAINS AND HIS SIGNATURE OF APPROVAL IS REQUIRED.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY AND THE CITY.
- CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE LOCAL UTILITY AUTHORITY FOR CONNECTION TO THE EXISTING MAINS.
- ALL FIRE HYDRANTS ARE SIX-INCH DIAMETER WITH A 6-INCH DIAMETER LINE AND A SIX-INCH DIAMETER SHUT OFF VALVE. FIRE HYDRANTS SHALL BE SET SUCH THAT NOZZLE CONNECTIONS FACE THE FIRE LANE. FIRE HYDRANTS SHALL BE SET MINIMUM THREE FEET TO FIVE FEET BACK OF CURB AND 5' MAXIMUM BURY DEPTH.
- ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES ABOVE TOP OF PIPE, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL ADJUST LOCATION OF PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH STORM SEWER OR OTHER UTILITIES.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL "TEES, ELBOWS AND BENDS" OF SUFFICIENT SIZE TO COMPLY WITH MINIMUM STANDARDS OF N.F.P.A.-24 FOR EXISTING SOIL CONDITIONS. ALL JOINTS SHALL EMPLOY RESTRAINING GLANDS (EBAR PV2000 OR EQUAL).
- BASED ON SECTION 704.2 OF THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE, CLEANOUTS ARE REQUIRED AT A MAXIMUM SPACING OF 75 FEET ON UTILITY LEAD-INS TO BUILDING. CONTRACTOR TO PROVIDE CLEANOUTS WITHIN FIVE FEET OF BUILDING.
- ALL GATE VALVES TO BE PROVIDED WITH CAST IRON BOXES. SIZE OF GATE VALVE (WHERE TAP IS MADE INTO EXISTING WATER LINE) WILL BE DETERMINED BY THE WATER DEPARTMENT.
- SHOULD LATENT SOIL CONDITIONS NECESSITATE, CONTRACTOR SHALL INSTALL SPECIAL SUPPORTS FOR PIPING AND/OR APPURTENANCES INCLUDING THE REMOVAL OF UNSUITABLE MATERIAL AND BACKFILLING WITH GRAVEL OR OTHER MATERIAL. CONTRACTOR SHALL PERFORM ANY SUCH WORK AS DIRECTED BY THE CIVIL ENGINEER AND/OR SOILS ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- THE SITE UTILITY CONTRACTOR SHALL COOPERATE AND WORK WITH OTHER CONTRACTORS ON THE SITE.
- ALL MANHOLES OVER FIVE FEET IN DEPTH SHALL HAVE A STANDARD ECCENTRIC CONE.
- ALL MATERIALS SHALL BE U.L. LISTED AND FACTORY MUTUAL APPROVED UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGES BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- UTILITY CONTRACTOR SHALL VERIFY WITH LOCAL AND STATE AUTHORITIES THAT ALL EXISTING STREET LIGHT AND TRAFFIC SIGNAL WIRES HAVE BEEN LOCATED PRIOR TO CONSTRUCTION.

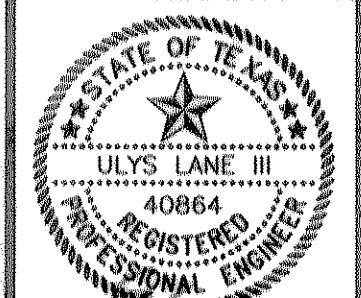
- PIPE TWO INCHES AND SMALLER SHALL BE TYPE K COPPER. FITTINGS SHALL BE COPPER OR CAST BRONZE. JOINTS SHALL BE COMPRESSION COUPLINGS.
- UTILITY LEAD-INS TO BUILDING SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLUMBING PLANS. LEAD-INS MAY CHANGE 15 FEET HORIZONTALLY AND THREE FEET VERTICALLY PRIOR TO INSTALLATIONS AT NO ADDITIONAL COST TO OWNER. LOCATION, SIZE AND INVERT ELEVATIONS OF SANITARY SEWER SHALL BE COORDINATED WITH THE APPROVED PLUMBING PLANS FOR THE BUILDING.
- ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND THE STANDARDS THEREIN AND APPLICABLE STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL REFER TO SITE GEOTECHNICAL REPORT FOR RECOMMENDATIONS ON COMPACTING AND BACKFILLING TRENCHES. IF NO TRENCH COMPACTION RECOMMENDATIONS ARE PROVIDED, TRENCHES BENEATH OR WITHIN FIVE FEET OF PAVEMENT SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT BETWEEN OPTIMUM TO FIVE PERCENT ABOVE OPTIMUM. TRENCHES OUTSIDE OF PAVED AREAS SHALL BE COMPACTED TO A MINIMUM 90% OF STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT BETWEEN OPTIMUM TO FIVE PERCENT ABOVE OPTIMUM.
- TRENCHES SHALL BE TESTED FOR COMPACTION AT A MINIMUM OF ONE TEST PER 300 LINEAR FEET PER LAYER.
- TRENCHES ENTERING THE BUILDING SHALL BE BACKFILLED WITH CLAY SOIL MATERIAL WITH P.I. EXCEEDING 30 WITHIN FIVE FEET OF THE BUILDING.
- ANY WATER OR SANITARY SEWER SERVICE LOCATED OUTSIDE OF A STREET RIGHT-OF-WAY, ALLEY OR EASEMENT SHALL BE INSTALLED BY A PLUMBER AND BE INSPECTED BY CODE ENFORCEMENT.
- FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.

PREPARED BY:  
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NO.	DATE	DESCRIPTION	BY

LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

PRIVATE IMPROVEMENTS  
GENERAL  
CONSTRUCTION NOTES  
(SHEET 2 OF 2)



RECORD DRAWINGS  
07-16-08

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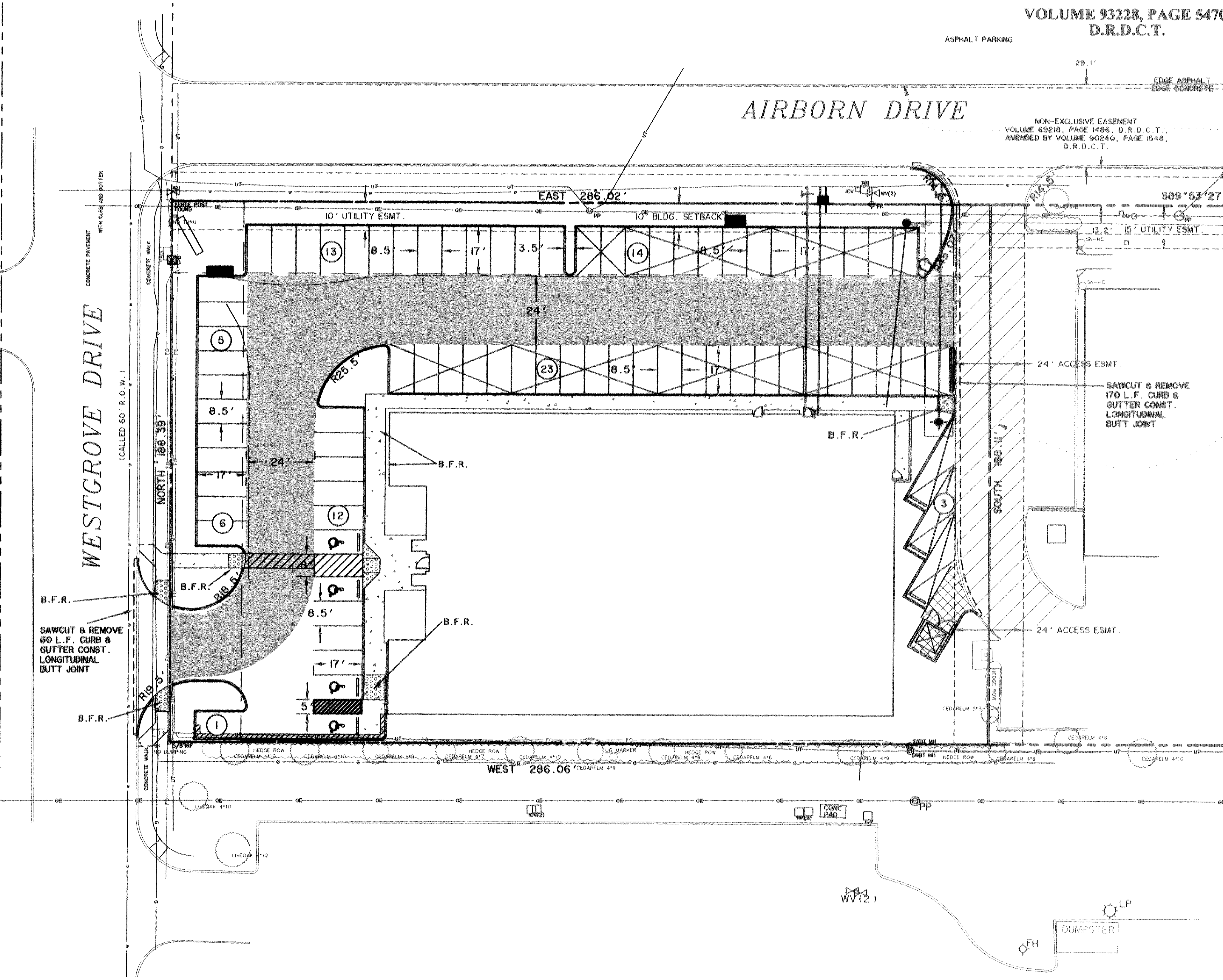
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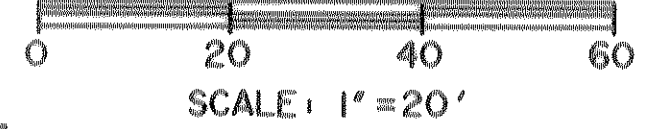
# AIRBORN DRIVE



**LEGEND**

[Pattern: Dotted]	PAVEMENT ON COMPACTED SUBGRADE PARKING AREA PAVEMENT FOR LIGHT AUTOMOBILE AND TRUCK TRAFFIC	[Pattern: Dotted]	5' SIDEWALK
[Pattern: Horizontal Lines]	PAVEMENT ON COMPACTED SUBGRADE FIRE LANES AND DRIVE LANES AND AREAS SUBJECT TO LIGHT TO MEDIUM TRUCK TRAFFIC.	[Symbol: X in Circle]	NUMBER OF PARKING SPACES
[Pattern: Diagonal Lines]	EXISTING FIRE LANE	[Symbol: X in Square]	COVERED PARKING
[Pattern: Cross-hatch]	PAVEMENT ON COMPACTED SUBGRADE SERVICE AREAS (DUMPSTER)		

- NOTES:**
1. PARKING STALLS 8.5'x17' TYP
  2. ALL DIMENSIONS TO BACK OF CURB UNLESS OTHERWISE NOTED



**CAUTION !!!  
UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

**RECORD DRAWINGS**  
07-16-08

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ULYS LANE, III  
DATE 7-16-08

PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
701 HIGHLANDER BLVD., SUITE 300 ARLINGTON, TEXAS 76015 METRO (817)467-7700  
1380 U.S. HIGHWAY 287 N. SUITE 101 WANSFIELD, TEXAS 76063 METRO (817)477-8700  
6849 ELM STREET FRISCO, TEXAS 75034 METRO (214)387-8000  
www.via-wier.com

NO.	DATE	DESCRIPTION	BY

LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

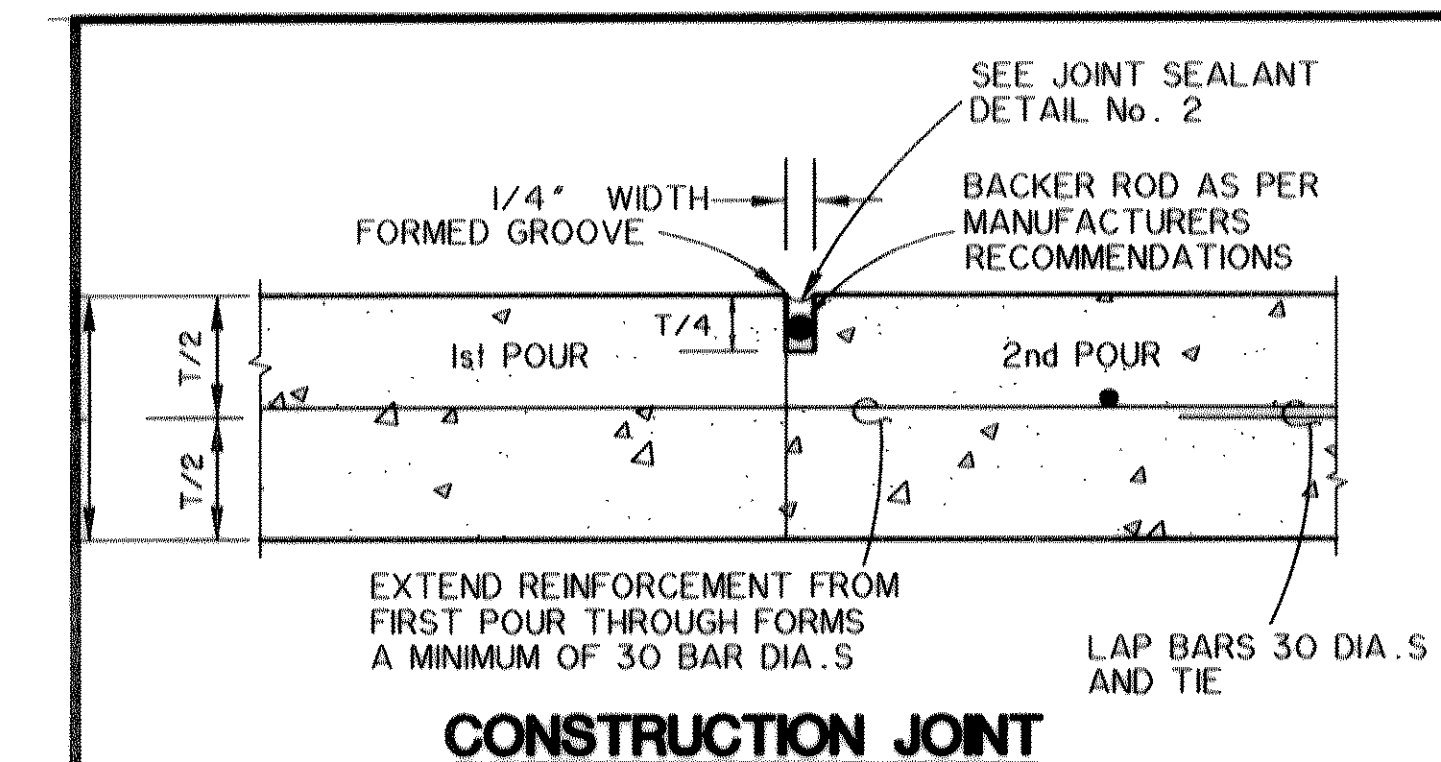
**PAVING PLAN**

STATE OF TEXAS  
ULYS LANE III  
40864  
REGISTERED  
PROFESSIONAL ENGINEER  
7-16-08

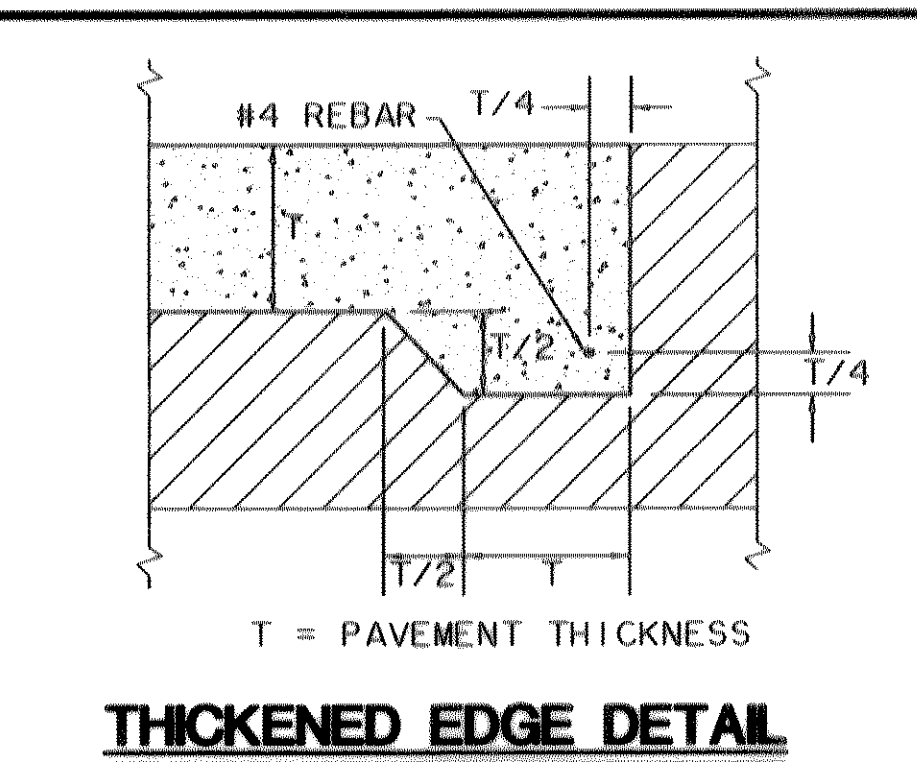
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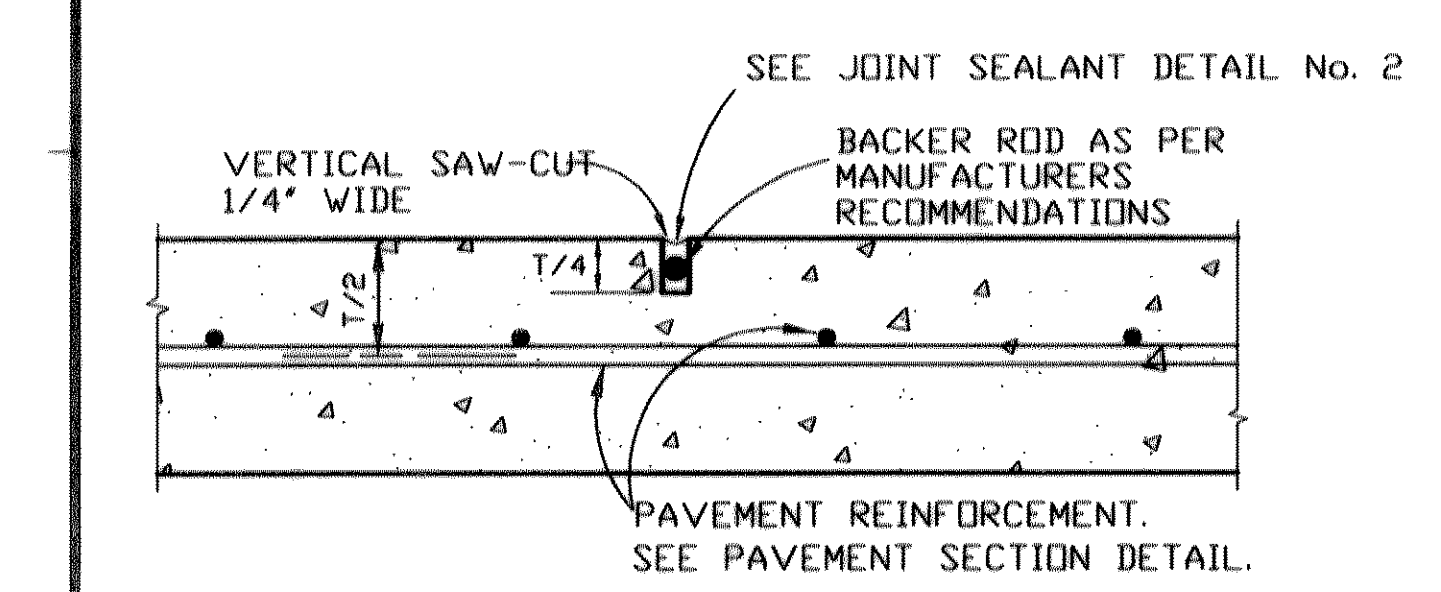
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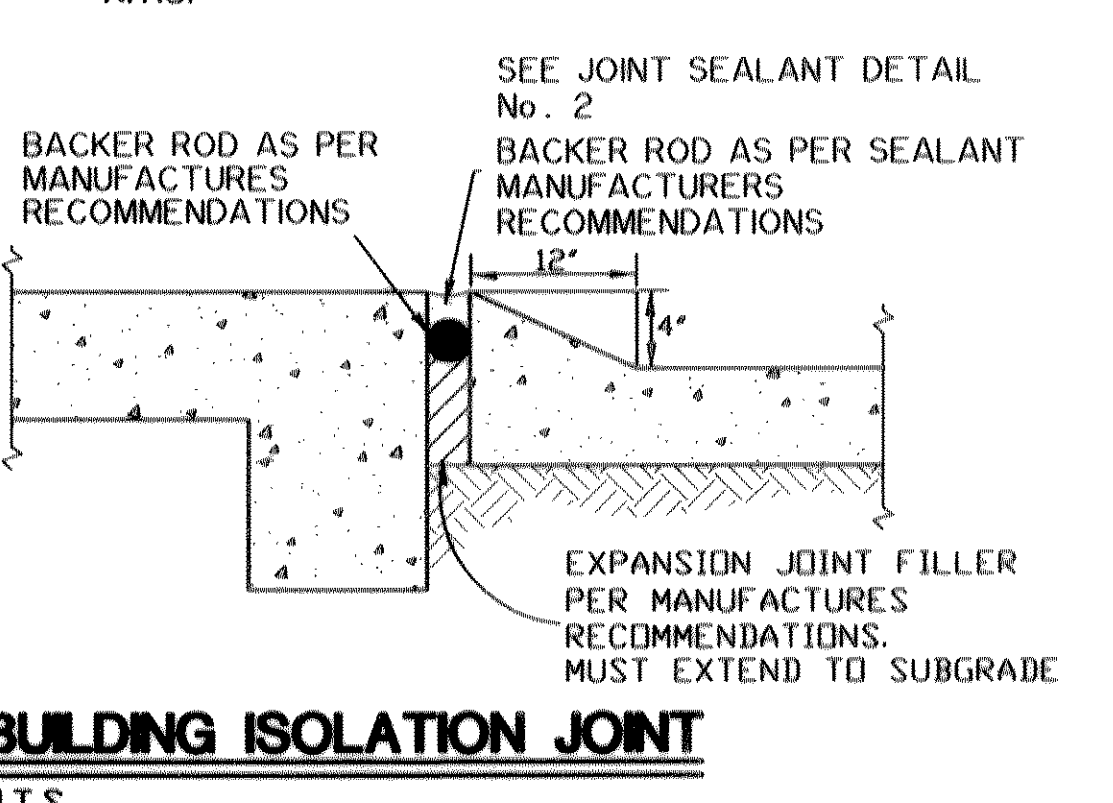
**CONSTRUCTION JOINT**  
N.T.S.  
USE CONSTRUCTION JOINT BETWEEN PAVEMENT POURS IF CONCRETE PLACEMENT IS INTERRUPTED OR STOPPED FOR MORE THAN 30 MINUTES.



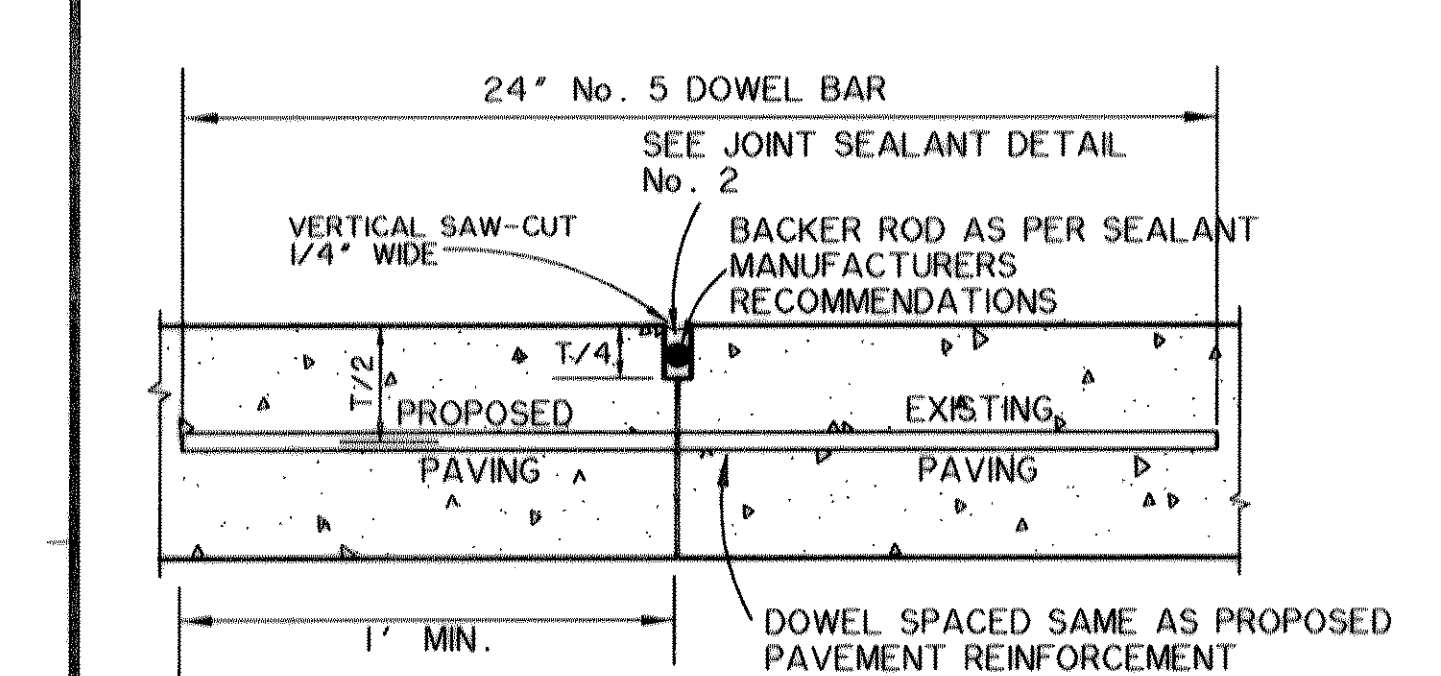
**THICKENED EDGE DETAIL**  
N.T.S.



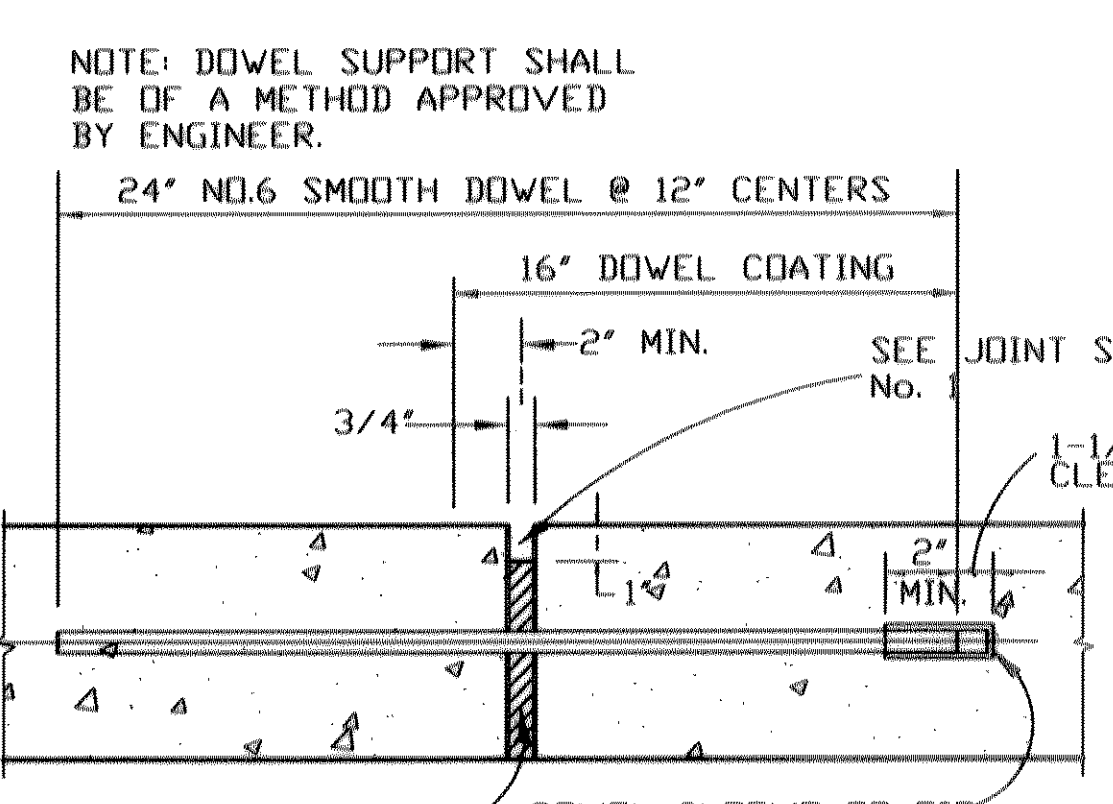
**SAWED CONTRACTION JOINT**  
N.T.S.



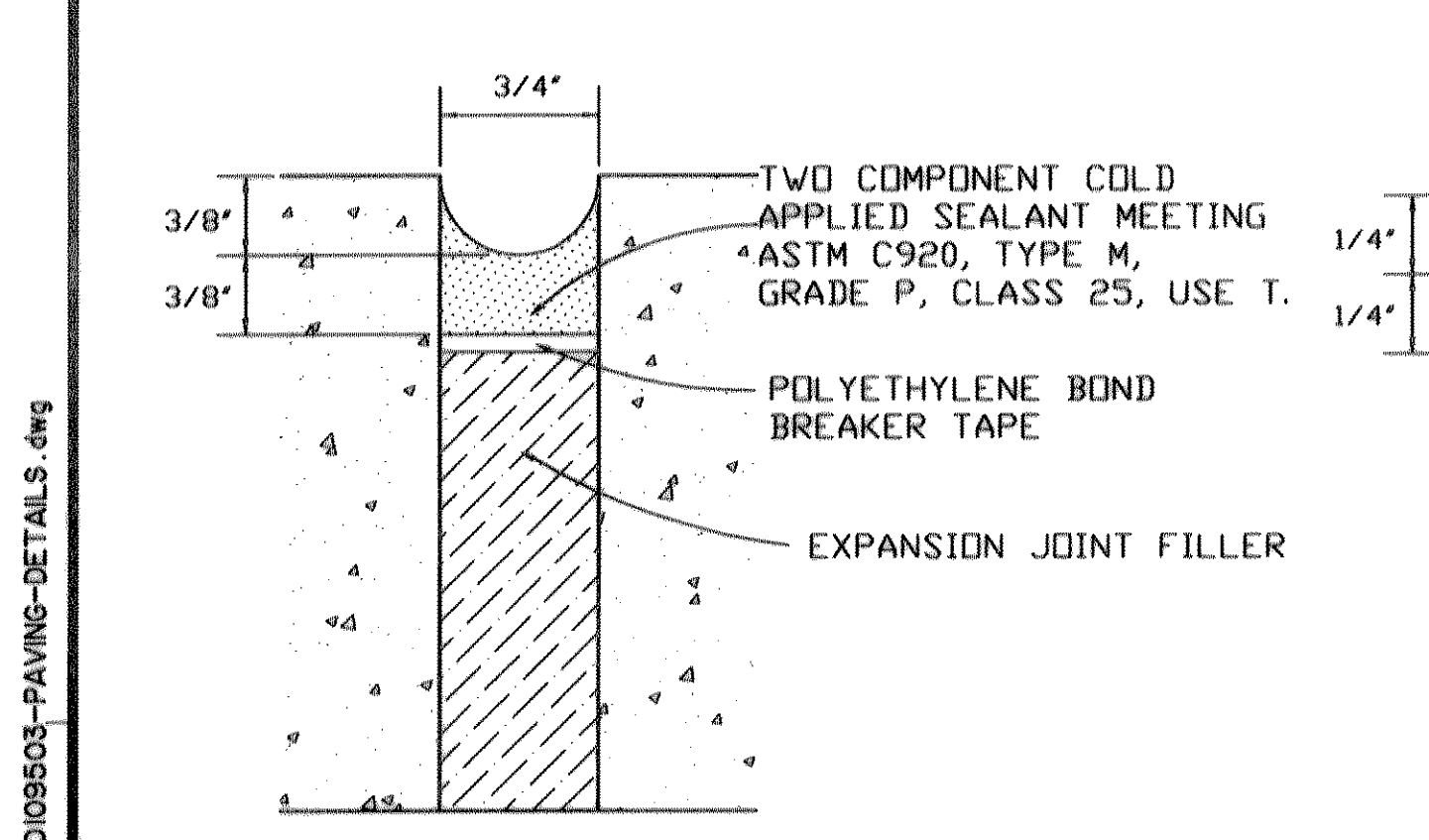
**BUILDING ISOLATION JOINT**  
N.T.S.



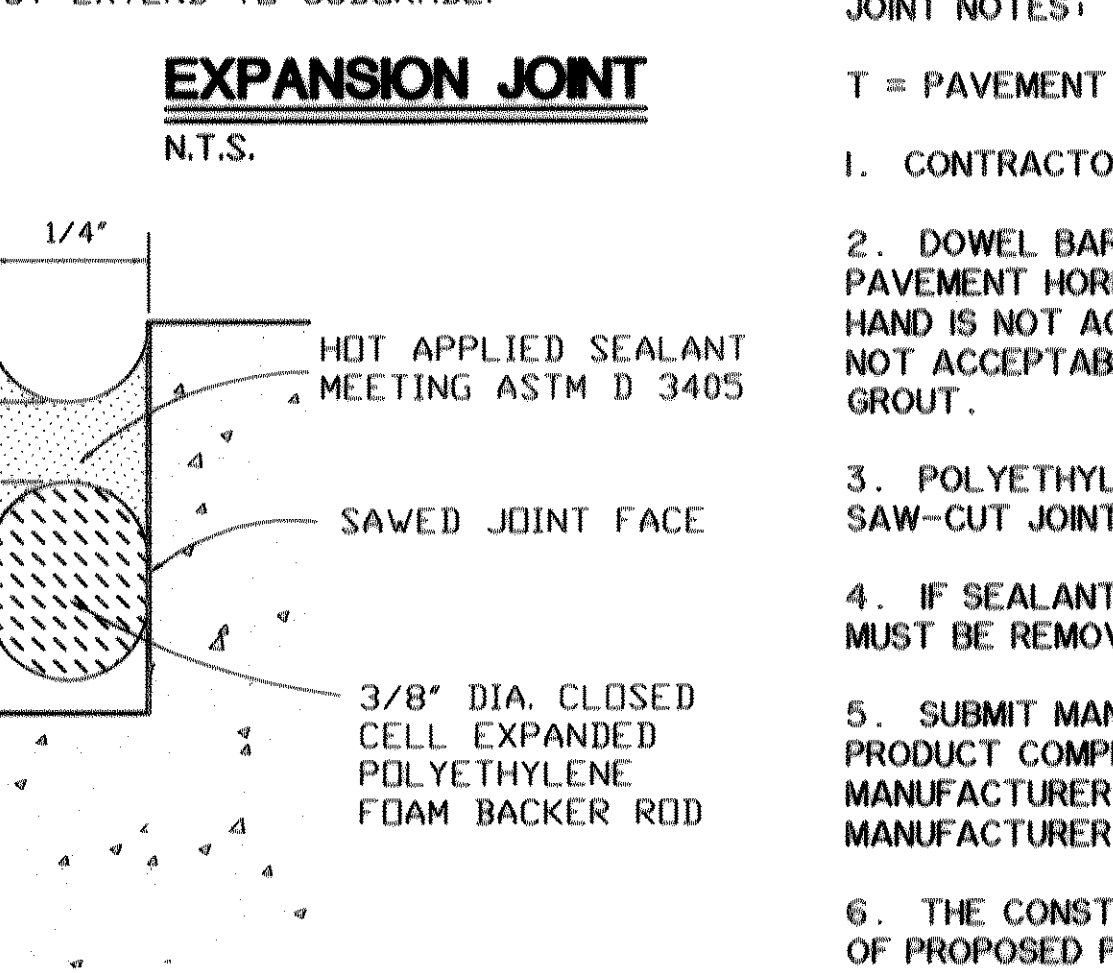
**BUTT JOINT**  
N.T.S.



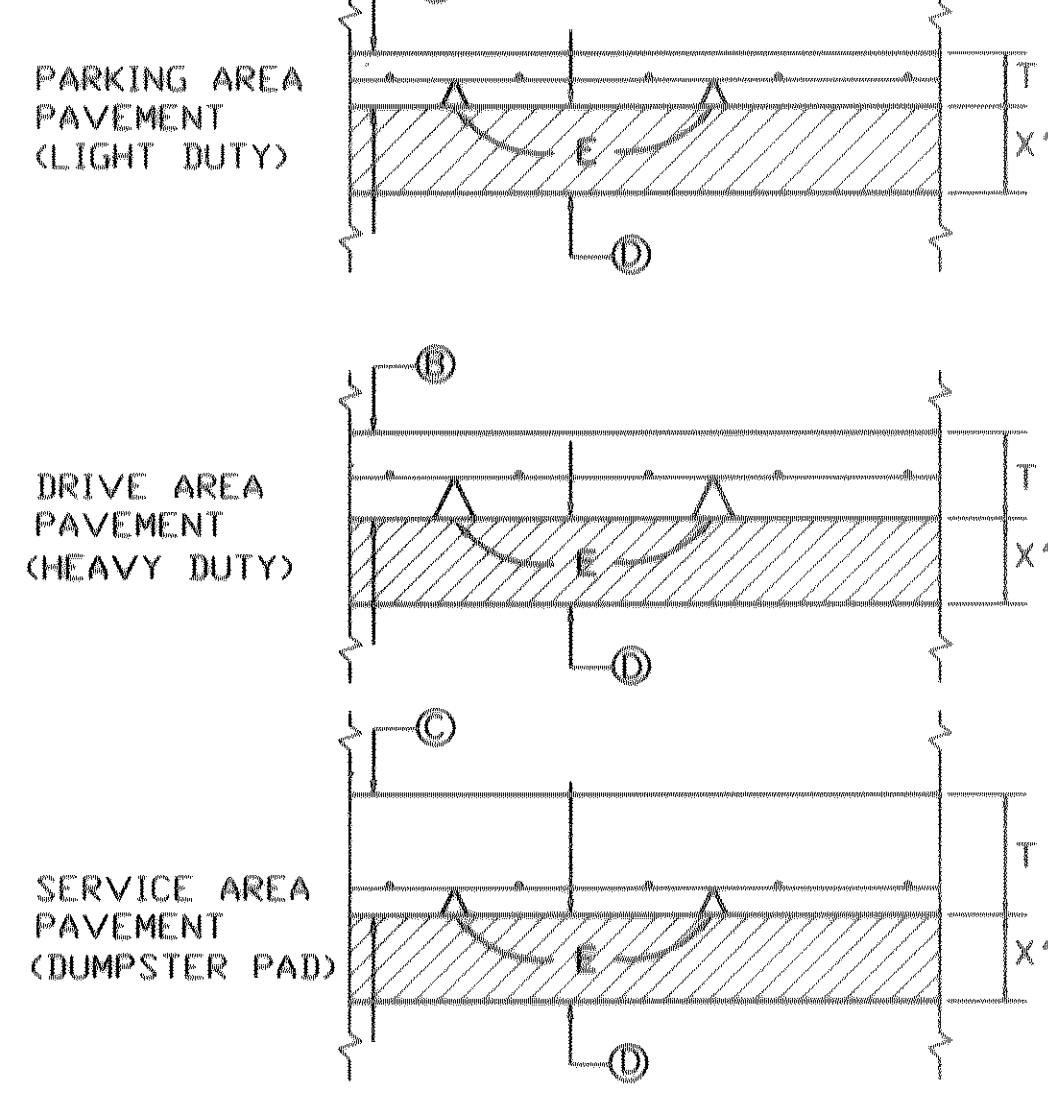
**EXPANSION JOINT**  
N.T.S.



**JOINT SEALANT DETAIL No.1 SEAL FOR EXPANSION JOINT**  
N.T.S.

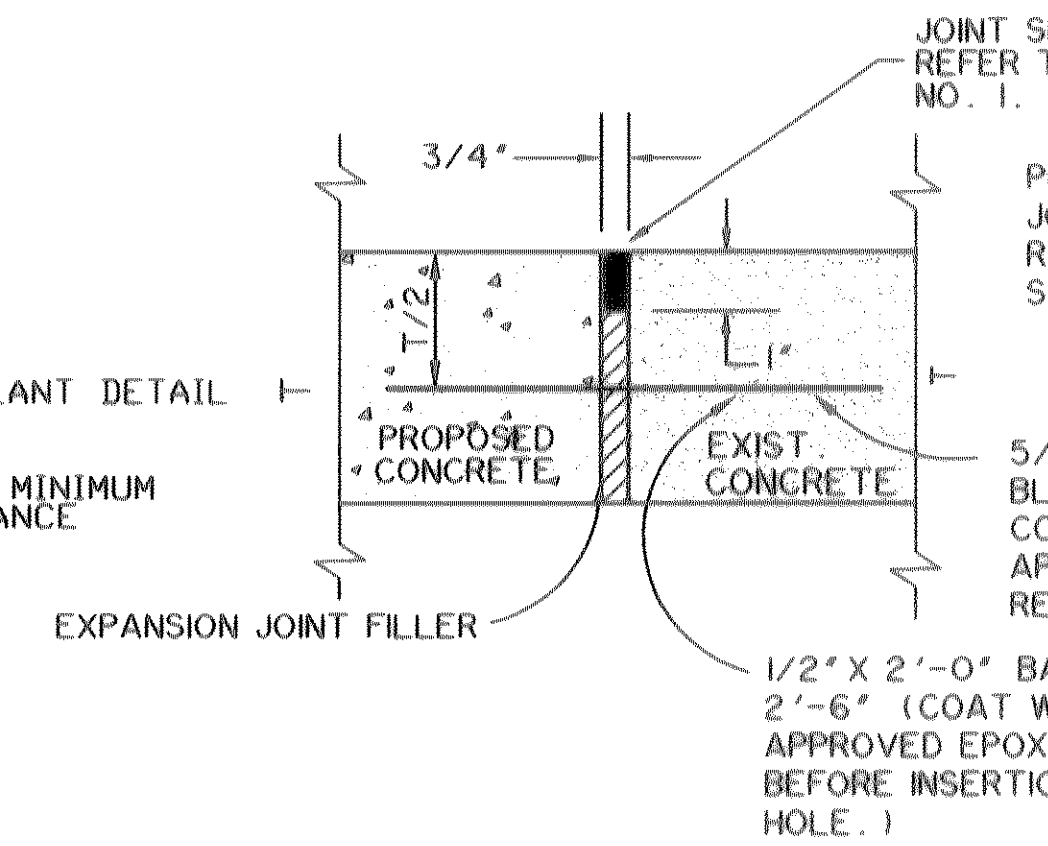


**JOINT SEALANT DETAIL No.2 SEAL FOR SAWED, CONSTRUCTION, & BUTT JOINT**  
N.T.S.

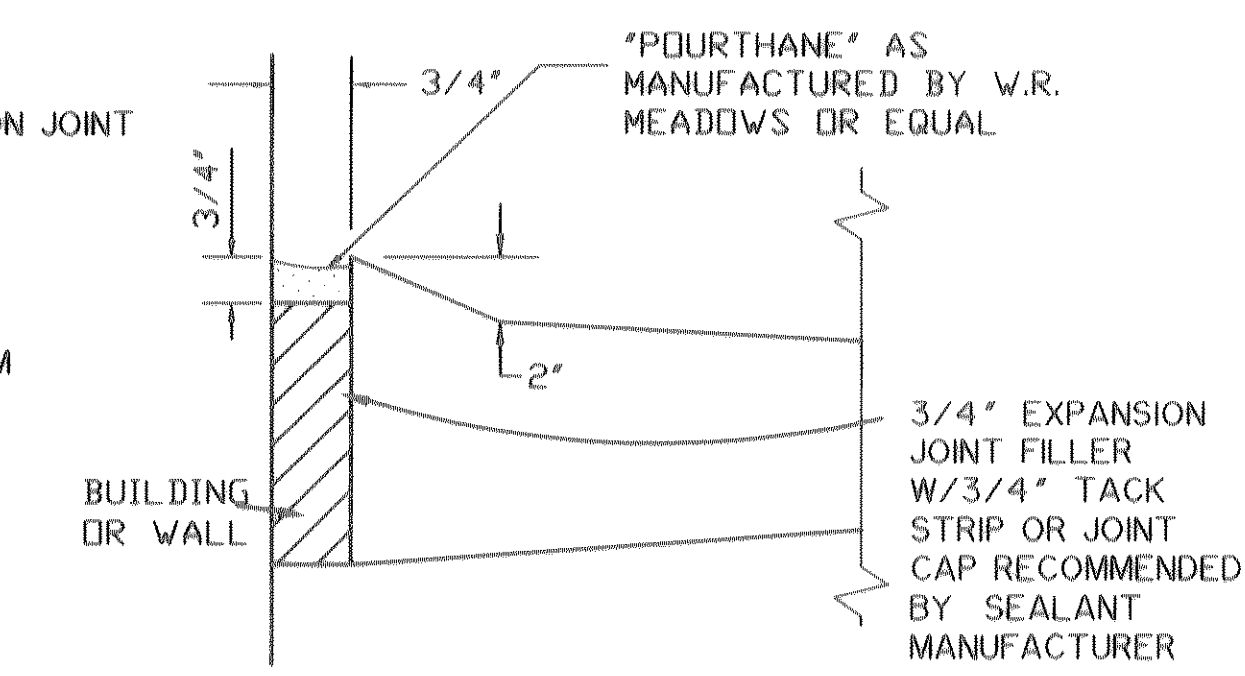


**TYPICAL PAVEMENT SECTION**  
N.T.S.

- NOTES:
- A 5' - 3000 PSI CONC. REINFORCED WITH #3 BARS @ 18" C/C ON CHAIRS
  - B 6' - 3500 PSI CONC. REINFORCED WITH #3 BARS @ 18" C/C ON CHAIRS
  - C 6' - 3500 PSI CONC. REINFORCED WITH #3 BARS @ 18" C/C ON CHAIRS
  - D 6' - COMPACTED SUBGRADE, MIN. 95% OF STANDARD PROCTOR DENSITY (ASTM D 698) AND WITH IN 1 PERCENTAGE POINT BELOW TO 3 PERCENTAGE POINTS ABOVE THE MATERIAL'S OPTIMUM MOISTURE CONTENT. SUBGRADE TREATMENT AND METHODS SHALL BE CONFIRMED BY THE PROJECT GEOTECHNICAL ENGINEER AFTER EXCAVATION AND FILLING OPERATIONS ARE COMPLETED. CONTRACTOR SHALL REVIEW PROJECT GEOTECHNICAL REPORT AND CURRENT CITY STANDARDS AND MEET OR EXCEED RECOMMENDATIONS.
  - E PLACE ALL REINFORCING STEEL ON CHAIRS AT T/2 HEIGHT, SPACED A SUFFICIENT DISTANCE TO PREVENT SAGGING.
2. MATERIAL AND CONSTRUCTION METHODS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS.
3. DO NOT PLACE SAND OR SELECT FILL BENEATH PAVEMENT FOR LEVEL UP COURSE. UTILIZE ONLY ONSITE NATIVE SOIL MATERIALS.
4. COMPACTION OF THE PAVEMENT SUBGRADES, BASES, AND NEW FILL SHALL BE VERIFIED BY FIELD MOISTURE/DENSITY TESTS MADE AT A MAXIMUM FREQUENCY OF ONE TEST PER 5,000 SQUARE FEET OF PARKING AREA.
5. PERIMETER/MAIN DRIVING ISLE TO BE 6" MINIMUM 3,500 psi CONCRETE ON COMPACTED SUBGRADE. PARKING STALLS TO BE 5" MINIMUM 3,000 psi CONCRETE ON COMPACTED SUBGRADE.

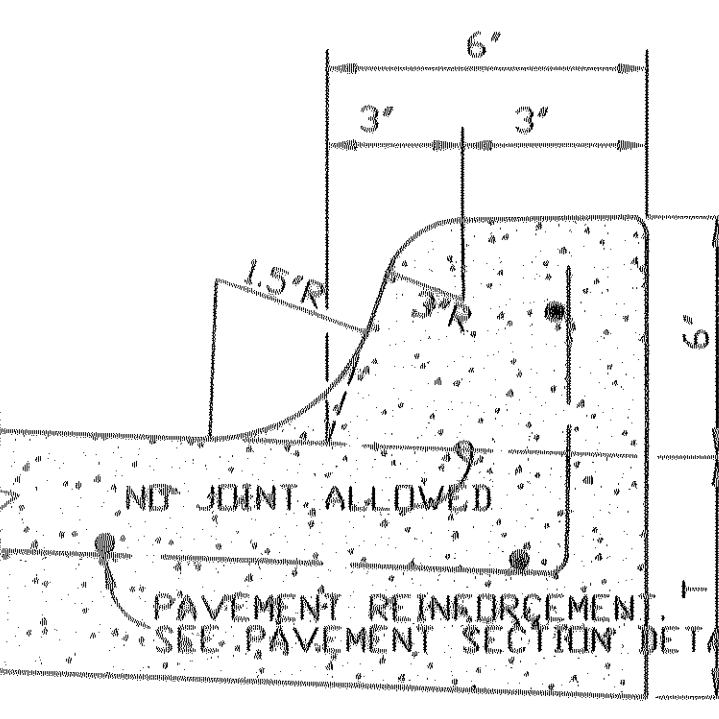


**TYPICAL ISOLATION JOINT**  
N.T.S.



**WALKWAY ISOLATION JOINT AT BUILDING**  
N.T.S.

- JOINT NOTES:
- T = PAVEMENT THICKNESS
- CONTRACTOR MAY ELECT TO USE DOWELED CURB OR MONOLITHIC CURB
  - DOWEL BARS PLACED INTO EXISTING PAVEMENT SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE. SECURE DOWEL BARS IN EXISTING PAVING WITH EPOXY GROUT.
  - POLYETHYLENE FOAM BACKER ROD DOES NOT SIT ON BOTTOM OF SAW-CUT JOINT. PLACE AT DEPTH INDICATED IN DETAIL.
  - IF SEALANT PROTRUDES ABOVE THE SURFACE OF THE PAVEMENT, IT MUST BE REMOVED AND REPLACED.
  - SUBMIT MANUFACTURER'S LITERATURE FOR SEALANT, DOCUMENTING PRODUCT COMPLIES WITH ASTM SPECIFICATIONS AND PROVIDING MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION. FOLLOW MANUFACTURER'S RECOMMENDATIONS ON USE OF THE PRODUCT.
  - THE CONSTRUCTION JOINT IS TO BE USED BETWEEN SEPARATE POURS OF PROPOSED PAVEMENT. NOTE THAT IT REQUIRES THE REINFORCEMENT TO BE EXTENDED THROUGH THE FORM TO TIE TO THE NEXT POUR. THE BUTT JOINT IS TO BE USED BETWEEN EXISTING CONCRETE PAVEMENT (STREET OR DRIVEWAY) AND PROPOSED PAVEMENT, UNLESS AN EXPANSION JOINT IS CALLED FOR.
  - JOINT SEALANTS SHALL BE INSTALL SOON AFTER JOINTS ARE SAWED AND/OR COMPLETED. THE JOINTS SHALL BE SEALED BEFORE A RAIN EVENT OCCURS AFTER SAWING OR COMPLETING THE JOINT.



**MONOLITHIC CURB DETAIL**  
N.T.S.

RECORD DRAWINGS  
07-16-08

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ULYS LANE, 111  
DATE 7-16-08

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
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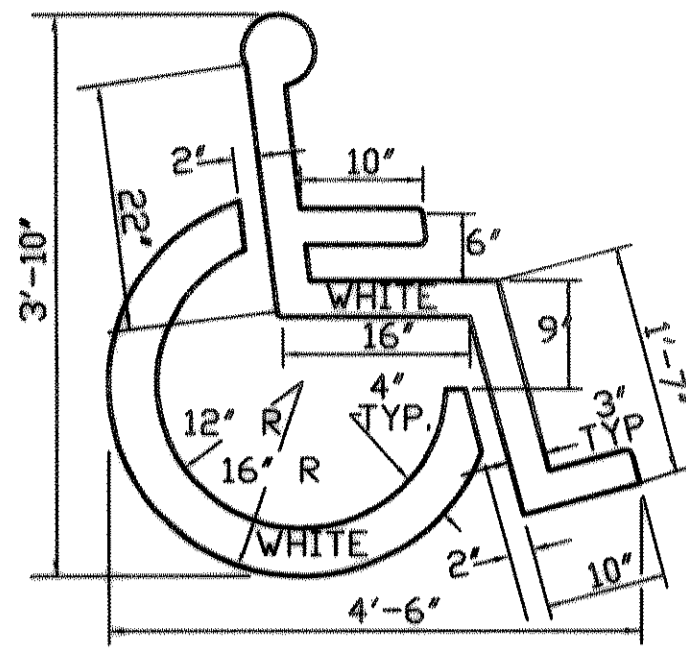
LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

PAVING DETAILS

STATE OF TEXAS  
ULYS LANE III  
40864  
REGISTERED PROFESSIONAL ENGINEER  
7-16-08

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P201



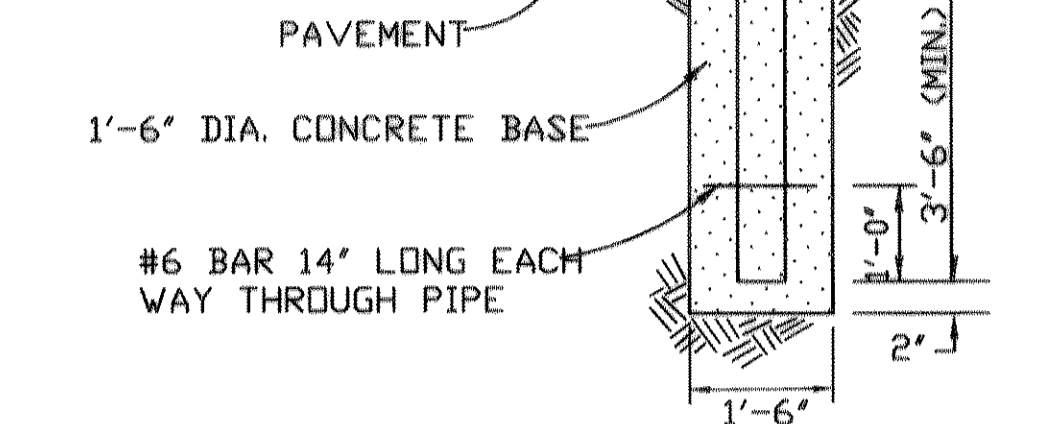
**HANDICAPPED PARKING SPACE SYMBOL**

SEE SPACES DESIGNATED H.C.  
N.T.S.

1'-0" x 1'-6" x 0.08" ALUMINUM HANDICAPPED PARKING SIGN. SIGN TO READ "RESERVED PARKING" WITH IDENTIFICATION SYMBOL AND "VAN ACCESSIBLE" WHERE APPLICABLE. BOLT TO STEEL TUBE WITH 1/2" CADMIUM PLATED BOLTS, NUTS, AND WASHERS.

2' x 2' x .188" STEEL TUBE EXTEND INTO CONCRETE FILLED PIPE 2'-0". PROVIDE WELDED WATERTIGHT CAP.

8" DIA. STD. STEEL PIPE FILLED WITH CLASS "A" CONCRETE. PROVIDE DOMED CEMENT WASH CAP. PAINT PIPE (2) COATS TRAFFIC YELLOW



**HANDICAPPED PARKING SIGN**

N.T.S.



VAN ACCESSIBLE  
5' TO FIN. GRADE



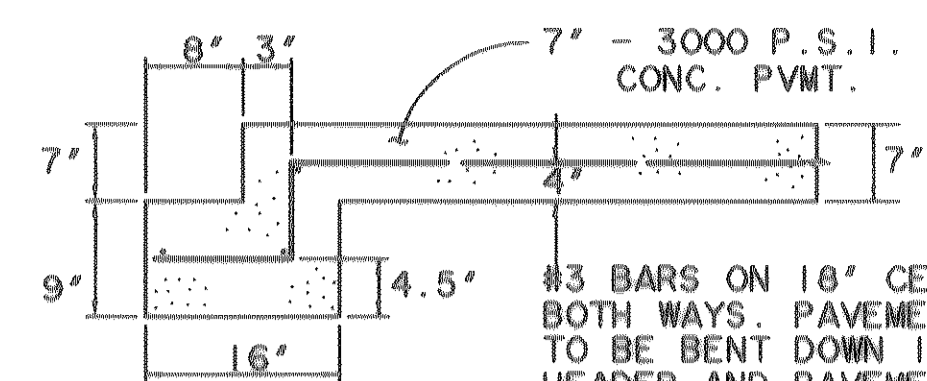
HANDICAPPED PARKING  
5' TO FIN. GRADE

PROVIDE & INSTALL VAN ACCESSIBLE (#SS57) & HANDICAPPED PARKING (#SS53) SIGNS EQUAL TO BEST SIGN SYSTEMS, MONTRORSE, COLORADO. GALVANIZED "U" CHANNEL MOUNTING POST SHALL BE SET IN A CONCRETE FOOTING. MOUNT SIGNS 5'-0" FROM THE BOTTOM OF LOWEST LINE OF LETTERING TO FINISH GRADE. SIGNS SHALL BE SCREEN PRINTED IN BLUE & WHITE ON .063" - ALUMINUM.

**TYP. ACCESSIBLE PARKING SIGNS**

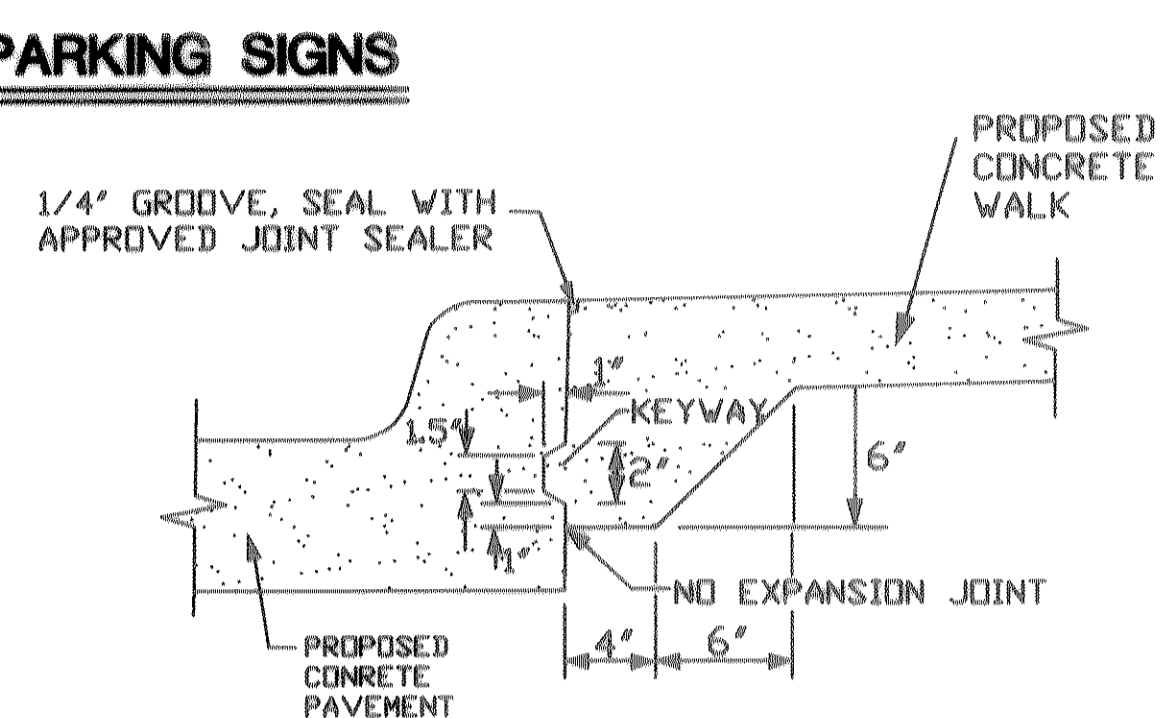
N.T.S.

NOTE: WHERE SIGN IS LOCATED IN PLANTER AREA, USE 2' x 2' TUBE STEEL FULL LENGTH AND SET IN CONCRETE 3'-0" MIN. BELOW GRADE.



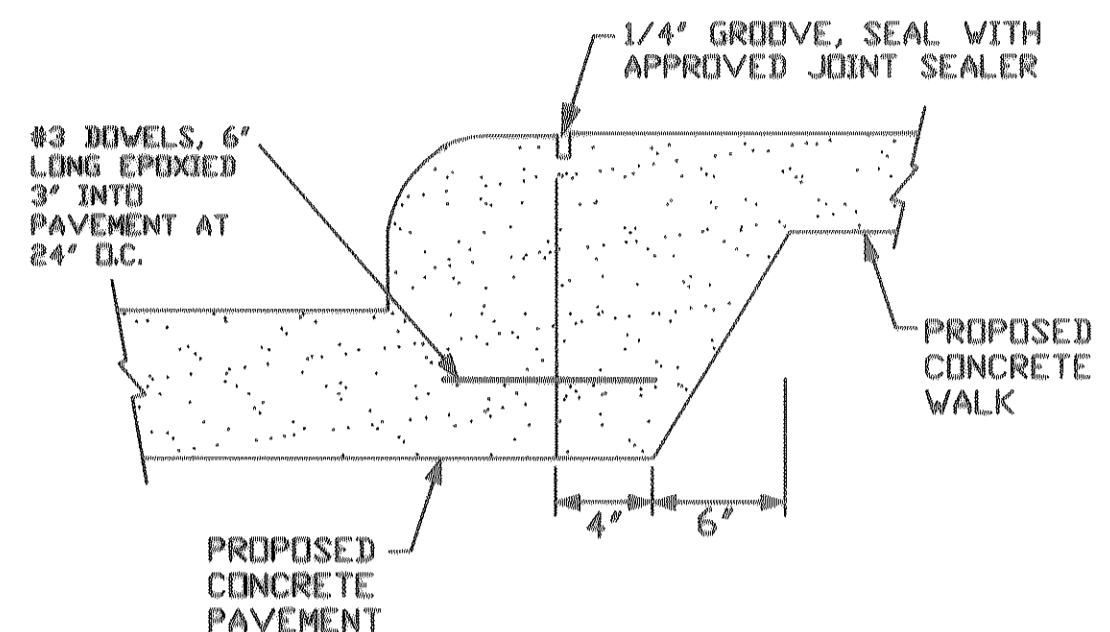
**STREET HEADER**

N.T.S.



**JOINT DETAIL FOR SIDEWALK ADJACENT TO PROPOSED PAVEMENT**

N.T.S.



**ALTERNATE JOINT DETAIL FOR SIDEWALK**

N.T.S.

NOTES:  
1. TOP OF CURB TO BE FLUSH WITH PAVEMENT.  
2. TOP OF CURB TO BE FLUSH WITH TOP OF WALK.

3. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23MM), A HEIGHT OF NOMINAL 0.2 IN (5MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN SESILEINCE OR SOUND-ON-CANE CONTACT. BOTH MUST MEET T.A.S. AND A.D.A. SPECIFICATIONS 4.29.2, 4.5, 4.7, 8 4.7.4. CURB RAMP SLOPES SHALL NOT EXCEED 1:12 AND SHALL COMPLY WITH T.A.S. 4.7, 4.7.2 & 4.8.2.

4. 36" MIN. IF PARKING STALL LENGTH IS 20' AND CURB STOPS ARE PROVIDED 2' OFF CURB OR 60' MIN. IF PARKING STALL LENGTH IS 18' WITH NO CURB STOPS. IF DIMENSION IS LESS THAN 48", THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 1:12.

5. ACCESSIBLE PARKING SPACE SHALL BE 8' MIN. AND SHALL COMPLY WITH T.A.S. 4.6.3. OPTIONAL UNIVERSAL PARKING SPACE SHALL BE 11' WIDE AND COMPLY WITH T.A.S. FIGURE A5b.

6. ACCESS AISLE SHALL BE 5' WIDE FOR TYPICAL OR UNIVERSAL ACCESSIBLE PARKING. ACCESS AISLE SHALL BE 8' WIDE FOR VAN ACCESSIBLE PARKING.

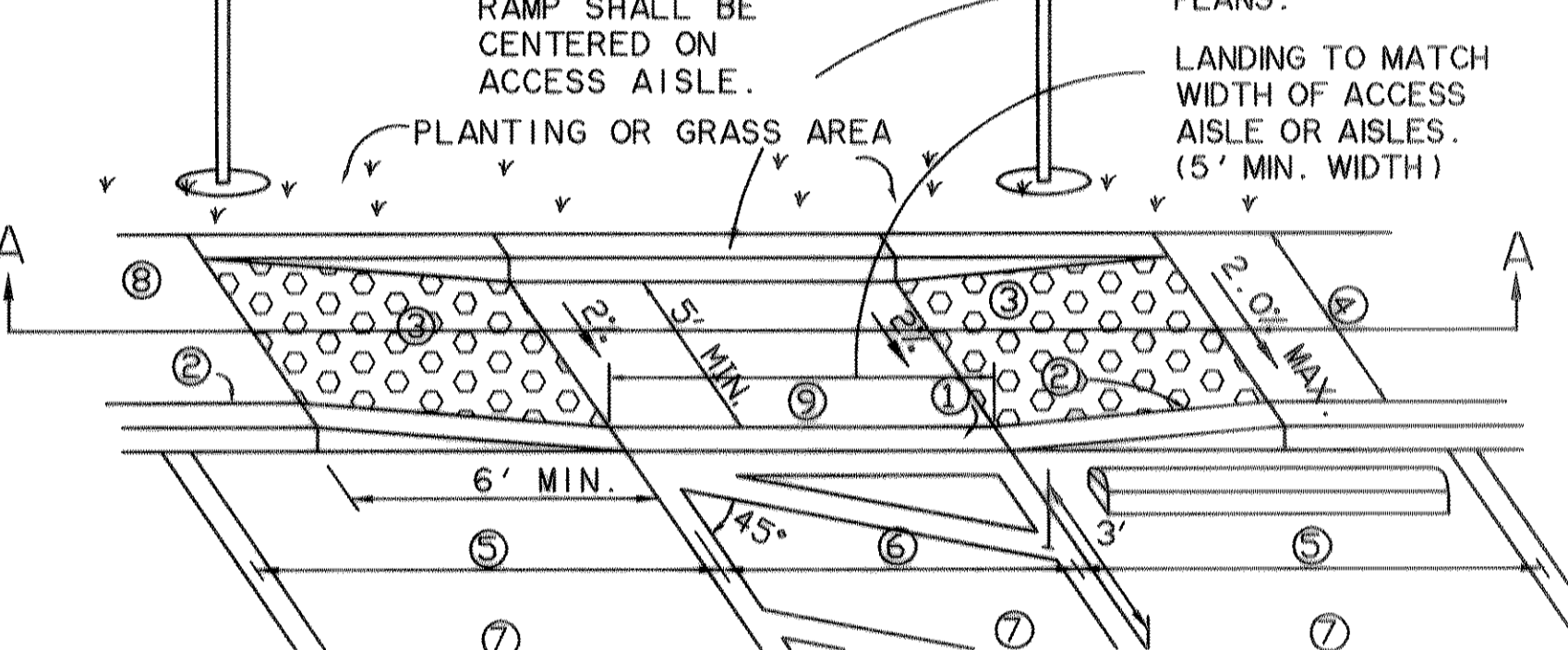
7. ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS AND SHALL COMPLY WITH T.A.S. 4.6.3..

8. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5%) IS CONSIDERED A RAMP AND SHALL COMPLY WITH T.A.S. 4.8. THE CROSS SLOPE OF AN ACCESSIBLE ROUTE SHALL NEVER EXCEED 1:50 (2%).

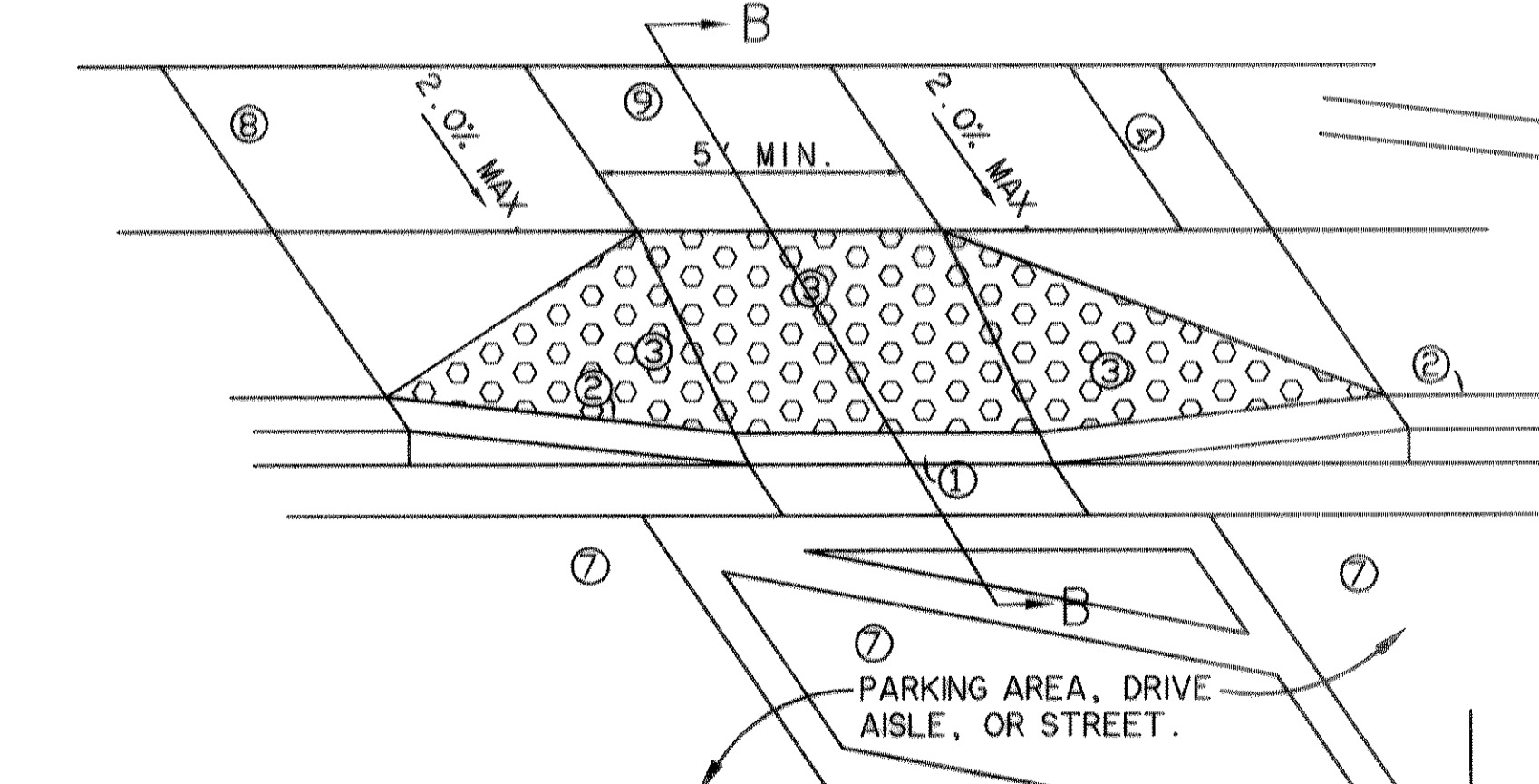
9. LANDING DIMENSIONS AT TOP OF RAMP OR A CHANGE IN DIRECTION SHALL BE 5' X 5' MINIMUM.

10. GRADES IN ACCESSIBILITY ROUTING INCLUDE CROSSING DRIVEWAYS, SHALL CONFORM TO ADA STANDARDS, NOT TO EXCEED 5.0% ALONG TRAVEL PATH WITH NOT MORE THAN 2.0% CROSSFALL.

SIGNAGE FOR ACCESSIBLE PARKING SHALL COMPLY WITH T.A.S. 4.6.4, A4.6.4., 4.30.3, AND 4.30.7. SEE DETAIL.  
RAMP SHALL BE CENTERED ON ACCESS AISLE.  
LANDING TO MATCH WIDTH OF ACCESS AISLE OR AISLES. (5' MIN. WIDTH)  
6" OR 5" HIGH CURB AT WALKWAY EDGE IF LANDSCAPED. DELETE CURB IF NOT INDICATED IN PLANS.



**TYPE-3 CURB RAMP**

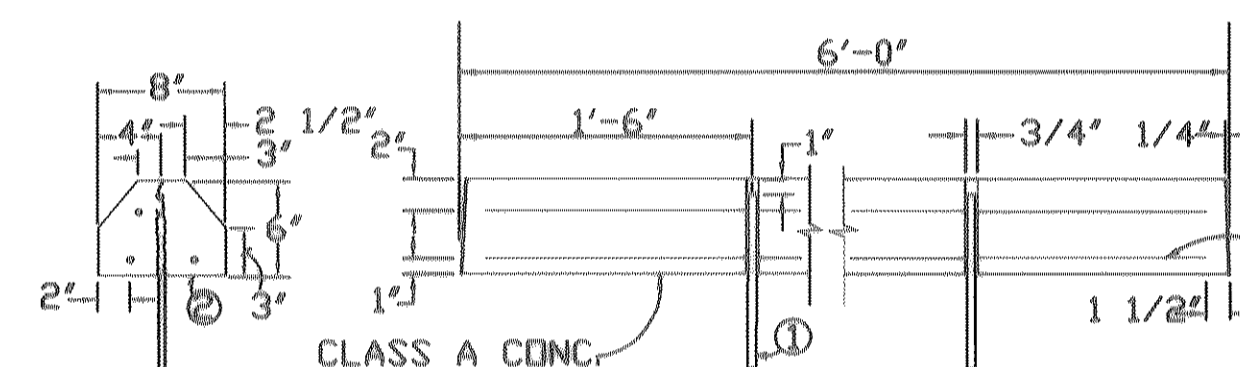


**TYPE-2 CURB RAMP**

\* THESE DETAILS ARE FOR ONSITE CURB RAMPS. ALL OTHER CURB RAMPS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN COMPLIANCE WITH LOCAL CITY CODES AND DETAILS.

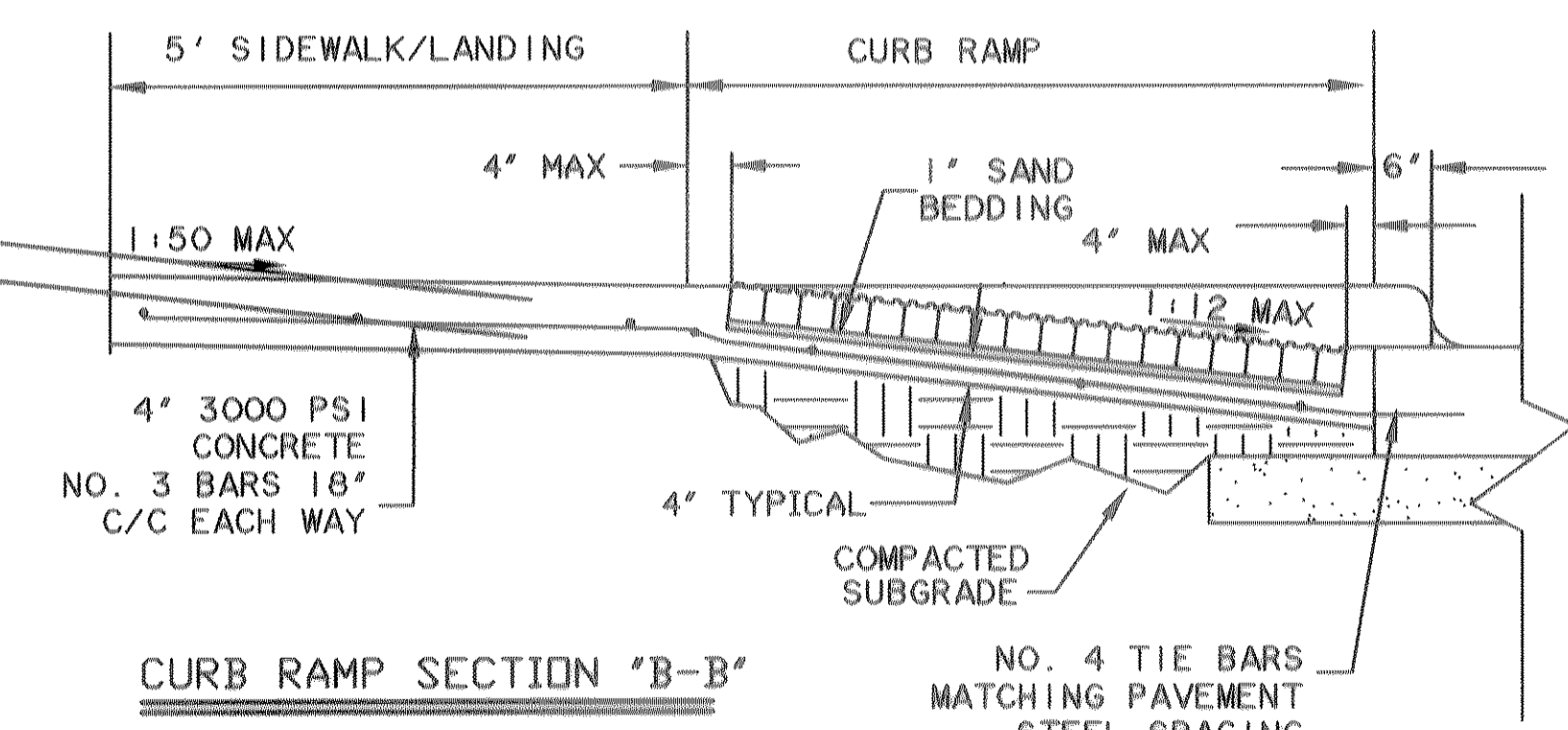
**CURB RAMP DETAIL**

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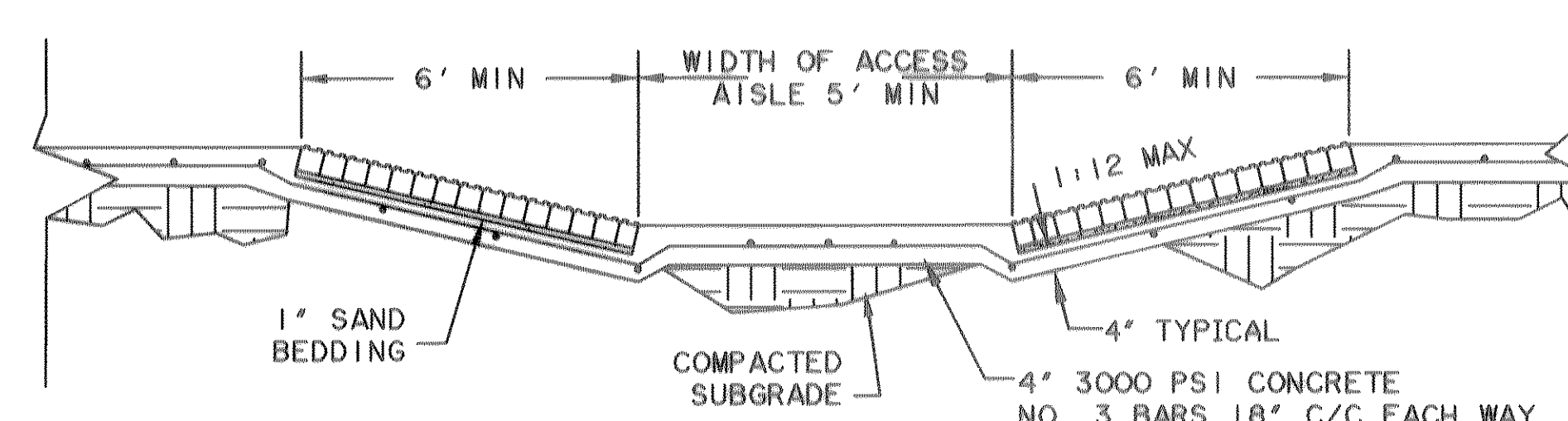


**PRECAST CONCRETE VEHICLE STOP DETAIL**

N.T.S.



**CURB RAMP SECTION "B-B"**



**CURB RAMP SECTION "A-A"**

- ① NO. 5 BARS-18" MIN. LENGTH. FILL VOID WITH BUTYL RUBBER CAULKING (COMMERCIAL GRADE) OR OTHER APPROVED MATERIAL.
- ② NO. 3 DEFORMED BARS (OR LARGER) 3 REQUIRED.
- ③ THE MINIMUM REQUIREMENT FOR REINFORCING STEEL SHALL BE GRADE 40. THE UNIT WEIGHTS APPROXIMATELY 38 POUNDS PER FOOT
- ④ OTHER TYPES OF STOPS MAY BE PERMITTED IF APPROVED IN WRITING BY THE ARCHITECT.

RECORD DRAWINGS  
07-16-08

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ULYS LANE, III  
DATE 7-16-08

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LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**HANDICAP DETAILS**

STATE OF TEXAS  
ULYS LANE III  
40864  
REGISTERED  
PROFESSIONAL ENGINEER  
7-16-08

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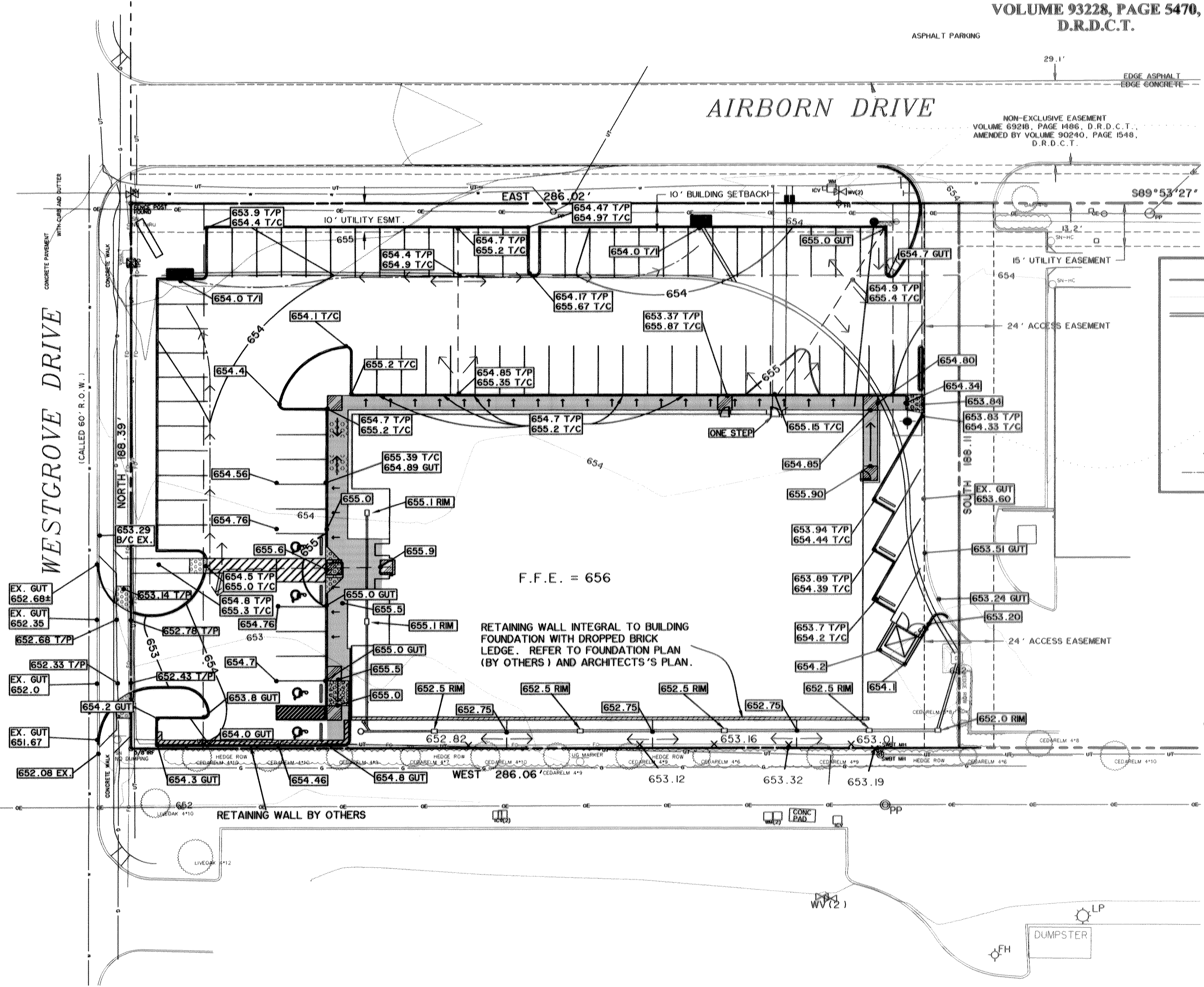
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P202

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ASPHALT PARKING

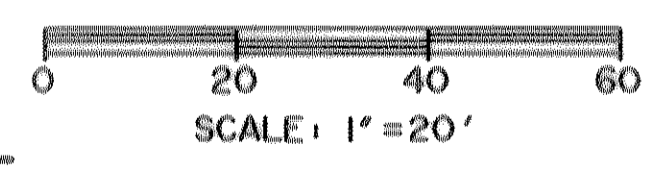
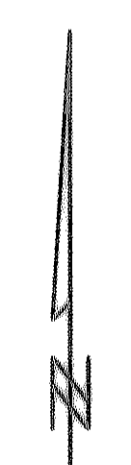
AIRBORN DRIVE

NON-EXCLUSIVE EASEMENT  
VOLUME 69218, PAGE 1486, D.R.D.C.T.,  
AMENDED BY VOLUME 90240, PAGE 1548,  
D.R.D.C.T.



LEGEND

	650	PROP. CONTOUR		HANDICAP ACCESSIBLE ROUTE MAXIMUM 1.8% CROSS SLOPE, 4.8% LONGITUDINAL SLOPE
	650	EXISTING CONTOUR		ADA LANDING AREA MAX 2% CROSS SLOPE ANY DIRECTION
		PROP. STORM DRAIN		ADA RAMP LOCATION
	611.0	PROP. SPOT ELEVATION		BREAK LINE
	611.0	EX. SPOT ELEVATION		
	T/C	TOP OF CURB		
	T/W	TOP OF WALL		
	B/W	BASE OF WALL		
	T/P	TOP OF PAVEMENT		
	T/I	TOP OF INLET		
	RIM	INLET RIM		
		FLOW ARROW		
		SWALE LINE		



CAUTION !!!  
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

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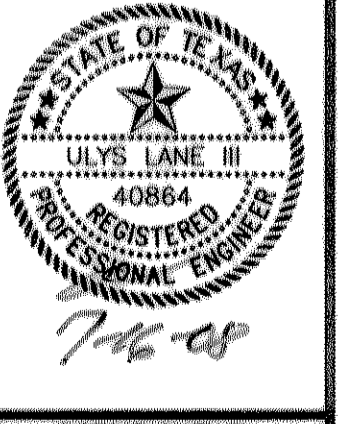
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NO.	DATE	DESCRIPTION	BY

LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

GRADING PLAN



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WA# 01095.03  
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TIME: 11:51 FILE: 0109503-DAMAP.dwg

100 YEAR STORM RUNOFF CALCULATIONS								
DESIGNATION AREA	TOTAL AREA (ACRES)	INCREMENTAL AREAS		TOTAL CA	TC	I <sub>100</sub>	Q <sub>100</sub>	COMMENTS
		COMMERCIAL C=0.85	UNDEVELOPED C=0.40					
A-1	0.32	0.32		0.27	10	8.74	2.4	6' CURB INLET
A-2	0.37	0.37		0.31	10	8.74	2.7	6' CURB INLET
A-3	0.47	0.47		0.40	10	8.74	3.5	EX DROP INLET
A-4	0.19	0.19		0.16	10	8.74	1.4	AREA DRAINS
B-1	0.14	0.14		0.12	10	8.74	1.0	SHEET FLOW TO ROAD

VOLUME 93228, PAGE 5470, D.R.D.C.T.

**LEGEND**

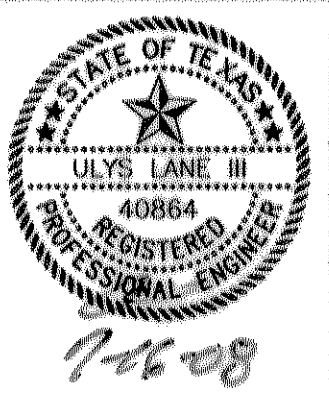
- 630 PROPOSED CONTOUR
- 630 EXISTING CONTOUR
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- MAJOR DRAINAGE AREA SUB-DIVIDE
- DRAINAGE AREA DESIGNATION DRAINAGE AREA (ACRES)

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 ENGINEERS SURVEYORS LAND PLANNERS  
 701 HIGHLANDER BLD., SUITE 300 ARLINGTON, TEXAS 76015 METRO (817)467-7700  
 1380 U.S. HIGHWAY 287 N. SUITE 101 WANSFRED, TEXAS 76063 METRO (817)477-0700  
 6849 ELM STREET FRISCO, TEXAS 75034 METRO (214)387-8000  
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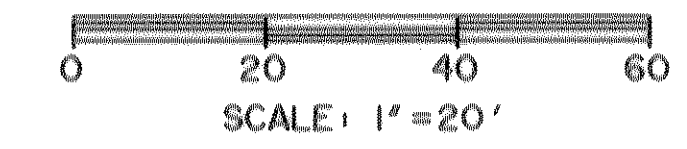
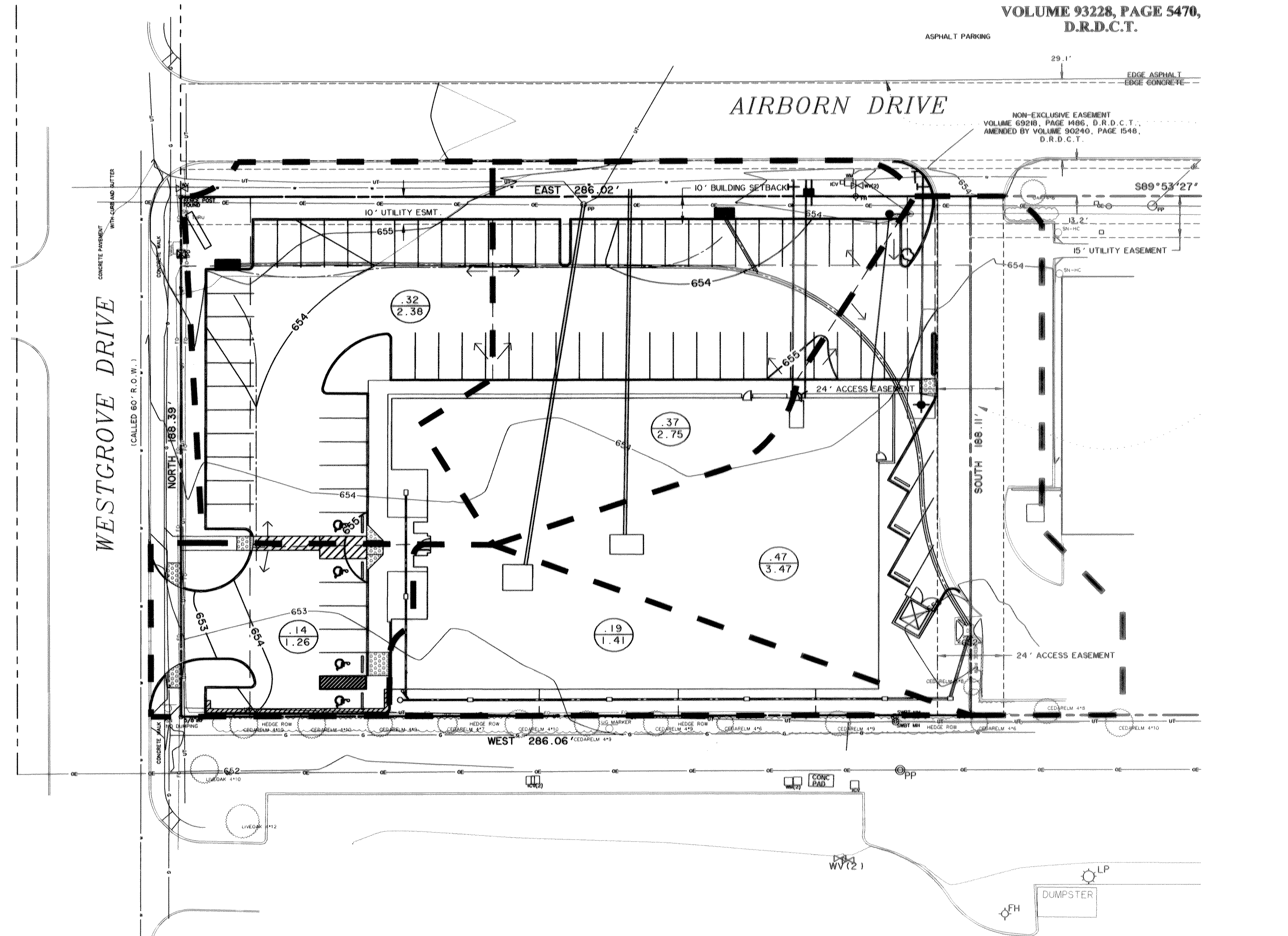
NO.	DATE	DESCRIPTION	BY

LOT 4, BLOCK A  
 SOJOURN PLAZA  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

DRAINAGE AREA MAP



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 DATE 07-15-2008  
 WA# 01095.03  
**SHEET NO. 001**



**CAUTION !!!**  
 UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES REVEALED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

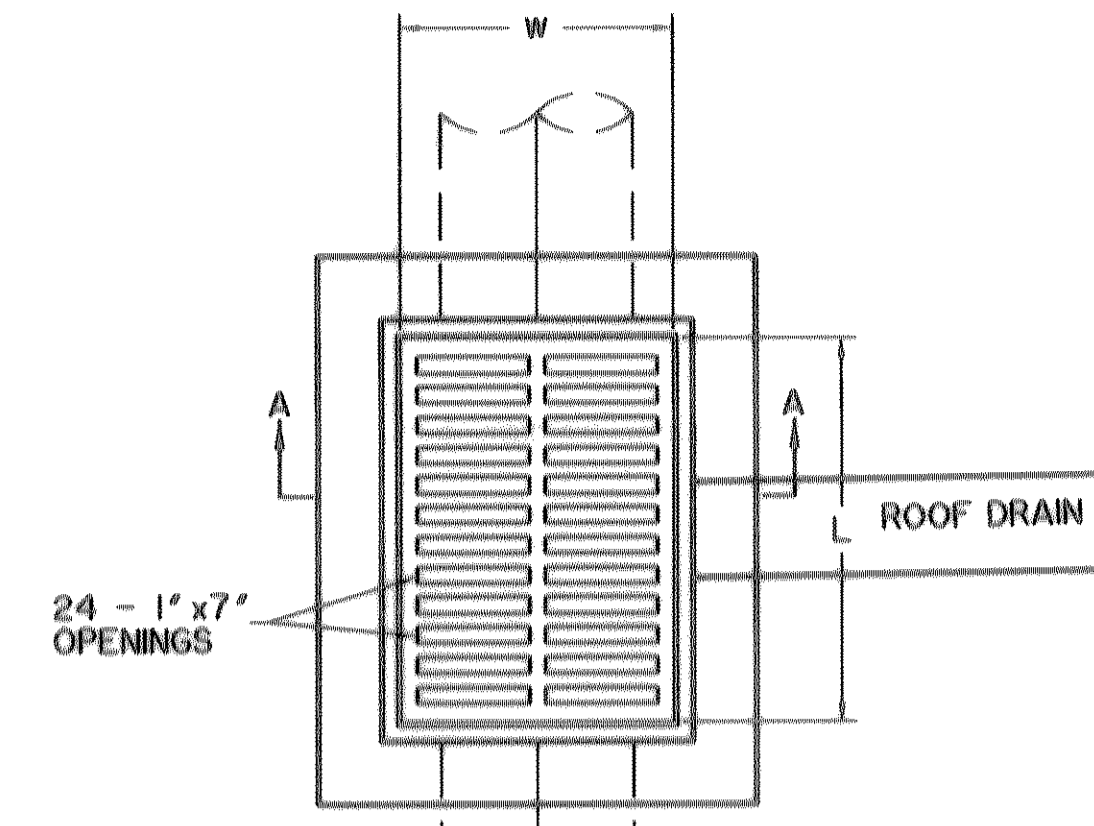
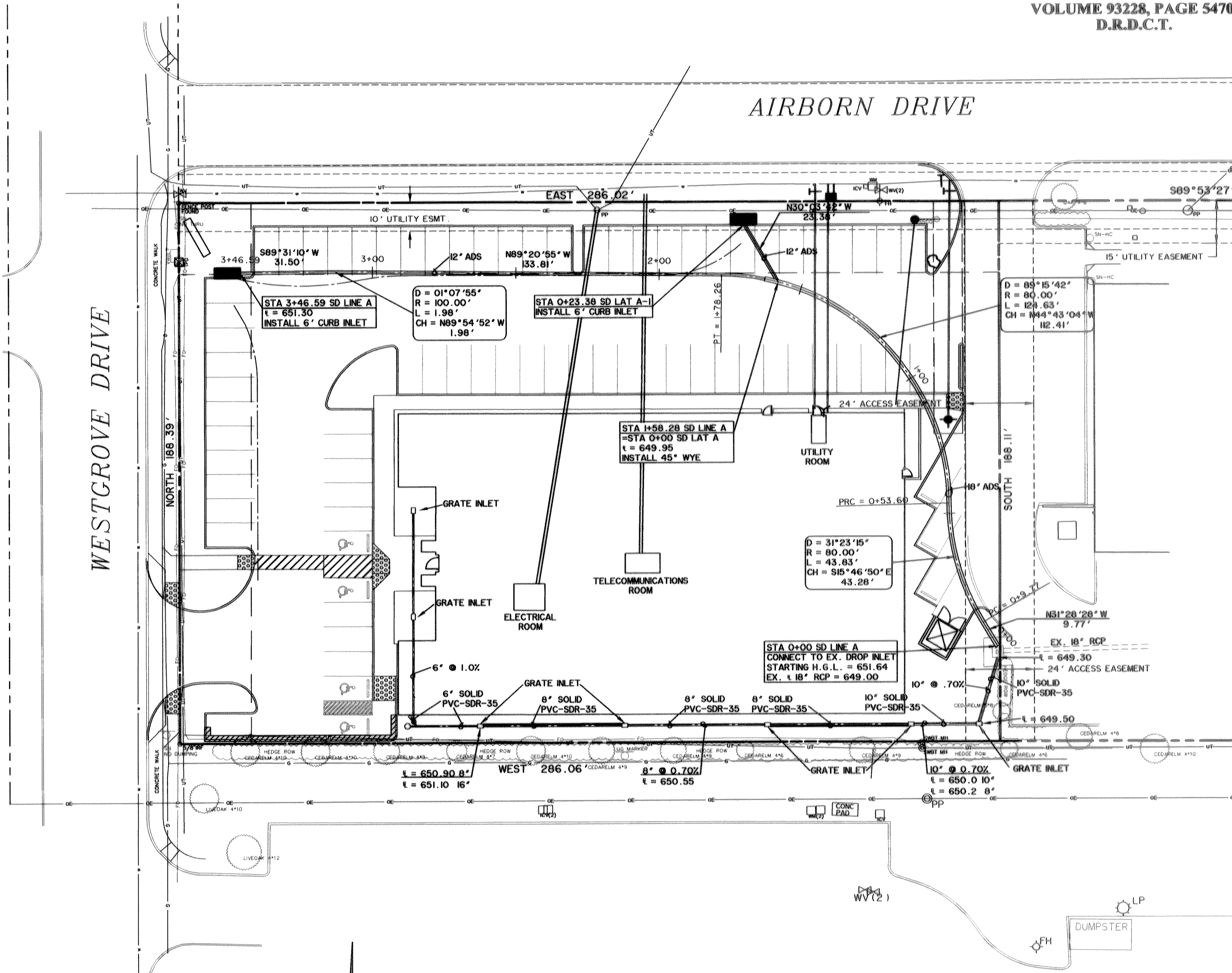
**RECORD DRAWINGS**  
 07-16-08

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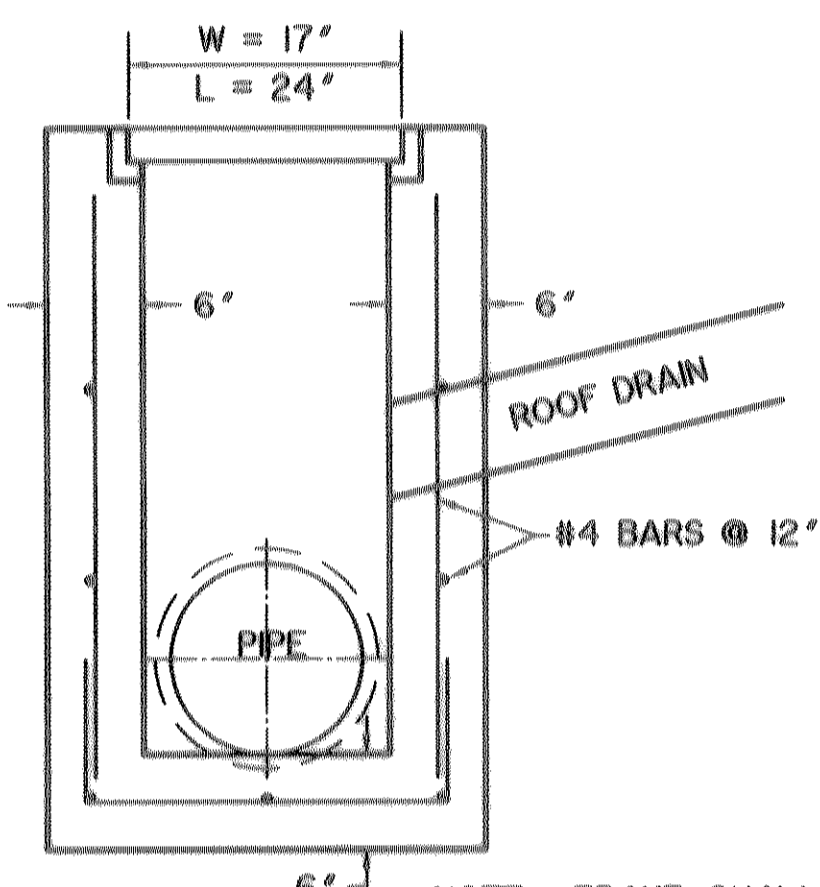
ULYS LANE, III  
 DATE 7-16-08

AIRBORN DRIVE

WESTGROVE DRIVE



NOTE: GRATE SHALL BE CATALOG NO. R-4641-A AS MANUFACTURED BY NEENAH FOUNDRY COMPANY, OR EQUAL.

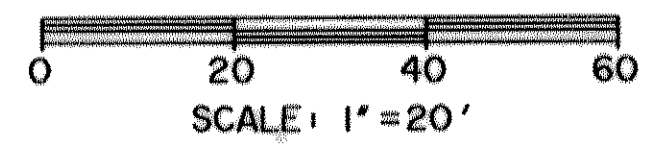


NOTE: FRAME SHALL BE CATALOG NO. R-4899 ANGLE FRAME AS MANUFACTURED BY NEENAH FOUNDRY COMPANY, OR EQUAL.

**GRATE INLET DETAIL**  
N.T.S.

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7/16/08  
DATE

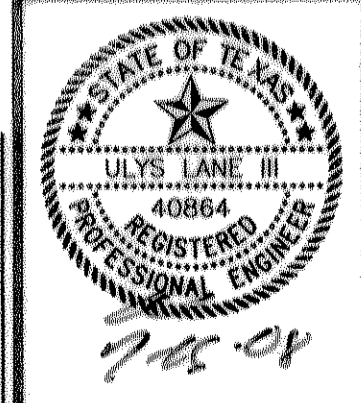
ULYS LANE, 111

PREPARED BY:  
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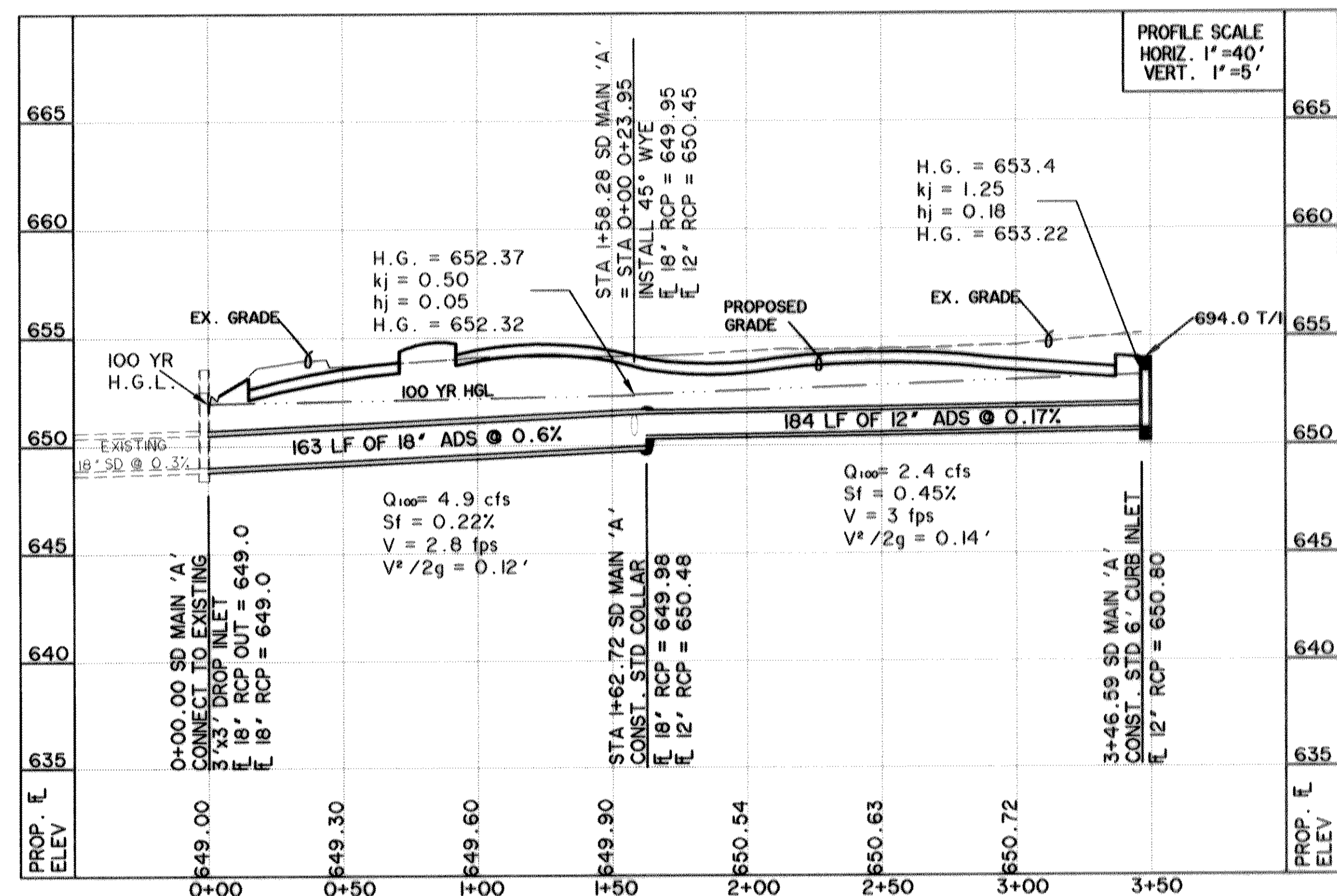
LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**STORM DRAINAGE PLAN**

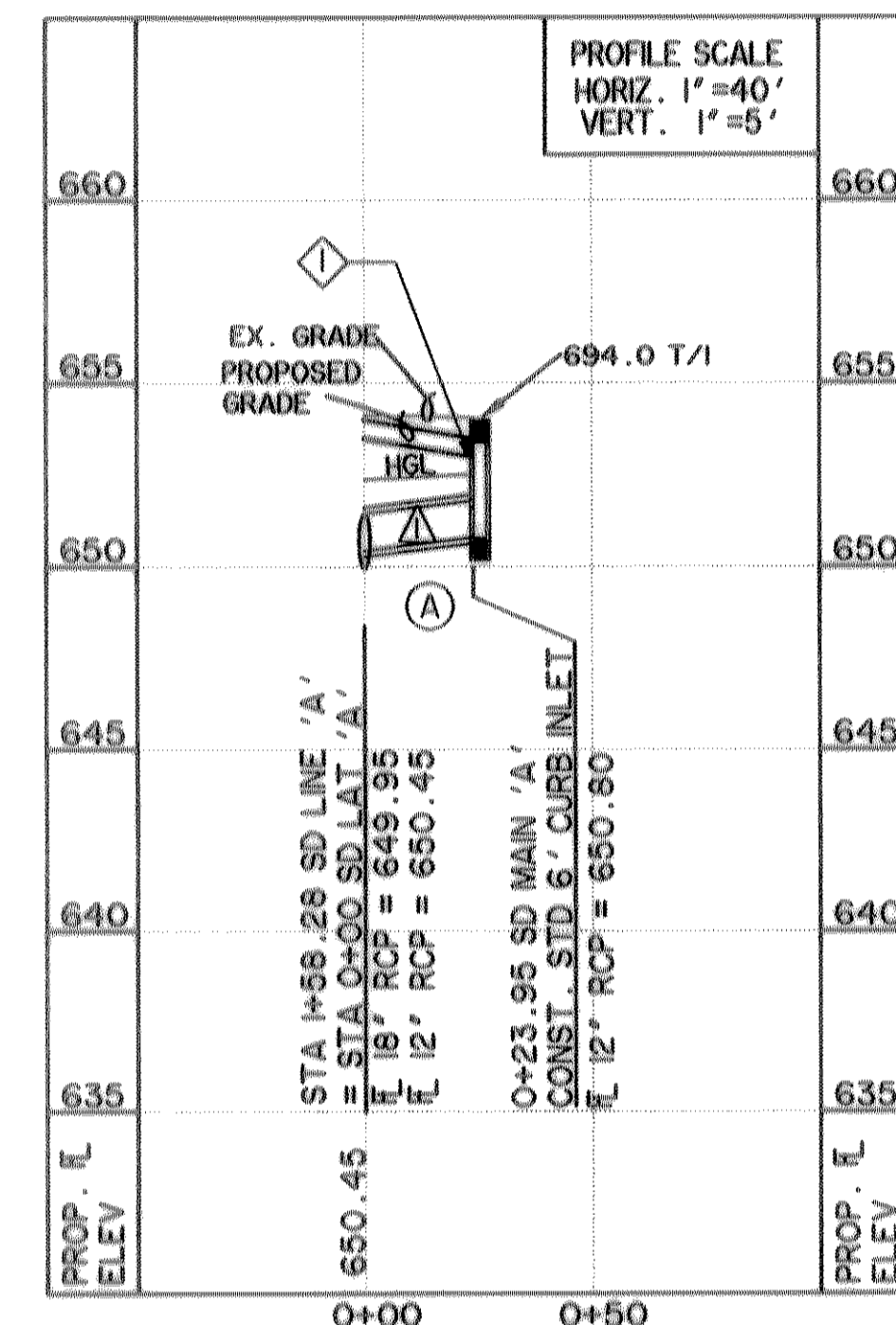


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**SHEET NO.**  
D101

# STORM DRAIN MAIN 'A'



# STORM DRAIN LAT 'A'



- ◇ H.G. = 652.74  
kj = 1.25  
hj = 0.23  
H.G. = 652.51
- △ 24 LF OF 12" ADS @ 1.46%
- Ⓐ Q<sub>100</sub> = 2.7 cfs  
Sf = 0.57%  
V = 3.4 fps  
V<sup>2</sup>/2g = 0.18'

STORM DRAIN DESIGN CALCULATIONS MAIN "A"																			
FROM	TO	LENGTH (FT)	"Cx"	INLET TIME (MIN)	TOTAL "Cx"	TIME AT UPSTREAM OF REACH (MIN)	DESIGN STORM FREQUENCY (YEAR)	RAINFALL INTENSITY "I" (IN/HR)	TOTAL FLOW "Q" (CFS)	STORM DRAIN SIZE	VELOCITY (FT/SEC)	SLOPE OF FRICTION GRADIENT (FT/FT)	STRUCTURE LOSS COEFFICIENT "K"	STRUCTURE LOSS AT UPSTREAM OF REACH (FT)	FLOW TIME IN DRAIN (MIN)	TIME AT DOWNSTREAM OF REACH (MIN)	H. G. AT UPSTREAM (FT)	REMARKS	
LAT 'A'																			
0+23.95	1+58.28	23.95	0.31	10	0.31	10	100	8.74	2.7	12	3.4	0.0057	1.25	0.23	0.1	10.1	652.74		
MAIN 'A'																			
3+46.59	1+58.28	188.31	0.27	10	0.27	10	100	8.74	2.4	12	3	0.0045	1.25	0.18	1	11	653.4		
1+58.28	0+00.00	158.28	-	-	0.58	11	100	8.44	4.9	18	2.8	0.0022	0.5	0.05	0.9	11.9	652.37		

RECORD DRAWINGS  
07-16-08

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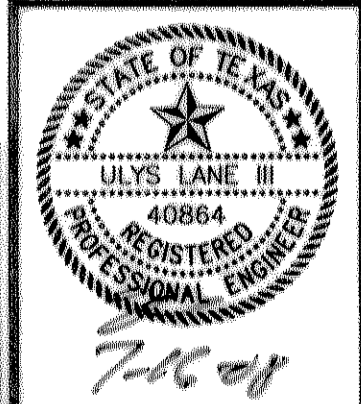
ULYS LANE, III  
DATE

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
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1380 U.S. HIGHWAY 287 N, SUITE 101 WANSFELD, TEXAS 76063 METRO (817)477-8700  
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NO.	DATE	DESCRIPTION	BY

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TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

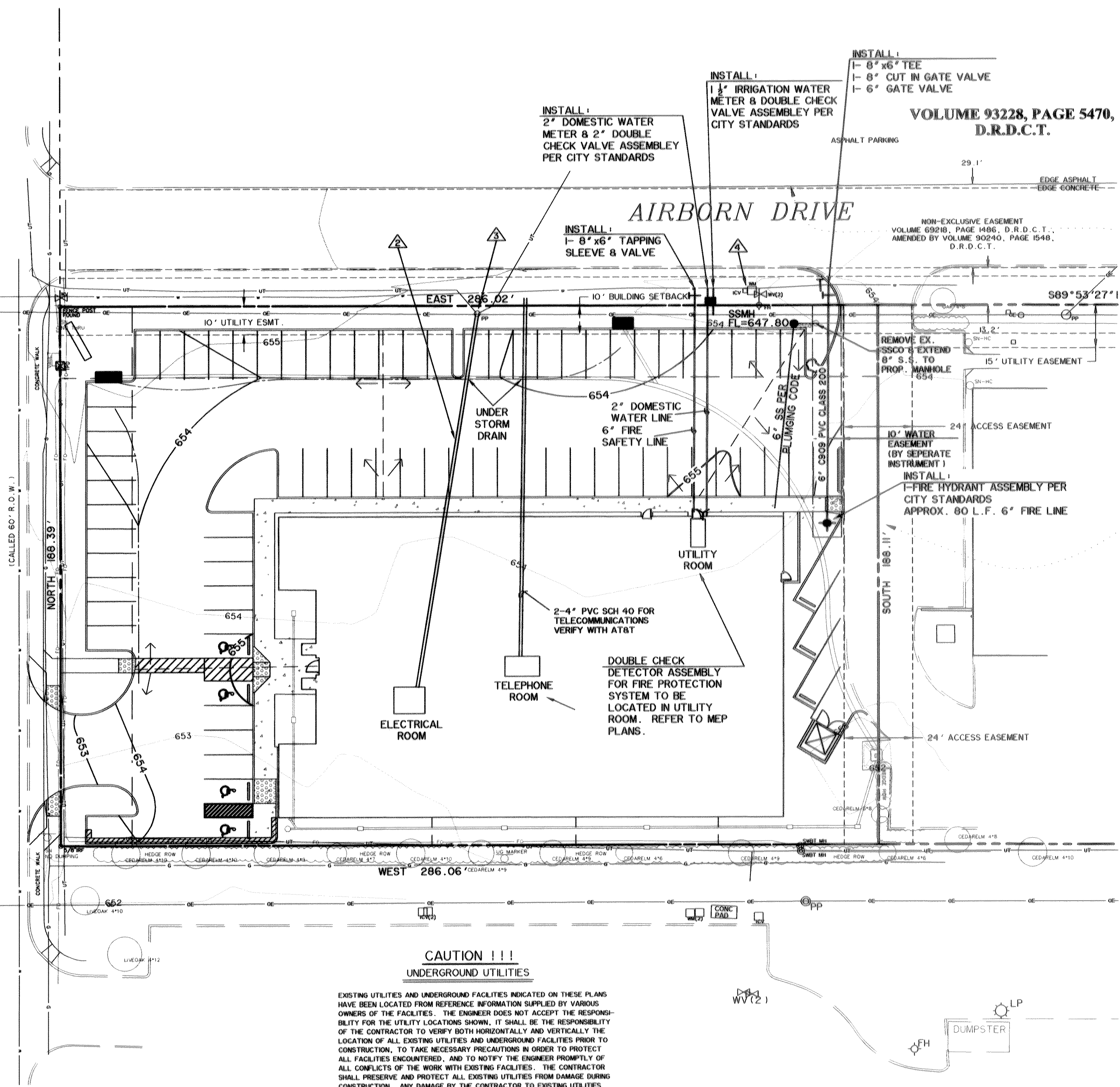
STORM DRAIN  
PROFILE & CALCULATIONS



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SHEET NO.  
D201

WESTGROVE DRIVE

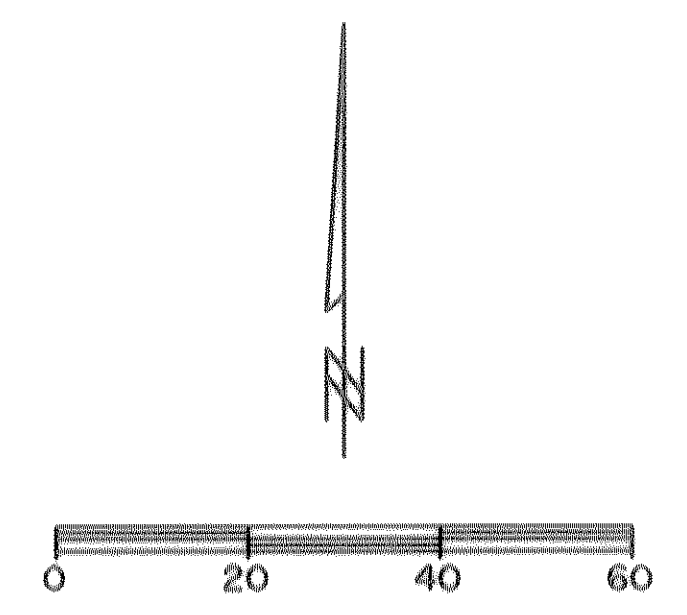
(CALLED 60' R.O.W.)



LEGEND	
SS	EXISTING SANITARY SEWER
W	EXISTING WATER
GAS	EXISTING GAS
UG	EXISTING UNDERGROUND ELECTRIC
FO	EXISTING FIBER OPTIC CABLE
CATV	EXISTING CABLE TV
GV	EXISTING GATE VALVE
FH	EXISTING FIRE HYDRANT
ICV	EXISTING IRRIGATION CONTROL VALVE
●	PROPOSED FIRE HYDRANT
○	PROPOSED SS CLEAN OUT
●	PROPOSED SS MANHOLE
■	PROPOSED WATER METER
⊥	PROPOSED GATE VALVE

NOTES:

- UTILITY CONTRACTOR TO PROVIDE TAPS AND METERS FOR PLUMBER TO CONNECT TO PER TOWN OF ADDISON SPECIFICATIONS.
  - CONTRACTOR TO PROVIDE BACK FLOW PREVENTION VALVES FOR ALL WATER SERVICE LINES. BACK FLOW PREVENTION VALVES FOR FIRE SPRINKLER PROTECTION SYSTEM TO BE LOCATED IN UTILITY ROOM. REFER TO MEP PLANS FOR DETAILS.
  - CONTRACTOR SHALL VERIFY LOCATION AND INSTALL ALL ELECTRICAL, TELEPHONE, IRRIGATION AND MISC. CONDUITS PRIOR TO PAVING PARKING AND DRIVING ISLE.
- ▲ PROVIDE 2-4" PVC CONDUITS SCH 40 FROM TELEPHONE PEDESTAL (TO BE PROVIDED) TO 4' x 8' PLYWOOD CONTROL PANEL
  - ▲ PROVIDE 2-4" GRAY ELECTRICAL CONDUIT SCH 40 FROM POWER POLE TO ELECTRIC ROOM COORDINATE WITH MEP & ELECTRIC COMPANY
  - ▲ VERIFY POLE FOR POLE MOUNTED TRANSFORMER COORDINATE WITH ELECTRIC COMPANY & MEP
  - ▲ CONTRACTOR SHALL VERIFY TAP SIZE OF EXISTING METER. CONTRACTOR SHALL UTILIZE EXISTING METER LOCATION IN LIEU OF PROPOSED DOMESTIC OR IRRIGATION METER LOCATION IF EXISTING METER TAP SIZE IS COMPATIBLE. IF EXISTING METER CAN NOT BE UTILIZED, CONTRACTOR SHALL REMOVE METER AND PLUG.



**RECORD DRAWINGS**  
07-16-08

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7/16/08  
DATE

ULYS LANE, III

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
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 1300 U.S. HIGHWAY 287 N. SUITE 107 MANSFIELD, TEXAS 76063 METRO (817)477-0700  
 6649 ELM STREET FRIEDSO, TEXAS 75004 METRO (214)387-8000  
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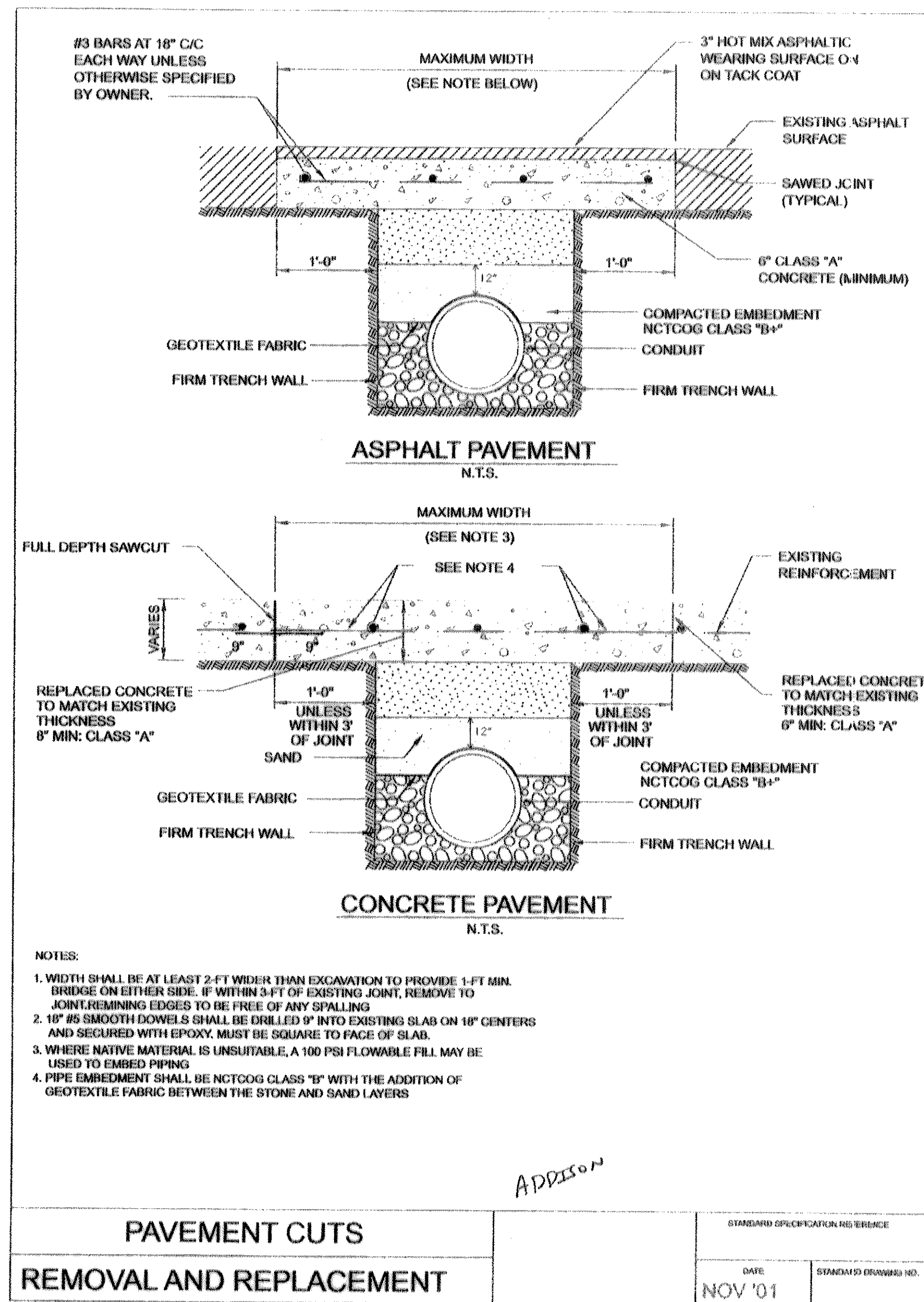
LOT 4, BLOCK A  
 SOJOURN PLAZA  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

UTILITY PLAN

STATE OF TEXAS  
 ULYS LANE III  
 40864  
 REGISTERED PROFESSIONAL ENGINEER  
 7/16/08

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SHEET NO. U101



PAVEMENT CUTS REMOVAL AND REPLACEMENT	DATE	NOV '01
	STANDARD DRAWING NO.	

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ULYS LANE, III  
DATE 7/6-08



**TOWN OF ADDISON**  
PUBLIC WORKS DEPARTMENT  
Post Office Box 9010 Addison, Texas 75001-9010 (972) 450-2871 FAX (972) 450-2837 16001 Westgrove

**TOWN OF ADDISON  
GENERAL REQUIREMENTS  
FOR WATER SERVICE**

All new meters installed in the Town of Addison shall be a Hersey meter equipped with electronic encoder registers, programmed to read in thousand gallon increments, and equipped with touch-pad readers.

Connection fees:	2" = \$400.00	6" = \$ 800.00
7.5" = \$ 50.00	3" = \$500.00	8" = \$1,000.00
1" = \$100.00	4" = \$600.00	10" = \$1,200.00
1.5" = \$150.00		

**Domestic (potable) Use:**

- All commercial unit applications for domestic use having flow demands greater than 160 g.p.m. shall employ a MVR TURBINE meter, > 2", and conforming to Town of Addison Specifications.
- All services with flow capabilities < 160 g.p.m. shall employ either a rotating disc, or turbine meter, sized < 2", conforming to Town of Addison Specifications. Disc meters shall be Hersey400 Series 115™ or 500 Series 115™, and turbine meters shall be Hersey MVR™.

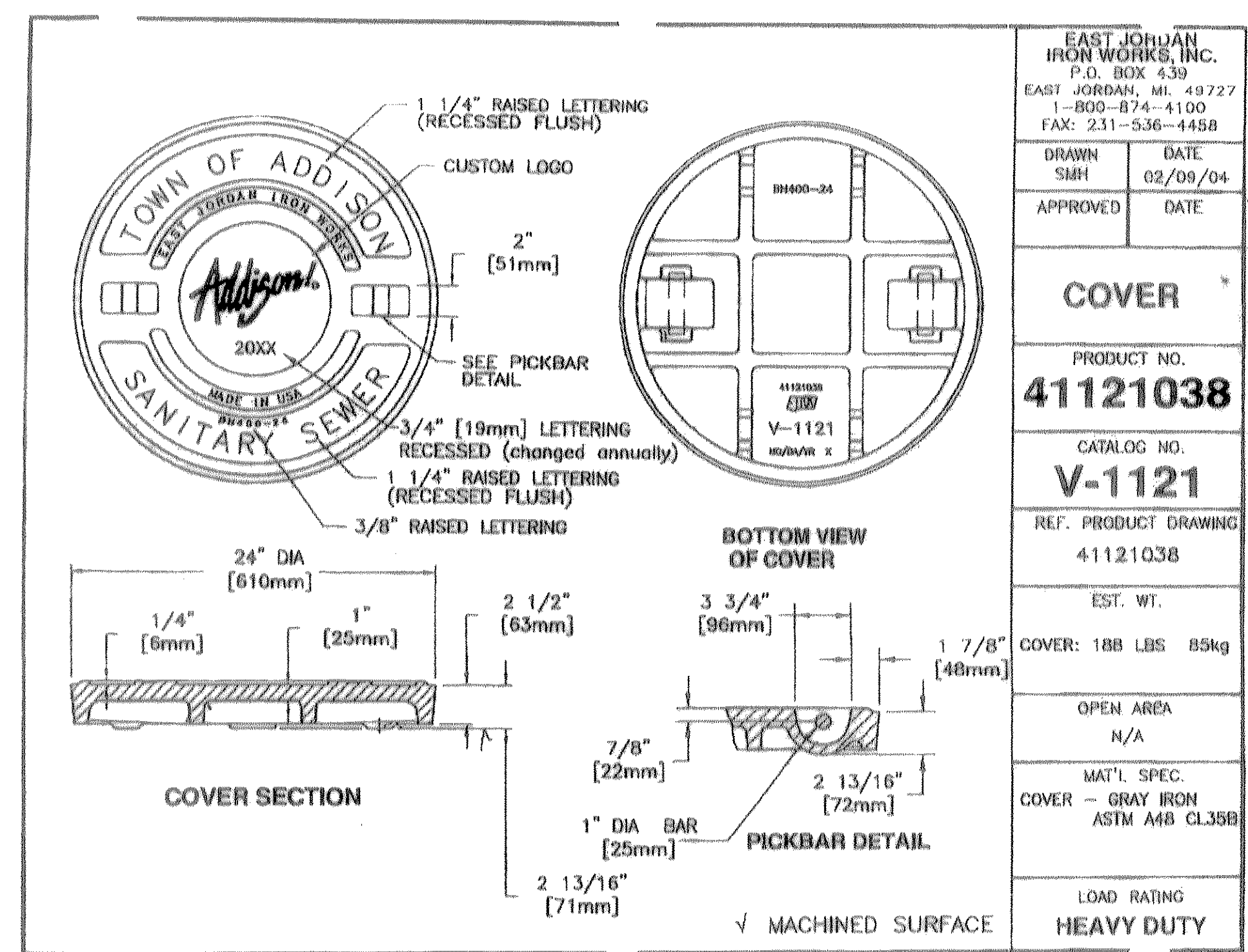
**Lawn Irrigation:**

- All irrigation services of any size shall employ a Hersey MVR™ turbine meter.
- Connection fees are waived for Irrigation services.

**Fire Service:**

- Less than or equal to 2" meters shall be a Hersey MVR™ turbine.
- Greater than 2" shall be either a Double Check Detector Assembly, or a Reduced Pressure Zone Detector Assembly. These assemblies shall be approved by the University of Southern California Foundation for Cross Connection Control and Hydraulic Research (USC-FCCCHR), and installed in USC approved orientations and clearances.
- Connection fees apply, see above.

October 2, 2006

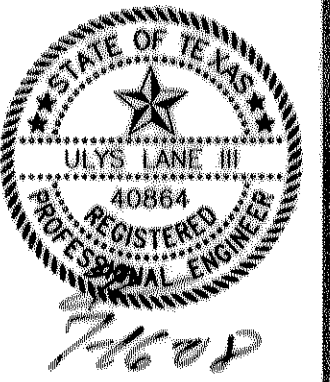


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1380 U.S. HIGHWAY 283 N. SUITE 101 WINSFIELD, TEXAS 76663 METRO (817) 477-8700  
8849 ELM STREET FINISCO, TEXAS 75034 METRO (214) 387-8000  
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NO.	DATE	DESCRIPTION	BY

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DALLAS COUNTY, TEXAS

UTILITY DETAILS



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TIME 13:32 FILE: 0109503-SWPPP-NOTES2.dwg

- D. IF PUBLIC SANITARY FACILITIES ARE NOT AVAILABLE, PROVIDE SELF CONTAINED SANITARY FACILITIES AT THE CONSTRUCTION SITE FOR COLLECTION OF HUMAN WASTE. MAINTAIN FACILITIES AT REGULAR INTERVAL TO PREVENT OVERFLOW.
  - E. VEHICLE TRACKING: CONSTRUCTION WILL BE ACCESSED FROM AIRBORNE DRIVE ADJACENT TO THE SITE. THE EXACT LOCATION SHALL BE CONFIRMED BY OWNER. ACCESS POINT SHOULD BE IN CONFORMANCE WITH THE CONSTRUCTION ENTRANCE SHOWN ON THE SWP3 PLAN SHEET No.E101.
  - F. DUST CONTROL: THE DISTURBED AREAS ON SITE SHALL BE REGULARLY WATERED DURING DRY PERIODS TO PREVENT DUST LEAVING THE SITE.
14. THE CONTRACTOR SHALL PERFORM CONSTRUCTION OPERATIONS IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES DURING CONSTRUCTION. THE CONTRACTOR SHALL CONFORM TO THE APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS TO CONTROL STORM WATER POLLUTANTS, AND TO CONTROL EROSION AND SEDIMENT FROM LEAVING THE SITE, INCLUDING DUST AND LITTER CONTROL. TRASH RECEPTACLES SHALL BE PROVIDED ON-SITE AND EMPTIED AT REGULAR INTERVALS.
15. THE CONTRACTOR SHALL LIMIT THE AREAS DISTURBED ON THE PROJECT SITE TO THE AREA NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL PREVENT PERSONNEL, SUPPLIERS, AND SUBCONTRACTORS FROM DISTURBING AREAS OUTSIDE OF DESIGNATED CONSTRUCTION AREAS.
16. TECHNICAL BASIS USED:
- THE CONTRACTOR SHALL UTILIZE THE LATEST COPY OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT'S STORM WATER MANAGEMENT HANDBOOK AS A GUIDE FOR THE PROPOSED STORM WATER MANAGEMENT FACILITIES AND TECHNIQUES. THE CONTRACTOR SHALL USE THE DETAILS PROVIDED FOR BUILDING THE SPECIFIED EROSION & SEDIMENTATION CONTROL STRUCTURES. THE CONTRACTOR SHALL ALSO REFER TO CONTRACT DOCUMENTS FOR TECHNICAL EVALUATION OF THESE STRUCTURES. IF SUCH STRUCTURES DO NOT MEET STANDARDS, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY AND THE SITUATION REMEDIATED. CALL (817)640-3300 FOR MORE INFORMATION PERTAINING TO THE ABOVE REFERENCED HANDBOOK.
17. MAINTENANCE:
- MAINTENANCE OF EROSION CONTROL FACILITIES SHALL CONSIST OF THE MINIMUM REQUIREMENTS AS FOLLOWS:
- A. IN ONGOING CONSTRUCTION AREAS INSPECT EROSION CONTROL IMPROVEMENTS TO CONFIRM FACILITIES ARE IN PLACE AND OPERABLE. WHERE FACILITIES HAVE BEEN TEMPORARILY SET ASIDE OR DAMAGED DUE TO CONSTRUCTION ACTIVITY, PLACE FACILITIES IN SERVICE BEFORE LEAVING JOB SITE.
  - B. IF WEATHER FORECAST PREDICTS POSSIBILITY OF RAIN, CHECK ENTIRE FACILITIES THROUGHOUT SITE TO ASSURE FACILITIES ARE IN PLACE AND OPERABLE. IF JOB SITE WEATHER CONDITIONS INDICATE HIGH PROBABILITY OF RAIN, MAKE SPECIAL INSPECTION OF EROSION CONTROL FACILITIES.
  - C. AFTER RAINFALL EVENTS REVIEW EROSION CONTROL FACILITIES AS SOON AS SITE IS ACCESSIBLE. CLEAN INLET PROTECTION, SILT PONDS, ROCK BERMS, BERM/SWALES AND OTHER STRUCTURAL FACILITIES. DETERMINE WHERE ADDITIONAL FACILITIES OR ALTERNATIVE TECHNIQUES ARE NEEDED TO CONTROL SEDIMENT LEAVING SITE.
  - D. AFTER PORTIONS OF SITE HAVE BEEN SEEDED, REVIEW THESE AREAS ON REGULAR BASIS IN ACCORDANCE WITH PROJECT SPECIFICATIONS TO ASSURE PROPER WATERING UNTIL GRASS IS ESTABLISHED. RESEED AREAS WHERE GRASS IS NOT WELL ESTABLISHED.
  - E. SPILLS ARE TO BE HANDLED AS SPECIFIED BY THE MANUFACTURER OF THE PRODUCT IN A TIMELY SAFE MANNER BY PERSONNEL. THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR COORDINATING SPILL PREVENTION AND CLEANUP OPERATIONS.
  - F. CONCRETE TRUCKS WILL DISCHARGE EXTRA CONCRETE OR WASH OUT DRUM ONLY AT AN APPROVED LOCATION ON SITE. RESIDUAL PRODUCT SHALL BE PROPERLY DISPOSED OF.
  - G. INSPECT VEHICLE ENTRANCE AND EXITS FOR EVIDENCE OF OFF-SITE TRACKING AND CORRECT AS NEEDED.
  - H. VEHICLE WASH AREAS WILL BE INSPECTED TO INSURE PROPER DRAINAGE AND MAINTENANCE.
  - I. REMOVE SEDIMENT FROM TRAPS/PONDS NO LATER THAN WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
  - J. IF SEDIMENT ESCAPES THE SITE, THE CONTRACTOR WHERE FEASIBLE AND WHERE ACCESS IS AVAILABLE SHALL COLLECT AND REMOVE SEDIMENTATION MATERIAL BY APPROPRIATE NON-DAMAGING METHODS. ADDITIONALLY, THE CONTRACTOR SHALL CORRECT THE CONDITION CAUSING DISCHARGES.
  - K. IF INSPECTIONS OR OTHER INFORMATION SOURCES REVEAL A CONTROL HAS BEEN USED INCORRECTLY, OR THAT A CONTROL IS PERFORMING INADEQUATELY, THE CONTRACTOR MUST REPLACE, CORRECT OR MODIFY THE CONTROL AS SOON AS PRACTICAL AFTER DISCOVERY OF THE DEFICIENCY.

18. INSPECTION:
- INSPECTIONS SHALL BE CONDUCTED BY QUALIFIED REPRESENTATIVES OF THE CONTRACTOR ACTING ON BEHALF OF THE OWNER OR A DESIGNATED PARTY HIRED SEPARATELY BY THE OWNER. EACH OPERATOR MUST DELEGATE AUTHORITY TO THE SPECIFICALLY DESCRIBED POSITION OR PERSON PERFORMING INSPECTIONS, AS PROVIDED BY 30 TAC 305.128, AS AN AUTHORIZED PERSON FOR SIGNING REPORTS AND PERFORMING CERTAIN ACTIVITIES REQUESTED BY THE DIRECTOR OR REQUIRED BY THE TPDES GENERAL PERMIT. THIS DELEGATION OF AUTHORITY MUST BE PROVIDED TO THE DIRECTOR OF TCEQ IN WRITING AND A COPY SHALL BE KEPT ALONG WITH THE SIGNED EFFECTIVE COPY OF THE SWP3. AN EXAMPLE DELEGATION LETTER IS AVAILABLE BY CONTACTING WIER & ASSOCIATES AT (214) 387-8000. INSPECTIONS MUST COMPLY WITH ONE OF THE TWO OPTIONS AS FOLLOWS:
- OPTION A. AN INSPECTION SHALL OCCUR AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES.
- OPTION B. AN INSPECTION EVERY SEVEN (7) CALENDAR DAYS (THE SAME DAY FOR THE INSPECTION MUST OCCUR EACH WEEK REGARDLESS OF WEATHER CONDITIONS).
- THE AUTHORIZED PARTY SHALL INSPECT ALL DISTURBED AREAS OF THE SITE, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION MUST BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE RUNOFF FROM THE SITE. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN MUST BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. OBSERVATIONS CAN BE MADE DURING WET OR DRY WEATHER CONDITIONS. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY MUST BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. THIS CAN BE DONE BY INSPECTING RECEIVING WATERS TO SEE WHETHER ANY SIGNS OR EROSION OR SEDIMENT ARE ASSOCIATED WITH THE DISCHARGE LOCATION. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION MEASURES IDENTIFIED IN THE PLAN MUST BE REVISED AS SOON AS POSSIBLE AFTER AN INSPECTION THAT REVEALS INADEQUACIES. THE INSPECTION AND PLAN REVIEW PROCESS MUST PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE PLAN WITH 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- AN INSPECTION REPORT THAT SUMMARIZES THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL CONDUCTING THE INSPECTION, THE DATES OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWP3. MAJOR OBSERVATIONS SHALL INCLUDE AS A MINIMUM LOCATION OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE, LOCATION OF BMPs THAT NEED TO BE MAINTAINED, LOCATION OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATIONS WHERE BMPs ARE NEEDED. ACTIONS TAKEN AS A RESULT OF THE INSPECTIONS MUST BE DESCRIBED WITHIN, AND RETAINED AS A PART OF, THE SWP3. REPORTS MUST IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE. WHERE A REPORT DOES NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT MUST CONTAIN A CERTIFICATION THAT THE FACILITY OR SITE IS IN COMPLIANCE WITH THE SWP3 AND THE TPDES GENERAL PERMIT. THE REPORT MUST BE SIGNED BY THE AUTHORIZED REPRESENTATIVE DELEGATED BY THE OPERATORS IN ACCORDANCE WITH TAC 305.128.
19. ELIGIBLE NON-STORM WATER DISCHARGE:
- THE CONTRACTOR SHALL MAINTAIN ALONG WITH THE SIGNED EFFECTIVE COPY OF SWP3 DRAWINGS AN UPDATEABLE LIST IDENTIFYING ALL ELIGIBLE NON-STORM WATER DISCHARGES AND ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES. A LISTING OF ELIGIBLE NON-STORM WATER DISCHARGE IS PROVIDED IN THESE NOTES.
20. RETENTION OF RECORDS:
- THE CONTRACTOR MUST RETAIN THE FOLLOWING RECORDS FOR A MINIMUM OF THREE YEARS FROM THE DATE THAT AN N.O.T. IS SUBMITTED. ON SMALL PROJECT SITES WHERE AN N.O.T. IS NOT REQUIRED, RECORDS SHALL BE KEPT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE OF FINAL STABILIZATION OR CHANGE OF OPERATOR. THE ORIGINALS SHALL BE FORWARDED TO THE OWNER.
- A. A COPY OF THE SWP3 PLAN.
  - B. ALL REPORTS AND ACTIONS REQUIRED BY THE TPDES GENERAL PERMIT, INCLUDING A COPY OF THE CONSTRUCTION SITE NOTICE.
  - C. ALL DATA USED TO COMPLETE THE N.O.I., IF AN N.O.I. IS REQUIRED.

SITE AND OR PROJECT DESCRIPTION DATA

1. NATURE OF THE CONSTRUCTION ACTIVITY:
- THE CONSTRUCTION ACTIVITY CONSISTS OF GRADING, DRAINAGE AND PAVEMENT TO CONVERT THE SITE FROM OPEN PROPERTY TO COMMERCIAL.
2. POTENTIAL POLLUTANTS AND SOURCES:
- THE POTENTIAL SOURCES OF POLLUTION IDENTIFIED CONSIST OF STORM WATER RUNOFF FROM CONSTRUCTION ACTIVITIES. THERE ARE NO NON-STORM WATER DISCHARGES THAT ARE KNOWN TO EXIST AT THIS SITE. A SELF-CONTAINED PORTABLE FACILITY WILL BE KEPT ON-SITE DURING CONSTRUCTION FOR HUMAN WASTE. CONSTRUCTION FUEL STORAGE IS NOT ANTICIPATED TO BE PROVIDED AT THE SITE. IF FUEL IS STORED AT THE SITE A BERM WILL BE PLACED AROUND THE FUEL TANK.
- CONTRACTOR SHALL MAINTAIN ALONG WITH THE SIGNED EFFECTIVE COPY OF SWP3 DRAWINGS AN UPDATEABLE LIST IDENTIFYING ALL POTENTIAL SOURCES OF POLLUTION INCLUDING PORTA-POTTYS, FUEL TANKS, STAGING AREAS, WASTE CONTAINERS, CHEMICAL STORAGE AREAS, CONCRETE CURE, PAINTS SOLVENTS, ETC., AND A DESCRIPTION OF THE LOCATION.
3. SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES:
- THE PROJECT SEQUENCE SHALL GENERALLY CONFORM TO THE FOLLOWING:
- PHASE I START DATE: \_\_\_\_\_ END DATE: \_\_\_\_\_
- A. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, ROCK BERMS, SEDIMENTATION BASIN, BERMS/SWALES AND SILT FENCE ACCORDING TO THE APPROXIMATE LOCATION AND DETAIL SHOWN ON EROSION CONTROL PLAN SHEETS AND SWP3 PLAN AND DETAILS.
  - B. BEGIN CLEARING AND GRADING OF SITE.
  - C. SEED AND RE-VEGETATE SLOPES WHERE SHOWN.
- PHASE II START DATE: \_\_\_\_\_ END DATE: \_\_\_\_\_
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
  - B. INSTALL WATER, SANITARY SEWER AND STORM DRAIN AS SPECIFIED ON PLAN SHEETS.
  - C. CONSTRUCT TEMPORARY SILT FENCE INLET TREATMENT AROUND OPEN STORM DRAIN INLETS ACCORDING TO THE DETAIL SHOWN ON SHEET E201 AND WHERE INDICATED ON SWP3 PLAN SHEET E101.
  - D. CONSTRUCT ALL STORM WATER POLLUTION PREVENTION DEVICES SHOWN ON PLAN SHEET E101 FOR PHASE TWO CONSTRUCTION.
- PHASE III START DATE: \_\_\_\_\_ END DATE: \_\_\_\_\_
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
  - B. STABILIZE SUBGRADE.
  - C. PAVE STREETS AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
  - D. CONSTRUCT STORM DRAIN INLET TREATMENT AS SPECIFIED ON SWP3 PLAN SHEET E101 FOR PHASE THREE CONSTRUCTION.
  - \* E. RE-VEGETATE LOTS, PARKWAYS AND ALL DISTURBED AREAS.
- PHASE IV START DATE: \_\_\_\_\_ END DATE: \_\_\_\_\_
- A. LANDSCAPE CONTRACTOR SHALL RE-VEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
4. AREA ESTIMATES:
- TOTAL AREA ONSITE: 1.2 ACRES  
ESTIMATED DISTURBED AREA ON-SITE: 1.2 ACRES  
ESTIMATED DISTURBED AREA OFF-SITE: 0.2 ACRES
5. ESTIMATED RUNOFF COEFFICIENT AFTER CONSTRUCTION IS COMPLETED:
- UNDEVELOPED C = 0.40  
DEVELOPED C = 0.85
6. SOIL AND OR QUALITY OF STORM WATER DISCHARGE DATA:
- REFER TO EFFICIENCY ESTIMATES FOR STRUCTURAL METHODS ON STANDARD MEASURES.
7. SOIL TYPE AT SITE:
- CLAY UNDERLAIN BY SHALLOW SHALE LIMESTONE AND TAN WEATHERED SHALE LIMESTONE. REFER TO GEOTECHNICAL REPORT BY ALPHA TESTING INC., ALPHA REPORT NO. G06663. PLEASE CONTACT TONY TEAGUE AT (214) 629-6792 TO REQUEST A COPY.
8. GENERAL LOCATION MAP AND DETAILED SITE MAP:
- REFER TO SWP3 LAYOUT SHEET AND GRADING PLAN SHEETS FOR DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES, AREAS WHERE SOIL DISTURBANCE WILL OCCUR, SOILS DISTURBANCE AREAS, STRUCTURAL CONTROL MEASURES, NATURAL VEGETATIVE FILTERING, RE-VEGETATION, IMPROVED STABILIZATION METHODS, SURFACE WATERS INCLUDING WETLANDS, DIRECT DISCHARGE POINTS TO SURFACE WATER BODIES.
9. LOCATION AND DESCRIPTION OF OFF-SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS:

10. LOCATION AND DESCRIPTION OF SUPPORT ASPHALT PLANTS AND CONCRETE PLANTS:
11. RECEIVING WATER BODY DESCRIPTION:
- CITY OF ADDISON STORM DRAIN SYSTEM THENCE WHITE ROCK CREEK.
12. WETLANDS ACREAGE:
- THERE ARE NO KNOWN WETLANDS ON THE SITE.
13. TPDES GENERAL PERMIT NUMBERS:
- OWNER \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_
- N.O.I. SUBMITTAL DATES:
- OWNER \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_

AUTHORIZED NON-STORM DISCHARGES

Discharges from:
Fire Fighting Activities.
Fire Hydrant Flushings.
Vehicle, external building, and pavement wash water where detergents and soaps are not used and where spills or leaks of toxic or hazardous materials have not occurred (unless spilled materials have been removed, and if local, state, or federal regulations are applicable, the materials are removed according to those regulations), and where the purpose is to remove mud, dirt and dust.
Water used to control dust.
Potable water sources including waterline flushings.
Air Conditioning Condensate.
Uncontaminated ground water or spring water, including foundation or footing drains where flows are not contaminated with industrial materials such as solvents.

Non-storm discharges that are mixed with storm water discharges from construction sites may be authorized by this permit.

Any discharge authorized under a separate NPDES, TPDES, or TCEQ permit may be combined with discharges authorized by this permit.

These methods may include:
Level spreader to create overlaid flows with silt fences or hay bales along the downslope boundary.
Maintenance of a stabilized outfall.
Sediment trap.
Other methods as necessary to control erosion from concentrated flows.

With the exception of fire fighting activities, appropriate storm water pollution prevention methods will be utilized in conjunction with these authorized non-storm discharges.

EROSION AND SEDIMENT CONTROLS

BMP NO. OR LOCATION	CONDITION	BMP SELECTED	EXPLANATION
1	ENTRANCE-EXIT LOCATION	STABILIZED CONSTRUCTION ENTRANCE/EXIT	PREVENTS SILT AND DEBRIS FROM LEAVING SITE VIA
2	SHEET FLOW	REINFORCED SILT FENCE	SLOW AND FILTER RUNOFF TO RETAIN
3	CURB INLET	BLOCK & GRAVEL CURB INLET TREATMENT	PREVENTS SILT AND DEBRIS FROM UP STREAM GRADING FROM ENTERING STORM DRAIN SYSTEM
4	CURB INLET	BLOCK & GRAVEL CURB INLET TREATMENT	PREVENTS SILT AND DEBRIS FROM UP STREAM GRADING FROM ENTERING STORM DRAIN SYSTEM
5-12	DROP INLET	BLOCK & GRAVEL CURB INLET TREATMENT	PREVENTS SILT AND DEBRIS FROM UP STREAM GRADING FROM ENTERING STORM DRAIN SYSTEM

STABILIZATION PRACTICES

STABILIZATION PRACTICES	LOCATION ON-SITE	IMPLEMENTATION DATE	TEMPORARY OR PERMANENT
HYDOMULCH SEEDING	ALL DISTURBED AREAS AS RESERVED FOR LANDSCAPE		PERMANENT

STABILIZATION PRACTICES MAY INCLUDE, BUT ARE NOT LIMITED TO: ESTABLISHING TEMPORARY OR PERMANENT VEGETATION, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, AND PROTECTING EXISTING TREES AND VEGETATION

RECORD DRAWINGS  
07-16-08

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ULYS LANE, 111  
DATE 07-16-08

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
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www.wierassociates.com

LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

STORM WATER  
POLLUTION  
PREVENTION PLAN  
NOTES (2 OF 2)

STATE OF TEXAS  
ULYS LANE III  
40864  
REGISTERED PROFESSIONAL ENGINEER

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E002

TIME 13:35 FILE: 0109503-SWPPP-PLAN.dwg

VOLUME 93228, PAGE 5470,  
D.R.D.C.T.

ASPHALT PARKING

29.1'

EDGE ASPHALT  
EDGE CONCRETE

AIRBORN DRIVE

NON-EXCLUSIVE EASEMENT  
VOLUME 69216, PAGE 1486, D.R.D.C.T.,  
AMENDED BY VOLUME 90240, PAGE 1548,  
D.R.D.C.T.

WESTGROVE DRIVE

(CALLED 60' R.O.W.)

CONCRETE PAVEMENT  
WITH CURB AND GUTTER

BMP # 2  
APPROX 660± FT  
REINFORCED SILT FENCE

BMP # 3  
DROP INLET PROTECTION

BMP # 3  
DROP INLET PROTECTION

BMP # 1  
CONSTRUCTION ENTRANCE

BMP # 12  
DROP INLET PROTECTION

BMP # 11  
DROP INLET PROTECTION

BMP # 5  
DROP INLET PROTECTION

BMP # 10  
DROP INLET PROTECTION

BMP # 9  
DROP INLET PROTECTION

BMP # 8  
DROP INLET PROTECTION

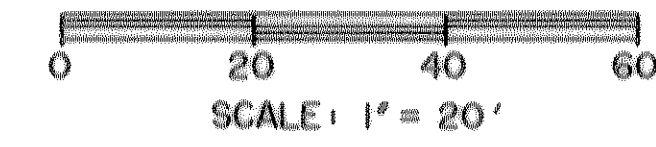
BMP # 7  
DROP INLET PROTECTION

BMP # 6  
DROP INLET PROTECTION

DESIGNATION AREA	TOTAL AREA (ACRES)	INCREMENTAL AREAS		TOTAL CA	TC	I <sub>2</sub>	Q <sub>2</sub>
		COMMERCIAL C=0.85	UNDEVELOPED C=0.40				
		A-1	0.32				
A-2	0.37	0.37	0.31	10	4.9	1.5	
A-3	0.47	0.47	0.40	10	4.9	2.0	
A-4	0.19	0.19	0.16	10	4.9	0.8	
B-1	0.14	0.14	0.12	10	4.9	0.6	

**LEGEND**

- GIB — PROPOSED GRADING
- GIB --- EXISTING CONTOURS
- DIRECTION OF THE FLOW
- RSF — REINFORCED SILT FENCE
- PROPOSED STORM DRAIN
- - - - LIMITS OF DISTURBANCE
- ▭ MAJOR DRAINAGE AREA SUB-DIVIDE



**CAUTION !!!**  
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

ACKNOWLEDGED BY:

OWNER / OPERATOR IN CONTROL OF PLANS & SITE SPECIFICATIONS  
NAME/TITLE  
COMPANY

CONTRACTOR / OPERATOR IN CONTROL OF DAY-TO-DAY ACTIVITIES  
NAME/TITLE  
COMPANY

**RECORD DRAWINGS**  
07-16-08

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ULYS LANE, III  
DATE 7-16-08

PREPARED BY:  
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NO.	DATE	DESCRIPTION	BY

LOT 4, BLOCK A  
SOJOURN PLAZA  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

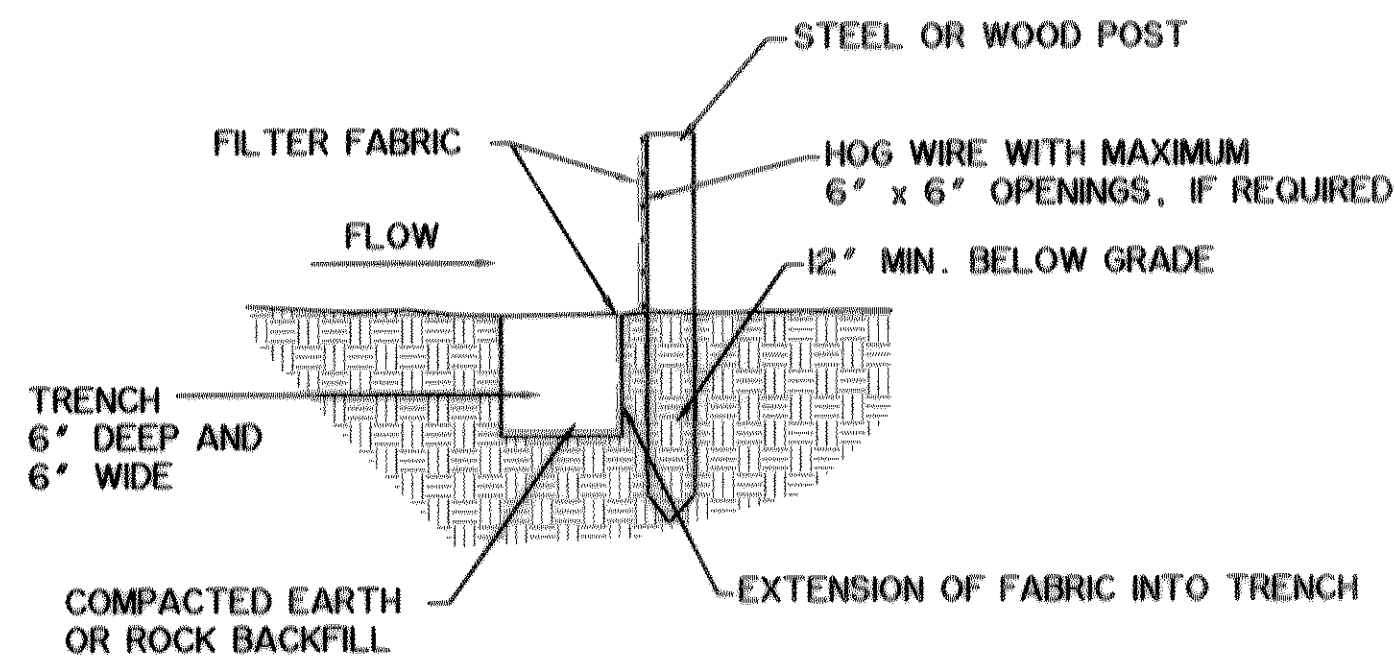
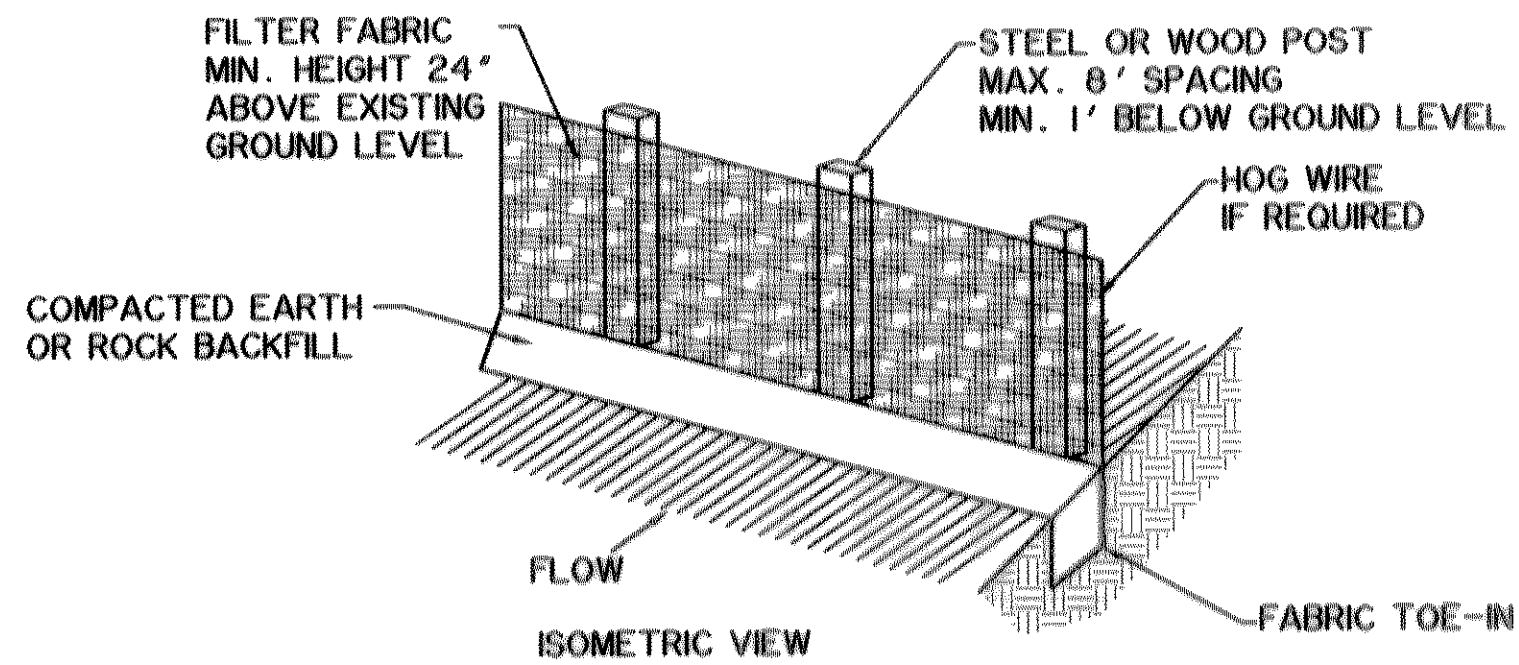
**STORM WATER  
POLLUTION  
PREVENTION PLAN**

STATE OF TEXAS  
ULYS LANE III  
40864  
REGISTERED  
PROFESSIONAL ENGINEER

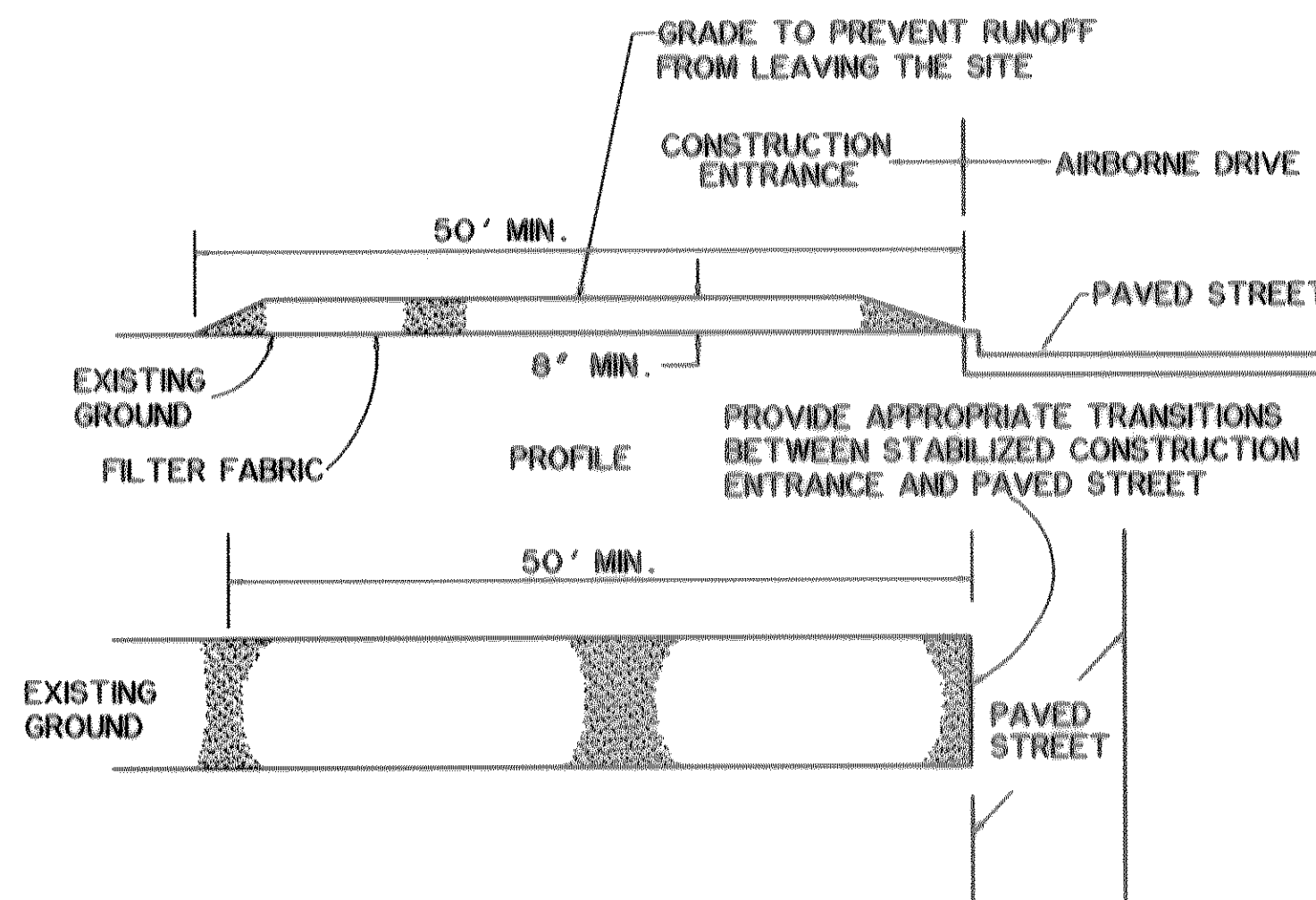
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**SHEET NO.**  
E101





**SILT FENCE**  
N.T.S.



**GENERAL NOTES:**

1. STONE SIZE 3"-5" DIAMETER
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET, UNLESS APPROVED IN WRITING BY THE ENGINEER.
3. THICKNESS - NOT LESS THAN 8 INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PAVED STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO A PAVED STREET. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO A PAVED STREET MUST BE REMOVED IMMEDIATELY.

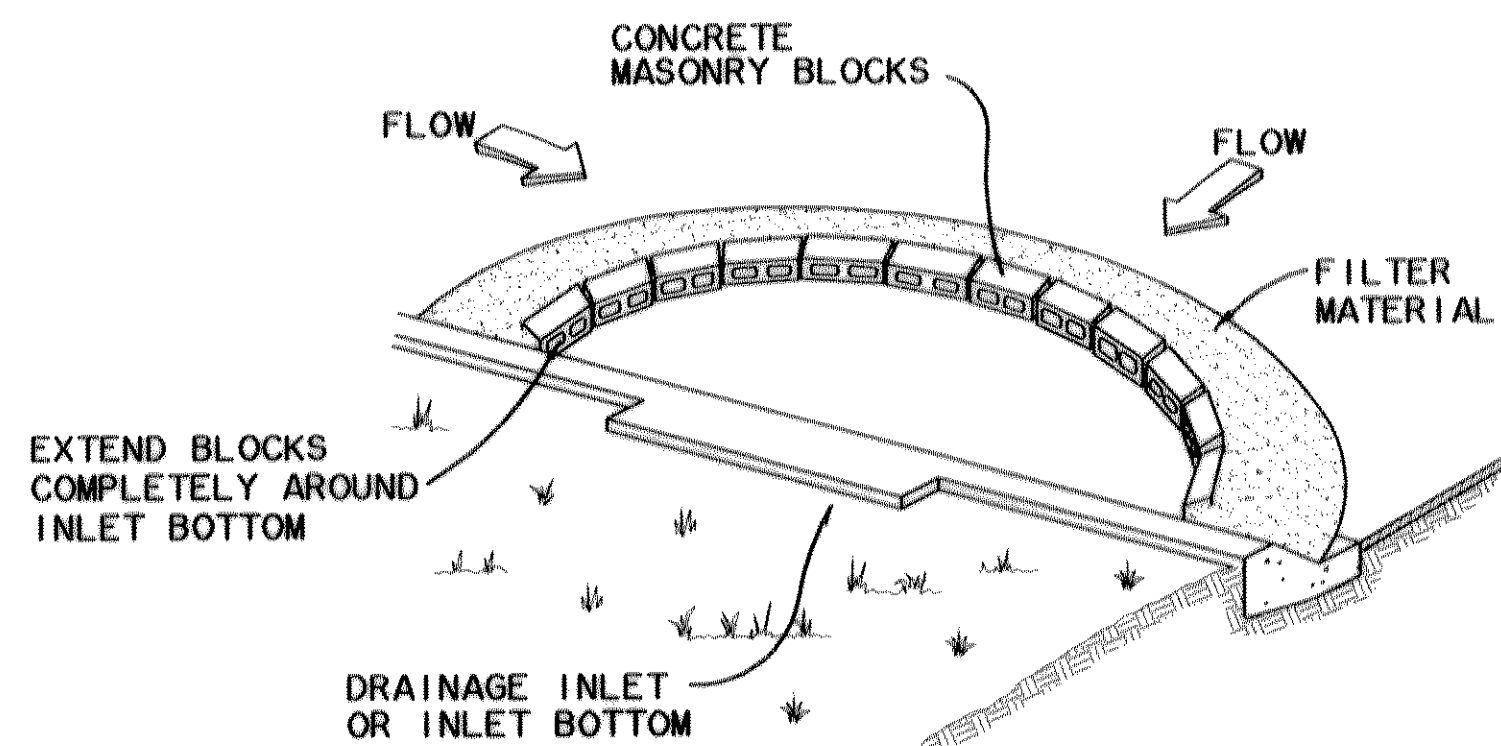
**PRIMARY PURPOSE:**

REDUCES OFFSITE SEDIMENT TRACKING FROM TRUCKS AND CONSTRUCTION EQUIPMENT.

RATING IS NOT APPLICABLE

**STABILIZED CONSTRUCTION ENTRANCE**

N.T.S.



**PRIMARY PURPOSE:**  
INTERCEPT SEDIMENT AT CURB AND FIELD INLETS. SHOULD BE USED IN CONJUNCTION WITH OTHER ONSITE TECHNIQUES.

$$\text{RATING} = \frac{\text{SEDIMENT RETAINED}}{\text{TOTAL SEDIMENT LOADING}} = 0.67-0.75$$

**INLET FILTER TREATMENT**

N.T.S.

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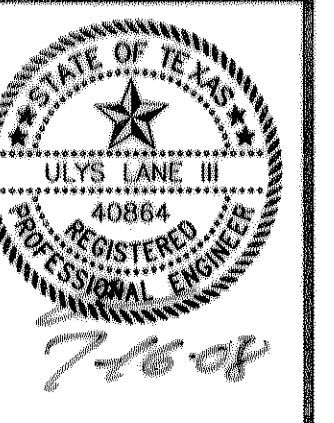
ULYS LANE, III  
DATE 7/6/08

PREPARED BY:  
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NO.	DATE	DESCRIPTION	BY

LOT 4, BLOCK A  
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DALLAS COUNTY, TEXAS

**STORM WATER  
POLLUTION PREVENTION  
DETAILS**



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