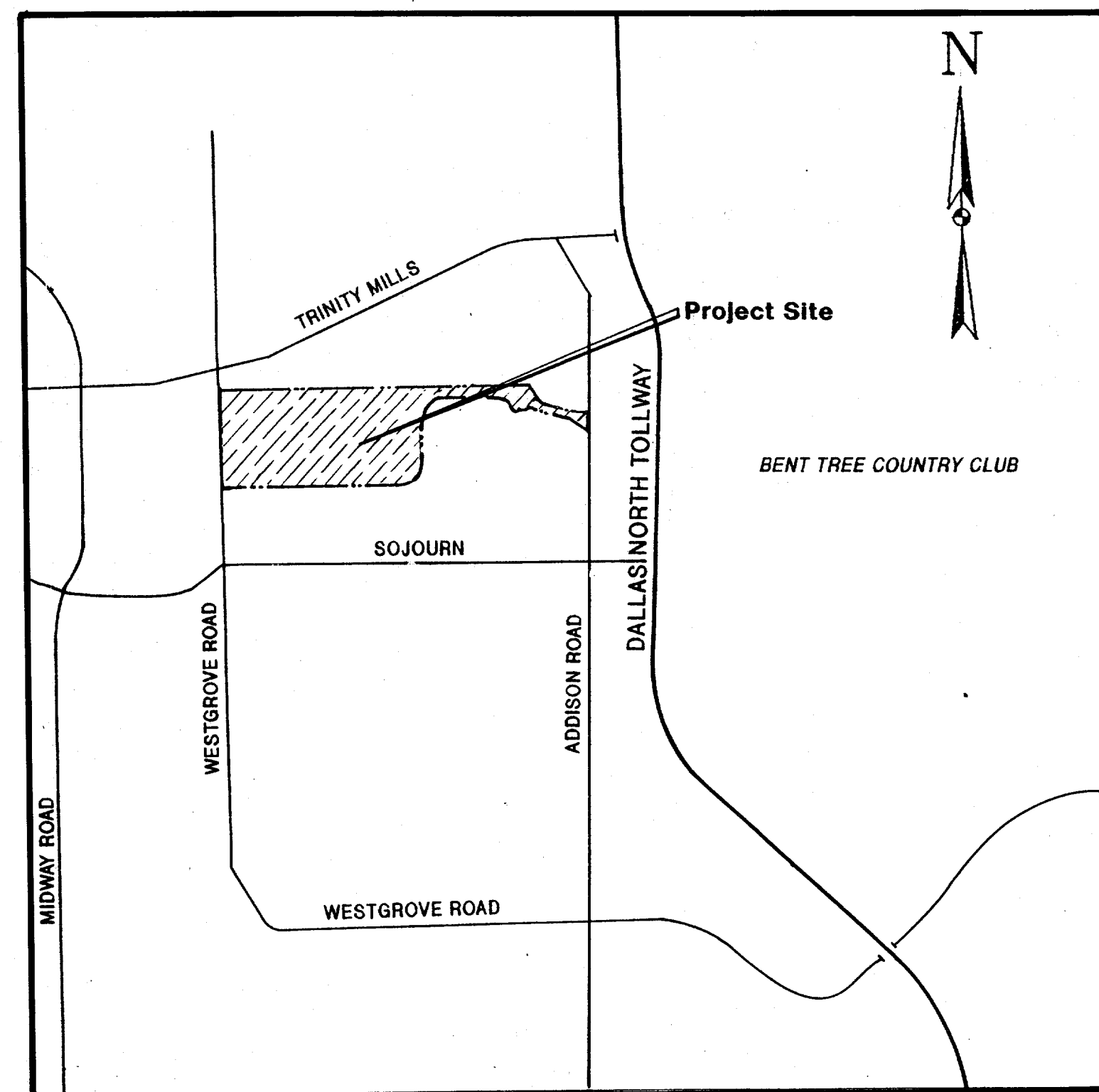


# ENGINEERING PLANS FOR THE DOMINION

## TOWN OF ADDISON, DALLAS COUNTY, TEXAS

THE ADDRESS ASSIGNED TO THE DOMINION IS:

17200 WESTGROVE  
ADDISON, TEXAS 75001



VICINITY MAP  
N.T.S.

- GENERAL NOTES (All Disciplines)**
- Prior to any construction, the Contractor shall familiarize himself with the Contract Documents Specifications and Plans including all notes, the Town of Addison Specifications and any other applicable standards or specifications relevant to the proper completion of the work specified. Failure on the part of the Contractor to familiarize himself with all Standards or Specifications pertaining to this work shall in no way relieve the Contractor of responsibility for performing the work in accordance with all such applicable Standards and Specifications.
  - Contractor shall have in his possession, prior to construction, all necessary permits, licenses, etc.
  - All work shall conform to the Town of Addison Specifications unless otherwise indicated on approved plans.
  - In the event an item is not covered in the Town of Addison Specifications, the City Engineer's decision shall apply. In case of conflict with Town of Addison Specifications, the Design Engineer shall be notified to provide clarification.
  - Construction inspection may be performed by representatives of the Owner, Engineer, Geotechnical Engineer, and reviewing authorities and agencies. Unrestricted access shall be provided to them at all times. Contractor is responsible for understanding and scheduling required inspections.
  - Certain construction staking may be performed by the Owner's Engineer. See the contract documents for details of this service.
  - If unforeseen problems or conflicts are encountered in the construction, for which an immediate solution is not apparent, the Engineer and Owner shall be notified immediately.
  - Other construction will be underway at the same time and in the same general area which is encompassed by this contract. This Contractor shall coordinate with other contractors to establish a construction sequence which will cause the least hindrance to all.
  - It will be the responsibility of each contractor to protect all existing public and private utilities throughout the construction of this project. Contractor shall contact the appropriate utility companies for line locations at least 48 hours prior to commencement of construction and shall assume full liability to those companies for any damages caused to their facilities.
 

Town of Addison, Water, Sewer & Storm	450-2886
T.U. Electric	323-8913
Southwestern Bell Telephone Co.	234-7085
Lone Star Gas Company	235-4620
TCI Cablevision of Dallas	320-7313
Harron Cablevision	938-0333
  - All contractors must confine their activities to the work area. No encroachments onto adjacent properties will be allowed unless specified in the plans. Any damage resulting therefrom shall be the Contractor's responsibility to repair.
  - The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.
  - Prior to final acceptance by the Town of Addison:
    - A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
    - The owner shall provide 1 reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and 2 blue-line sets.
    - A five foot sidewalk shall be installed along Westgrove Drive and Addison Road. See attached detail.
    - A one year 10% maintenance bond is required for any public infrastructure.
    - Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format videotape of the sanitary sewer.
  - Prior to beginning construction, the owner or his authorized representative shall convene a Pre-construction Conference between the Town of Addison, Consulting Engineer, Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis at 450-2847 at least 48 hours prior to beginning of construction.
  - Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
  - Contractor shall obtain a right-of-way permit from the Town of Addison for working within the public right-of-way.
  - The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a Registered Professional Engineer for the installation of utilities greater than five (5) feet in depth.

FOR:  
**CAMDEN PROPERTY TRUST**  
3200 Southwest Freeway  
1500 Phoenix Tower  
Houston, Texas 77027  
(713) 964-3555

BY:  
**HUITT-ZOLLARS, INC.**  
3131 McKinney Ave., Suite 600  
Dallas, Texas 75204  
(214) 871-3311

**CONSTRUCTION SET**  
ISSUED BY  
TOWN OF ADDISON  
PUBLIC WORKS DEPARTMENT  
NAME: *[Signature]* DATE: 2-11-95

### SHEET INDEX:

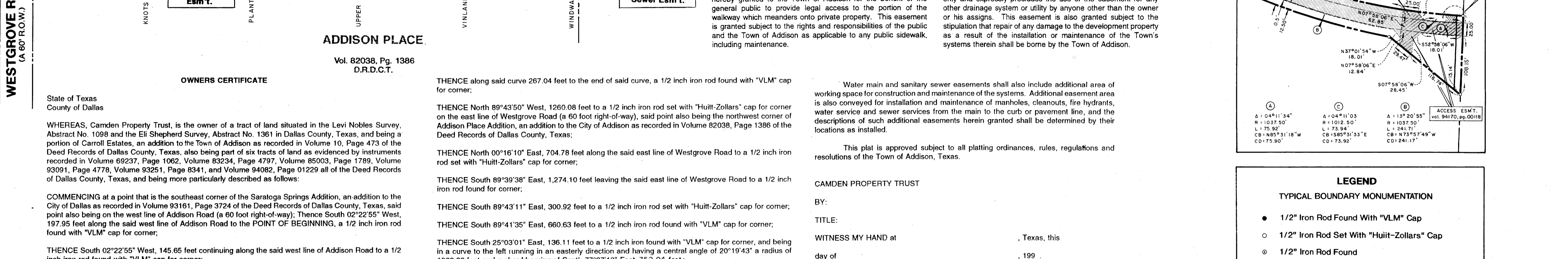
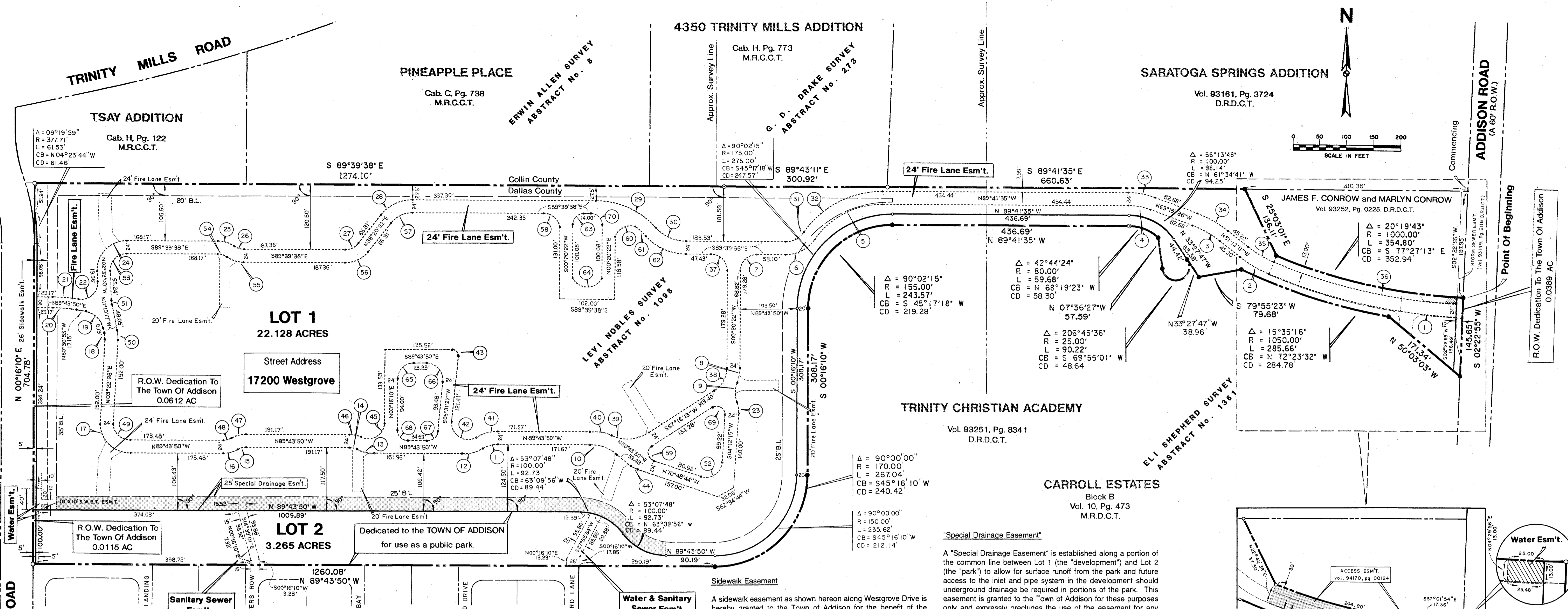
- C-1 COVER SHEET
- C-2 FINAL PLAT
- C-3 GRADING PLAN
- C-4 GRADING PLAN
- C-5 EROSION CONTROL PLAN
- C-6 EROSION CONTROL DETAILS
- C-7 DRAINAGE AREA MAP
- C-8 DRAINAGE AREA MAP
- C-9 STORM SEWER PLAN
- C-10 STORM SEWER PLAN
- C-11 STORM SEWER PROFILES
- C-12 STORM SEWER PROFILES
- C-13 WATER & SAN. SEWER PLAN
- C-14 WATER & SAN. SEWER PLAN
- C-15 SANITARY SEWER PROFILES
- C-16 PAVING & DIMENSION CONTROL PLAN
- C-17 PAVING & DIMENSION CONTROL PLAN
- C-18 MISCELLANEOUS DETAILS

WA *	CI of 18
WA *	
WA *03 Reimbursables	
WA *04 Construction Staking	
WA *03 Civil Plans	
Project Extension Numbers	

Project No. 01-1751-XX

FIRE LANE EASEMENT CURVE DATA

Table with 6 columns: No., Delta, Radius, Tangent, Length, Chord Bearing, Chord Distance. Contains 70 rows of curve data for fire lane easements.

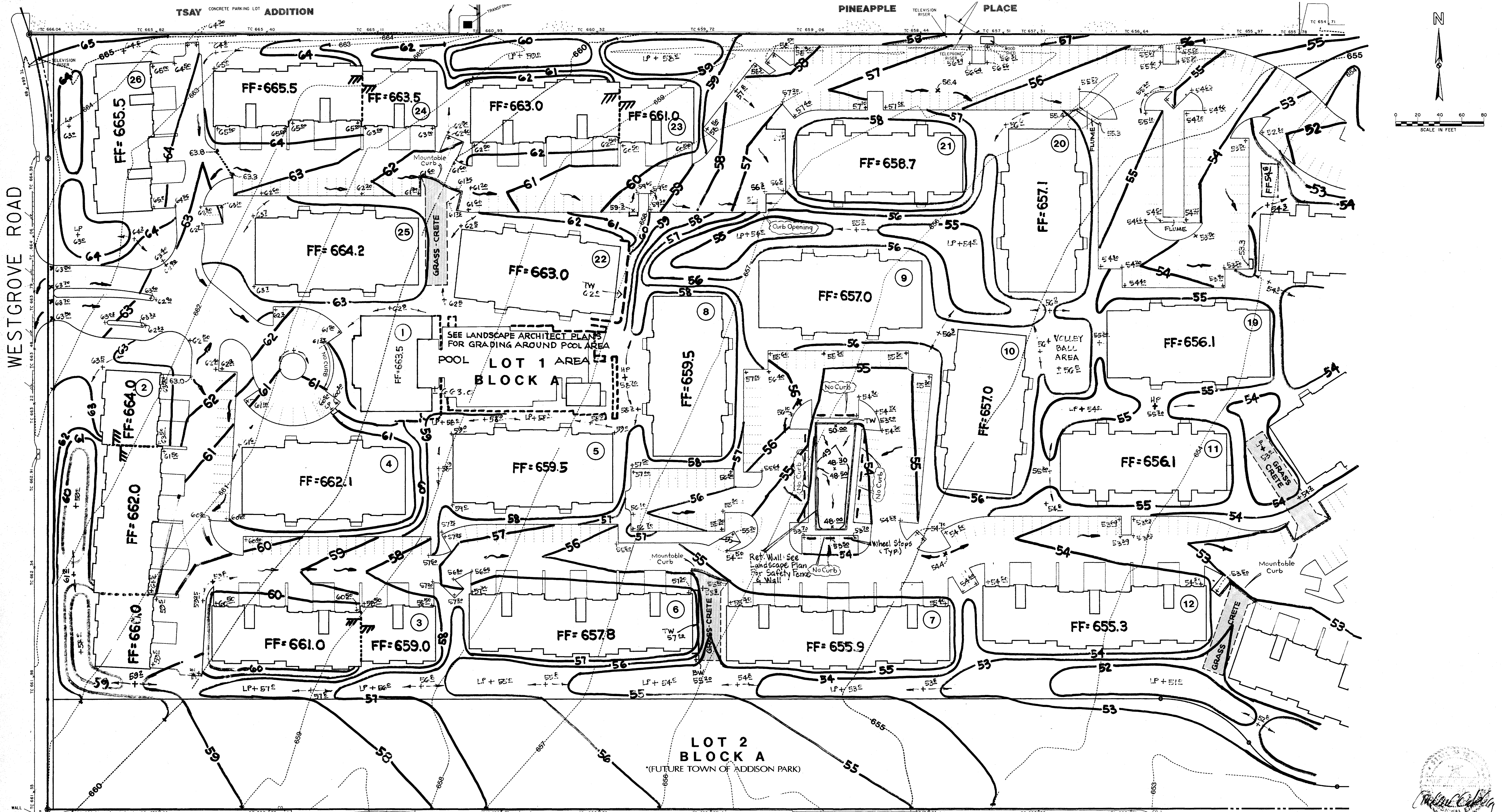


OWNERS CERTIFICATE text containing legal descriptions and survey details for the property.

WHETHERAS, Camden Property Trust, is the owner of a tract of land situated in the Levi Nobles Survey, Abstract No. 1098 and the Eli Shepherd Survey, Abstract No. 1361 in Dallas County, Texas, and being a portion of Carroll Estates, an addition to the Town of Addison as recorded in Volume 10, Page 473 of the Deed Records of Dallas County, Texas, also being part of six tracts of land as evidenced by instruments recorded in Volume 69237, Page 1062, Volume 83234, Page 4797, Volume 85003, Page 1789, Volume 93091, Page 4778, Volume 93251, Page 8341, and Volume 94082, Page 01229 all of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

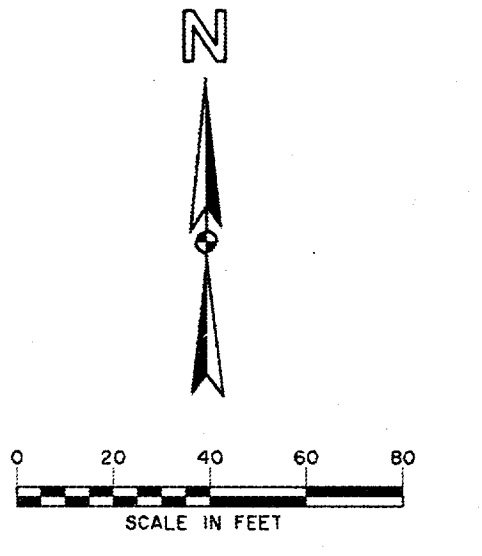
CAMDEN PROPERTY TRUST
BY:
TITLE:
WITNESS MY HAND at \_\_\_\_\_, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 199 .
STATE OF TEXAS
COUNTY OF DALLAS
BEFORE the undersigned authority, a Notary Public in and for Dallas County, Texas on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

LEGEND
TYPICAL BOUNDARY MONUMENTATION
• 1/2" Iron Rod Found with "VLM" Cap
○ 1/2" Iron Rod Set With "Huit-Zollars" Cap
● 1/2" Iron Rod Found
FINAL PLAT THE DOMINION
25.393 ACRES IN TWO LOTS
SITUATED IN THE ELI SHEPHERD SURVEY, ABSTRACT NO. 1361 AND LEVI NOBLES SURVEY, ABSTRACT NO. 1098 TOWN OF ADDISON DALLAS COUNTY, TEXAS
PREPARED FOR: CAMDEN PROPERTY TRUST
3200 SOUTHWEST FREEWAY
1500 PHOENIX TOWER
HOUSTON, TEXAS 77027
DRAWN BY: C2 OF 18
PROJECT NO. 01-1751-03
CREATED BY: HUITT-ZOLLARS
3131 MCKINNEY AVENUE/SUITE 600
DALLAS, TEXAS 75244-8711-3311
DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY



WESTGROVE ROAD

PINEAPPLE PLACE



SEE LANDSCAPE ARCHITECT PLANS FOR GRADING AROUND POOL AREA  
**POOL LOT 1 AREA**  
**BLOCK A**

**LOT 2**  
**BLOCK A**  
 (FUTURE TOWN OF ADDISON PARK)

**\* NOTE:**

Grading on site of future park is intended to provide for interim surface drainage consistent with requirements for detention. Development of the park by the Town of Addison may result in a combination of surface drainage and collection systems which will discharge into detention basins along the common property line. For most effective use of the detention system, park flows should honor the drainage area map as closely as possible.

DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		

LEGEND	
654	EXISTING CONTOUR
54	PROPOSED CONTOUR
50.0	PROPOSED SPOT ELEVATION
→	FLOW DIRECTION
FF = 659.4	FINISH FLOOR ELEVATION

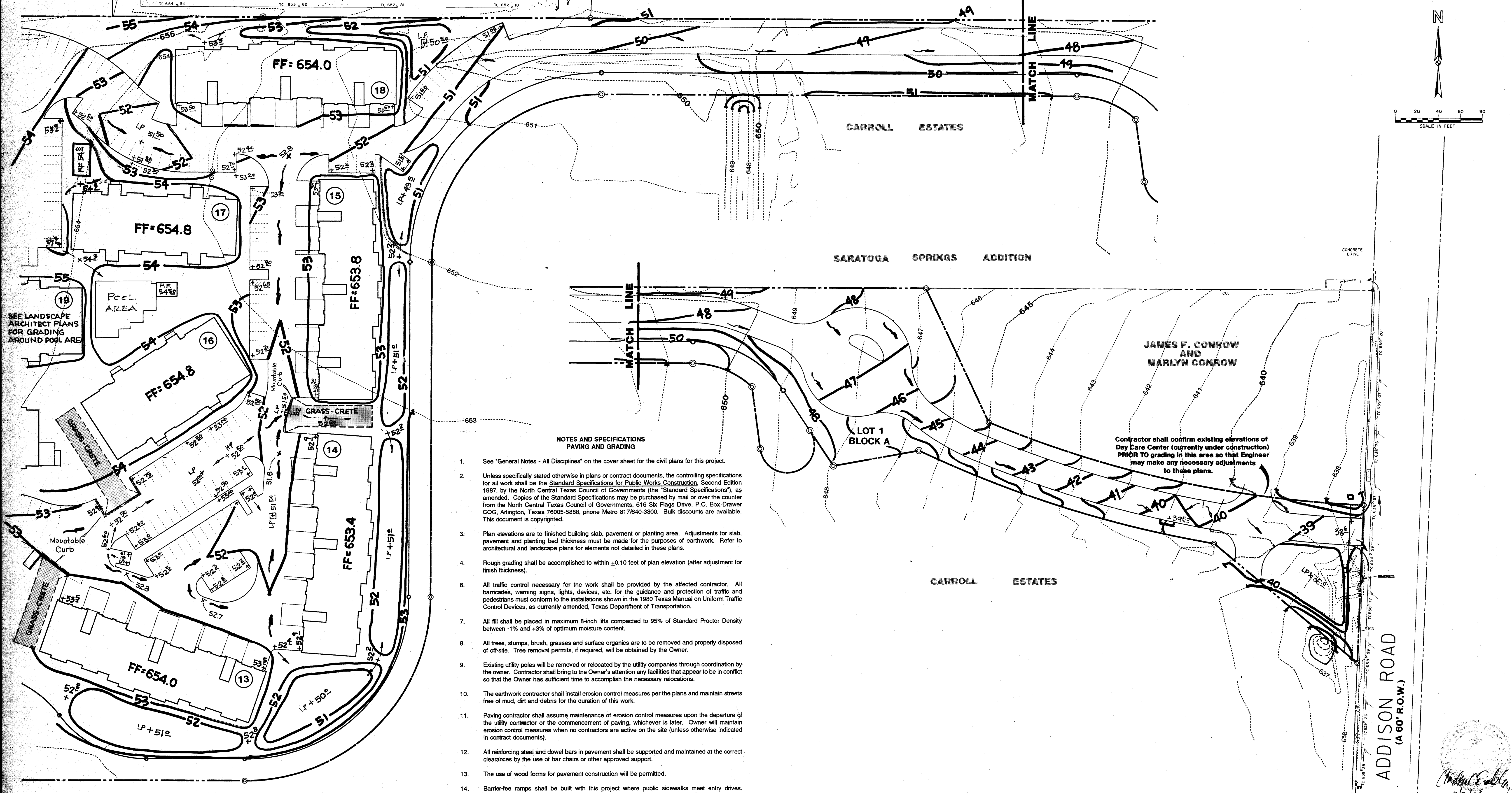
**BENCH MARK:**  
 Top Disk South End Of Curb Inlet On The West Side Of Addison Road 735' +/- North Of Sojourn Drive.  
**ELEVATION = 640.12**

\*" Cut North End Of Recessed Inlet On The West Side Of Westgrove 665' +/- North Of Sojourn Drive.  
**ELEVATION = 661.37**

**GRADING PLAN**  
**THE DOMINION**  
 25.408 ACRES IN 2 LOTS

SITUATED IN THE ELI SHEPHERD SURVEY, ABSTRACT No. 1361 AND LEVI NOBLE SURVEY, ABSTRACT No. 1098 TOWN OF ADDISON DALLAS COUNTY, TEXAS

CAMDEN PROPERTY TRUST 3200 SOUTHWEST FREEWAY 1500 PHOENIX TOWER HOUSTON, TEXAS 77027	Sheet No. 03 OF 18 Project No. 01-1751-03	<b>HUITT - ZOLLARS</b> 3131 MCKINNEY AVENUE/SUITE 600 DALLAS, TEXAS 75244-3311 DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY
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**NOTES AND SPECIFICATIONS  
PAVING AND GRADING**

1. See "General Notes - All Disciplines" on the cover sheet for the civil plans for this project.
2. Unless specifically stated otherwise in plans or contract documents, the controlling specifications for all work shall be the Standard Specifications for Public Works Construction, Second Edition 1987, by the North Central Texas Council of Governments (the "Standard Specifications"), as amended. Copies of the Standard Specifications may be purchased by mail or over the counter from the North Central Texas Council of Governments, 616 Six Flags Drive, P.O. Box Drawer COG, Arlington, Texas 76005-5888, phone Metro 817/640-3300. Bulk discounts are available. This document is copyrighted.
3. Plan elevations are to finished building slab, pavement or planting area. Adjustments for slab, pavement and planting bed thickness must be made for the purposes of earthwork. Refer to architectural and landscape plans for elements not detailed in these plans.
4. Rough grading shall be accomplished to within  $\pm 0.10$  feet of plan elevation (after adjustment for finish thickness).
6. All traffic control necessary for the work shall be provided by the affected contractor. All barricades, warning signs, lights, devices, etc. for the guidance and protection of traffic and pedestrians must conform to the installations shown in the 1980 Texas Manual on Uniform Traffic Control Devices, as currently amended, Texas Department of Transportation.
7. All fill shall be placed in maximum 8-inch lifts compacted to 95% of Standard Proctor Density between -1% and +3% of optimum moisture content.
8. All trees, stumps, brush, grasses and surface organics are to be removed and properly disposed of off-site. Tree removal permits, if required, will be obtained by the Owner.
9. Existing utility poles will be removed or relocated by the utility companies through coordination by the owner. Contractor shall bring to the Owner's attention any facilities that appear to be in conflict so that the Owner has sufficient time to accomplish the necessary relocations.
10. The earthwork contractor shall install erosion control measures per the plans and maintain streets free of mud, dirt and debris for the duration of this work.
11. Paving contractor shall assume maintenance of erosion control measures upon the departure of the utility contractor or the commencement of paving, whichever is later. Owner will maintain erosion control measures when no contractors are active on the site (unless otherwise indicated in contract documents).
12. All reinforcing steel and dowel bars in pavement shall be supported and maintained at the correct clearances by the use of bar chairs or other approved support.
13. The use of wood forms for pavement construction will be permitted.
14. Barrier-free ramps shall be built with this project where public sidewalks meet entry drives. Locations may be adjusted as directed by the Engineer to clear obstructions. Ramps shall have a grooved finish per City or NCTCOG Specs.
15. Variable height curb at intersections and sloping curbs at drives will be built to match future barrier-free ramps per plans.
16. Two-way traffic must be maintained at all times on public streets adjacent to this project unless specified otherwise in the plans and specifications. The travelway width shall not be less than 10 feet.
17. Pavement section shall be either 5-inch, 3600 psi concrete reinforced with #3 bars at 24-inches on center each way over line stabilize subgrade or 6-inch, 3600 psi concrete reinforced with #3 bars at 24 inches on center each way over compacted, untreated subgrade.
18. If 5-inch concrete pavement is used, pavement subgrade for all parking and drive areas shall be lime stabilized to a depth of 6 inches at the rate of 27 lbs of lime per square yard to a distance of one foot beyond the back of curb or edge of pavement.
19. Sawed dummy joints to one-fourth the depth of the pavement shall be made in all concrete pavement within 12 hours of placement in such a manner that the resultant slab will be no more than 400 square feet in size. Joints should not be placed in drainage inverts. Construction joints with dowel bars shall be placed at the termination of each pour. Redwood expansion joints are not necessary and are to be avoided except where pouring against pre-existing pavement.

Contractor shall confirm existing elevations of Day Care Center (currently under construction) PRIOR TO grading in this area so that Engineer may make any necessary adjustments to these plans.

*Michael E. ...*  
11/28/94

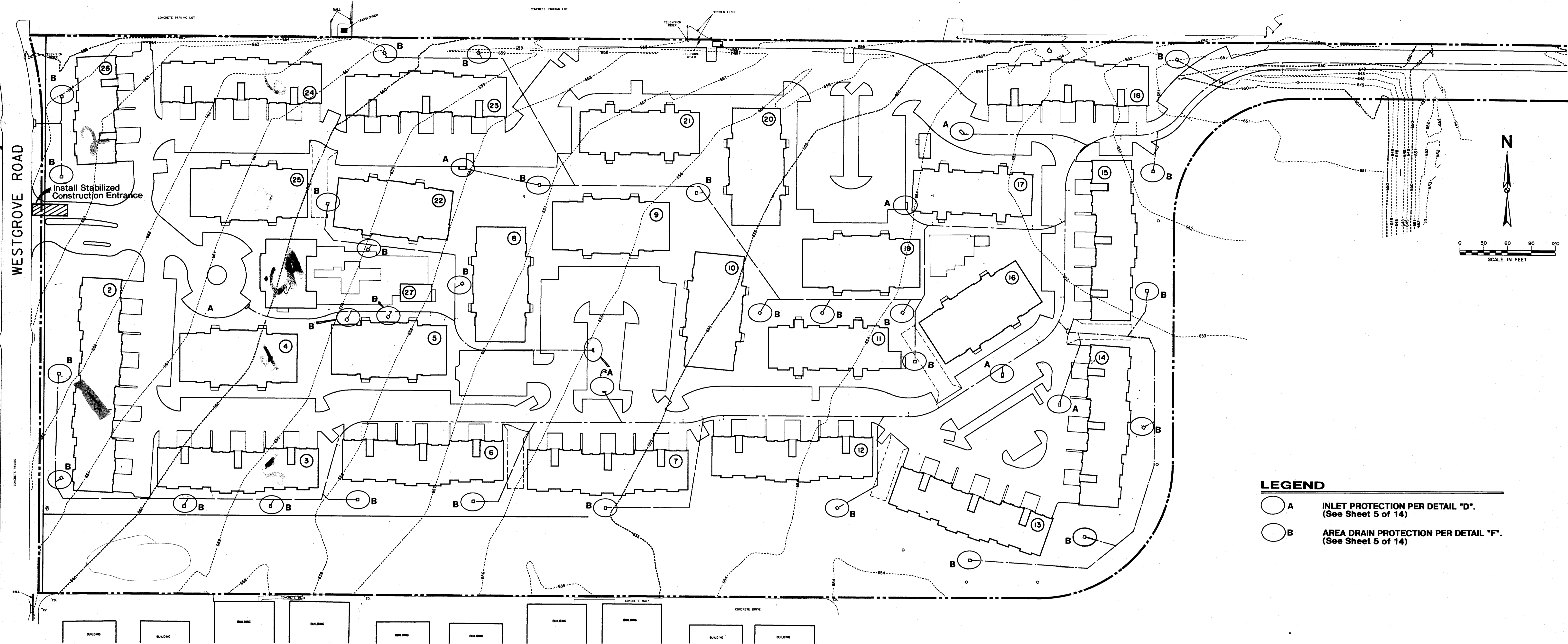
DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
	REVISIONS & ISSUE DATES	

**BENCH MARK:**  
\*Top Disk South End Of Curb Inlet On The West Side Of Addison Road 735' +/- North Of Sojourn Drive.  
ELEVATION = 640.12  
  
\*Cut North End Of Recessed Inlet On The West Side Of Westgrove 665' +/- North Of Sojourn Drive.  
ELEVATION = 661.37

**GRADING PLAN  
THE DOMINION**  
25.408 ACRES IN 2 LOTS

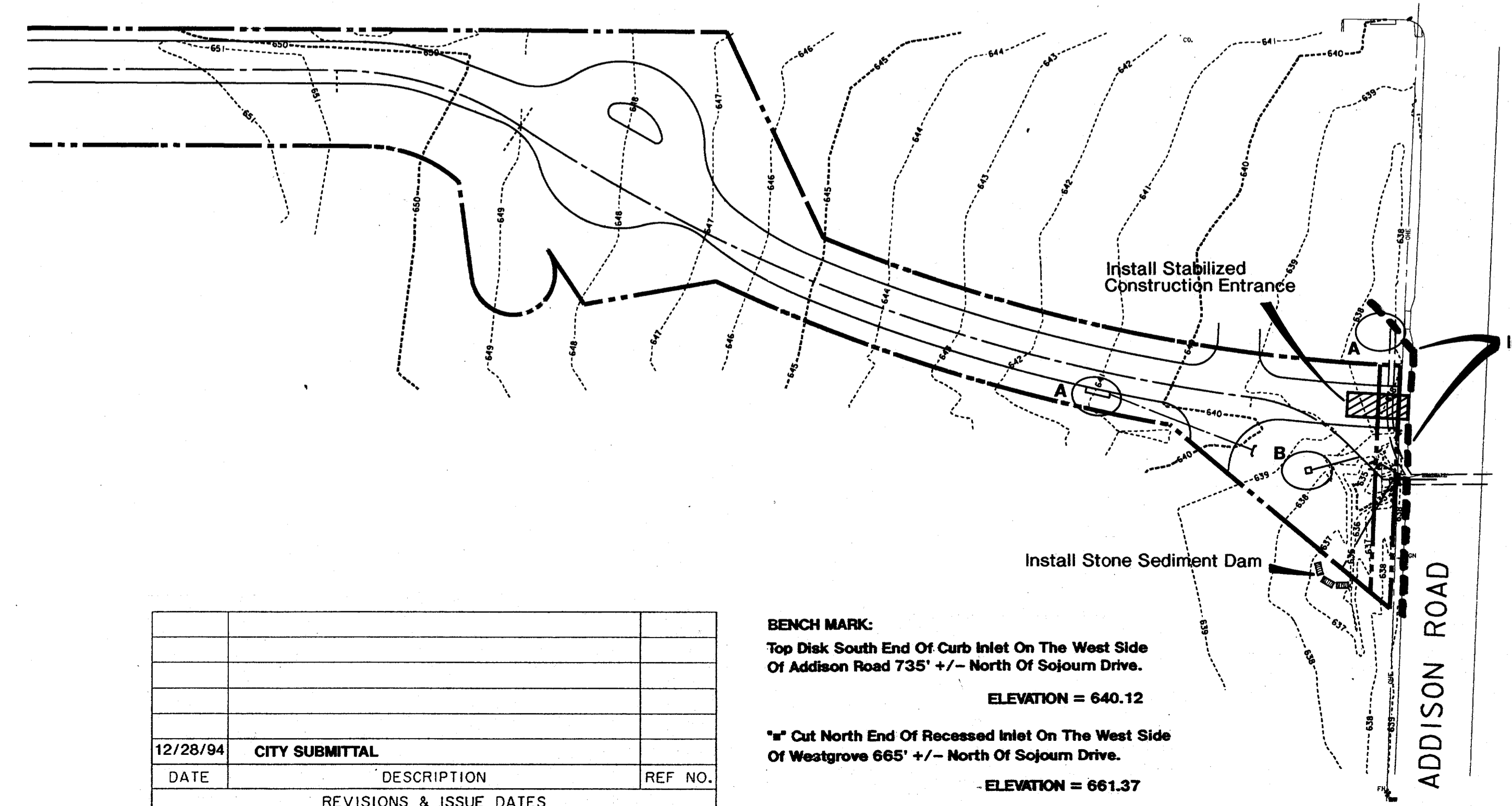
SITUATED IN THE ELI SHEPHERD SURVEY, ABSTRACT No. 1361 AND LEVI NOBLE SURVEY, ABSTRACT No. 1098 TOWN OF ADDISON DALLAS COUNTY, TEXAS

GARDEN PROPERTY TRUST 3200 SOUTHWEST FREEWAY 1500 PHOENIX TOWER HOUSTON, TEXAS 77027	Sheet No. C4 OF 18 Project No. 01-1751-03	HUITT - ZOLLARS 3131 MCKINNEY AVENUE/SUITE 600 DALLAS, TEXAS 75244-3311 DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY
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- LEGEND**
- A INLET PROTECTION PER DETAIL "D".  
(See Sheet 5 of 14)
  - B AREA DRAIN PROTECTION PER DETAIL "F".  
(See Sheet 5 of 14)

9-15 CH  
10-1  
11-15 2-6



DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		

**BENCH MARK:**  
Top Disk South End Of Curb Inlet On The West Side  
Of Addison Road 735' +/- North Of Sojourn Drive.  
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\*r\* Cut North End Of Recessed Inlet On The West Side  
Of Westgrove 665' +/- North Of Sojourn Drive.  
ELEVATION = 661.37

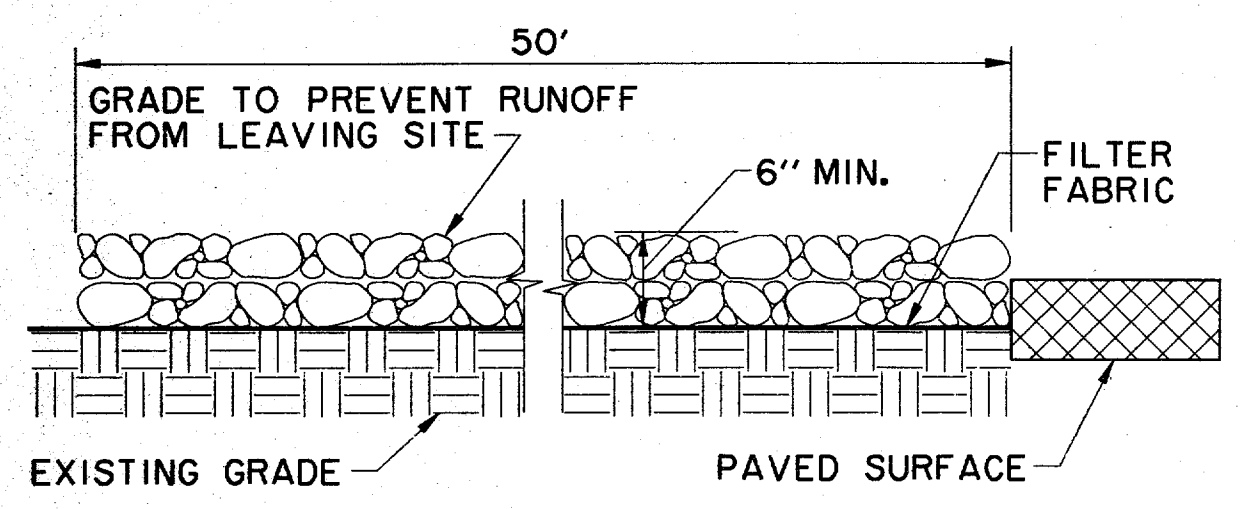
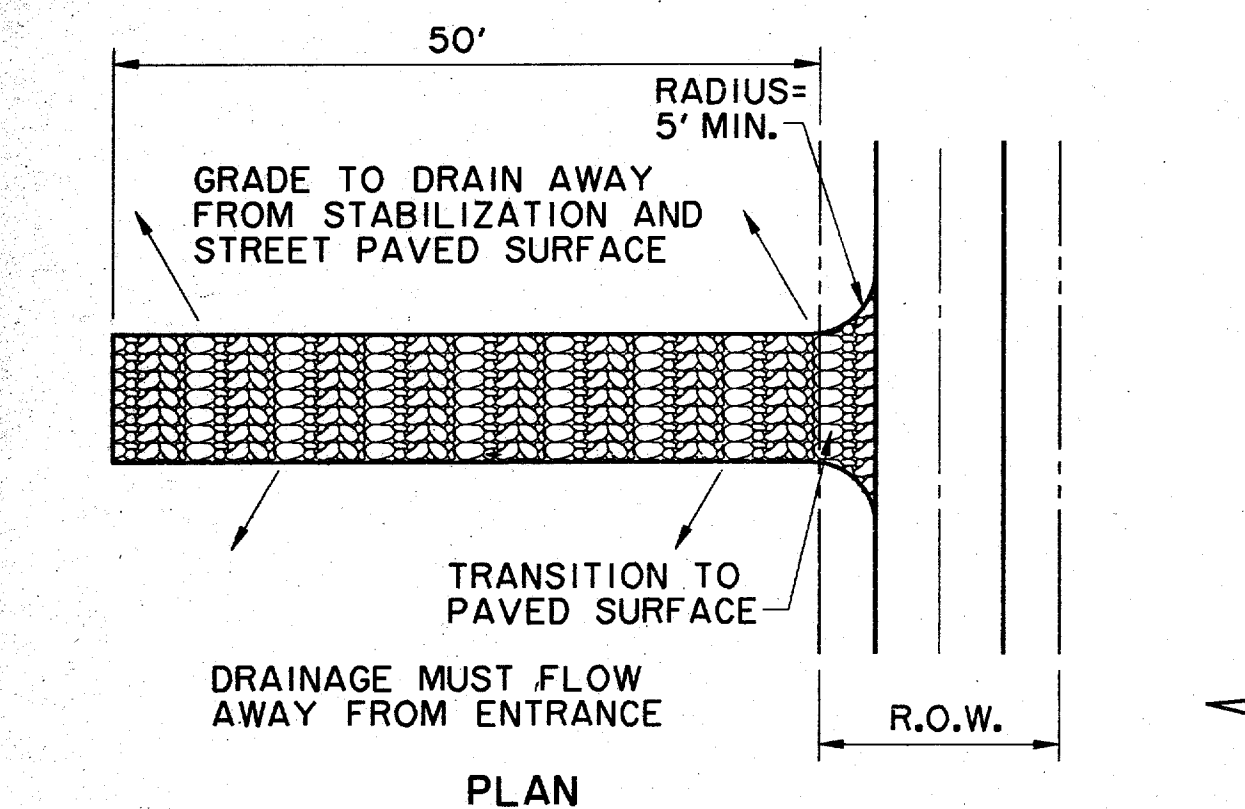
**EROSION CONTROL PLAN**  
**THE DOMINION**  
25.408 ACRES IN TWO LOTS  
SITUATED IN THE  
ELI SHEPHERD SURVEY, ABSTRACT No. 1361  
AND LEVI NOBLE SURVEY, ABSTRACT No. 1098  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

PREPARED FOR:  
CAMDEN PROPERTY TRUST  
3200 SOUTHWEST FREEWAY  
1500 PHOENIX TOWER  
HOUSTON, TEXAS 77027

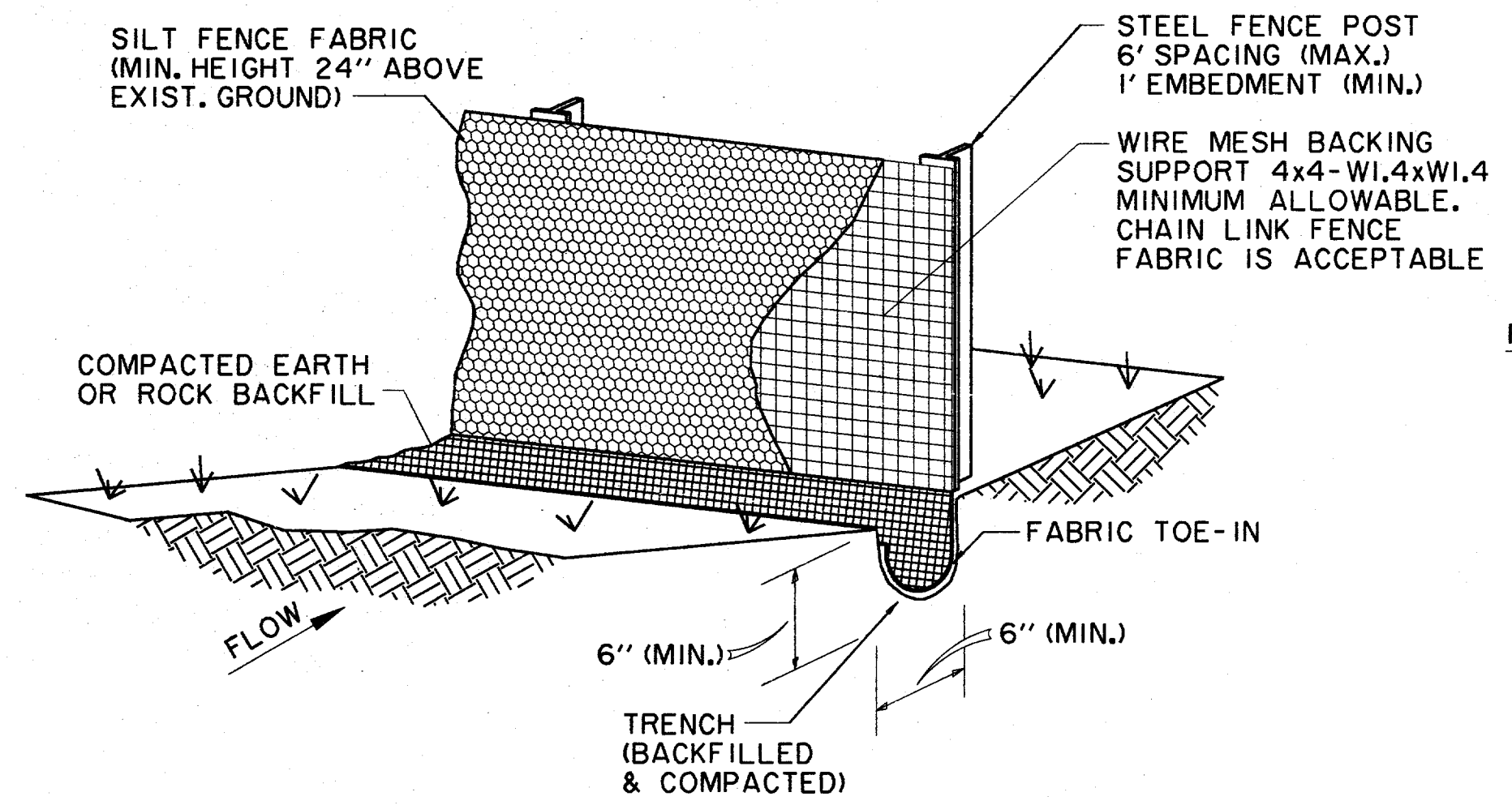
DRAWN BY: CHS  
SHEET NO.: CS OF 18  
PROJECT NO.:  
01-1751-03

**HUITT - ZOLLARS**  
3131 MCKINNEY AVENUE/SUITE 600  
DALLAS, TEXAS/214-871-3311  
DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY

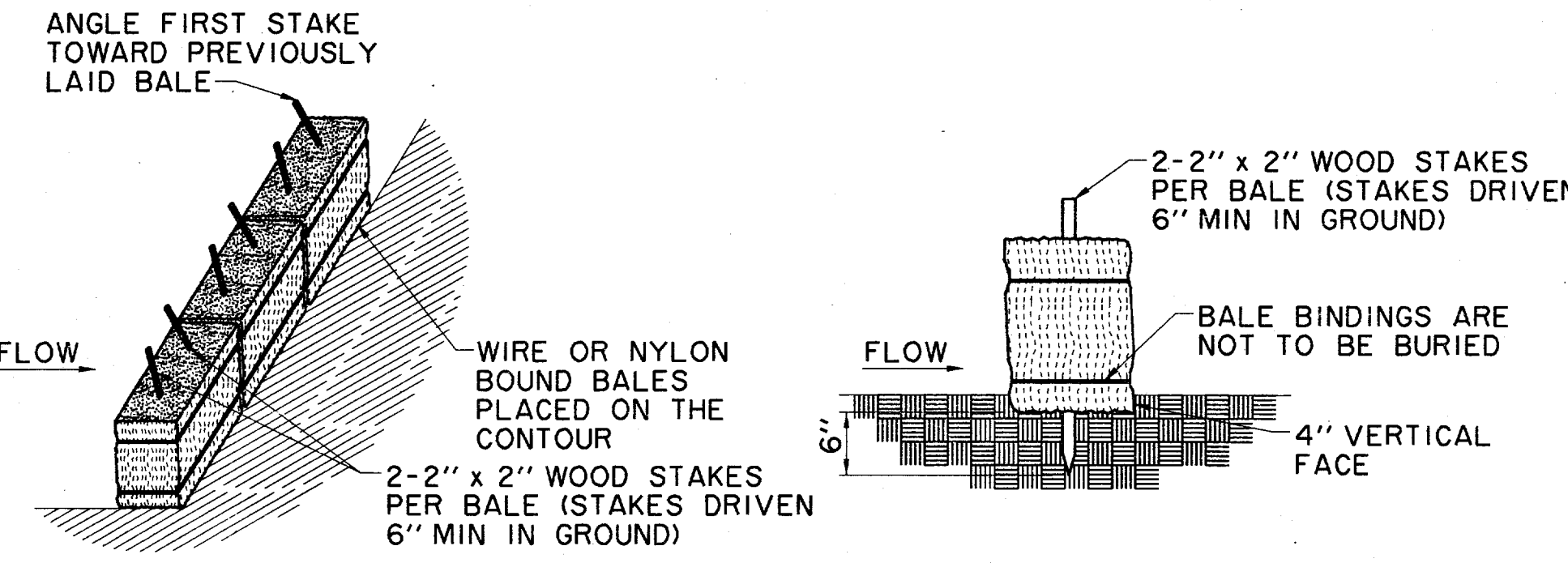
*André G. Kelly*  
11/30/94



**STABILIZED CONSTRUCTION ENTRANCE / EXIT**  
NCTCOG 02270.6  
STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES  
**DETAIL 'A'**  
N.T.S.



SILT FENCE SHOULD BE SECURELY FASTENED TO BACKING SUPPORT AND POSTS.  
**SILT FENCE**  
NCTCOG 02270.B  
STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES  
**DETAIL 'B'**  
N.T.S.

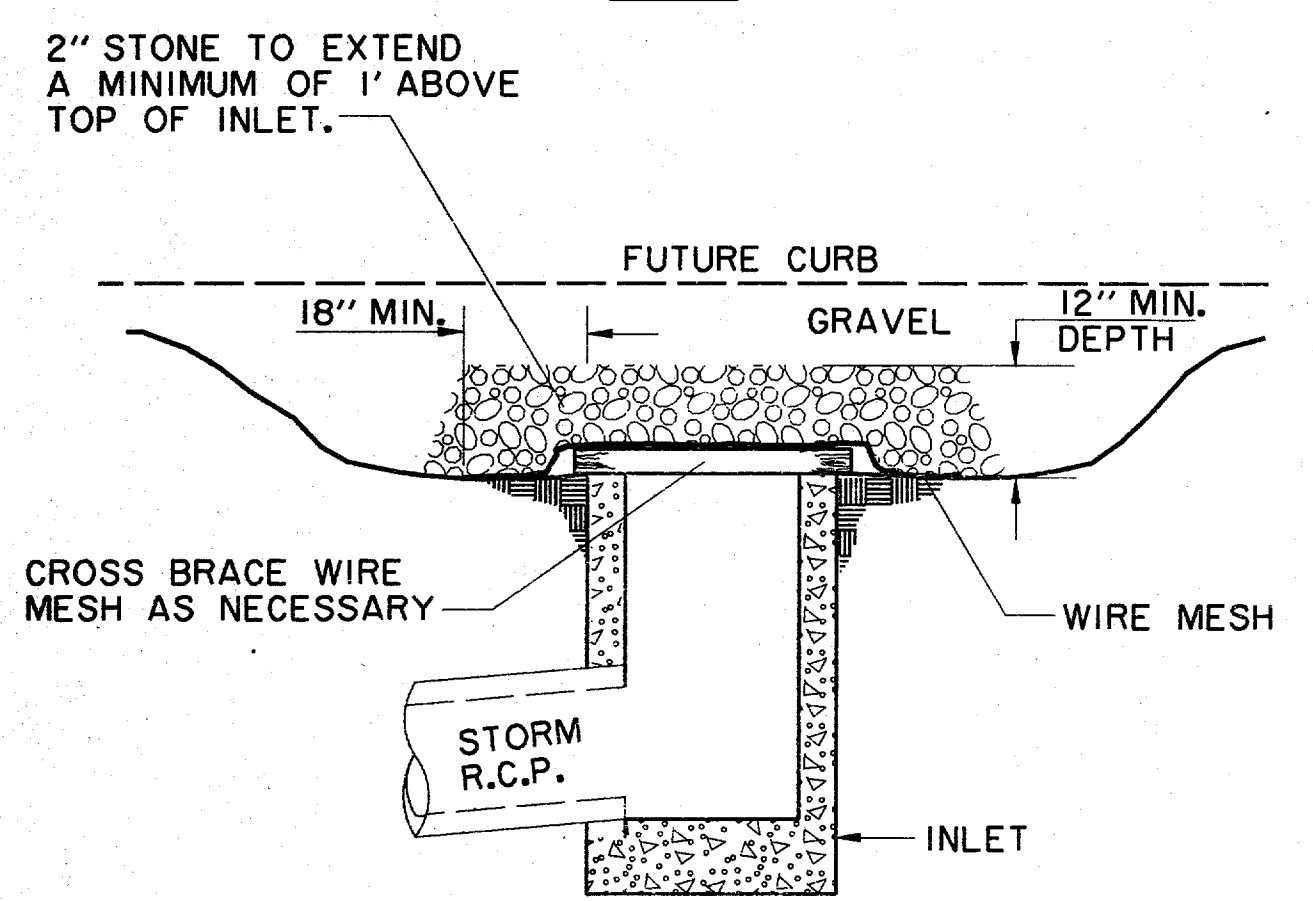
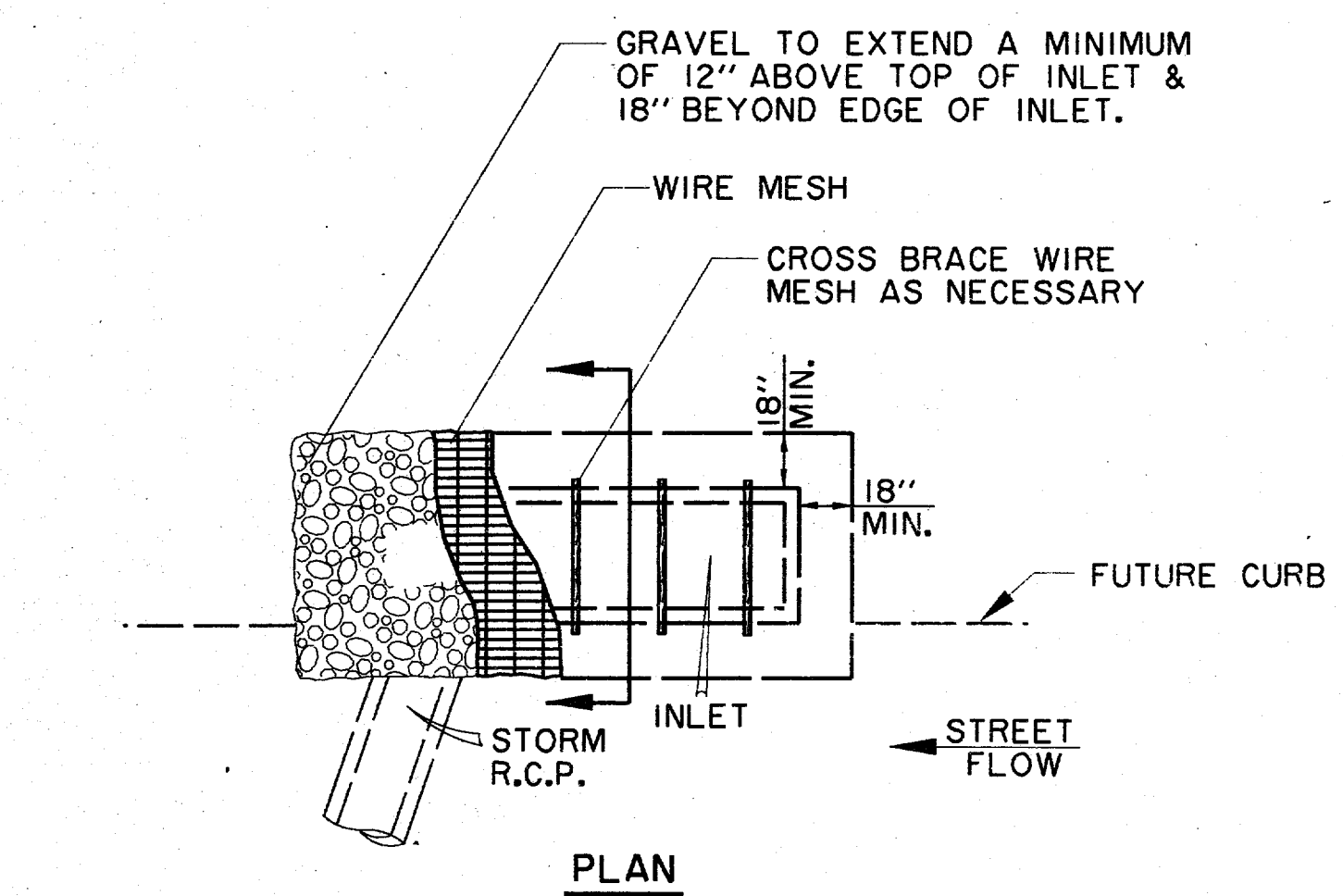


**TEMPORARY STRAW BALE DIKE**  
NCTCOG 02270.A  
STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES  
**DETAIL 'C'**  
N.T.S.

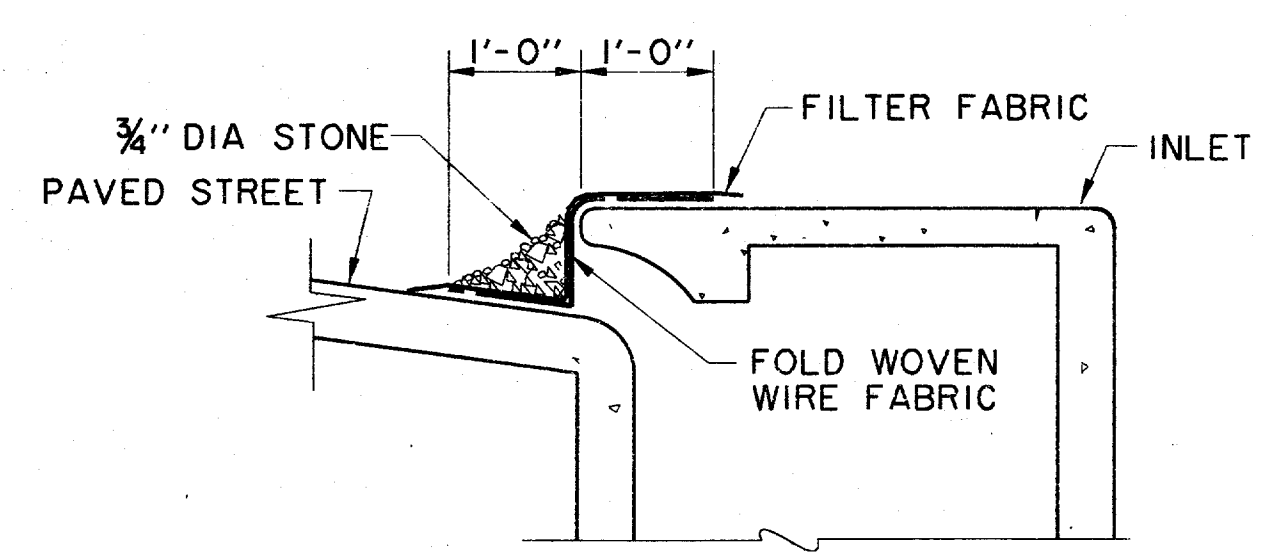
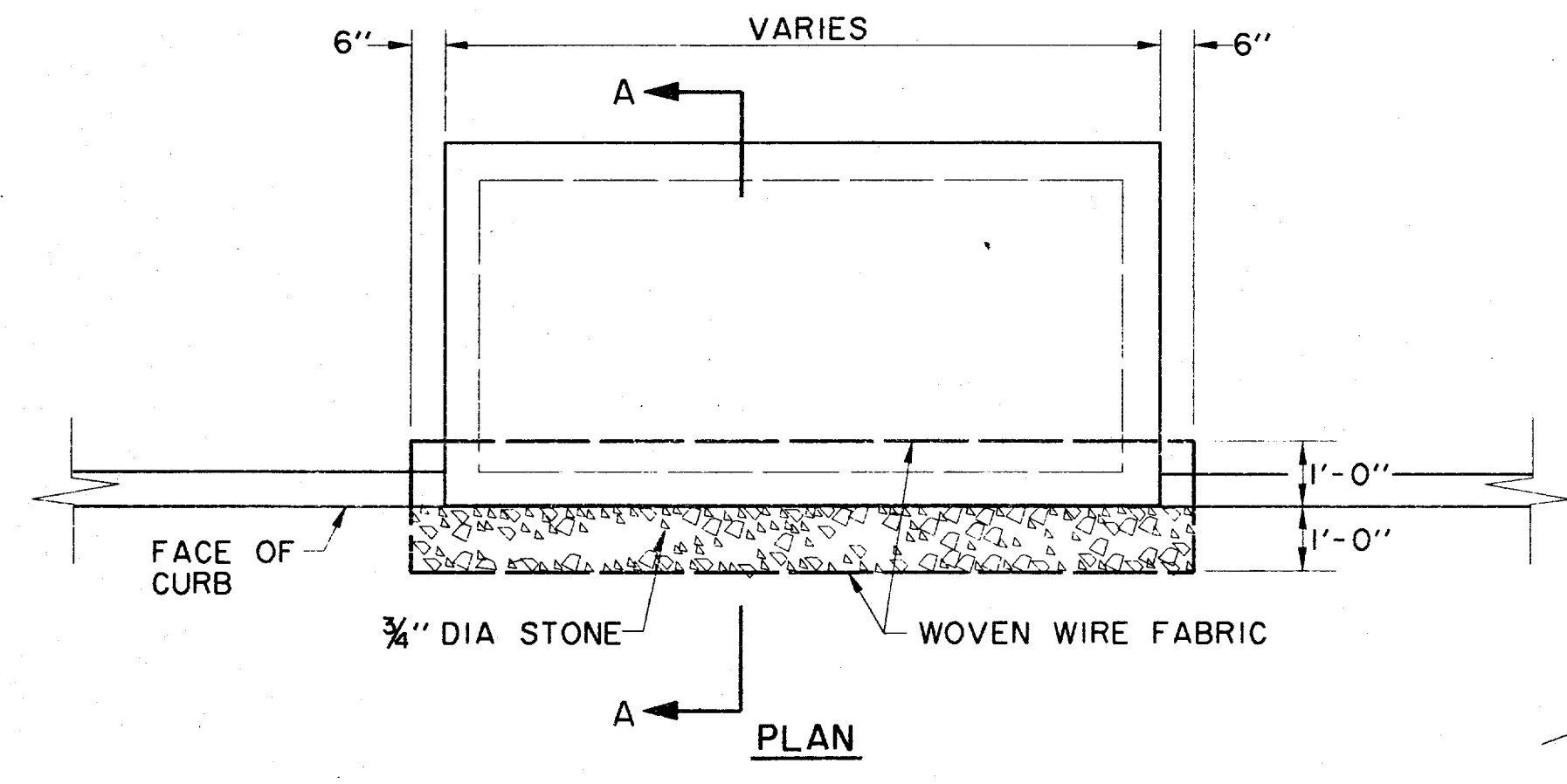
STRAW BALES SHALL BE PLACED IN A ROW WITH TIGHTLY ABUTTING ENDS. EMBED BALES IN THE SOIL A MINIMUM OF FOUR INCHES. STRAW BALES SHALL BE REPLACED IF THEY ARE DAMAGED OR HAVE DEGRADED TO A POINT OF INEFFECTIVENESS. REPLACEMENT OF STRAW BALES SHALL OCCUR NO LESS OFTEN THAN 90 DAYS, UNLESS NOTIFIED BY ENGINEER.

**NOTES:**

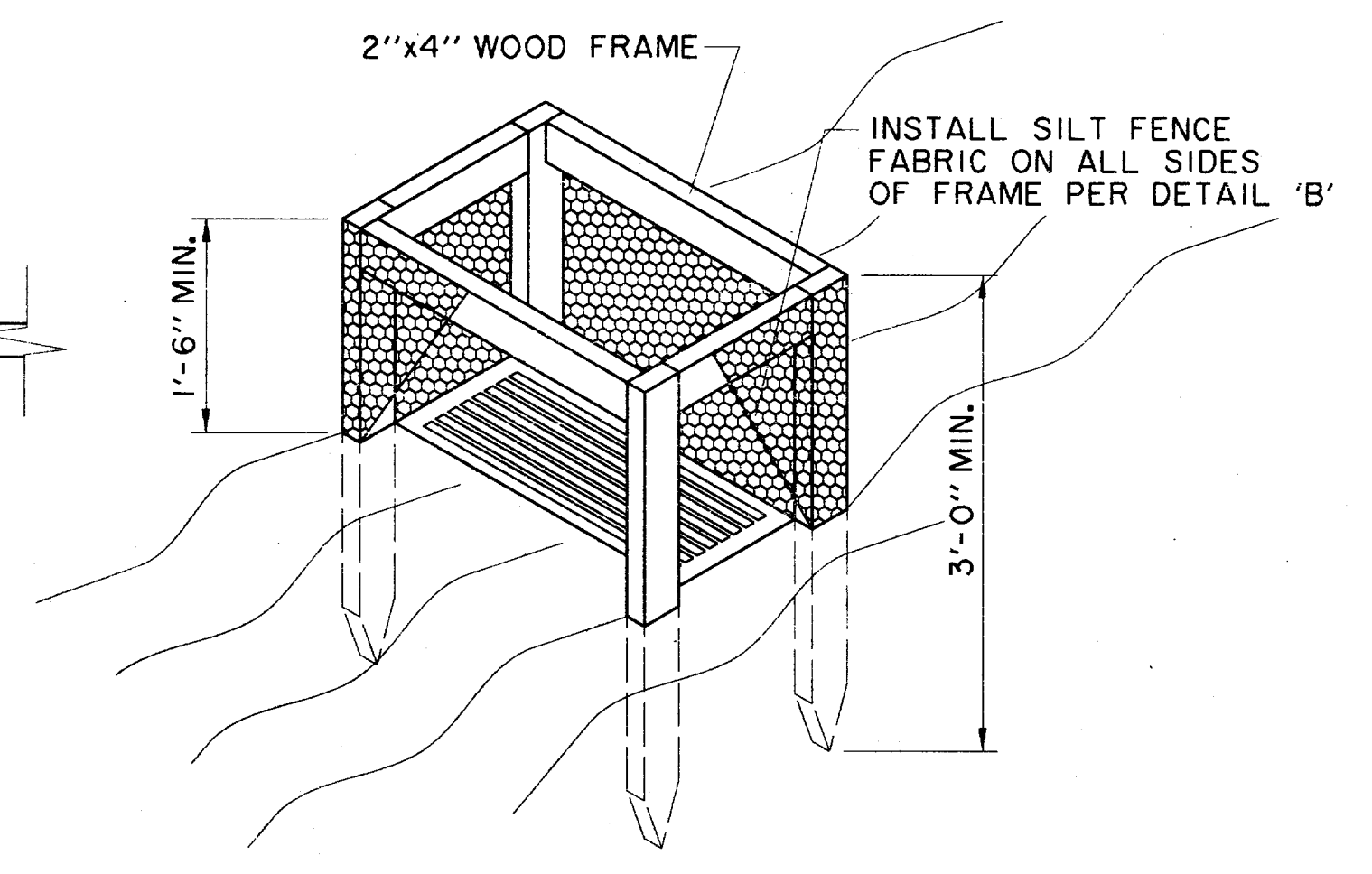
1. A STORM WATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) INCLUDING NOTICE OF INTENT (N.O.I.) WILL BE PREPARED BY THE GENERAL CONTRACTOR FOR THIS PROJECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION.
2. ALL CONTRACTORS WILL COMPLY WITH THE REQUIREMENTS AND INTENT OF THE N.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES.
3. EACH CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) FOR STORM WATER DISCHARGE PERMIT COVERAGE. THIS SUBMITTAL SHALL BE COORDINATED WITH THE OWNER AND SHALL OCCUR NO LESS THAN 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. EACH CONTRACTOR SHALL OBTAIN AND SUBMIT TO THE OWNER A POLLUTION PREVENTION CERTIFICATION FROM EACH SUBCONTRACTOR WHOSE WORK IMPACTS THE STORM WATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) PRIOR TO THE PERFORMANCE OF ANY WORK BY SAID SUBCONTRACTOR. THESE CERTIFICATIONS SHALL BECOME A PART OF THE STORM WATER POLLUTION PREVENTION PLAN.
5. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES, AS INDICATED ON THE PLANS AND AS FIELD CONDITIONS WARRANT, PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. REPAIRS OR MODIFICATIONS TO THE MEASURES WILL BE MADE BY THE CONTRACTOR IF THE CONTROL MEASURES PROVE INEFFECTIVE OR IF ADDITIONAL CONTROL MEASURES ARE NECESSARY.
6. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT TRACKING OF MUD AND/OR SOILS ONTO EXISTING AND/OR NEW PAVEMENT. ANY TRACKING THAT OCCURS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
7. CONTRACTOR SHALL CONSTRUCT INLET PROTECTION FOR ALL INCOMPLETE CURB INLETS AS SHOWN IN DETAIL "D" AND SHALL TAKE EVERY MEASURE TO KEEP SOILS AND SEDIMENTS FROM ENTERING THE STORM SEWER SYSTEM.
8. CONTRACTOR SHALL CONSTRUCT INLET PROTECTION FOR ALL COMPLETED CURB INLETS AS SHOWN IN DETAIL "E" AND SHALL TAKE EVERY MEASURE TO KEEP SOILS AND SEDIMENTS FROM ENTERING THE STORM SEWER SYSTEM.
9. CONTRACTOR SHALL INSTALL APPROPRIATE INLET PROTECTION AT ALL AREA DRAINS AS SHOWN IN DETAIL "F".
10. AT A MINIMUM, PERIMETER CONTROLS SUCH AS SILT FENCE OR STRAW BALES SHALL BE INSTALLED AT ALL DOWN SLOPE BOUNDARIES AND AS WARRANTED WHERE PAVEMENT REMOVAL, UTILITY CONSTRUCTION, GRADING, OR OTHER CONSTRUCTION ACTIVITIES ARE TO BE PERFORMED. THE CONTRACTOR SHALL AT ALL TIMES TAKE SUCH MEASURES AS NECESSARY TO MINIMIZE OFFSITE TRACKING OR TRANSPORT OF SEDIMENT AND DEBRIS.
11. DAMAGE TO ADJACENT PROPERTY AND/OR TO RECEIVING WATERS CAUSED BY IMPROPERLY INSTALLED OR POORLY MAINTAINED EROSION CONTROL MEASURES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY SILTATION CAUSED BY HIS OPERATIONS AND/OR FAILURE OF THE EROSION CONTROL MEASURES.
13. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND SEDIMENT FROM EROSION CONTROL MEASURES WHEN IT REACHES A DEPTH OF SIX (6) INCHES OR IMPAIRS THE EFFECTIVENESS OF THE MEASURES.
14. THE CONTRACTORS REPRESENTATIVE WILL INSPECT THE PROJECT EVERY SEVEN DAYS, AT A MINIMUM, AND AFTER EVERY RAINFALL OF ONE-HALF INCHES OR GREATER TO DETERMINE THE INTEGRITY AND EFFECTIVENESS OF THE EROSION CONTROL MEASURES. A WRITTEN INSPECTION REPORT WILL BE FILED WITH THE POLLUTION PREVENTION PLAN. THIS INSPECTION DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES OR HIS DUTY TO COMPLY WITH THE INTENT AND CONDITIONS OF THE N.P.D.E.S. GENERAL PERMIT.
15. ALL STOCKPILED SOILS WILL BE SURROUNDED BY A STRAW BALE DIKE, SILT FENCE, SEDIMENT CONTROL SWALE, OR EQUIVALENT MEASURE TO PROPERLY CONTROL SEDIMENT RUNOFF, AS APPROVED BY THE OWNER.
16. CONTRACTOR SHALL STABILIZE ANY AREA WHERE CONSTRUCTION ACTIVITY IS TO BE TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS.



**INLET PROTECTION WIRE MESH & GRAVEL**  
NCTCOG 02270.G  
STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES  
**DETAIL 'D'**  
N.T.S.



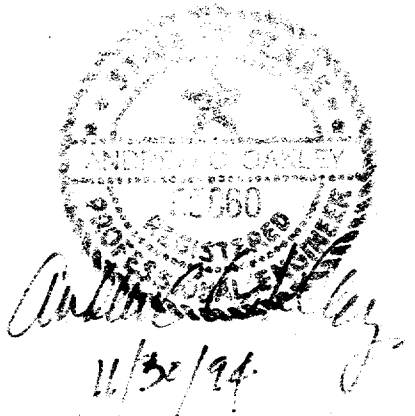
**SECTION "A-A" CURB INLET SEDIMENT FILTER**  
NCTCOG 02270.G  
STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES  
**DETAIL 'E'**  
N.T.S.



**AREA DRAIN PROTECTION**  
NCTCOG 02270.M  
STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES  
**DETAIL 'F'**  
N.T.S.

CONTRACTOR SHALL INTERCEPT FLOW AND INSTALL INLET PROTECTION MEASURES AS SOON AS PRACTICABLE.

DATE	DESCRIPTION	REF NO.
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		

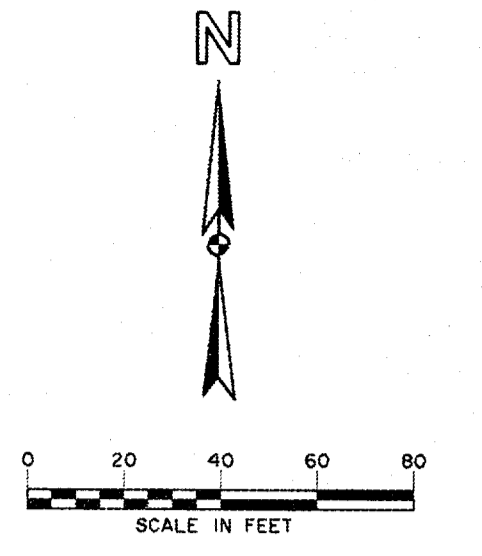


**EROSION CONTROL DETAILS**  
**THE DOMINION**  
25.408 ACRES IN TWO LOTS  
SITUATED IN THE ELI SHEPHERD SURVEY, ABSTRACT No. 1361 AND LEVI NOBLE SURVEY, ABSTRACT No. 1098  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

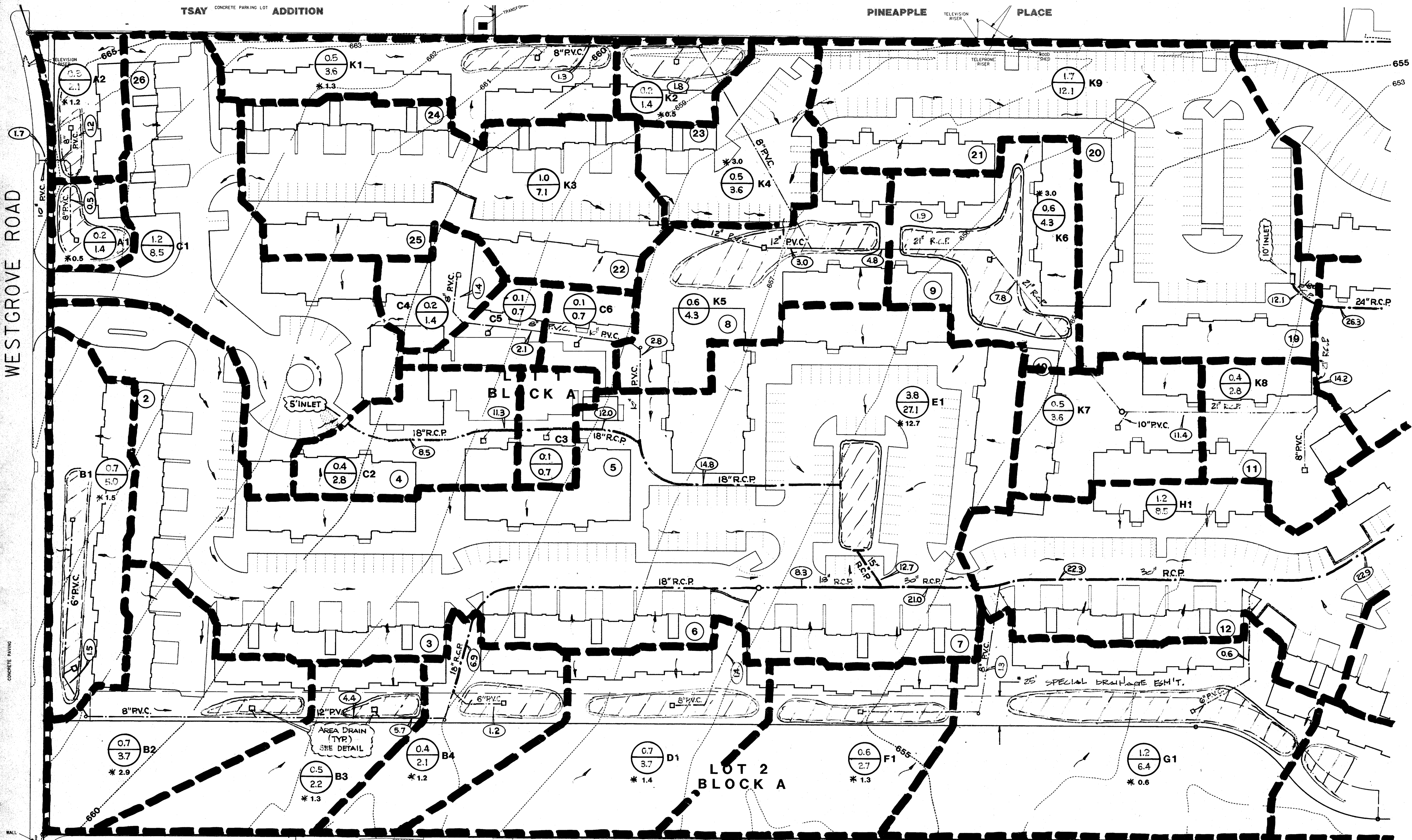
PREPARED FOR: CAMDEN PROPERTY TRUST  
3200 SOUTHWEST FREEWAY  
1500 PHOENIX TOWER  
HOUSTON, TEXAS 77027

Sheet No. 06 OF 18  
Project No. 01-1751-03

**HUITT-ZOLLARS**  
3131 MCKINNEY AVENUE/SUITE 600  
DALLAS, TEXAS 75244-8711  
DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY



WESTGROVE ROAD

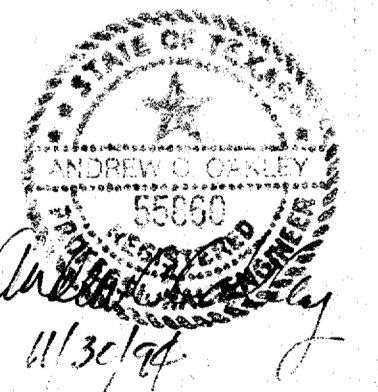


CONCRETE PAVING

WALL

AREA DRAIN (TYP) SEE DETAIL

25' SPECIAL DRAINAGE ESH'T.



NOTE: ALL DETENTION AREAS ARE NORMALLY DRY.

ADDISON PLACE

DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
	REVISIONS & ISSUE DATES	

**LEGEND**

- A1 AREA NO.
- \* 1.3 Q100 (cfs) DEVELOPED W/ DETENTION
- (X.X) Q100 (cfs) IN PIPE
- 18" R.C.P. PROP. STORM SEWER (R.C.P.)
- PROP. STORM SEWER (P.V.C.)
- DRAINAGE DIVIDE
- FLOW DIRECTION
- AREA (Ac.)
- Q100 (c.f.s.) DEVELOPED W/O DETENTION
- DETENTION AREA

**BENCH MARK:**  
Top Disk South End Of Curb Inlet On The West Side Of Addison Road 735' +/- North Of Sojourn Drive.

ELEVATION = 640.12

\*" Cut North End Of Recessed Inlet On The West Side Of Westgrove 665' +/- North Of Sojourn Drive.

ELEVATION = 661.37

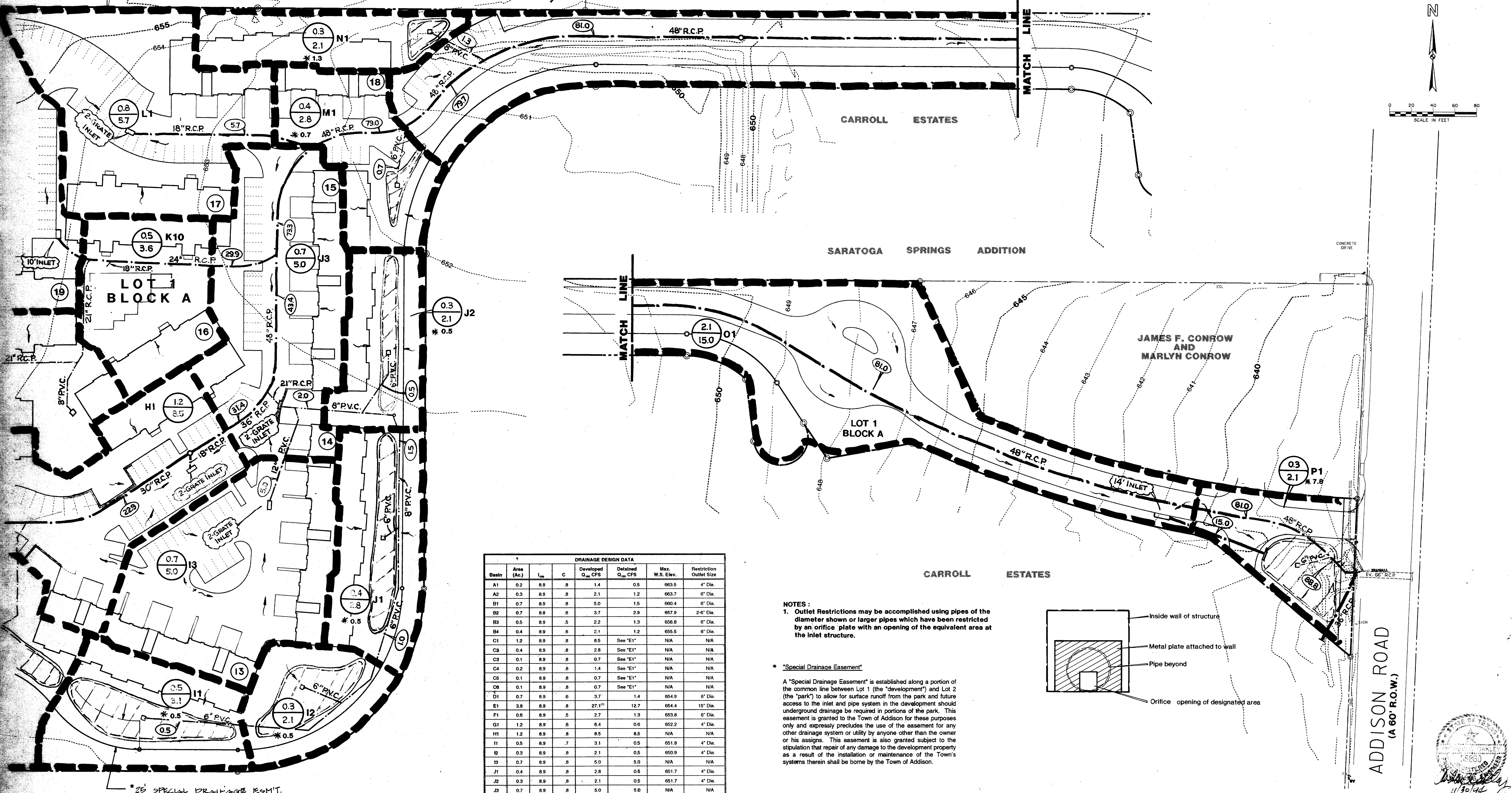
**DRAINAGE AREA MAP  
THE DOMINION  
25.408 ACRES IN 2 LOTS**

SITUATED IN THE  
ELI SHEPHERD SURVEY, ABSTRACT No. 1361  
AND LEVI NOBLE SURVEY, ABSTRACT No. 1098  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

CAMDEN PROPERTY TRUST  
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Sheet No.  
C7 OF 18  
Project No.  
01-1751-03

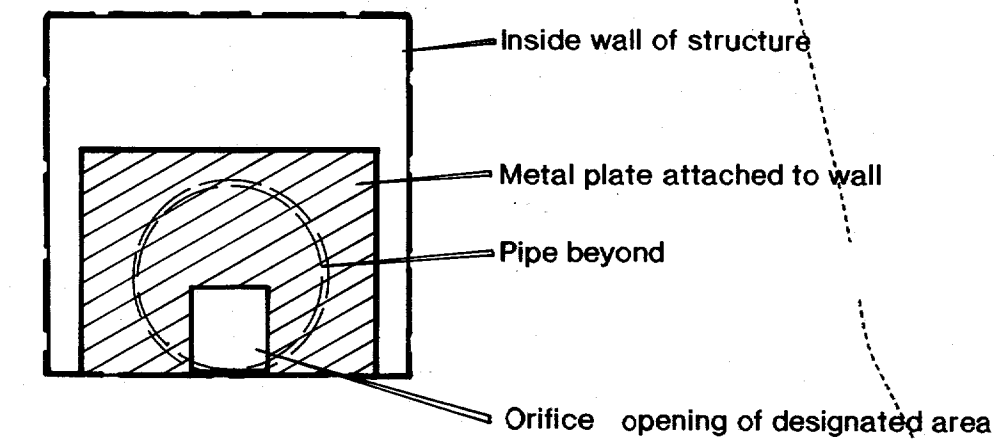
**HUITT - ZOLLARS**  
3131 MCKINNEY AVENUE/SUITE 600  
DALLAS, TEXAS 75244-3311  
DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY



DRAINAGE DESIGN DATA							
Basin	Area (Ac.)	$I_{100}$	C	Developed $Q_{100}$ CFS	Detained $Q_{100}$ CFS	Max. W.S. Elev.	Restriction Outlet Size
A1	0.2	8.9	.8	1.4	0.5	663.5	4" Dia.
A2	0.3	8.9	.8	2.1	1.2	663.7	6" Dia.
B1	0.7	8.9	.8	5.0	1.5	660.4	6" Dia.
B2	0.7	8.9	.8	3.7	2.9	657.9	2-6" Dia.
B3	0.5	8.9	.5	2.2	1.3	656.8	6" Dia.
B4	0.4	8.9	.8	2.1	1.2	655.5	6" Dia.
C1	1.2	8.9	.8	8.5	See "E1"	N/A	N/A
C2	0.4	8.9	.8	2.8	See "E1"	N/A	N/A
C3	0.1	8.9	.8	0.7	See "E1"	N/A	N/A
C4	0.2	8.9	.8	1.4	See "E1"	N/A	N/A
C5	0.1	8.9	.8	0.7	See "E1"	N/A	N/A
C6	0.1	8.9	.8	0.7	See "E1"	N/A	N/A
D1	0.7	8.9	.8	3.7	1.4	654.9	6" Dia.
E1	3.8	8.9	.8	27.1 <sup>10</sup>	12.7	654.4	15" Dia.
F1	0.6	8.9	.5	2.7	1.3	653.8	6" Dia.
G1	1.2	8.9	.6	6.4	0.6	652.2	4" Dia.
H1	1.2	8.9	.8	8.5	8.5	N/A	N/A
I1	0.5	8.9	.7	3.1	0.5	651.8	4" Dia.
I2	0.3	8.9	.8	2.1	0.5	650.9	4" Dia.
I3	0.7	8.9	.8	5.0	5.0	N/A	N/A
J1	0.4	8.9	.8	2.8	0.5	651.7	4" Dia.
J2	0.3	8.9	.8	2.1	0.5	651.7	4" Dia.
J3	0.7	8.9	.8	5.0	5.0	N/A	N/A
K1	0.5	8.9	.8	3.6	1.3	650.0	6" Dia.
K2	0.2	8.9	.8	1.4	0.5	656.5	4" Dia.
K3	1.0	8.9	.8	7.1			N/A
K4	0.5	8.9	.8	3.6			N/A
K5	0.6	8.9	.8	4.3	6.0	655.5	2-6" Dia.
K-6	0.6	8.9	.8	4.3			2-6" Dia.
K-7	0.5	8.9	.8	3.6	3.6	N/A	N/A
K-8	0.4	8.9	.8	2.8	2.8	N/A	N/A
K-9	1.7	8.9	.8	12.1	12.1	N/A	N/A
K-10	0.5	8.9	.8	3.6	3.6	N/A	N/A
L-1	0.8	8.9	.8	5.7	5.7	N/A	N/A
M-1	0.4	8.9	.8	2.8	0.7	650.9	4" Dia.
N-1	0.3	8.9	.8	2.1	1.3	649.9	6" Dia.
O-1	2.1	8.9	.8	15.0 <sup>10</sup>	See "P1"	N/A	N/A
P-1	0.3	8.9	.8	2.1	7.8	639.7	6" Dia.

NOTES:  
 1. Outlet Restrictions may be accomplished using pipes of the diameter shown or larger pipes which have been restricted by an orifice plate with an opening of the equivalent area at the inlet structure.

\* "Special Drainage Easement"  
 A "Special Drainage Easement" is established along a portion of the common line between Lot 1 (the "development") and Lot 2 (the "park") to allow for surface runoff from the park and future access to the inlet and pipe system in the development should underground drainage be required in portions of the park. This easement is granted to the Town of Addison for these purposes only and expressly precludes the use of the easement for any other drainage system or utility by anyone other than the owner or his assigns. This easement is also granted subject to the stipulation that repair of any damage to the development property as a result of the installation or maintenance of the Town's systems therein shall be borne by the Town of Addison.



\*25' SPECIAL DRAINAGE ESMT.

\*14.8 from C1-C6  
 \*Add to P1  
 \*1 Sq. Ft. opening grate inlet (25% clogging factor)

DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
	REVISIONS & ISSUE DATES	

BENCH MARK:  
 Top Disk South End Of Curb Inlet On The West Side Of Addison Road 735' +/- North Of Sojourn Drive.  
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 ELEVATION = 661.37

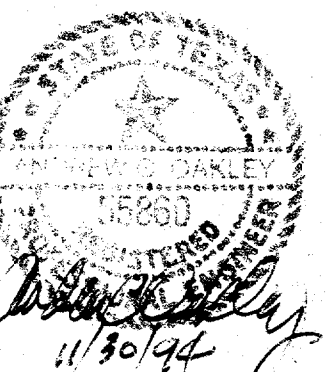
**DRAINAGE AREA MAP**  
**THE DOMINION**  
 25.408 ACRES IN 2 LOTS

SITUATED IN THE  
 ELI SHEPHERD SURVEY, ABSTRACT No. 1361  
 AND LEVI NOBLE SURVEY, ABSTRACT No. 1098  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

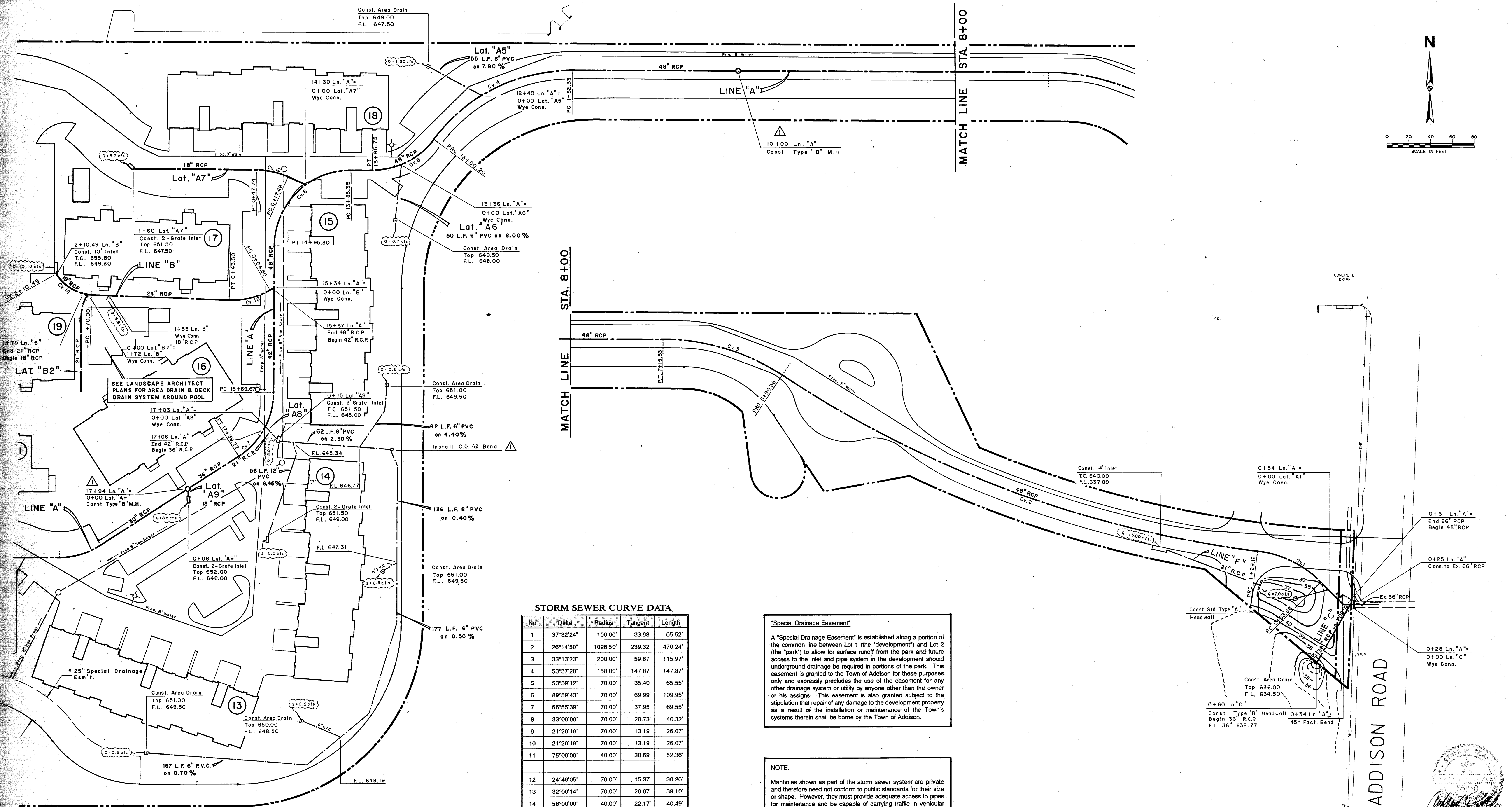
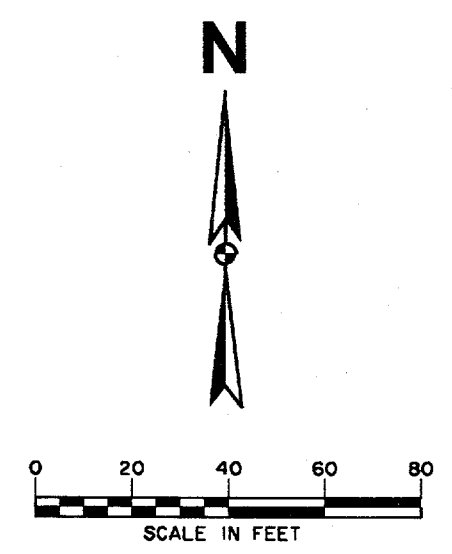
CAMDEN PROPERTY TRUST  
 3200 SOUTHWEST FREEWAY  
 1500 PHOENIX TOWER  
 HOUSTON, TEXAS 77027

Sheet No.  
 C8 OF 18  
 Project No.  
 01-1751-03

**HUITT - ZOLLARS**  
 3131 MCKINNEY AVENUE/SUITE 600  
 DALLAS, TEXAS 75244-3311  
 DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY







**STORM SEWER CURVE DATA**

No.	Delta	Radius	Tangent	Length
1	37°32'24"	100.00'	33.98'	65.52'
2	26°14'50"	1026.50'	239.32'	470.24'
3	33°13'23"	200.00'	59.67'	115.97'
4	53°37'20"	158.00'	147.87'	147.87'
5	53°39'12"	70.00'	35.40'	65.55'
6	89°59'43"	70.00'	69.99'	109.95'
7	56°55'39"	70.00'	37.95'	69.55'
8	33°00'00"	70.00'	20.73'	40.32'
9	21°20'19"	70.00'	13.19'	26.07'
10	21°20'19"	70.00'	13.19'	26.07'
11	75°00'00"	40.00'	30.69'	52.36'
12	24°46'05"	70.00'	15.37'	30.26'
13	32°00'14"	70.00'	20.07'	39.10'
14	58°00'00"	40.00'	22.17'	40.49'
15	90°00'00"	40.00'	40.00'	62.83'
16	30°00'00"	40.00'	10.72'	20.94'
17	20°00'00"	70.00'	12.34'	24.43'
18	20°00'00"	70.00'	12.34'	24.43'
19	30°00'00"	70.00'	18.76'	36.65'
20	30°00'00"	40.00'	10.72'	20.94'

**"Special Drainage Easement"**  
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**NOTE:**  
 Manholes shown as part of the storm sewer system are private and therefore need not conform to public standards for their size or shape. However, they must provide adequate access to pipes for maintenance and be capable of carrying traffic in vehicular areas.

**NOTES AND SPECIFICATIONS  
 STORM SEWER**

- See "General Notes - All Disciplines" on the cover sheet for the civil plans for this project.
- Unless specifically stated otherwise in plans or contract documents, the controlling specifications for all work within public rights-of-way and easements shall be the **Standard Specifications for Public Works Construction**, Second Edition 1987, by the North Central Texas Council of Governments (the "standard Specifications"), as amended. Copies of the Standard Specifications may be purchased by mail or over the counter from the North Central Texas Council of Governments, 616 Six Flags Drive, P.O. Box Drawer COG, Arlington, Texas 76005-5888, phone Metro 817/640-3300. Bulk discounts are available. This document is copyrighted.
- All concrete storm sewer pipe shall be ASTM C76, RCP Class III with embedment per details on plans.
- All PVC storm sewer shall be SDR 35 sewer pipe with embedment per detail on plans.
- All utility and storm sewer trenches shall be mechanically compacted per City specifications. Water jetting is **not** an acceptable compaction method.
- A concrete collar or clay cut-off shall be placed in trenches where utility lines enter building slab areas to prevent migration of water along the granular embedment materials.

DATE	DESCRIPTION	REF. NO.
2/01/95	ADDED MANHOLES & CLEANOUTS	
12/28/94	CITY SUBMITTAL	
	REVISIONS & ISSUE DATES	

**BENCH MARK:**  
 Top Disk South End Of Curb Inlet On The West Side Of Addison Road 735' +/- North Of Sojourn Drive.  
**ELEVATION = 640.12**

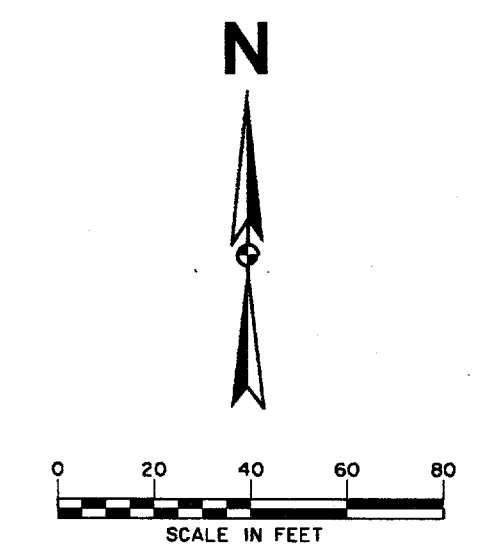
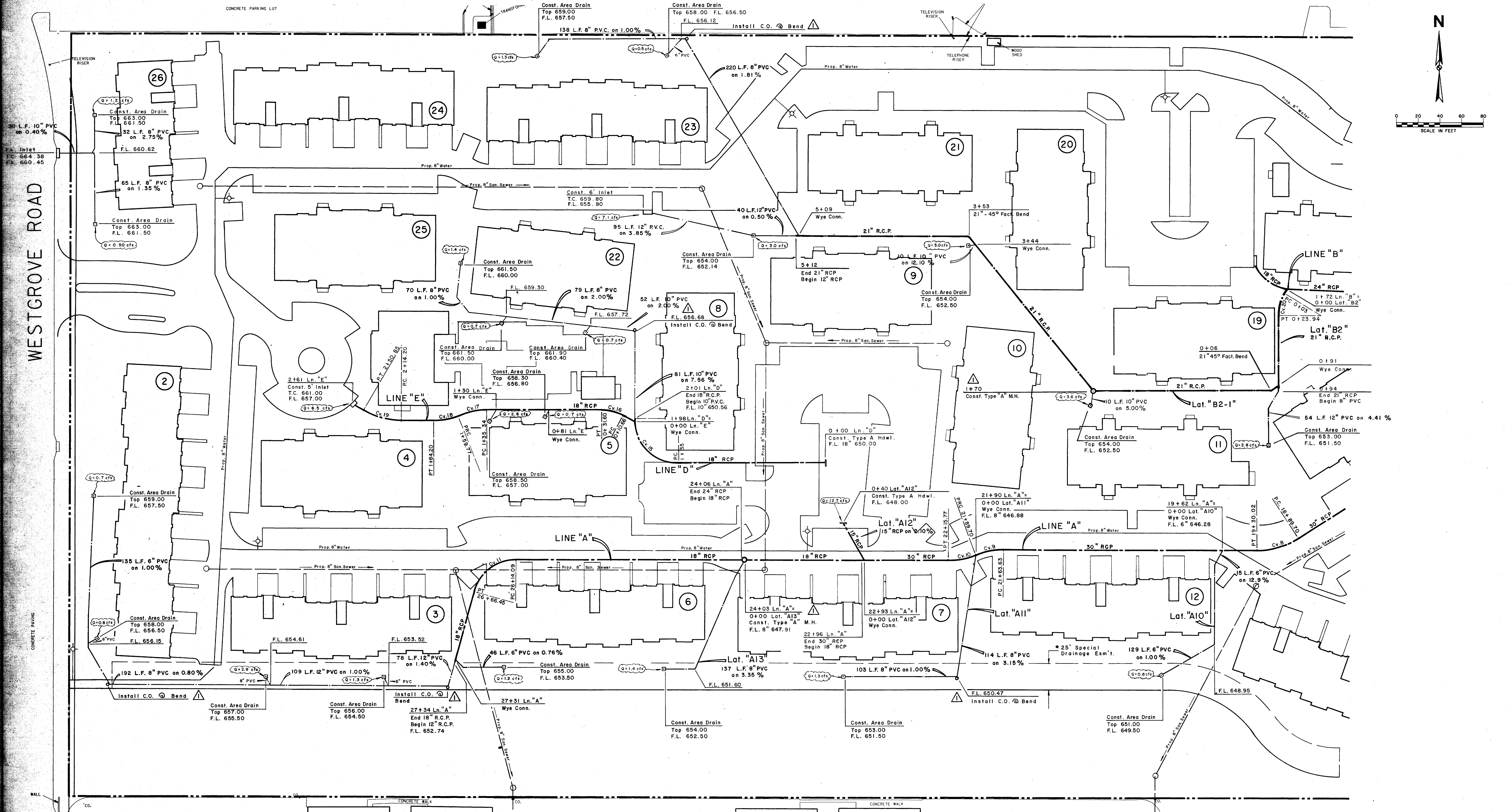
**"r" Cut North End Of Recessed Inlet On The West Side Of Westgrove 665' +/- North Of Sojourn Drive.**  
**ELEVATION = 661.37**

**STORM SEWER PLAN  
 THE DOMINION  
 22.143 ACRE TRACT AND  
 3.265 ACRE TRACT OF LAND**  
 SITUATED IN THE  
 ELI SHEPHERD SURVEY, ABSTRACT No. 1361  
 AND LEVI NOBLE SURVEY, ABSTRACT No. 1098  
 CITY OF ADDISON  
 DALLAS COUNTY, TEXAS

PREPARED FOR: CAMDEN PROPERTY TRUST  
 3200 SOUTHWEST FREEWAY  
 1500 PHOENIX TOWER  
 HOUSTON, TEXAS 77027

DRAWN BY: C9 OF 18  
 PROJECT No.: 01-1751-03

**HUITT - ZOLLARS**  
 3131 MCKINNEY AVENUE/SUITE 600  
 DALLAS, TEXAS/214-871-3311  
 DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY



WESTGROVE ROAD

**"Special Drainage Easement"**  
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**Note:**  
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DATE	DESCRIPTION	REF. NO.
2/01/95	ADDED MANHOLES & CLEANOUTS, REVISED Lot. "B2" & "B2-1"	▲
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		

*Handwritten signature and date: 11/30/94*

**BENCH MARK:**  
 \*Top Disk South End Of Curb Inlet On The West Side Of Addison Road 735' +/- North Of Sojourn Drive.  
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 \*Cut North End Of Recessed Inlet On The West Side Of Westgrove 665' +/- North Of Sojourn Drive.  
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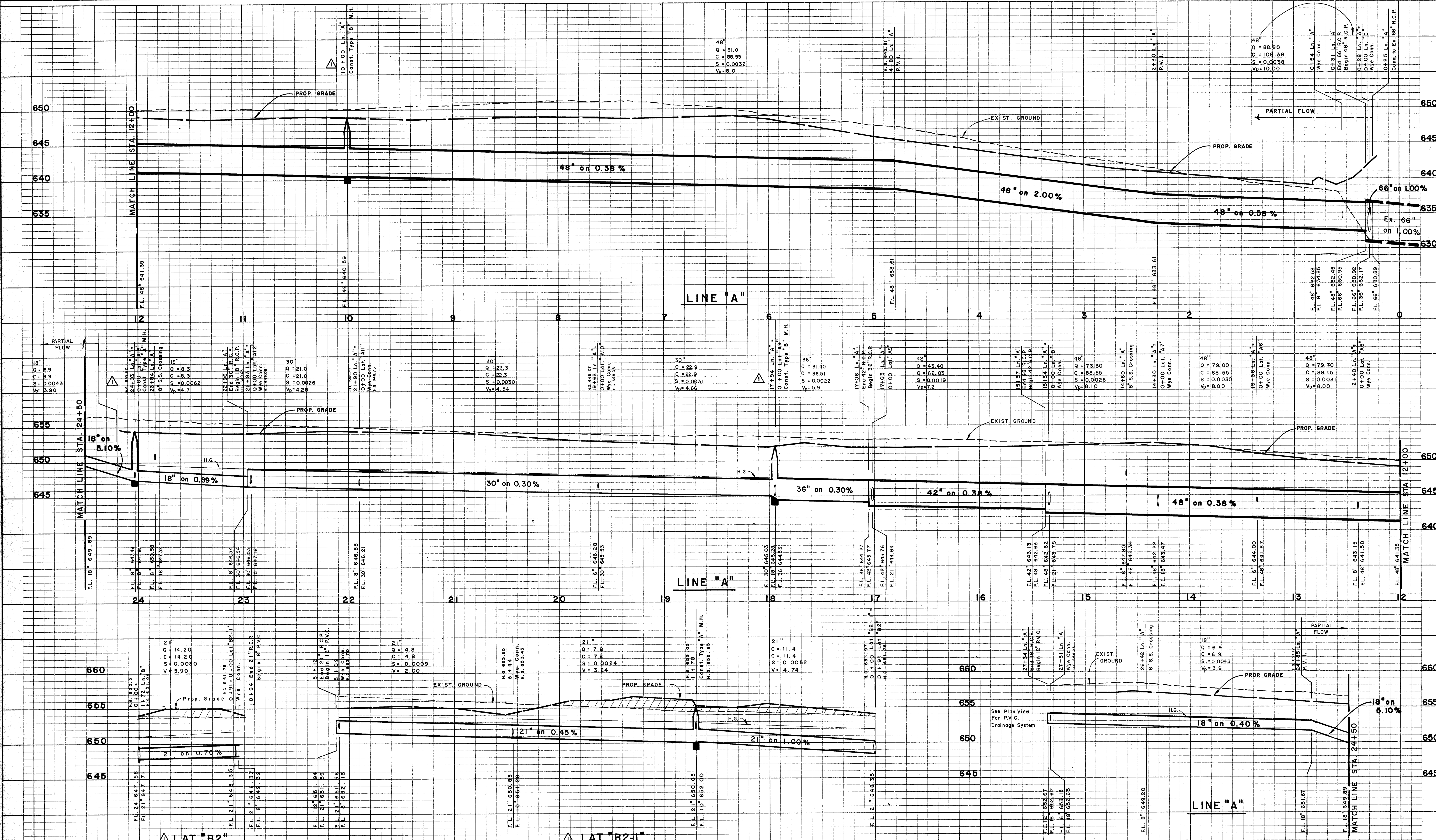
**STORM SEWER PLAN  
 THE DOMINION  
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 CITY OF ADDISON,  
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PREPARED FOR: CAMDEN PROPERTY TRUST  
 3200 SOUTHWEST FREEWAY  
 1500 PHOENIX TOWER  
 HOUSTON, TEXAS 77027

OWNED BY: HUITT - ZOLLARS  
 SHEET NO.: C10 OF 18  
 PROJECT NO.: 01-1751-03  
 3131 MCKINNEY AVENUE/SUITE 600  
 DALLAS, TEXAS 75241-3311  
 DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY

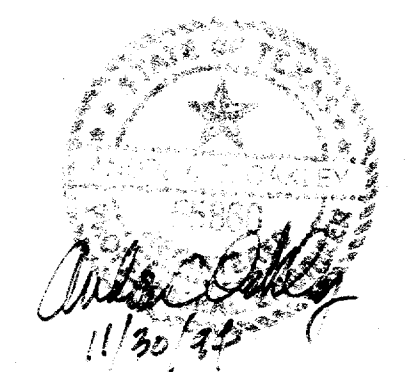
C-10

THE CITY OF ADDISON, TEXAS  
 ENGINEERING DEPARTMENT  
 11/20/95



Note:  
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DATE	DESCRIPTION	REF. NO.
2/01/95	ADDED MANHOLES, ADDED PROFILES FOR Lot. "B2" & "B2-1"	△
12/28/94	CITY SUBMITTAL	
DATE	DESCRIPTION	REF. NO.
REVISIONS & ISSUE DATES		



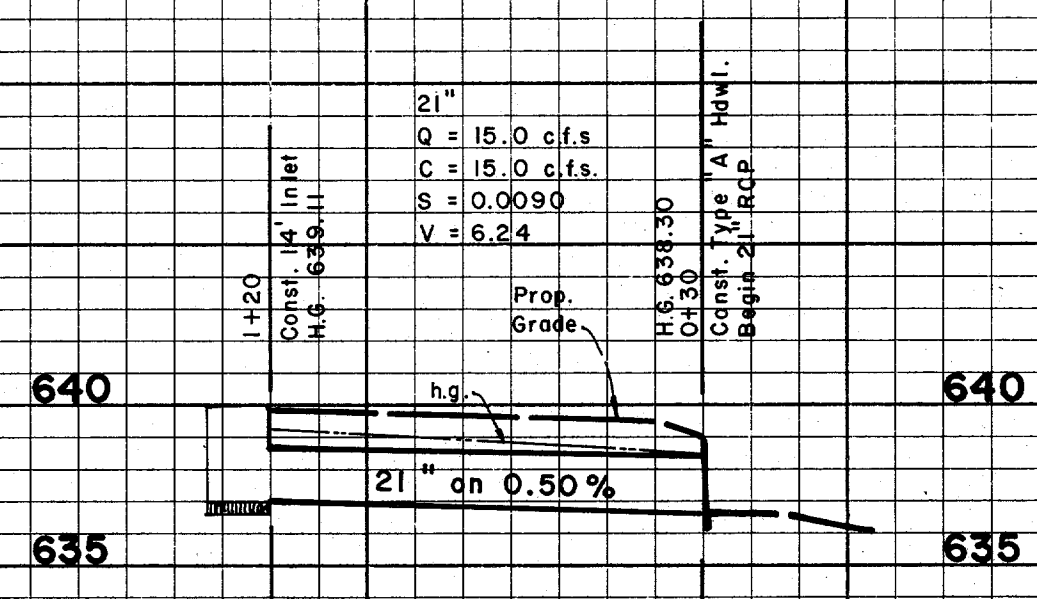
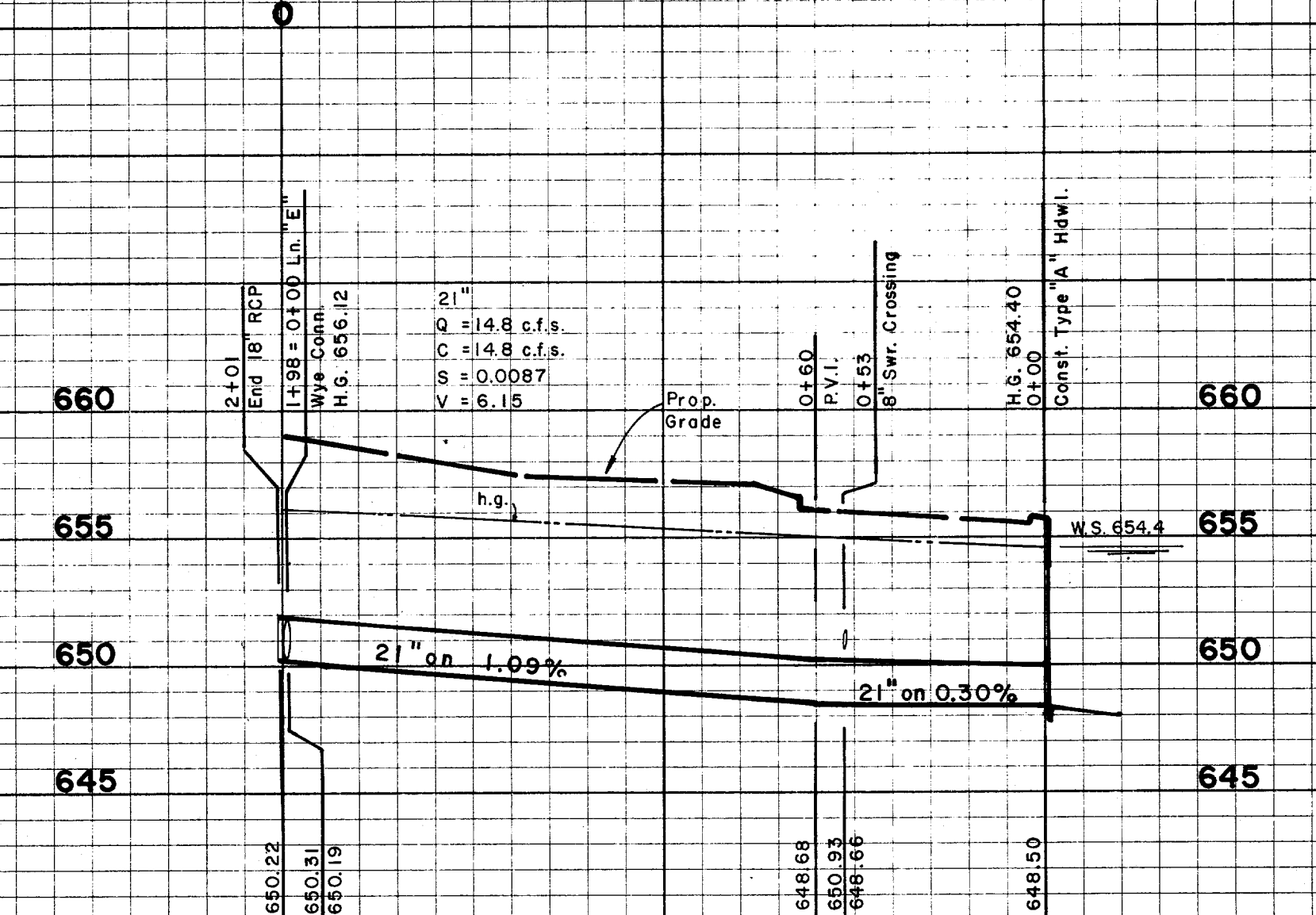
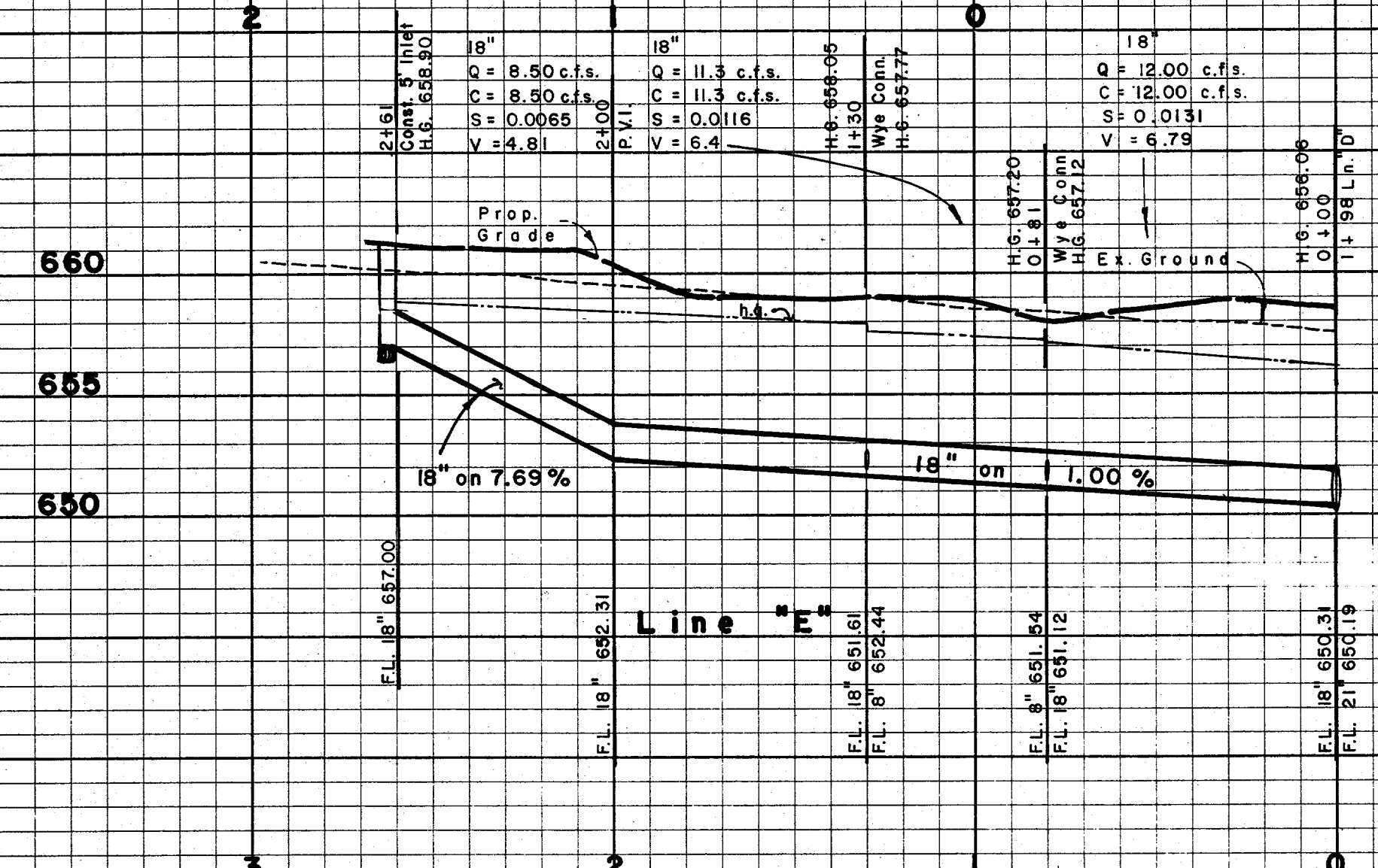
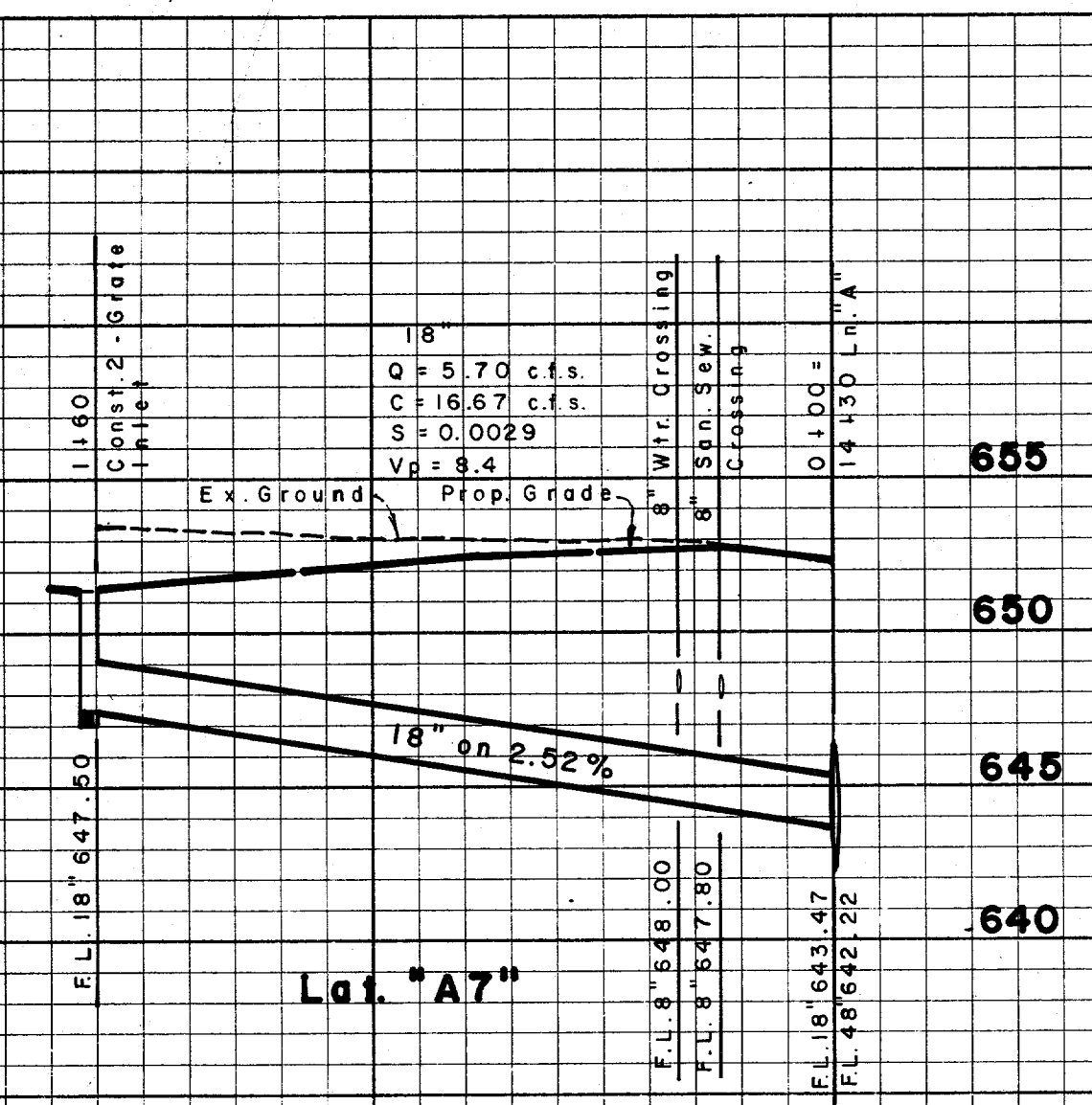
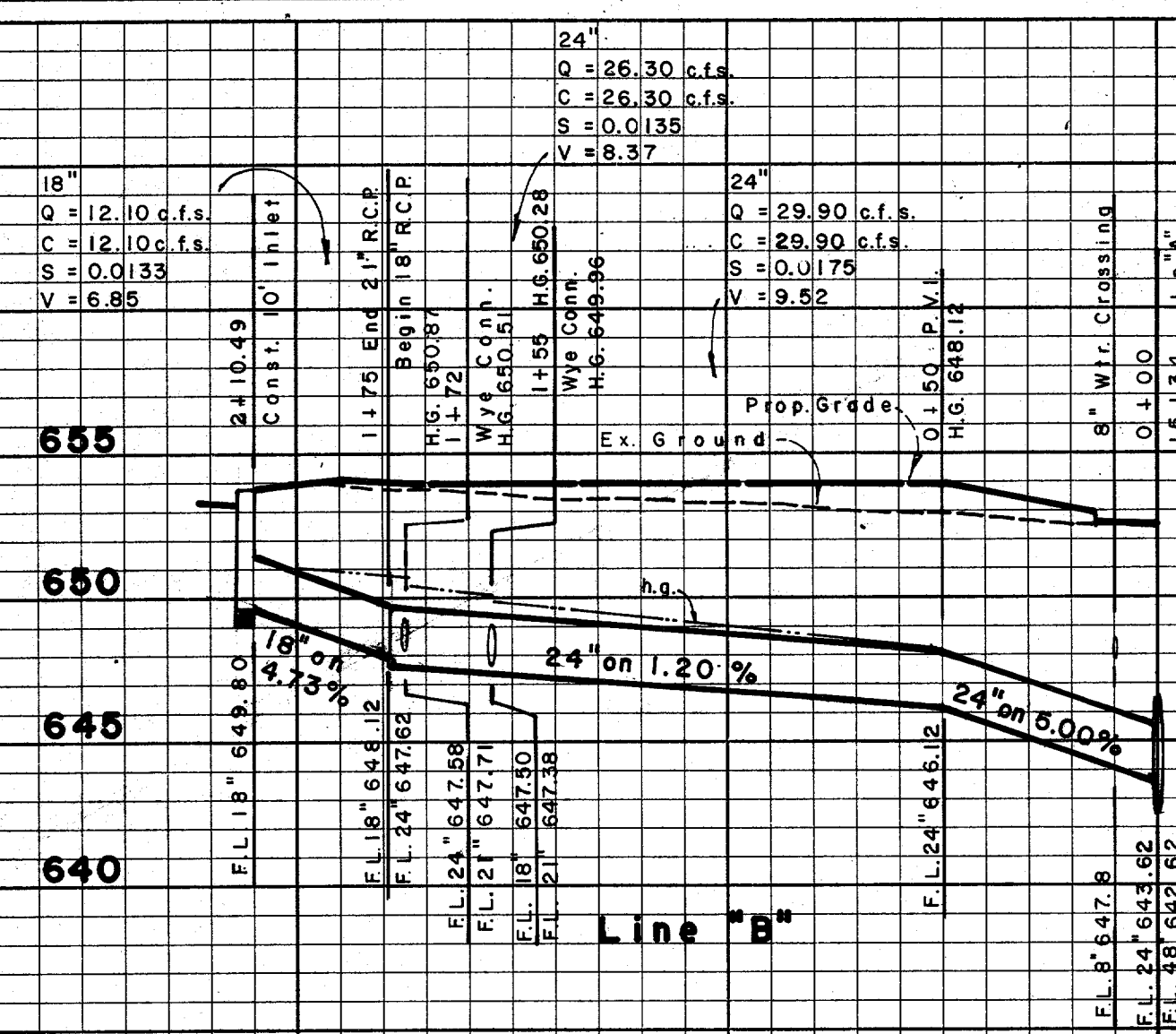
BENCH MARK:  
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 "A" Cut North End Of Recessed Inlet On The West Side Of Westgrove 665' +/- North Of Sojourn Drive.  
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**STORM SEWER PROFILES**

**THE DOMINION**

TOWN OF ADDISON DALLAS COUNTY, TEXAS

CAMDEN PROPERTY TRUST 3200 SOUTHWEST FREEWAY 1600 PHOENIX TOWER HOUSTON, TEXAS 77027	Sheet No. C11 of 18	<b>HUITT - ZOLLARS</b> 3131 MCKINNEY AVENUE STE. 600 DALLAS, TEXAS 214-871-3311
	Project No. 01-1751-03	



**STORM SEWER PROFILES**

**THE DOMINION**

TOWN OF ADDISON DALLAS COUNTY, TEXAS

CAMDEN PROPERTY TRUST  
3200 SOUTHWEST FREEWAY  
1500 PHOENIX TOWER  
HOUSTON, TEXAS 77027

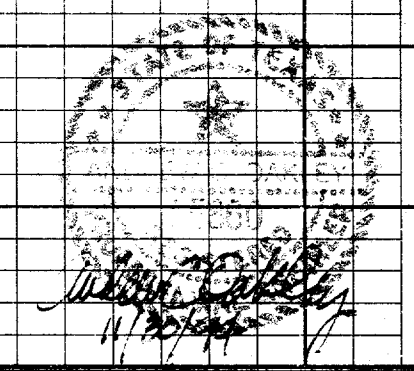
Sheet No.  
C12 of 18  
Project No.  
01-1761-03

**HUITT-ZOLLARS**  
3131 MCKINNEY AVENUE STE. 600  
DALLAS, TEXAS 214-871-3311  
DALLAS/FORT WORTH/PHOENIX/HOUSTON

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**\*" Cut North End Of Recessed Inlet On The West Side  
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**ELEVATION = 661.37****

DATE	DESCRIPTION	REF NO.
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		



TSAY CONCRETE PARKING LOT ADDITION

PINEAPPLE PLACE



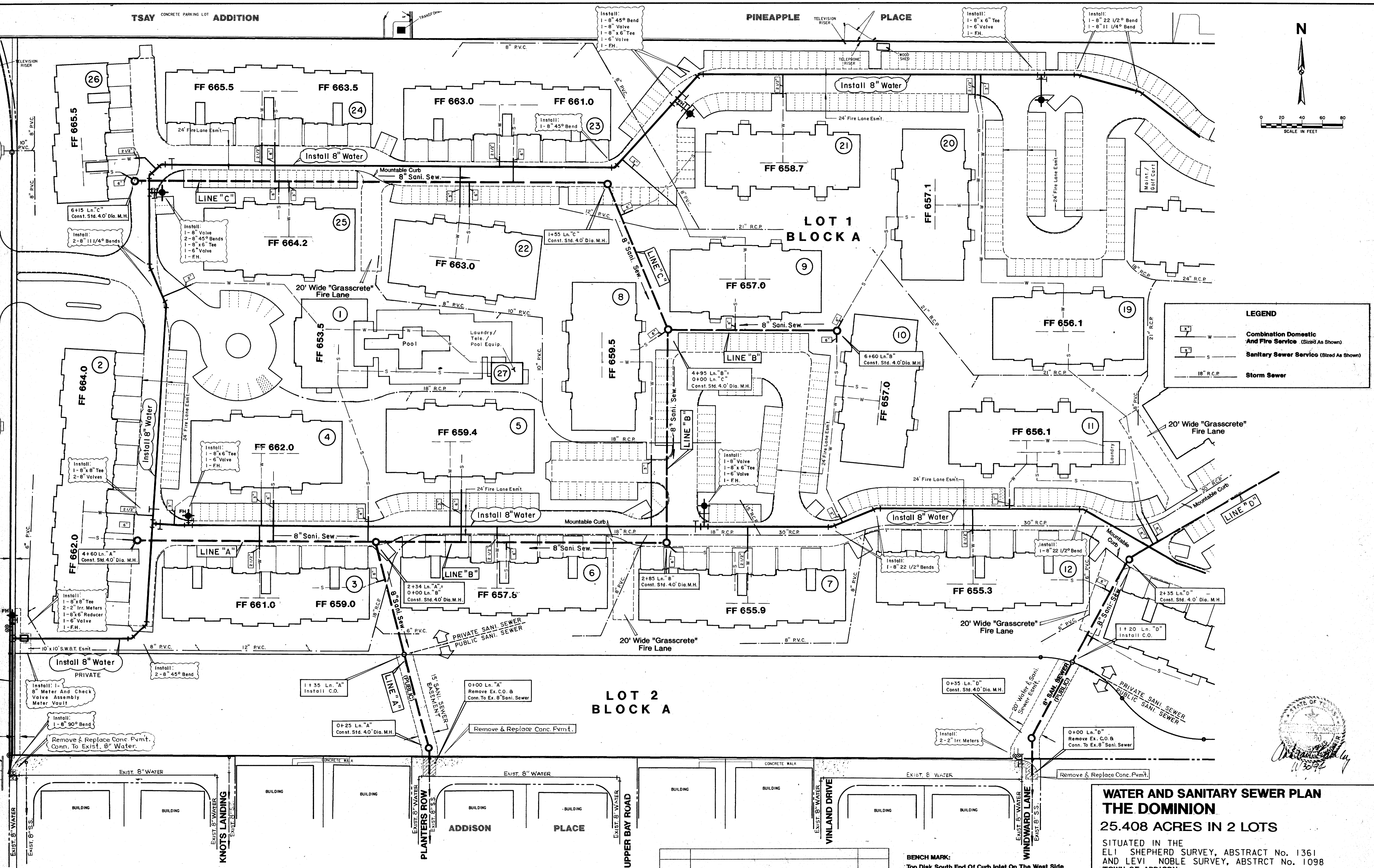
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SCALE IN FEET

WESTGROVE ROAD  
(14.30' R.O.W.)

5' R.O.W. DEDICATION

CONCRETE PAVING

5' WATER LINE EASEMENT



**LEGEND**

- Combination Domestic And Fire Service (Sized As Shown)
- Sanitary Sewer Service (Sized As Shown)
- Storm Sewer

**LOT 2 BLOCK A**

**WATER AND SANITARY SEWER PLAN  
THE DOMINION**

25.408 ACRES IN 2 LOTS

SITUATED IN THE  
ELI SHEPHERD SURVEY, ABSTRACT No. 1361  
AND LEVI NOBLE SURVEY, ABSTRACT No. 1098  
TOWN OF ADDISON,  
DALLAS COUNTY, TEXAS

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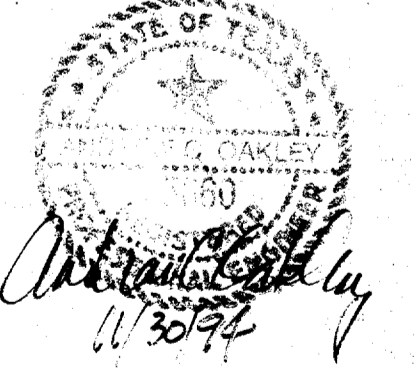
DATE	DESCRIPTION	REF. NO.
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PREPARED FOR  
CAMDEN PROPERTY TRUST  
3200 SOUTHWEST FREEWAY  
1500 PHOENIX TOWER  
HOUSTON, TEXAS 77027

DRAWN BY  
C13 OF 18

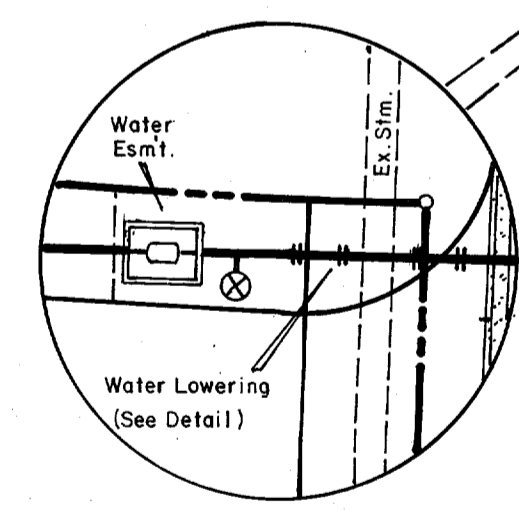
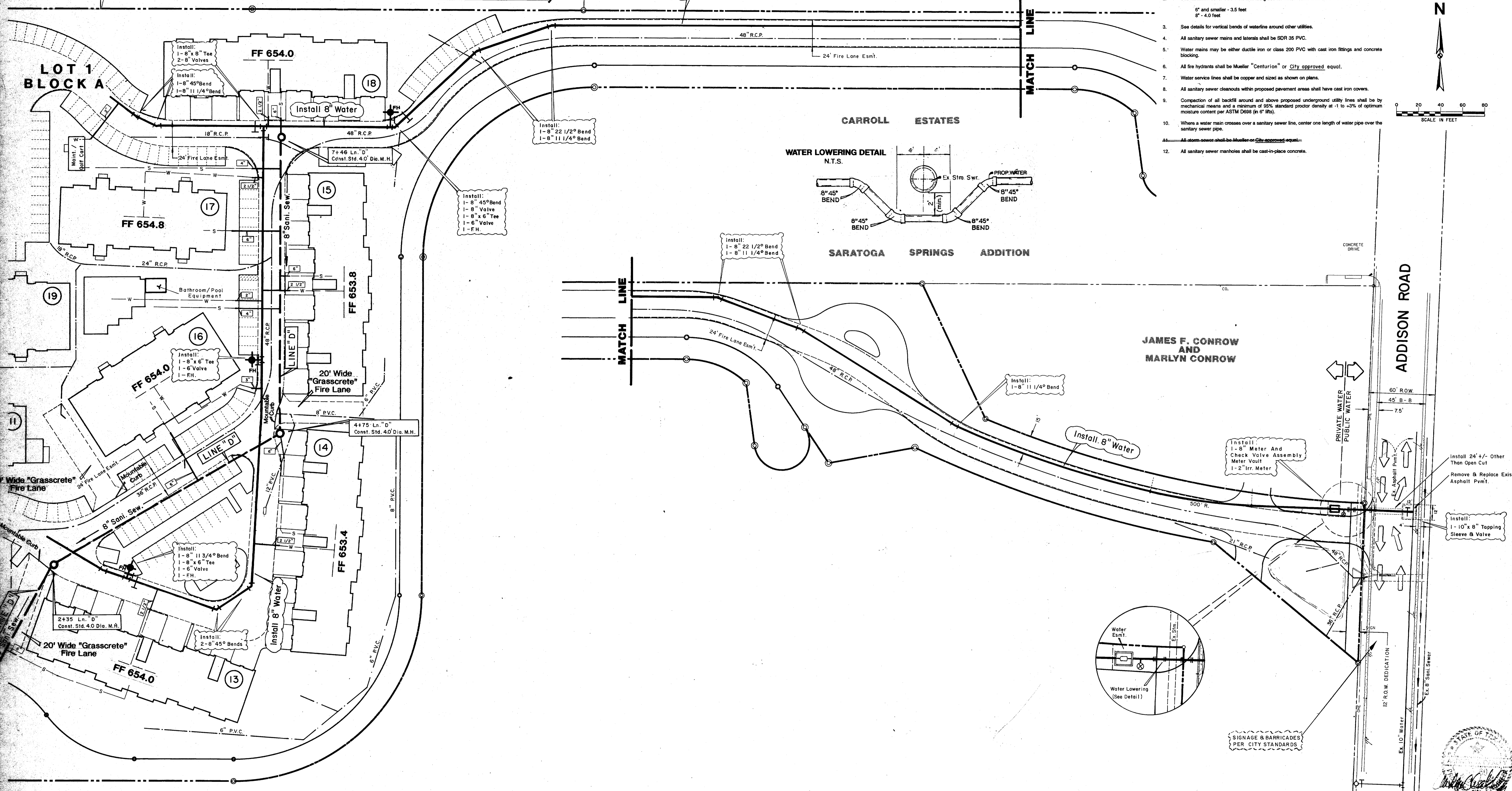
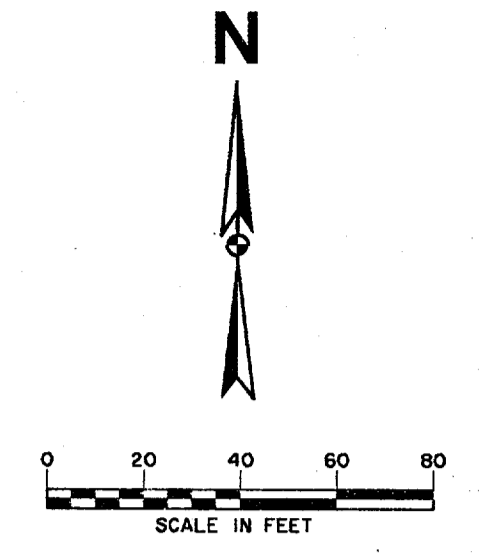
PROJECT NO.  
01-1751-03

**HUITT - ZOLLARS**  
3131 MCKINNEY AVENUE/SUITE 600  
DALLAS, TEXAS 75244-8711-3311  
DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY



C-13

- See "General Notes - All Disciplines" on cover sheet.
- The minimum cover below the finished grade for water mains shall be as follows:  
6" and smaller - 3.5 feet  
8" - 4.0 feet
- See details for vertical bends of waterline around other utilities.
- All sanitary sewer mains and laterals shall be SDR 35 PVC.
- Water mains may be either ductile iron or class 200 PVC with cast iron fittings and concrete blocking.
- All fire hydrants shall be Mueller "Centurion" or City approved equal.
- Water service lines shall be copper and sized as shown on plans.
- All sanitary sewer cleanouts within proposed pavement areas shall have cast iron covers.
- Compaction of all backfill around and above proposed underground utility lines shall be by mechanical means and a minimum of 95% standard proctor density at -1 to +3% of optimum moisture content per ASTM D698 (in 6" lifts).
- Where a water main crosses over a sanitary sewer line, center one length of water pipe over the sanitary sewer pipe.
- All storm sewers shall be Mueller or City approved equal.
- All sanitary sewer manholes shall be cast-in-place concrete.



**LEGEND**

	Combination Domestic and Fire Service (Sized As Shown)
	Sanitary Sewer Service (Sized As Shown)
	Storm Sewer

DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		

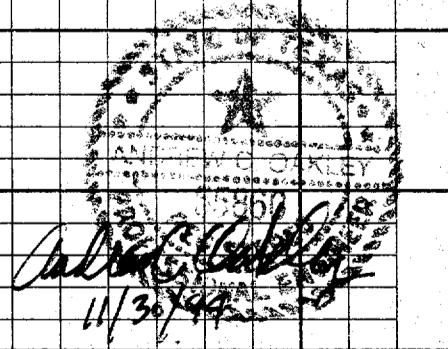
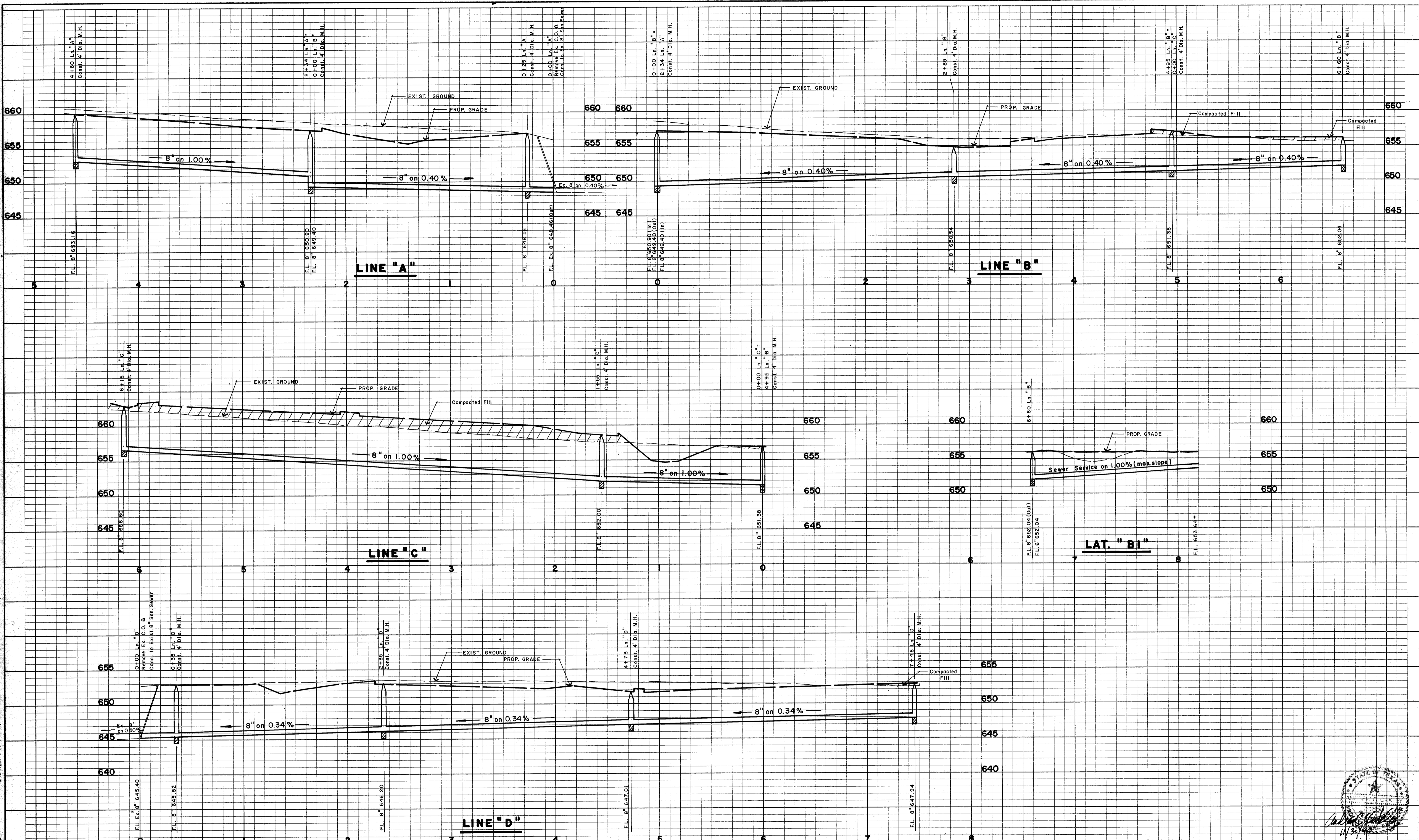
**BENCH MARK:**  
Top Disk South End Of Curb Inlet On The West Side Of Addison Road 735' +/- North Of Sojourn Drive.  
ELEVATION = 640.12

\*" Cut North End Of Recessed Inlet On The West Side Of Westgrove 665' +/- North Of Sojourn Drive.  
ELEVATION = 661.37

**WATER AND SANITARY SEWER PLAN**  
**THE DOMINION**  
25.408 ACRES IN 2 LOTS

SITUATED IN THE ELI SHEPHERD SURVEY, ABSTRACT No. 1361 AND LEVI NOBLE SURVEY, ABSTRACT No. 1098 TOWN OF ADDISON, DALLAS COUNTY, TEXAS

PREPARED FOR CAMDEN PROPERTY TRUST 3200 SOUTHWEST FREEWAY HOUSTON, TEXAS 77027	PREPARED BY <b>HUITT - ZOLLARS</b> 3131 MCKINNEY AVENUE/SUITE 600 DALLAS, TEXAS 75244-8711-3311 DALLAS / FORT WORTH / PHOENIX / ORANGE COUNTY
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**SANITARY SEWER PROFILES**

**THE DOMINION**

TOWN OF ADDISON DALLAS COUNTY, TEXAS

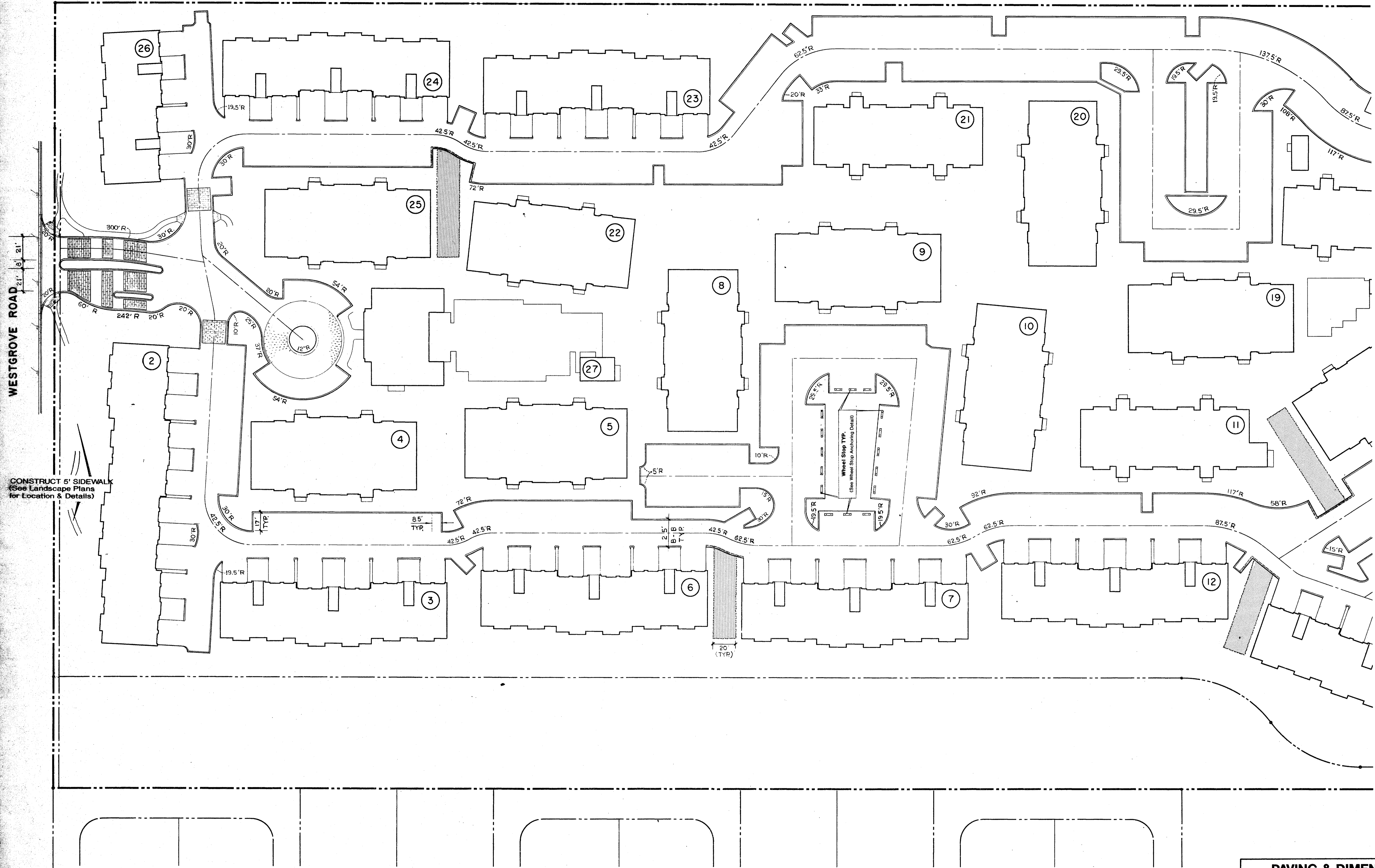
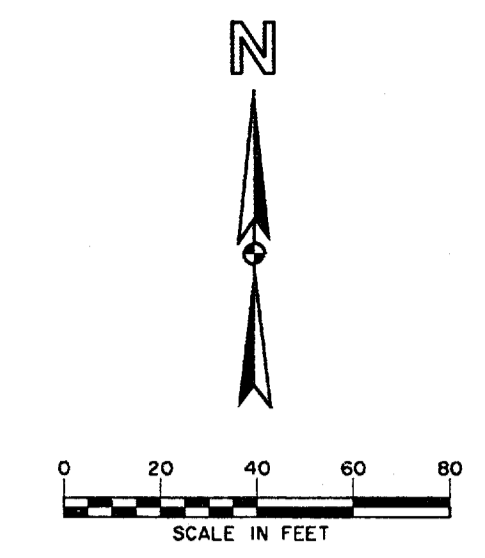
DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		

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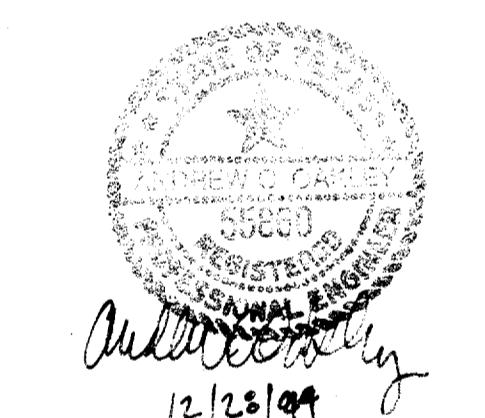
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CAMDEN PROPERTY TRUST  
3200 SOUTHWEST FREEWAY  
1500 PHOENIX TOWER  
HOUSTON, TEXAS 77027

**HUITT - ZOLLARS**  
Sheet No. C15 of 18  
Project No. 01-1761-03  
3131 MCKINNEY AVENUE STE. 600  
DALLAS, TEXAS 214-871-3311  
DALLAS/FORT WORTH/PHOENIX/HOUSTON



CONSTRUCT 5' SIDEWALK  
(See Landscape Plans  
for Location & Details)



**LEGEND**

- 6" Standard Curb
- No Curb
- Depressed Curb & Barrier Free Ramp
- Mountable Curb
- Grass-Crete  
Uni-green By Pavestone  
Or Equal
- Depressed Pavement  
(For Decorative Pavers)  
See Paving Details

DATE	DESCRIPTION	REF. NO.
12/28/94	CITY SUBMITTAL	
REVISIONS & ISSUE DATES		

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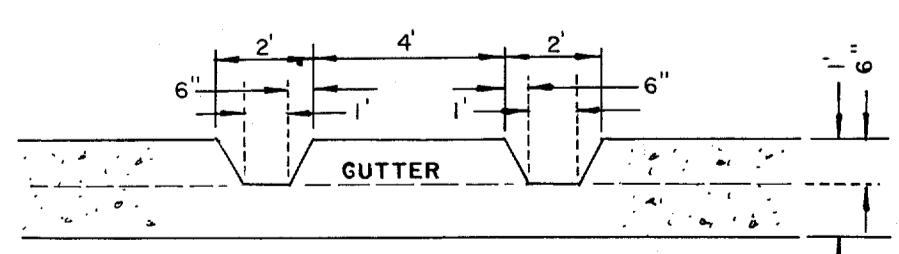
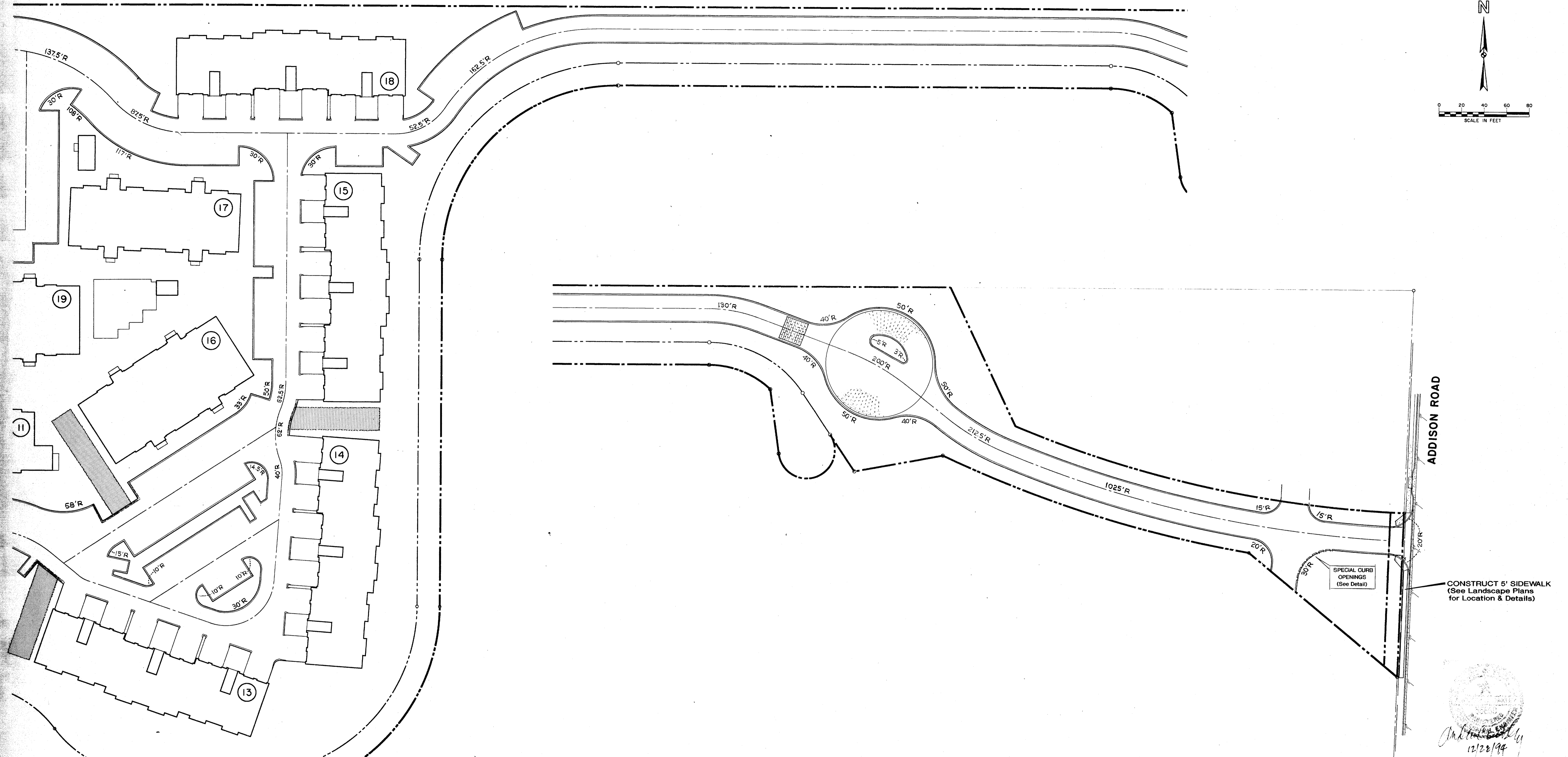
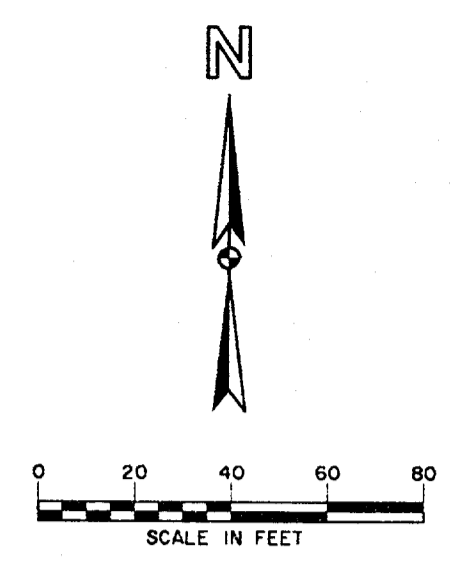
**PAVING & DIMENSION CONTROL PLAN**

**THE DOMINION**

TOWN OF ADDISON DALLAS COUNTY, TEXAS

CAMDEN PROPERTY TRUST 3200 SOUTH-WEST FREEWAY 1600 PHOENIX TOWER HOUSTON, TEXAS 77027	<b>HUITT-ZOLLARS</b> Sheet No. _____ of _____ Project No. _____ 3131 MCKINNEY AVENUE STE. 600 DALLAS, TEXAS 214-871-3311 DALLAS/FORT WORTH/PHOENIX/HOUSTON 01-1761-03
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**SPECIAL CURB OPENING DETAIL**  
N.T.S.

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Top Disk South End Of Curb Inlet On The West Side  
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Or Equal
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(For Decorative Pavers)  
See Paving Details

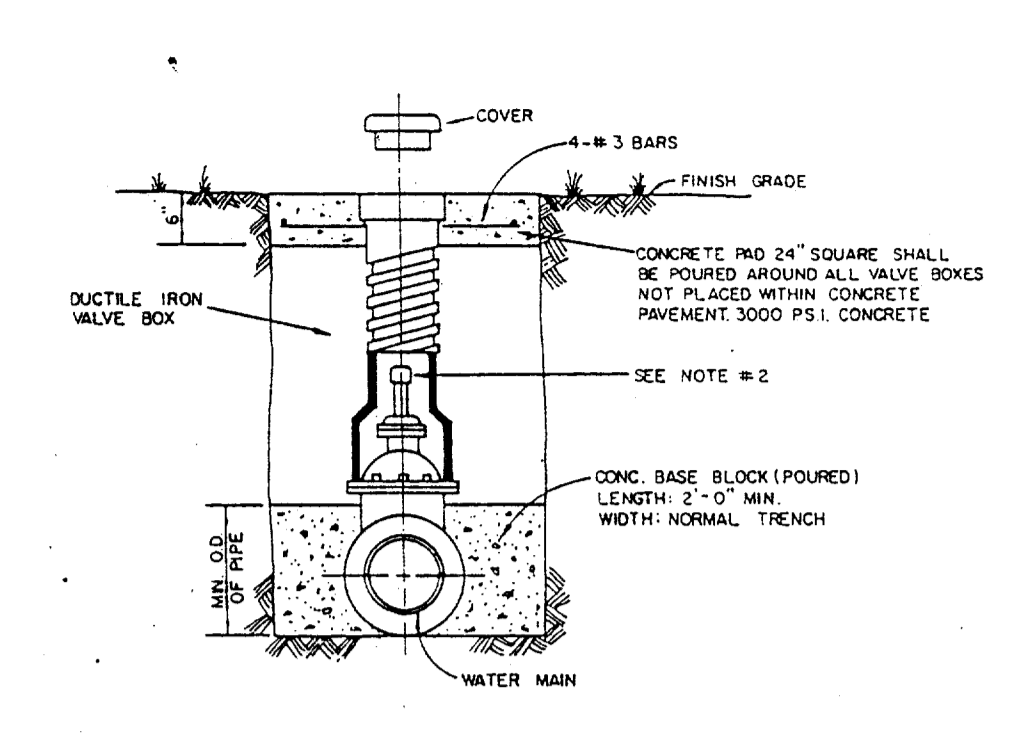
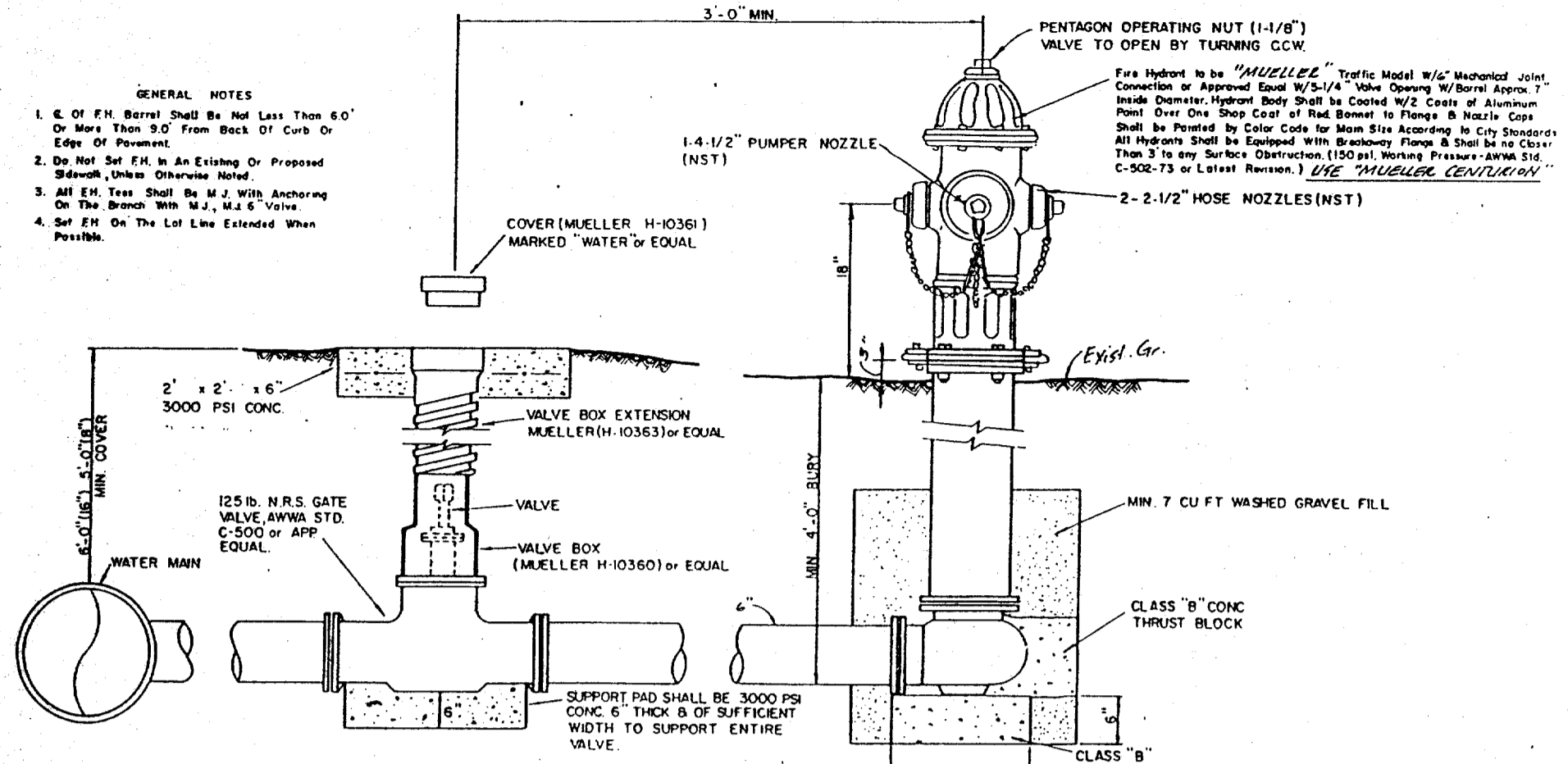
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DATE	DESCRIPTION	REF. NO.
REVISIONS & ISSUE DATES		

**PAVING & DIMENSION CONTROL PLAN**

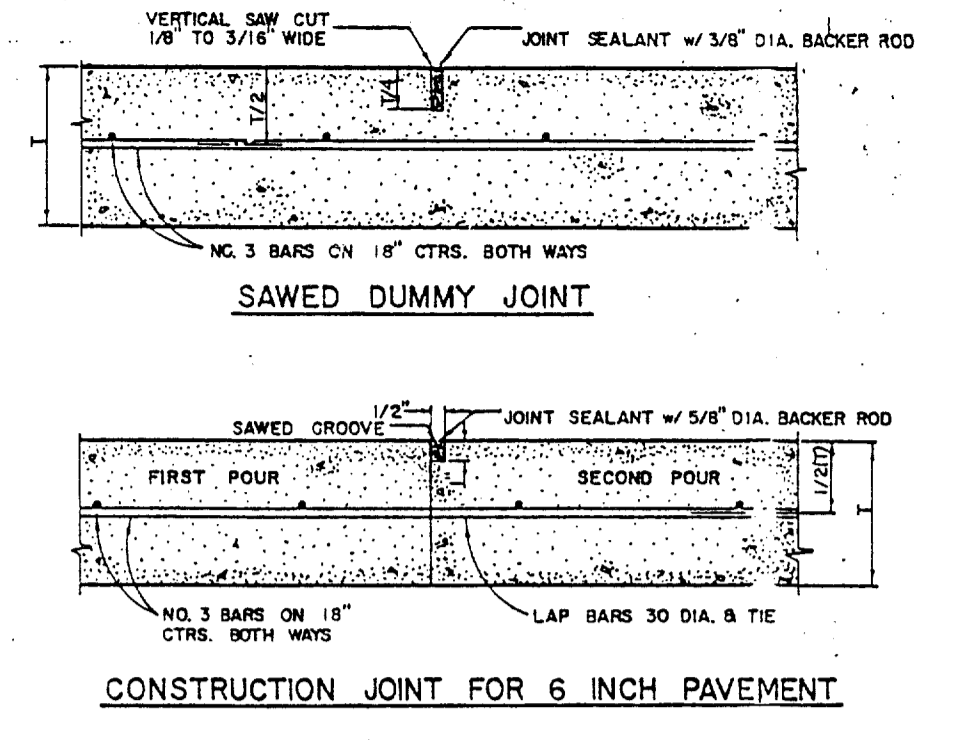
**THE DOMINION**

**TOWN OF ADDISON DALLAS COUNTY, TEXAS**

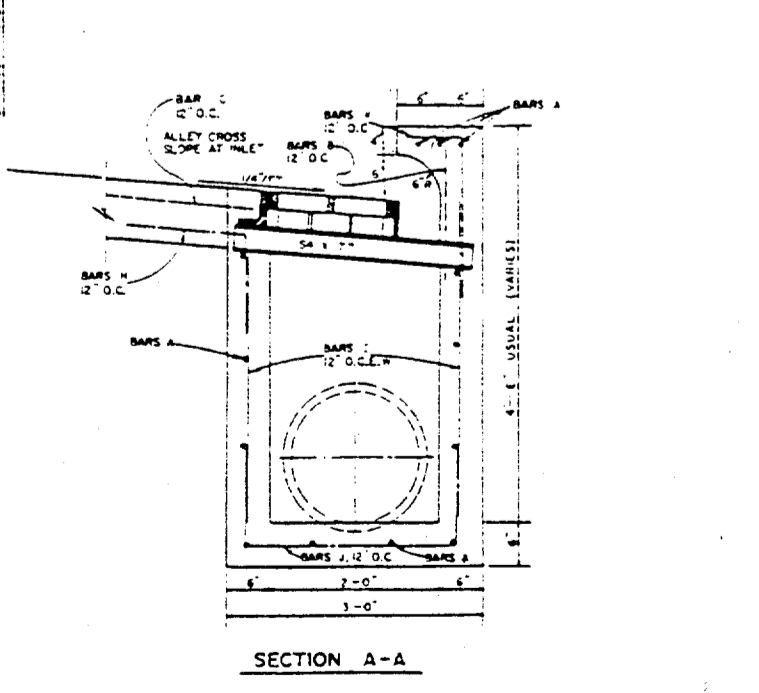
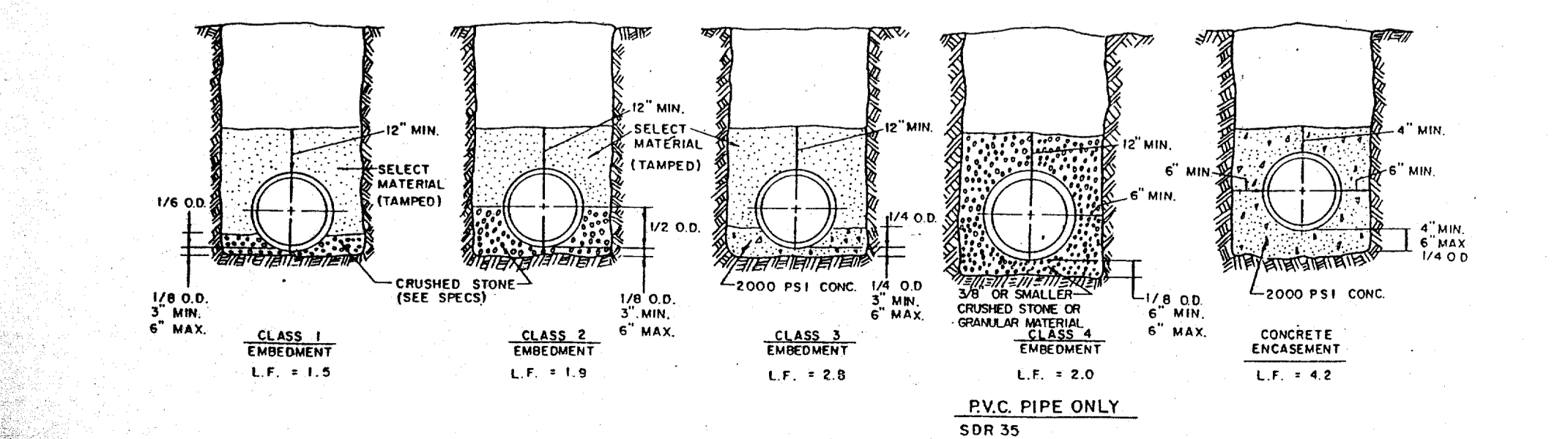
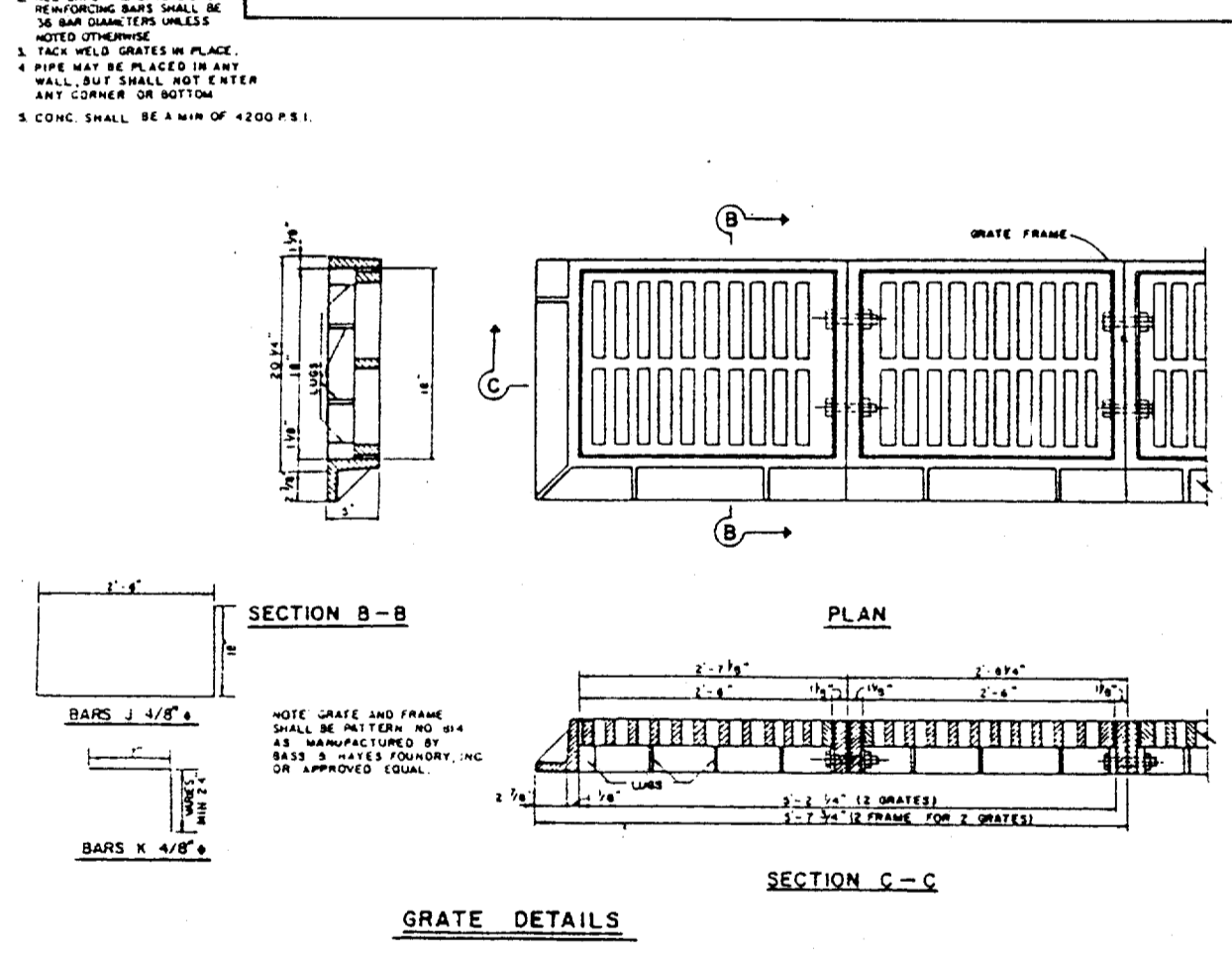
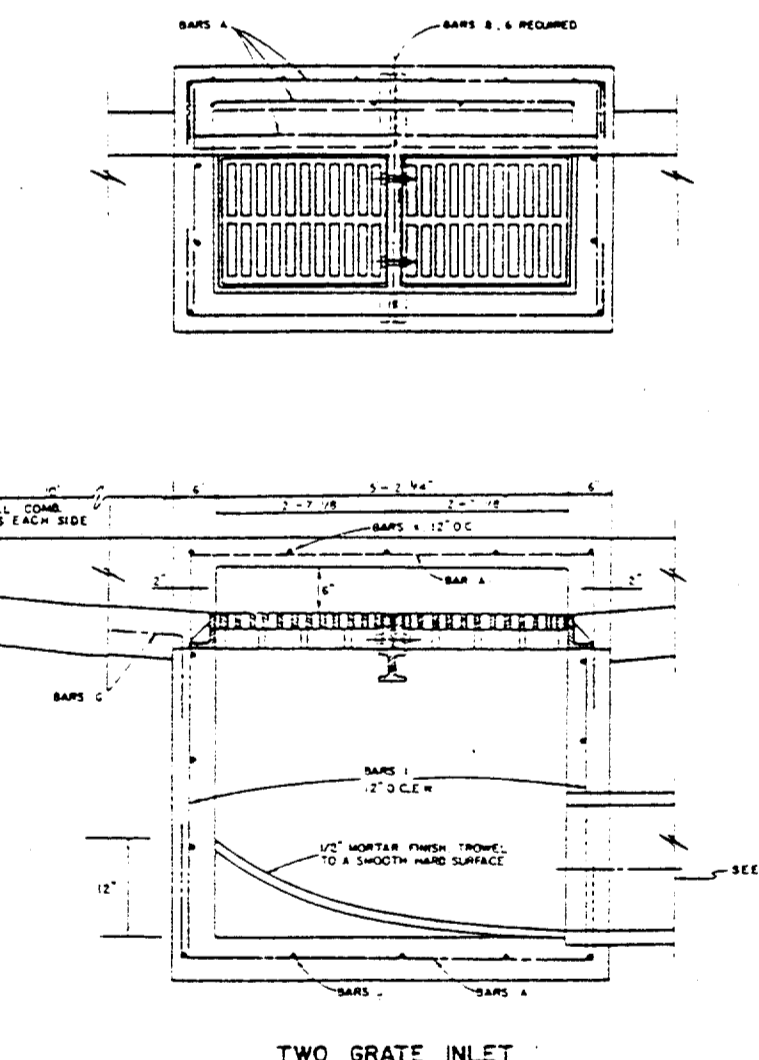
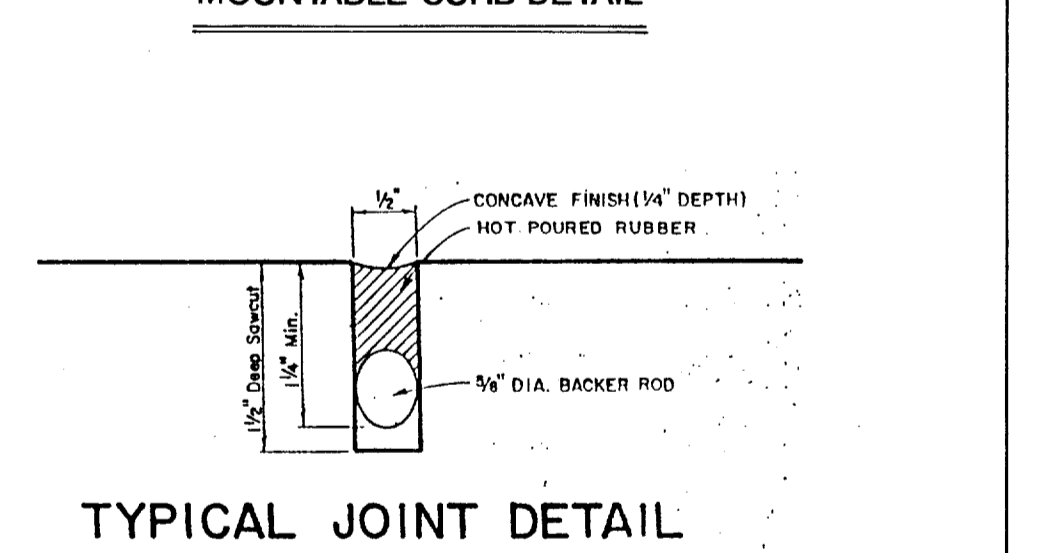
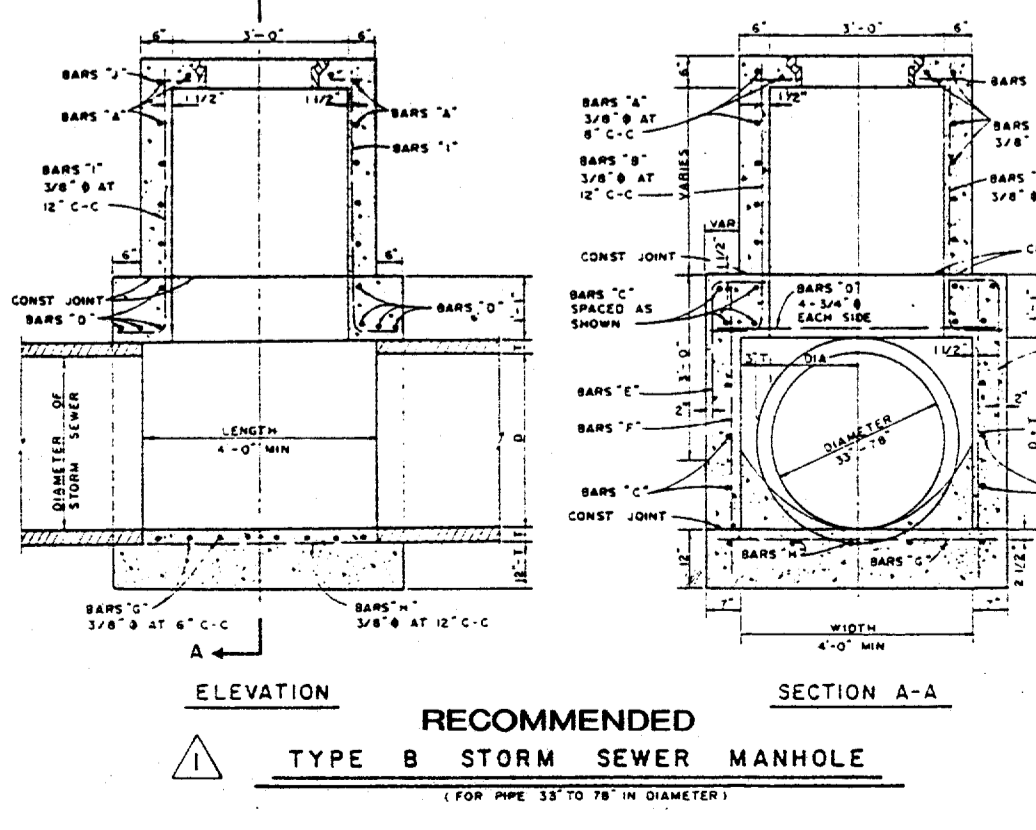
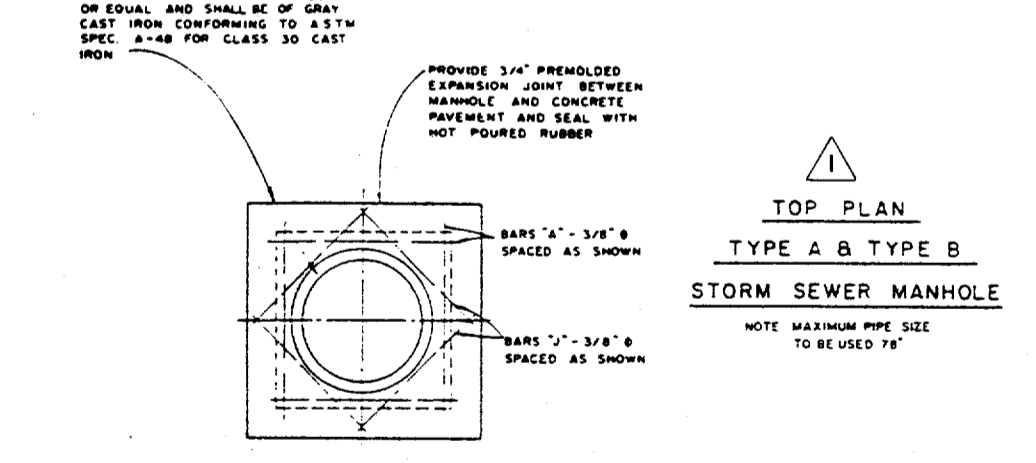
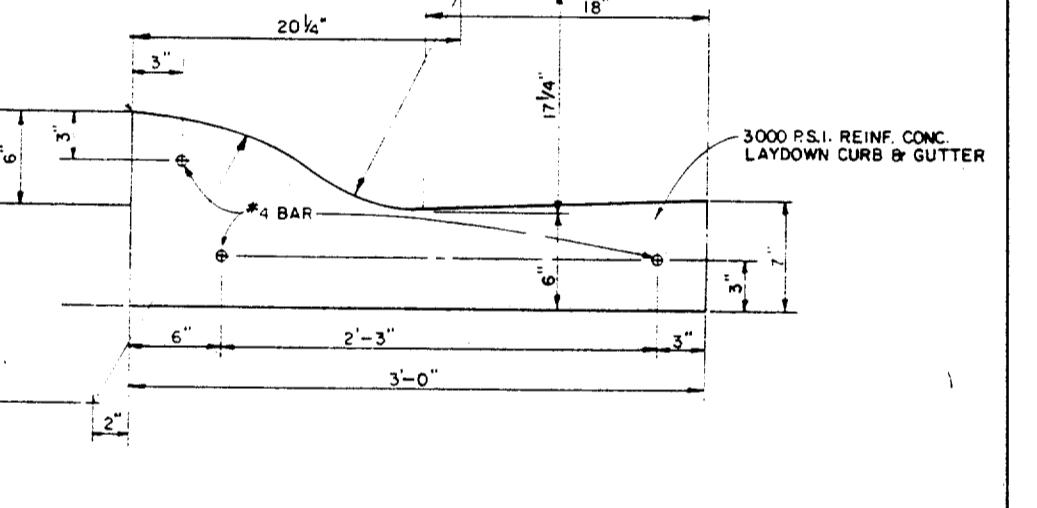
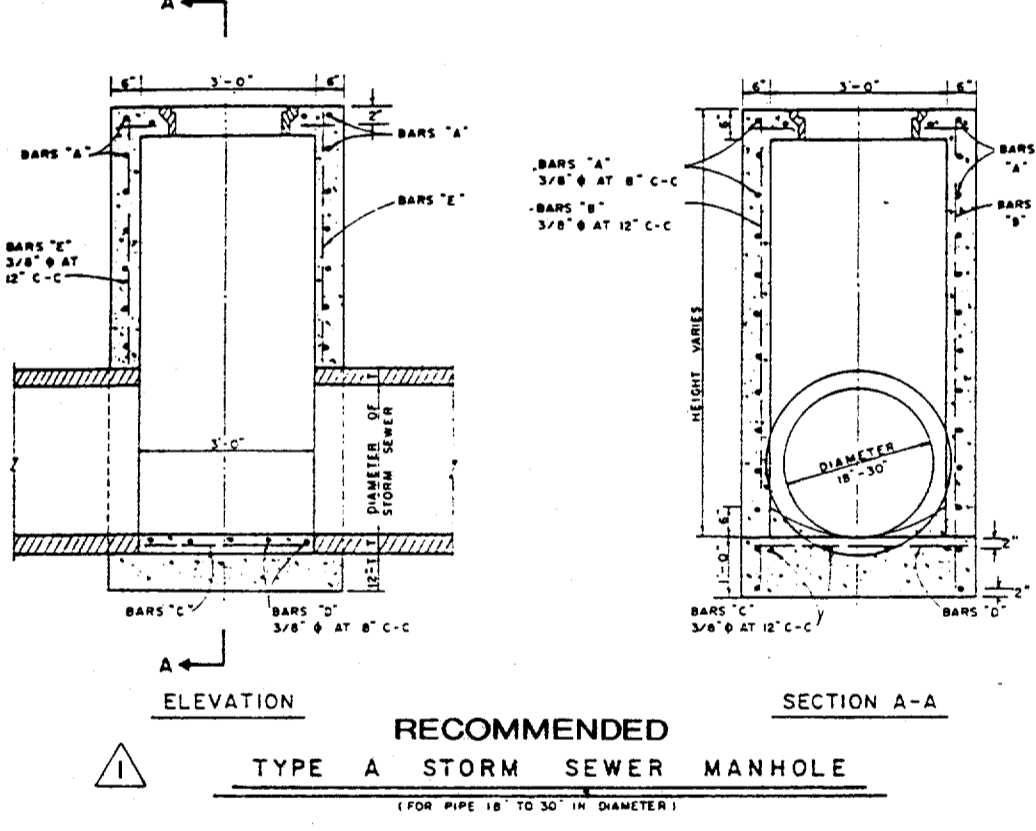
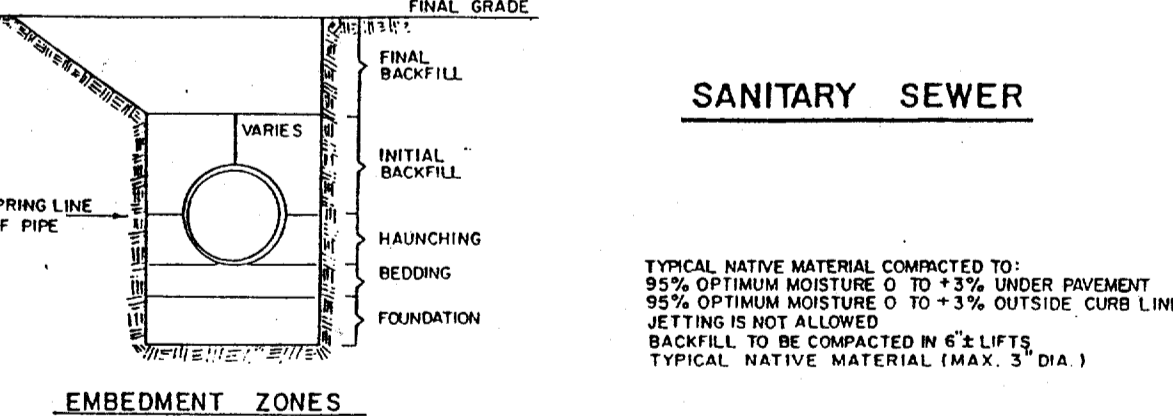
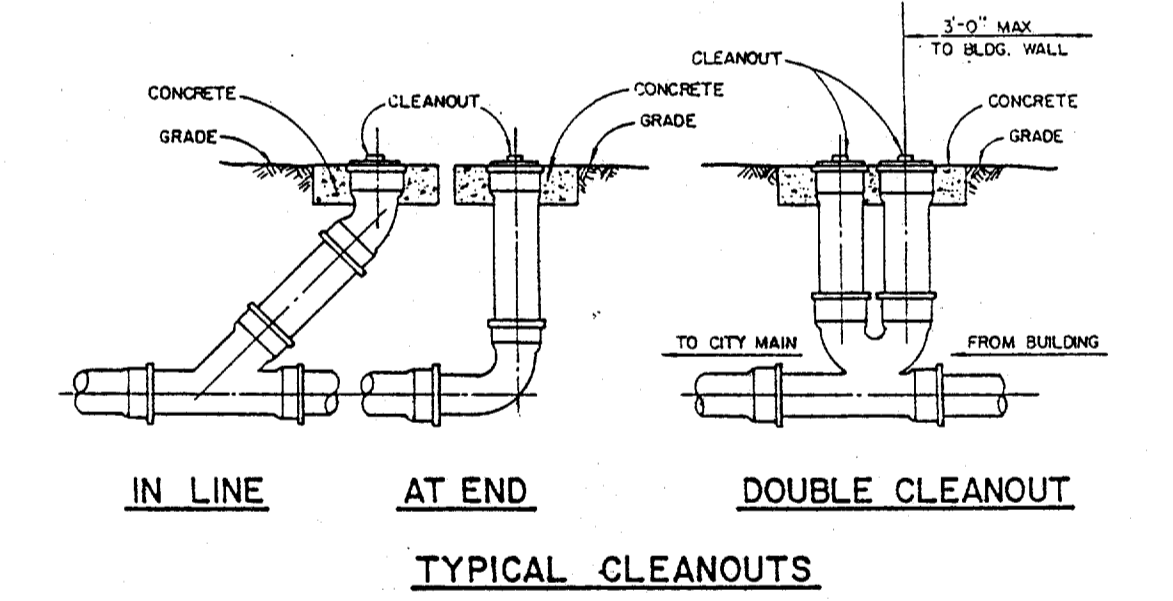
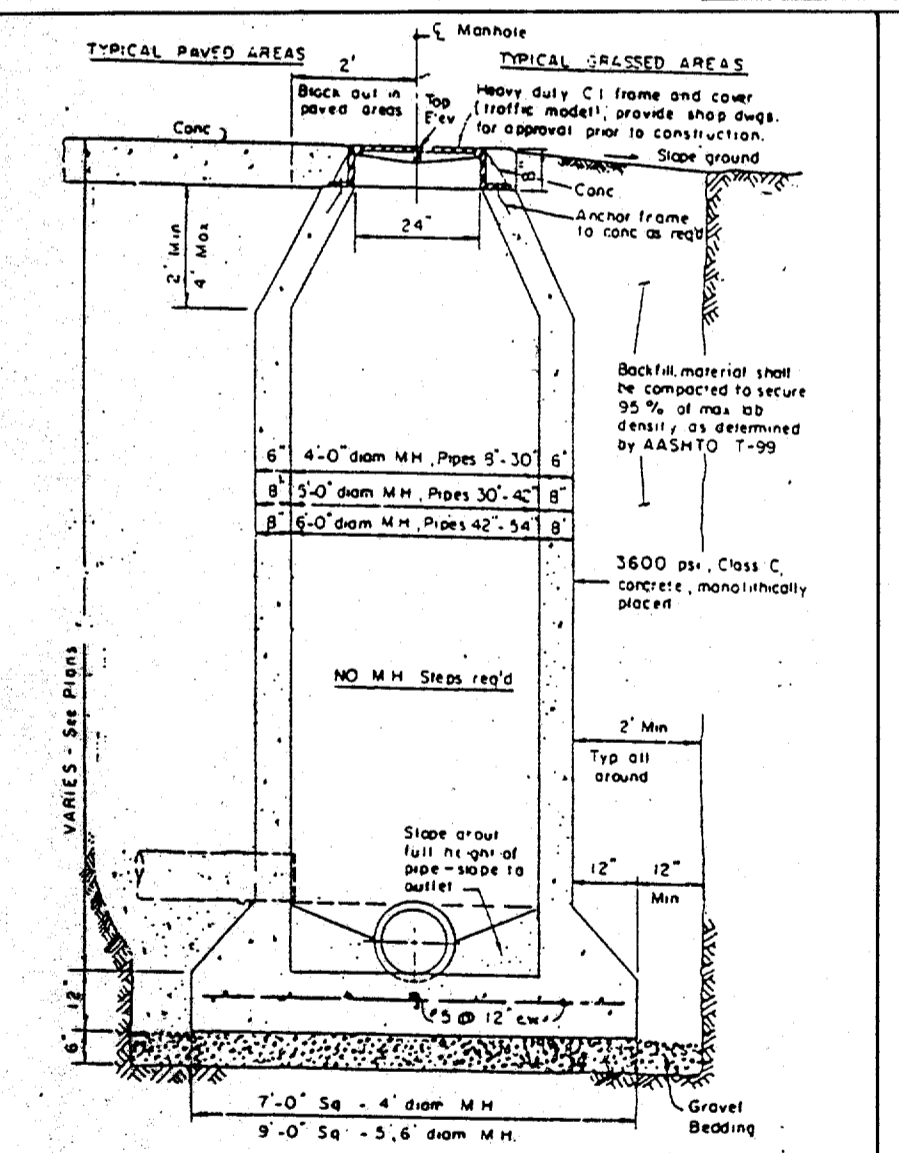
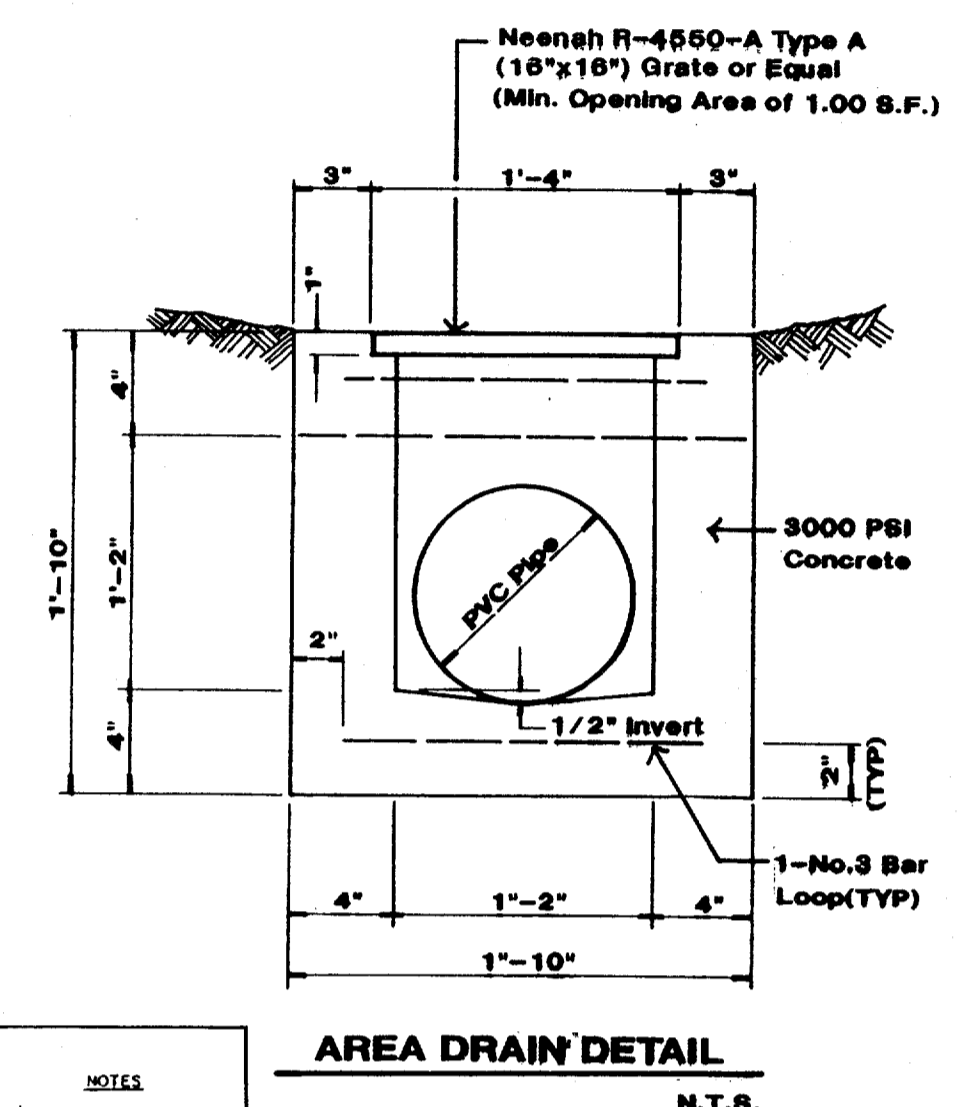
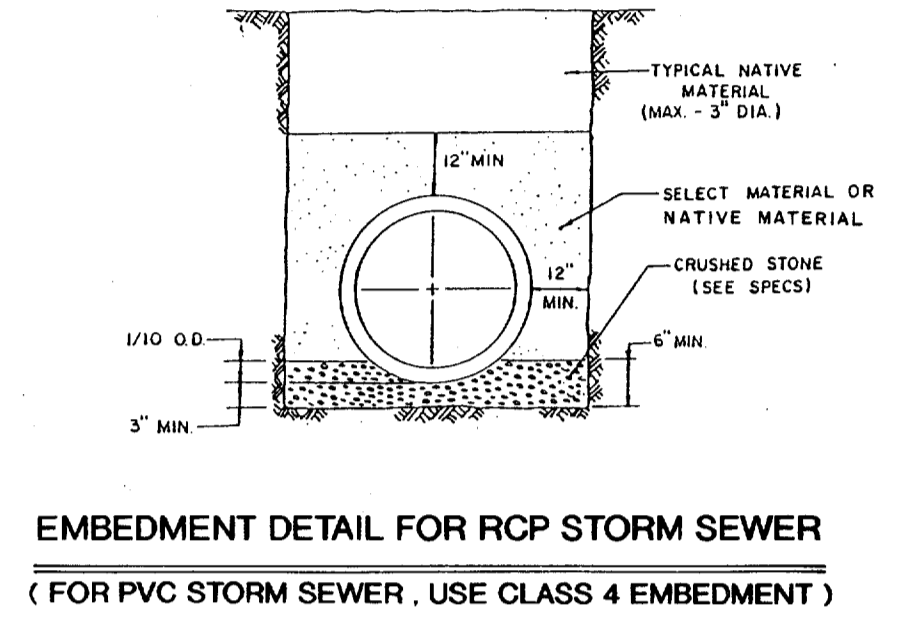
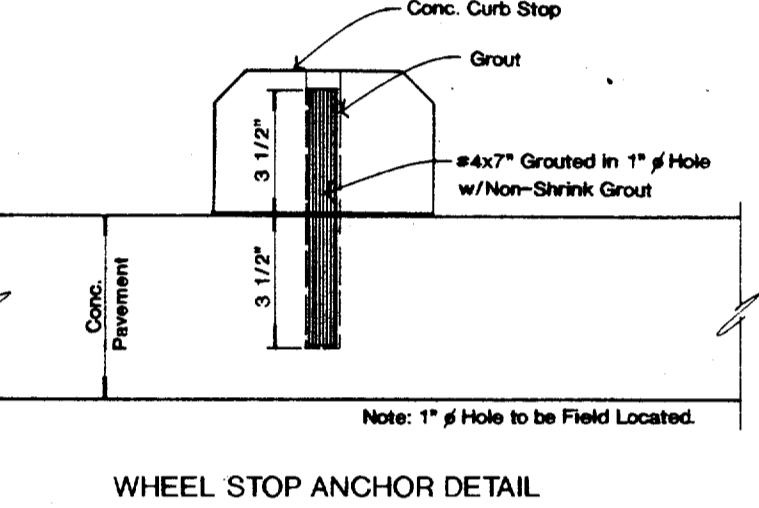
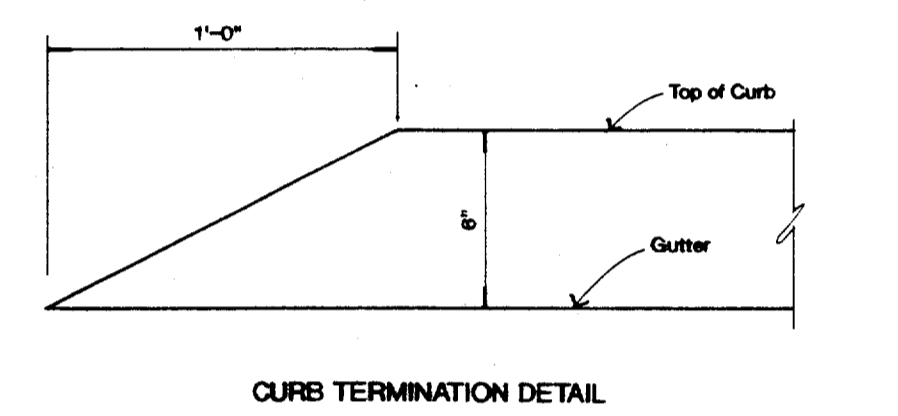
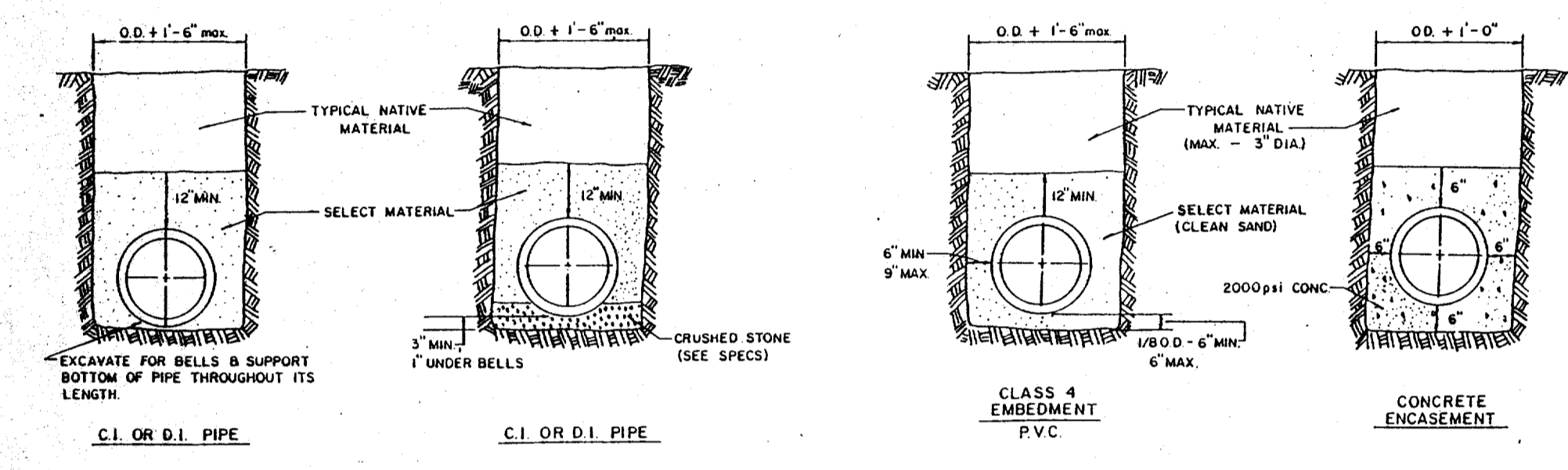
CAMDEN PROPERTY TRUST 3200 SOUTHWEST FREEWAY 1600 PHOENIX TOWER HOUSTON, TEXAS 77027	<table border="1" style="width: 100%;"> <tr> <td>Sheet No.</td> <td rowspan="2" style="text-align: center; vertical-align: middle;"><b>HUITT ~ ZOLLARS</b></td> </tr> <tr> <td>Project No.</td> </tr> <tr> <td>01-1751-03</td> <td>3131 MCKINNEY AVENUE STE. 600 DALLAS, TEXAS 214-871-3311 DALLAS/FORT WORTH/PHOENIX/HOUSTON</td> </tr> </table>	Sheet No.	<b>HUITT ~ ZOLLARS</b>	Project No.	01-1751-03	3131 MCKINNEY AVENUE STE. 600 DALLAS, TEXAS 214-871-3311 DALLAS/FORT WORTH/PHOENIX/HOUSTON
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01-1751-03	3131 MCKINNEY AVENUE STE. 600 DALLAS, TEXAS 214-871-3311 DALLAS/FORT WORTH/PHOENIX/HOUSTON					



NOTE:  
1. GATE VALVES SHALL BE IN ACCORDANCE WITH AWWA STANDARD C-509-80 OR LATEST THEREOF. ALL VALVES SHALL BE "MULLER" OR APPROVED EQUAL.  
2. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE THATS OPERATING NUT IS LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 4" OF VALVE BOX LID. MANUFACTURED VALVE STACK DUCTILE IRON PIPE TO BE USED FOR EXTENSION GREATER THAN 4'-0" BELL END OF STACK TO BE FITTED OVER VALVE. VALVE AND VALVE STACK IS TO BE POLY WRAPPED.  
3. VALVES SHALL BE OF DUCTILE IRON WRUBBER ENCAPSULATED DISK BODY BOLTS SHALL BE STAINLESS STEEL OF SAME SIZE ON EACH VALVE.



**GATE VALVES AND VALVE BOXES**  
1. GATE VALVES SHALL BE IRON BODY, BRONZE OR BRASS MOUNTED, NON-RISING STEM PARALLEL SEAT TYPE VALVES SHALL BE OF EQUAL OR GREATER PRESSURE CLASS THAN THE TYPING IN WHICH THEY ARE TO BE INSTALLED.  
2. VALVE BOXES SHALL BE CAST IRON AND SHALL BE OF SUFFICIENT LENGTH AND DIAMETER TO OPERATE ALL VALVES BURIED IN THE GROUND. COVERS SHALL BE MARKED "WATER" THE BOXES SHALL REST ON THE VALVE AND BE ADJUSTED SO THAT THE COVER MAY BE SET FLUSH WITH THE FINISHED GRADE.



DATE	DESCRIPTION	REF. NO.
2/01/95	ADDED RECOMMENDED STORM SEWER MANHOLES	
12/28/94	CITY SUBMITTAL	
	REVISIONS & ISSUE DATES	

**MISCELLANEOUS DETAILS**

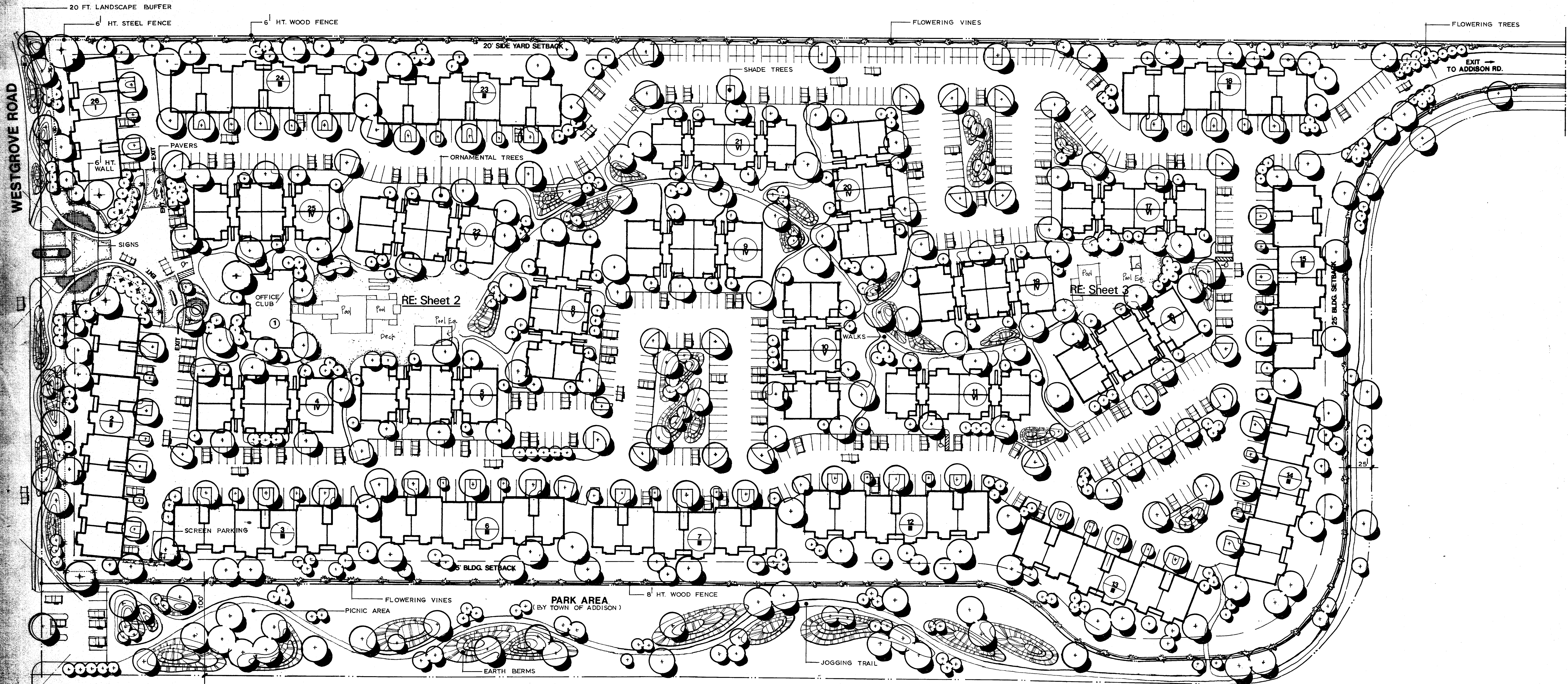
**THE DOMINION**

**TOWN OF ADDISON DALLAS COUNTY, TEXAS**

CAMDEN PROPERTY TRUST  
3200 SOUTHWEST FREEWAY  
1500 PHOENIX TOWER  
HOUSTON, TEXAS 77027

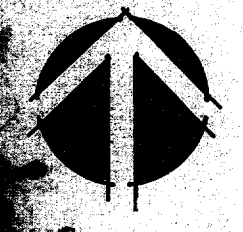
Sheet No.  
C18 of 18  
Project No.  
01-1751-03

HUITT ~ ZOLLARS  
3131 MCKINNEY AVENUE STE. 600  
DALLAS, TEXAS 214-871-3311  
DALLAS/FORT WORTH/PHOENIX/HOUSTON



**PRELIMINARY LANDSCAPE PLAN**  
**A CAMDEN PROPERTY TRUST DEVELOPMENT**  
**ADDISON, TEXAS**

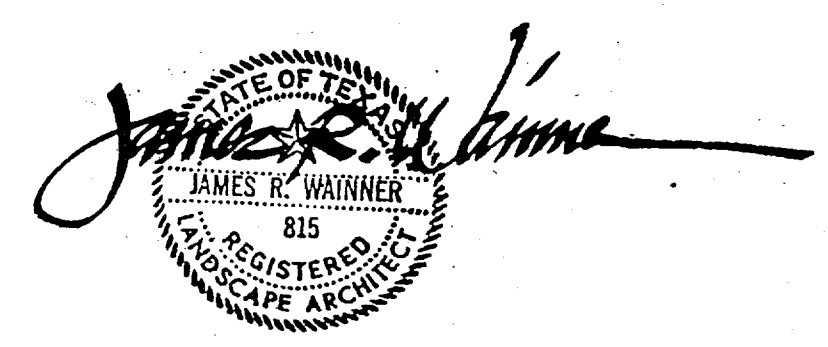
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 MAY 2, 1994

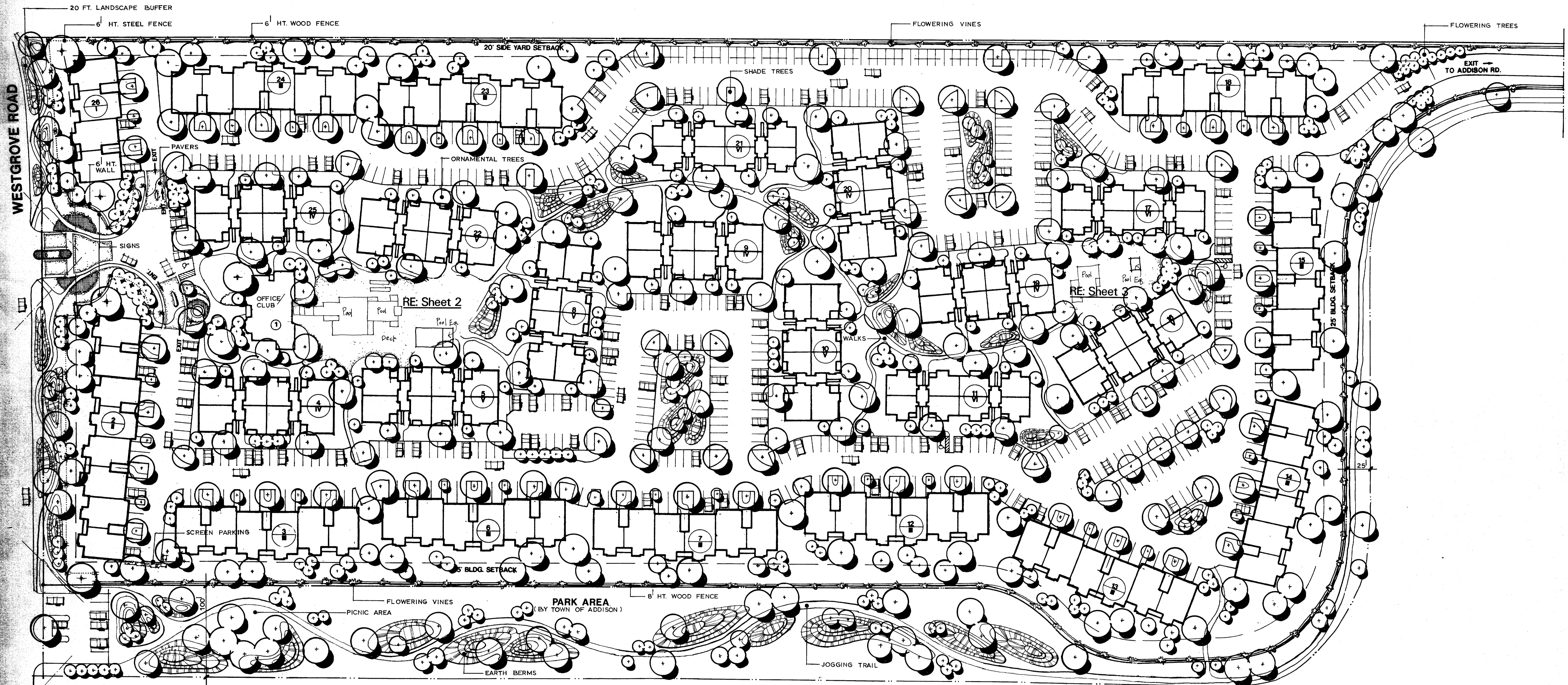


**NOTES**

- \*20% Site Landscaping is required; 37.6% Site Landscaping is provided. (The adjacent Park area is not included in the above 37.6% figure).
- \*816 Parking Spaces divided by 10 = 86 required shade trees in parking lot areas. In addition, there are 7,835 lineal ft. of parking lot perimeter which requires a minimum of 223 shade trees. Both of these requirements have been met. No parking space is over 50' from a shade tree and no parking space is over 75' from 2 or more shade trees.
- \*265,000 Sq. Ft. Parking Lot Area (10% Landscaping required) 39,750 Sq. Ft. = 15% Landscaping provided.
- \*An automatic irrigation system (with 100% coverage) will be installed to water all landscaped areas.
- \*All Landscape Plans will be sealed by a Registered Landscape Architect (State of Texas) and the Irrigation Plans will be sealed by a Licensed Irrigation Designer (State of Texas).
- \*All landscaping for this development shall comply with The Town of Addison Parks Department Landscape Ordinance Amended September 14, 1993.

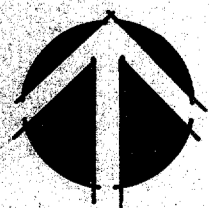
BOB WAINNER  
 LANDSCAPE ARCHITECT  
 18240 Midway Rd.  
 Suite 203  
 Dallas, Texas 75287  
 (214) 407-9595





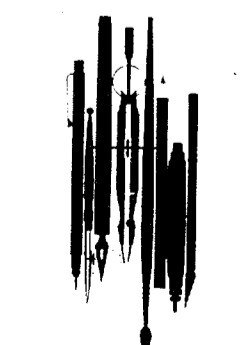
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**A CAMDEN PROPERTY TRUST DEVELOPMENT**  
**ADDISON, TEXAS**

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