

**LEGEND**

IRF	IRON ROD FOUND
IRS	IRON ROD SET
C.M.	CONTROLLING MONUMENT
M.R.D.C.T.	MAP RECORDS, DALLAS COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DALLAS COUNTY, TEXAS

**OWNER CERTIFICATE**

WHEREAS (1) PALMETTO CORNERS, LTD. AND (2) DANIEL STERNBERG, ARE THE SOLE OWNERS OF A REMAINDER TRACT OF LAND LOCATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792, TOWN OF ADDISON, DALLAS COUNTY, TEXAS ACCORDING TO THE DEEDS RECORDED IN (1) VOLUME 97248, PAGE 523, AND (2) VOLUME 2000210, PAGE 80, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING ALL OF LOT 2 AND LOT 3, SOJOURN PLAZA ADDITION, AN ADDITION TO THE TOWN OF ADDISON, ACCORDING TO THE PLAT RECORDED IN VOLUME 99116, PAGE 68, MAP RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**LEGAL DESCRIPTION**

BEING A 5.698 ACRE TRACT OF LAND SITUATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792, TOWN OF ADDISON, DALLAS COUNTY, TEXAS AND BEING ALL OF LOT 2 AND LOT 3, SOJOURN PLAZA ADDITION, AN ADDITION TO THE TOWN OF ADDISON, AS DESCRIBED BY PLAT RECORDED IN VOLUME 99116, PAGE 68, MAP RECORDS OF DALLAS COUNTY, TEXAS (M.R.D.C.T.), SAID 5.698 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN "X" CUT FOUND FOR THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF SOJOURN DRIVE (A 60-FOOT RIGHT-OF-WAY) WITH THE EASTERLY RIGHT-OF-WAY LINE OF WESTGROVE DRIVE (A 60-FOOT RIGHT-OF-WAY);

THENCE S00°00'38"W, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID WESTGROVE DRIVE, A DISTANCE OF 794.10 FEET TO A METAL FENCE POST FOUND FOR THE PLACE OF BEGINNING AND BEING THE NORTHWEST CORNER OF SAID LOT 3 AND THE SOUTHWEST CORNER OF A CALLED TRACT OF LAND DESCRIBED TO YAAKOV AND WENDY L. KALISHER BY DEED RECORDED IN VOLUME 93228, PAGE 5470, DEED RECORDS, DALLAS COUNTY, TEXAS (D.R.D.C.T.);

THENCE S89°53'27"E, ALONG THE NORTHERLY LINE OF SAID LOT 3 AND THE SOUTHERLY LINE OF SAID KALISHER TRACT, SAME BEING THE SOUTHERLY LINE OF A DRIVEWAY ZONE RECORDED IN VOLUME 90240, PAGE 1548, D.R.D.C.T., A DISTANCE OF 450.13 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID KALISHER TRACT;

THENCE N00°02'17"E, ALONG THE EASTERLY LINE OF SAID KALISHER TRACT AND A WESTERLY LINE OF SAID LOT 3, A DISTANCE OF 80.27 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF A TRACT OF 416.00 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID REMAINDER TRACT, THE MOST NORTHERLY CORNER OF SAID REMAINDER TRACT, THE MOST NORTHERLY CORNER OF SAID LOT 2, AND BEING IN THE WESTERLY LINE OF LOT 1, BLOCK "A", OF AFORESAID SOJOURN PLAZA ADDITION;

THENCE N89°59'46"E, ALONG THE SOUTHERLY LINE OF SAID REMAINDER TRACT AND THE NORTHERLY LINE OF SAID LOT 3, AT A DISTANCE OF 30.06 FEET PASSING A 5/8-INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID LOT 3 AND THE NORTHWEST CORNER OF AFORESAID LOT 2, CONTINUING ALONG THE NORTHERLY LINE OF SAID LOT 2 IN ALL FOR A TOTAL DISTANCE OF 416.00 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID REMAINDER TRACT, THE MOST NORTHERLY CORNER OF SAID REMAINDER TRACT, THE MOST NORTHERLY CORNER OF SAID LOT 2, AND BEING IN THE WESTERLY LINE OF LOT 1, BLOCK "A", OF AFORESAID SOJOURN PLAZA ADDITION;

THENCE S00°01'51"W, ALONG AN EASTERLY LINE OF SAID LOT 2 AND THE WESTERLY LINE OF SAID LOT 1, A DISTANCE OF 61.10 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 1 AND AN INNER ELL CORNER OF SAID LOT 2;

THENCE S89°53'27"E, ALONG A SOUTHERLY LINE OF SAID LOT 1 AND A NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 320.98

FEET TO 1/2-INCH IRON ROD SET WITH A CAP STAMPED "WER & ASSOC. INC.", FOR THE NORTHEAST CORNER OF SAID LOT 2 AND AN INNER ELL CORNER OF SAID LOT 1;

THENCE SOUTH, ALONG AN EASTERLY LINE OF SAID LOT 2 AND A WESTERLY LINE OF SAID LOT 1, A DISTANCE OF 187.21 FEET TO A 1/2-INCH IRON ROD SET WITH A CAP STAMPED "WER & ASSOC. INC.", FOR THE SOUTHWEST CORNER OF SAID LOT 1, AND BEING IN THE SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED TO FR DEVELOPMENT SERVICES, INC. BY DEED RECORDED IN VOLUME 2000096, PAGE 2365, D.R.D.C.T.;

THENCE N89°56'51"W, ALONG THE SOUTHERLY LINE OF SAID LOT 2, THE SOUTHERLY LINE OF SAID LOT 3, AND THE NORTHERLY LINE OF SAID FR DEVELOPMENT SERVICES, INC. TRACT, A DISTANCE OF 1187.15 FEET TO A 5/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 3, AND THE NORTHWEST CORNER OF SAID FR DEVELOPMENT SERVICES, INC. TRACT, AND BEING IN THE EASTERLY RIGHT-OF-WAY LINE OF AFORESAID WESTGROVE DRIVE;

THENCE N00°00'38"E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND A WESTERLY LINE OF SAID LOT 3, A DISTANCE OF 188.39 FEET TO THE PLACE OF BEGINNING CONTAINING 5.698 ACRES (248,187 SQUARE FEET) OF LAND.

**KNOW ALL MEN BY THESE PRESENTS:**

THAT (1) PALMETTO CORNERS, LTD., AND (2) DANIEL STERNBERG, DO HEREBY ADOPT THIS REPLAT DESIGNATING THE HEREBY RECORDED PROPERTY AS LOTS 2R, 3R, AND 4, BLOCK "A", SOJOURN PLAZA ADDITION, AN ADDITION TO THE TOWN OF ADDISON, TEXAS, AND, SUBJECT TO THE CONDITIONS, RESTRICTIONS AND RESERVATIONS STATED HEREINAFTER, OWNER DEDICATES TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN THEREON.

THE EASEMENTS SHOWN ON THIS PLAT ARE HEREBY RESERVED FOR THE PURPOSES AS INDICATED, INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF WATER, SANITARY SEWER, STORM SEWER, DRAINAGE, ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION. OWNER SHALL HAVE THE RIGHT TO PLACE OR CAUSE TO BE PLACED, PROVIDED HOWEVER, THAT IT DOES NOT UNREASONABLY INTERFERE OR IMPIDE WITH THE PROVISION OF THE SERVICES TO OTHERS. SAID UTILITY EASEMENTS ARE HEREBY RESERVED BY MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE THE SAME. AN EXPRESS EASEMENT OF INGRESS AND EGRESS IS HEREBY EXPRESSLY GRANTED ON, OVER AND ACROSS ALL SUCH EASEMENTS FOR THE BENEFIT OF THE PROVIDER OF SERVICES FOR WHICH EASEMENTS ARE GRANTED.

ANY DRAINAGE AND FLOODWAY EASEMENT SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC'S USE FOREVER, BUT INCLUDING THE FOLLOWING COVENANTS WITH REGARDS TO MAINTENANCE RESPONSIBILITIES. THE EXISTING CHANNELS OR CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT WILL REMAIN AS AN OPEN CHANNEL, UNLESS REQUIRED TO BE ENCLOSED BY OR ADJACENT TO THE DRAINAGE AND FLOODWAY EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID CREEK OR CREEKS OR FOR ANY DAMAGE OR INJURY TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM THE FLOW OF WATER ALONG SAID CREEK, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF WATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE BUILDING, FENCE OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND FLOODWAY EASEMENT. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO CHANNELIZE OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE

THE STORM DRAINAGE, THEN IN SUCH EVENT, THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE DRAINAGE AND FLOODWAY EASEMENT AT ANY POINT, OR POINTS, WITH ALL RIGHTS OF INGRESS AND EGRESS TO INVESTIGATE, SURVEY, ERECT, CONSTRUCT OR MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY BY THE CITY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS AND CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT ADJACENT TO HIS PROPERTY CLEAN AND FREE OF DEBRIS, SILT, GROWTH, VEGETATION, WEEDS, RUBBISH, REFUSE, MATTER AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION AND MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE CHANNELS AND CREEKS THROUGH THE DRAINAGE AND FLOODWAY EASEMENT, AS IN THE CASE OF ALL NATURAL CHANNELS, ARE SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT THAT CANNOT BE DEFINITELY DETERMINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OR INJURIES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, NOR RESULTING FROM THE FAILURE OF ANY STRUCTURE OR STRUCTURES, WITHIN THE NATURAL DRAINAGE CHANNELS, AND THE OWNERS HEREBY AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY FROM ANY SUCH DAMAGES AND INJURIES. BUILDING AREAS OUTSIDE THE DRAINAGE AND FLOODWAY EASEMENT LINE SHALL BE FILLED TO A MINIMUM ELEVATION AS SHOWN ON THE PLAT. THE MINIMUM FLOOR OF ELEVATION OF EACH LOT SHALL BE SHOWN ON THE PLAT.

THE MAINTENANCE OR PAYING OF THE UTILITY AND FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON THE SAID UTILITY EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE AND SERVICE REQUIRED OR GRANTABLY PERFORMED BY THAT UTILITY. BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTH MAY BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE UTILITY EASEMENTS AS SHOWN PROVIDED, HOWEVER, THAT OWNER SHALL AT ITS SOLE COST AND EXPENSE BE RESPONSIBLE UNDER ANY AND ALL CIRCUMSTANCES FOR THE MAINTENANCE AND REPAIR OF SUCH IMPROVEMENTS OR GROWTH, AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTH WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM OR SERVICE.

WATER MAIN AND SANITARY SEWER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTION AND MAINTENANCE OF THE SYSTEMS. ADDITIONAL EASEMENT AREA IS ALSO CONVEYED FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEANOUTS, FIRE HYDRANTS, WATER SERVICES AND SEWER SERVICES FROM THE MAIN TO CURB OR PAVEMENT LINE, AND THE DESCRIPTIONS OF SUCH ADDITIONAL EASEMENTS HEREIN GRANTED SHALL BE DETERMINED BY THEIR LOCATIONS AS INSTALLED.

(1) THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ADDISON, TEXAS.

WITNESS MY HAND AT DALLAS COUNTY, TEXAS, THIS 14th DAY OF February 2002.

PALMETTO CORNERS, LTD., A TEXAS LIMITED PARTNERSHIP BY: PALMETTOHOLD, INC., A TEXAS CORPORATION, GENERAL PARTNER

BY: *Stacy Standridge*  
STACY STANDRIDGE, PRESIDENT

STATE OF TEXAS, COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED STACY STANDRIDGE, PRESIDENT OF PALMETTOHOLD, INC., A TEXAS CORPORATION, GENERAL PARTNER OF PALMETTO CORNERS, LTD., A TEXAS LIMITED PARTNERSHIP, ON BEHALF OF SAID CORPORATION AND LIMITED PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 14th DAY OF February 2002.

*Melanie Harmon*  
MELANIE HARMON  
Notary Public, State of Texas  
Comm. Exp. 11-12-2005

(2) THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ADDISON, TEXAS.

WITNESS MY HAND AT DALLAS COUNTY, TEXAS, THIS 14th DAY OF February 2002.

*Daniel Sternberg*  
DANIEL STERNBERG

STATE OF TEXAS, COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED DANIEL STERNBERG.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 14th DAY OF February 2002.

NOTARY PUBLIC, STATE OF TEXAS

*Rauida Harrington*  
RAUIDA HARRINGTON  
Notary Public, State of Texas  
Comm. Exp. Expires March 16, 2004

COMMISSION EXPIRES

SURVEYOR'S STATEMENT

THAT I, S. ERIC DUMAS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME OR UNDER MY DIRECTION AND SUPERVISION IN THE TOWN OF ADDISON, TEXAS ON NOVEMBER 3, 2001.

*S. Eric Dumas*  
S. ERIC DUMAS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 5371

WITNESS MY HAND AT DALLAS COUNTY, TEXAS, THIS 14th DAY OF February 2002.

**CERTIFICATE OF APPROVAL**

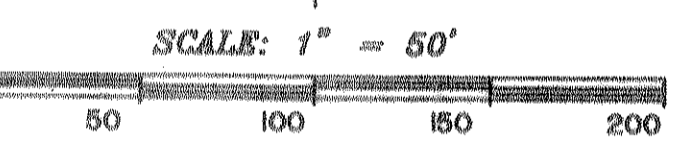
APPROVED THIS 14th DAY OF February 2002 BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF ADDISON, TEXAS.

MAYOR  
*C. Moran*

CITY SECRETARY

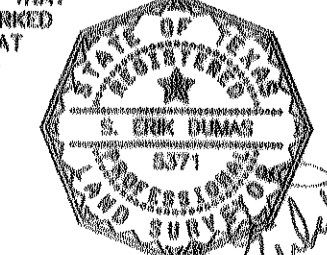
**OWNER (LOTS 2R & 4)**  
PALMETTO CORNERS, LTD.,  
14860 MONTFORT, SUITE 241  
DALLAS, TX 75254  
(214) 368-1997 (PAX)

**OWNER (LOT 3R)**  
DANIEL STERNBERG  
1300 N. I-36 E., SUITE 120  
CARROLLTON, TX 75006  
(972) 245-1999  
(972) 283-0914 (PAX)



**REPLAT**  
**LOTS 2R, 3R, & 4, BLOCK "A"**  
**SOJOURN PLAZA ADDITION**

AN ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS. BEING 5.698 ACRES OF LAND LOCATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792 TOWN OF ADDISON, DALLAS COUNTY, TEXAS.



PREPARED BY:  
**W.A. WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
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