

CONSTRUCTION PLANS FOR MEHRDAD HANGAR ADDISON AIRPORT

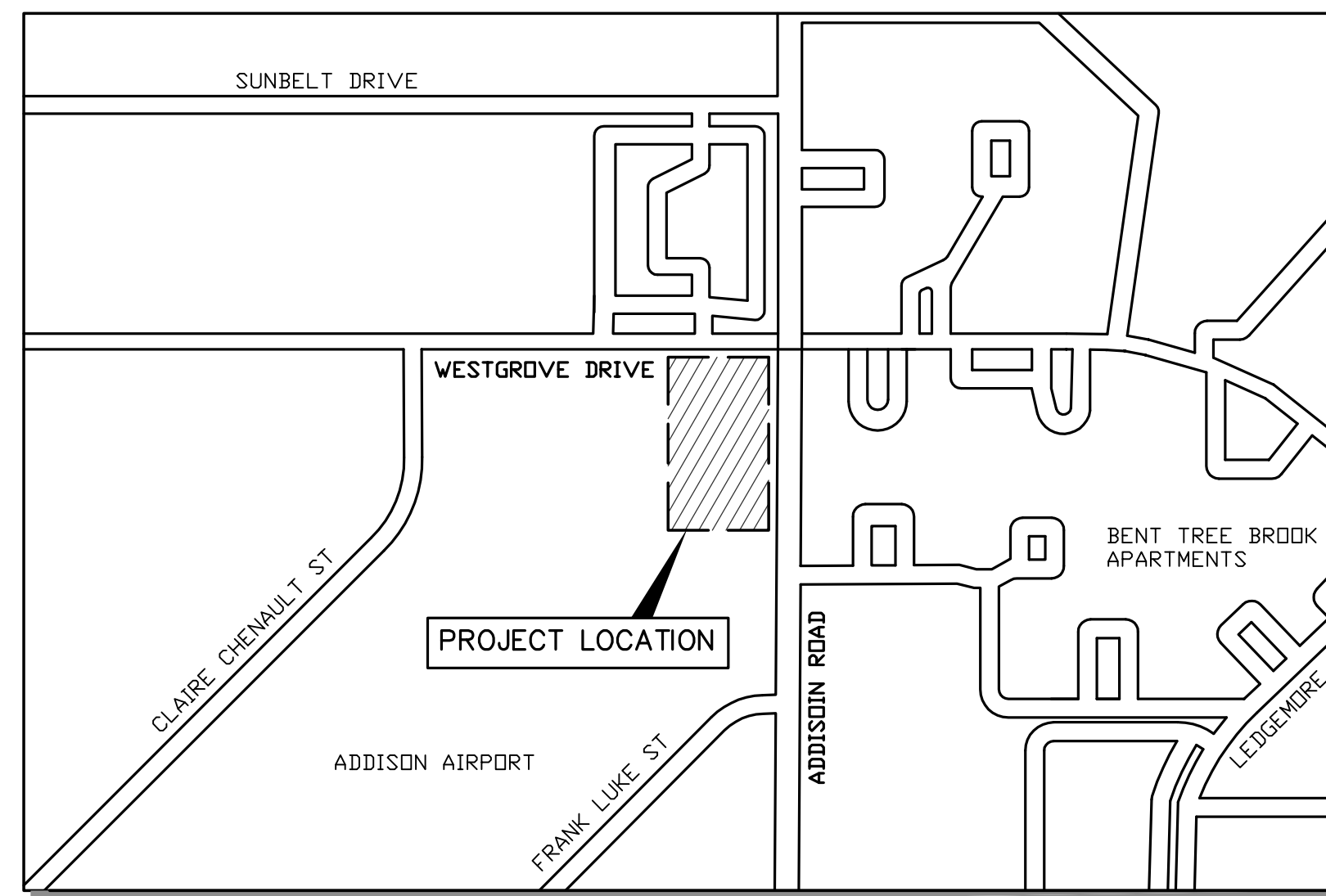
LEASEHOLD ESTATE TRACT II
GROUND LEASE #080A-29 ALP#U23
1.458 ACRES (63,510.5 SQ.FT.)
HANGAR FACILITY
4700 WESTGROVE DRIVE
ADDISON TX 75001
CITY PROJECT #2016-14

APPROVED FOR CONSTRUCTION		
	DATE	SIGNATURE
PLANNING & ZONING		
ENGINEERING		
BUILDING INSPECTION		
FIRE PREVENTION		
PARKS & LEISURE		
PUBLIC WORKS		
HR/ADA		

APPROVED FOR CONSTRUCTION			
	COMPANY NAME	DATE	SIGNATURE
ELECTRIC			
GAS			
PHONE			
CABLE			
SOLID WASTE			

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- EE1 EASEMENT EXHIBIT



LOCATION MAP
N.T.S.

OWNER AND APPLICANT:

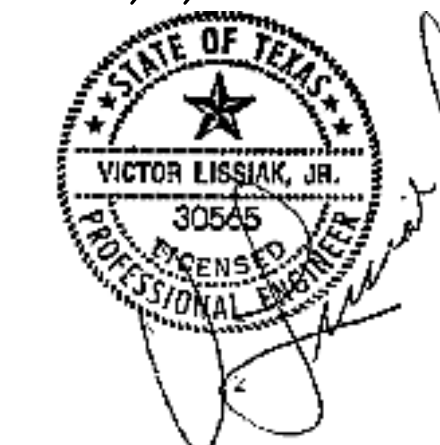
CENTURION AMERICAN DEVELOPMENT GROUP
1800 VALLEY VIEW LANE SUITE 300
FARMERS BRANCH, TX 75234
PHONE: 469.892.7200
FAX: 469.892.7201

CIVIL ENGINEER:

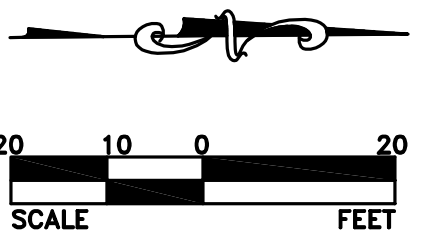
VIEWTECH INC.
TEXAS FIRM REG. #F-2658
4205 BELTWAY DRIVE
ADDISON, TEXAS 75001
PHONE: (972) 661-8187
FAX: (972) 661-8172
CONTACT: AARON WOLF, P.E.
EMAIL: AW@VTINC.NET

AS-BUILT
10/25/2018

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ISSUED FOR CONSTRUCTION: 10/24/16



4570 WESTGROVE DR
EX. BUILDING
33,357 S.F.
BUILDING HEIGHT: 28'
ZONING: PD85-083

16445 ADDISON RD
EX. BUILDING
19,906 S.F.
BUILDING HEIGHT: 25'
ZONING: I-3
USAGE: OFFICE/WAREHOUSE

4641 - 4661 WESTGROVE DR
16501 - 16541 ADDISON RD
BUILDING HEIGHT: 14'
ZONING: C-1 688
USAGE: RETAIL/OFFICE

4820 WESTGROVE DR
ZONING: A-318
USAGE: MULTI-FAMILY

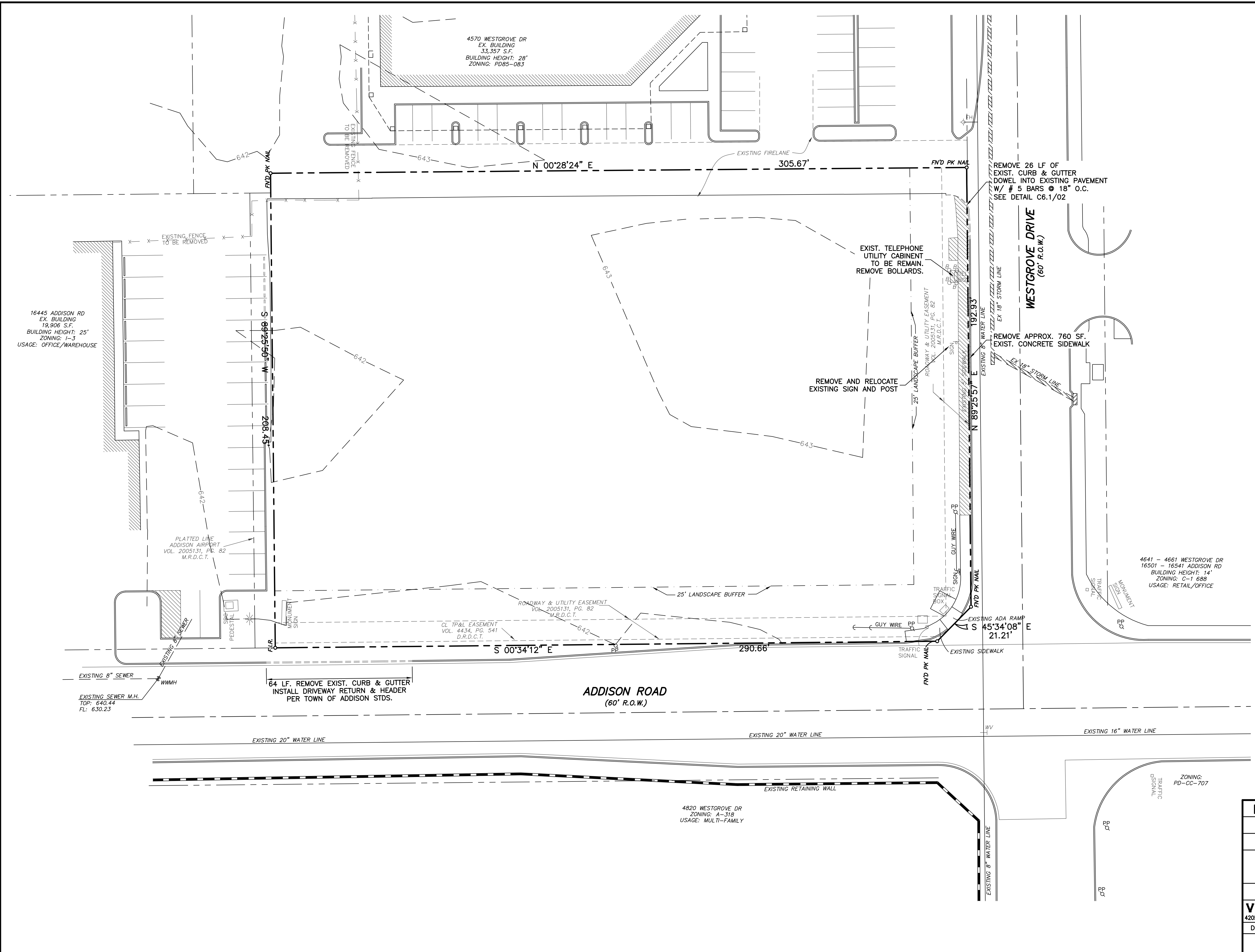
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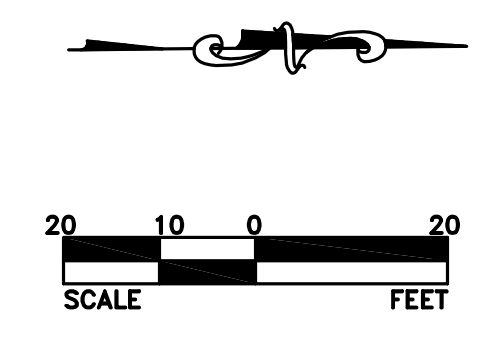
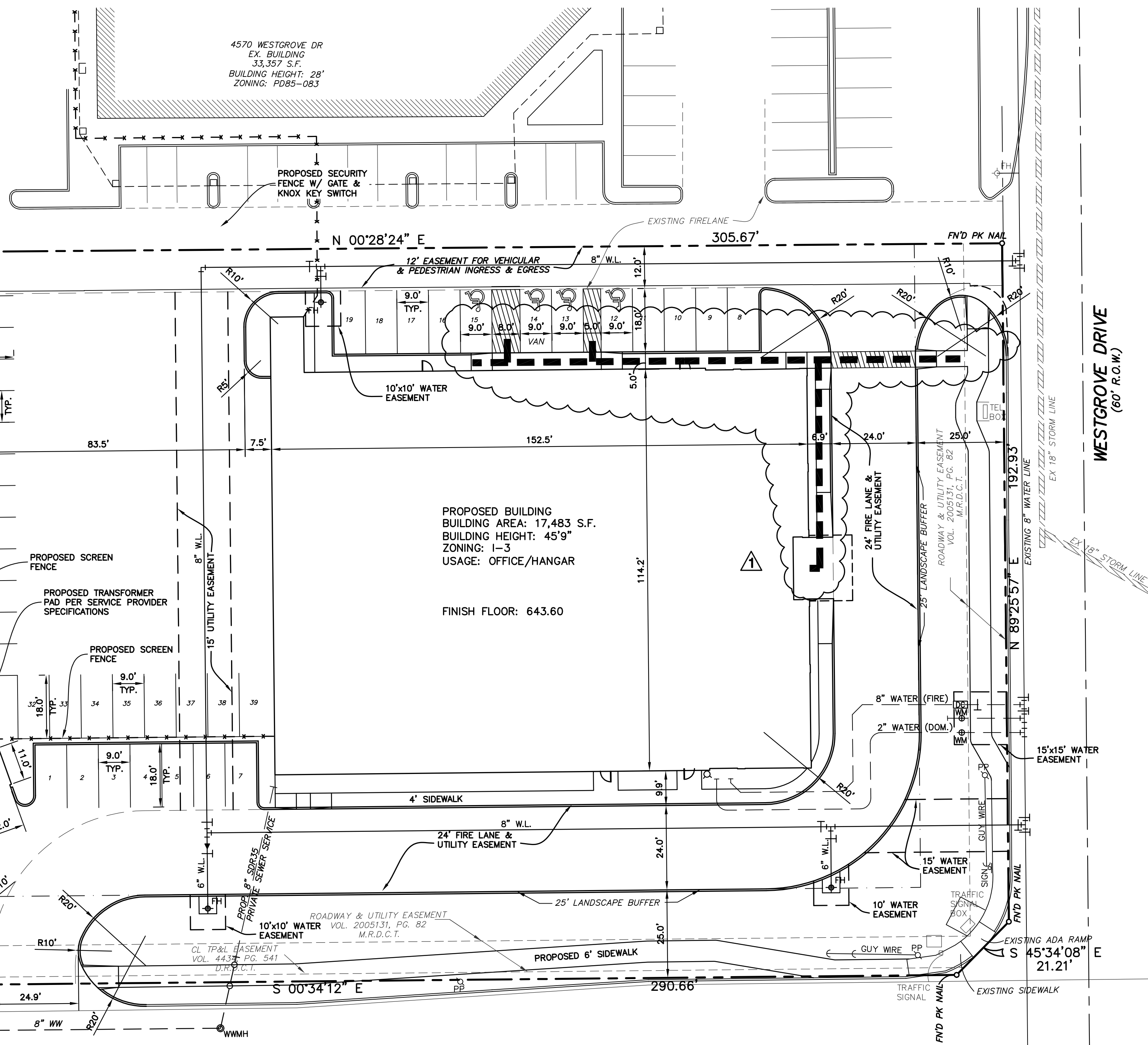
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EXISTING CONDITIONS & DEMO PLAN
MEHRDAD HANGAR
ADDISON AIRPORT
LEASEHOLD ESTATES TRACT II
1458 ACRES GROUND LEASE #080A-29 ALP#U23
4700 WESTGROVE DRIVE
ADDISON, TEXAS

VIEWTECH INC.		TEXAS FIRM REGISTRATION NO. F2658		
4205 BELTWAY DR. ADDISON, TX. 75001		(972) 661-8187 FAX (972) 661-8172		
DESIGN	DRAWN	DATE	SCALE	JOB #
AW	AW	10/24/16	1"=20'	2015-224
				SHEET
				C1





PARKING SUMMARY:

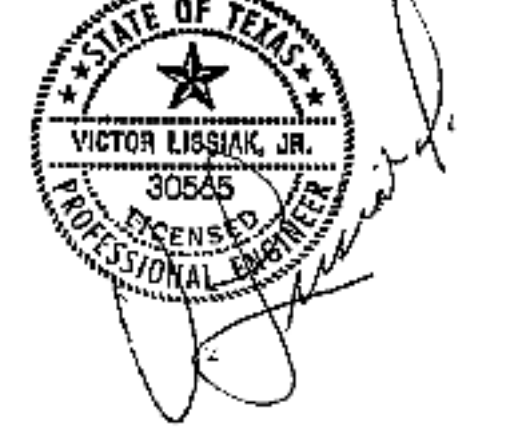
PARKING REQUIRED:	
OFFICE SPACE: 8820SF X 1/300SF =	30 SPACES
STORAGE HANGAR PARKING REQUIRED:	5 SPACES
TOTAL:	35 SPACES
ADA PARKING REQUIRED:	3 SPACES
PARKING PROVIDED:	39 SPACES
ADA PARKING PROVIDED:	4 SPACES

LEGEND:

R.O.W.	RIGHT OF WAY
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
F.I.R.	FOUND IRON ROD
XXX.XX NG	NATURAL GROUND
XXX.XX PV	PAVEMENT
XXX.XX EP	EDGE OF PAVING
XXX.XX SW	SIDEWALK
XXX.XX TC	TOP OF CURB
VOL.	VOLUME
PG	PAGE
M.R.D.C.T.	MAP RECORDS, DALLAS COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DALLAS COUNTY, TEXAS
---	ACCESSIBLE PATH TO PUBLIC R.O.W.

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10/25/2018

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ACTION

APPROVED	DENIED
STAFF _____	DATE _____ INITIALS _____
P&Z _____	DATE _____ INITIALS _____

REVISED: 04/21/17

SITE PLAN
MEHRDAD HANGAR
ADDISON AIRPORT
LEASEHOLD ESTATES TRACT II
1458 ACRES GROUND LEASE #080A-29 ALP#U23
4700 WESTGROVE DRIVE
ADDISON, TEXAS

VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658
4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172

DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C2

LAYOUT & DIMENSION CONTROL GENERAL NOTES

- ALL PAVING DIMENSIONS AND COORDINATES SHOWN ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- CURB RADII: ALL CURB RADII SHALL BE 2' AT FACE OF CURB, UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECT PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- BUILDING ORIENTATION: THE BUILDING IS PARALLEL AND PERPENDICULAR TO THE WESTERN PROPERTY LINE - N 00°28'24" E.

FLOODPLAIN:
NO FLOODPLAIN EXISTS ON THE SITE

BENCHMARK:
1. SQUARE CUT ON THE CURB INLET AT THE NORTHEAST CORNER OF THE INTERSECTION OF SUNBELT DRIVE AND WESTGROVE DRIVE. ELEVATION=628.54
2. LIGHT POLE CONCRETE BASE IN THE EXCEL PARKWAY MEDIAN WEST OF ADDISON ROAD. ELEVATION=644.41

4820 WESTGROVE DR
ZONING: A-318
USAGE: MULTI-FAMILY

4641 - 4661 WESTGROVE DR
16501 - 16541 ADDISON RD
BUILDING HEIGHT: 14'
ZONING: C-1 688
USAGE: RETAIL/OFFICE

16445 ADDISON RD
EX. BUILDING
19,906 S.F.
BUILDING HEIGHT: 25'
ZONING: I-3
USAGE: OFFICE/WAREHOUSE

4570 WESTGROVE DR
EX. BUILDING
33,357 S.F.
BUILDING HEIGHT: 28'
ZONING: PD85-083

PLATTED LINE
ADDISON AIRPORT
VOL. 2005131, PG. 82
M.R.D.C.T.

ROADWAY & UTILITY EASEMENT
VOL. 2005131, PG. 82
M.R.D.C.T.

CL. TR&U EASEMENT
VOL. 4437, PG. 541
D.R.D.C.T.

EXISTING SEWER M.H.
TOP: 640.44
FL: 630.23



LEGEND:

- DRAINAGE AREA IDENTIFIER
- DRAINAGE AREA DIRECTION OF FLOW
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA FLOW ARROW
- DRAINAGE AREA MARKER
- DRAINAGE AREA SIZE (Acres)
- Q100 (cfs)

DRAINAGE AREA CALCULATIONS

Drainage Area	Area (ac)	Runoff Coefficient (C)	Time of Concentration (min)	Rainfall Intensity	Rainfall Intensity	Peak Discharge	Peak Discharge	Outfall Structure
				110 (in/hr)	1100 (in/hr)	Q10 (cfs)	Q100 (cfs)	
Existing Condition								
A-1	1.022	0.25	10.0	6.54	9.27	1.7	2.4	Addison Road
A-2	0.322	0.25	10.0	6.54	9.27	0.5	0.7	Area Inlet No. 1
A-3	0.118	0.25	10.0	6.54	9.27	0.2	0.3	Westgrove Road
Overall Sub-Basin	6.540	0.75	10.0	6.54	9.27	32.1	45.5	(see notes below)
Post-Development Condition								
A-1	1.022	0.9	10.0	6.54	9.27	6.0	8.5	Addison Road
A-2	0.322	0.9	10.0	6.54	9.27	1.9	2.7	Area Inlet No. 1
A-3	0.118	0.9	10.0	6.54	9.27	0.7	1.0	Westgrove Road
Overall Sub-Basin	6.218	0.9	10.0	5.59	7.99	31.3	44.7	(see notes below)
Comparison of Existing vs. Post-Development								
A-1						4.3	6.2	Addison Road
A-2						1.4	1.9	Area Inlet No. 1
A-3						0.5	0.7	Westgrove Road
Overall Sub-Basin						-0.8	-0.8	(see notes below)

NOTES:
 1) Overall Sub-Basin originally drained to the 42" storm pipe located within the R.O.W. of Addison Road
 2) Proposed grading splits A-2 from Overall Sub-Basin
 3) Curb inlet at 4+75 Westgrove intercepts a negligible amount of runoff. Remainder drains to Addison Road.

Analysis of Existing Storm Lines

Station	Slope Pipe (%)	Diameter Pipe (in)	Capacity Pipe (cfs)	Existing Flow (cfs)	Proposed Flow (cfs)	Notes
Westgrove	4+75	0.5	27	21.9	Negligible (see Note 3)	10" Curb Inlet Intersection with Addison Road at 0+00
Addison Road	72+80	0.5	48	101.8		8" Curb Inlet, 24" RCP Lateral and 42" RCP Storm Pipe

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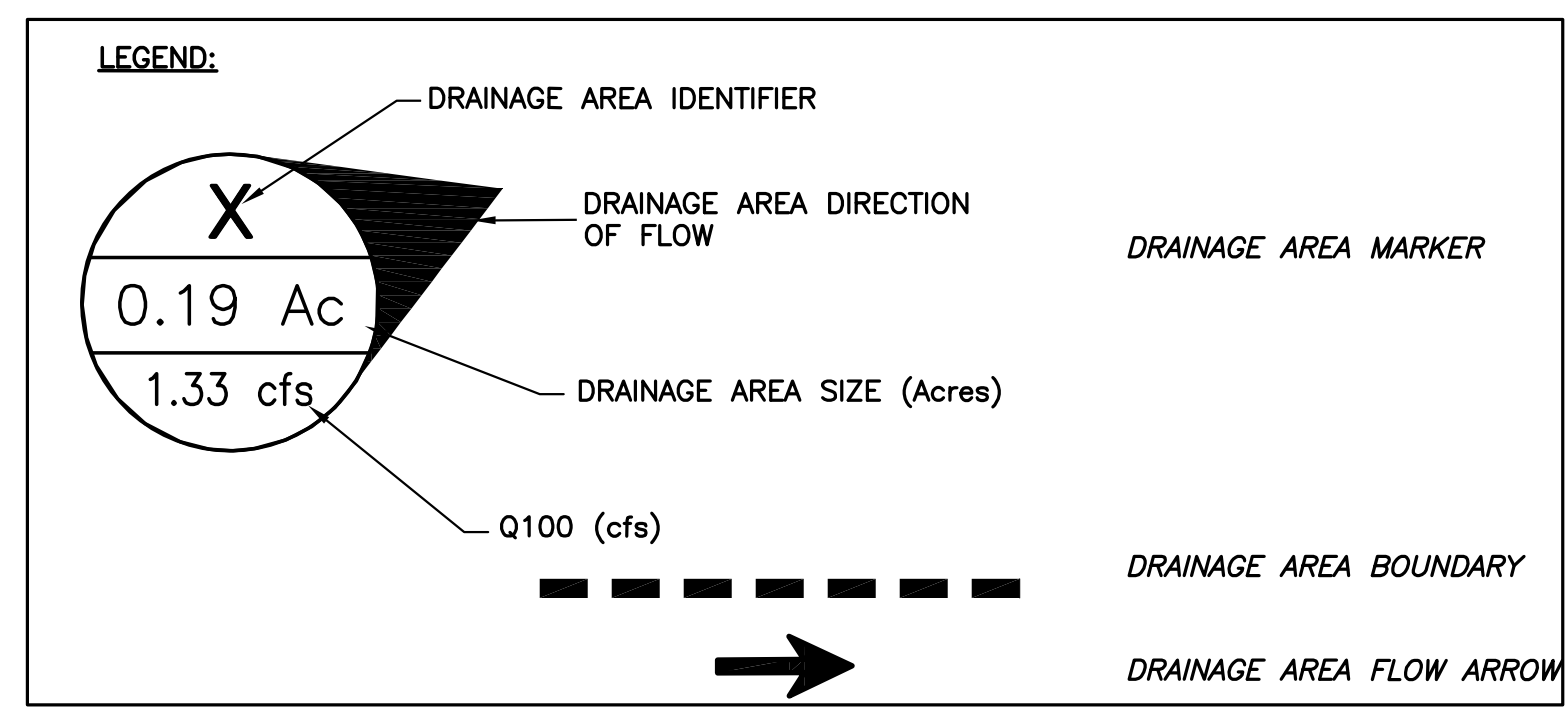
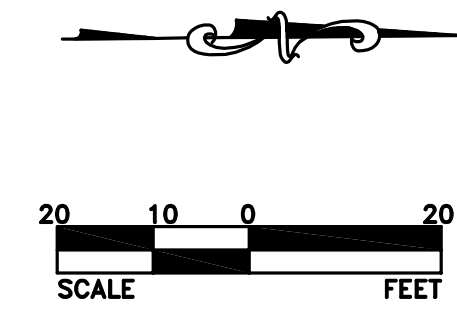
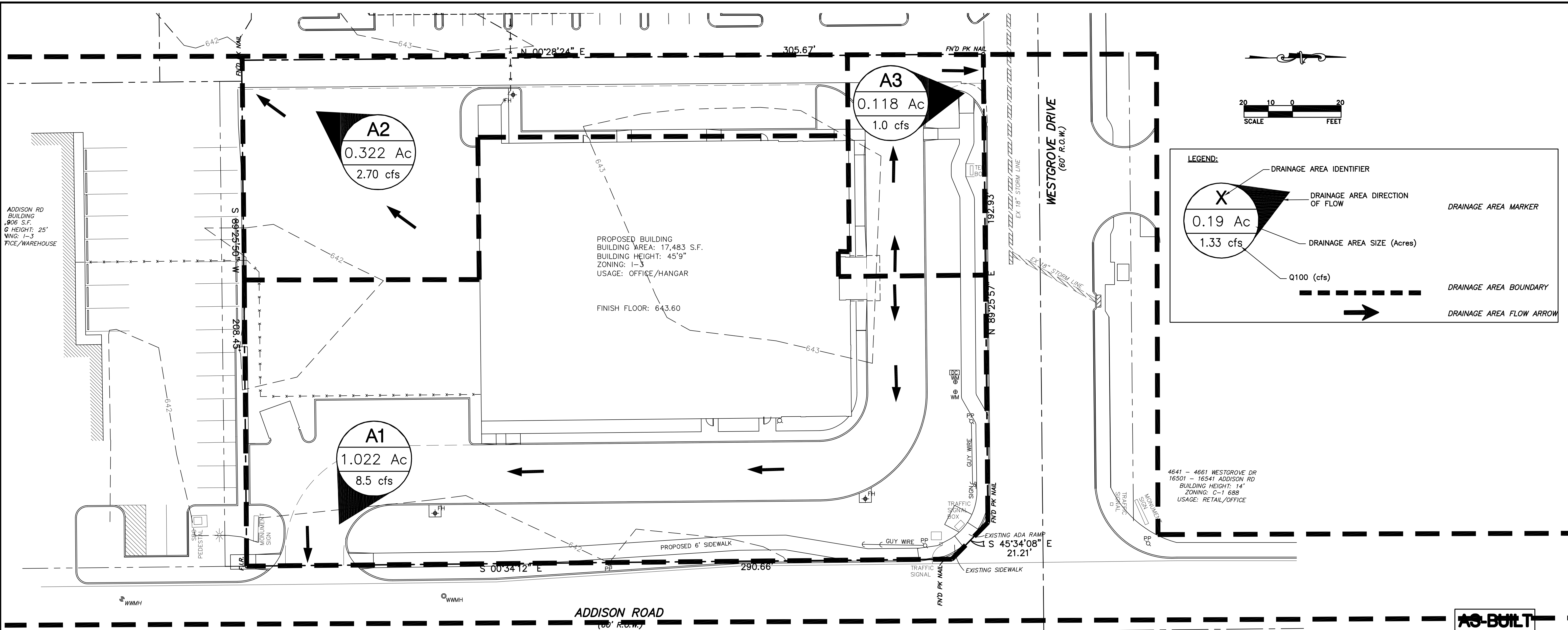


BENCHMARK:
 1. SQUARE CUT ON THE CURB INLET AT THE NORTHEAST CORNER OF THE INTERSECTION OF SUNBELT DRIVE AND WESTGROVE DRIVE. ELEVATION=628.54
 2. LIGHT POLE CONCRETE BASE IN THE EXCEL PARKWAY MEDIAN WEST OF ADDISON ROAD. ELEVATION=644.41

OFFSITE DRAINAGE AREA MAP
MEHRDAD HANGAR
ADDISON AIRPORT
 LEASEHOLD ESTATES TRACT II
 1458 ACRES GROUND LEASE #080A-29 ALP#U23
 4700 WESTGROVE DRIVE
ADDISON, TEXAS

VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658
 4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172

DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=50'	2015-224	C3



DRAINAGE AREA CALCULATIONS

Drainage Area	Area (ac)	Runoff Coefficient (C)	Time of Concentration (min)	Rainfall Intensity	Rainfall Intensity	Peak Discharge	Peak Discharge	Outfall Structure
				I10 (in/hr)	I100 (in/hr)	Q10 (cfs)	Q100 (cfs)	
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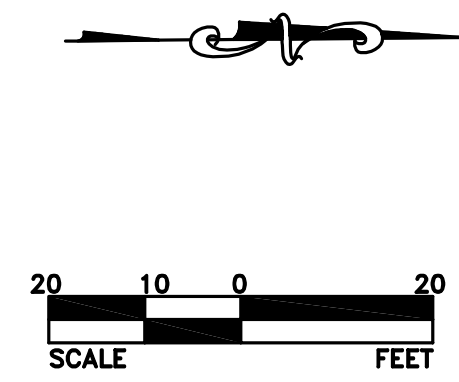
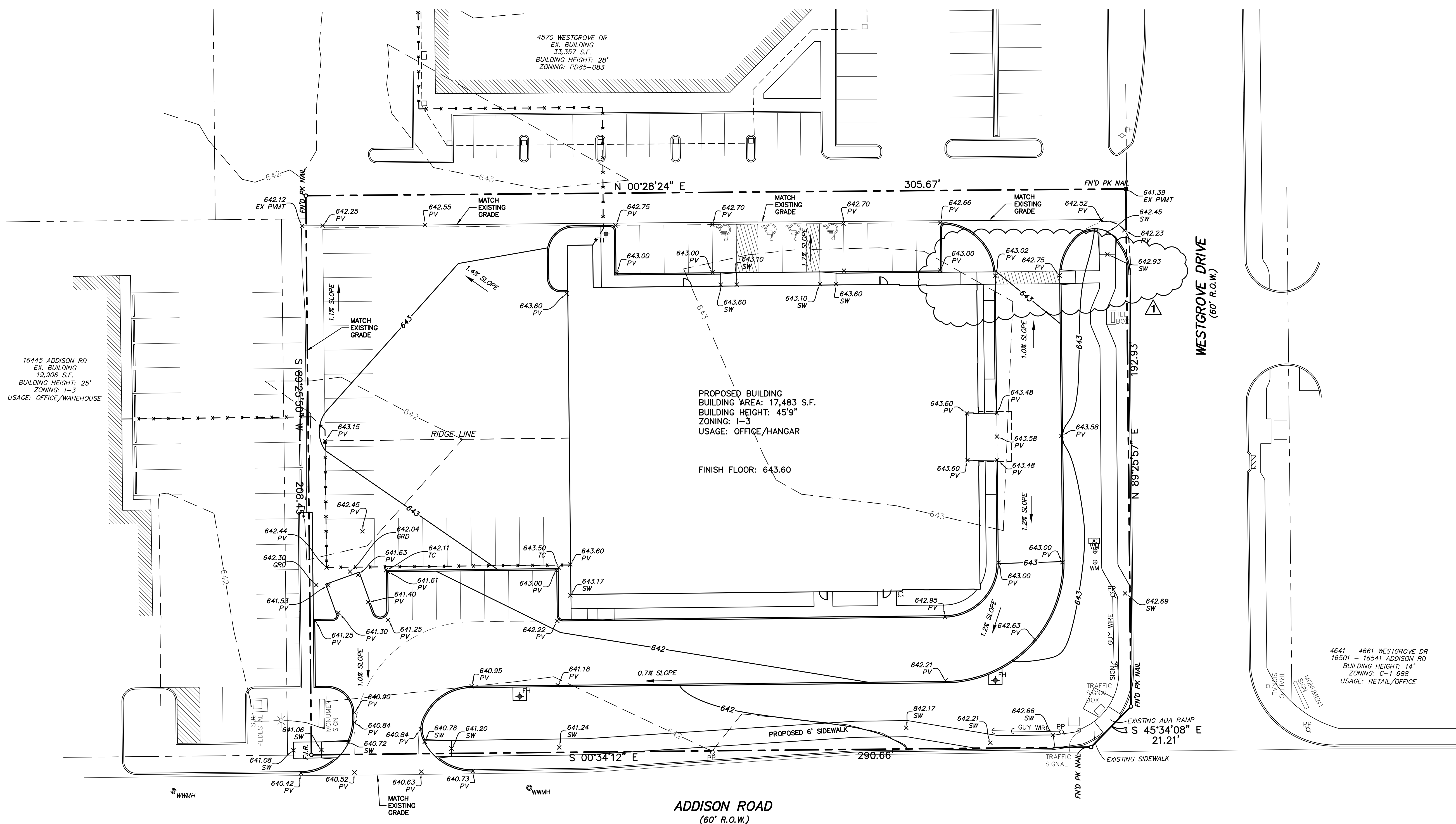


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DRAINAGE AREA MAP
MEHRDAD HANGAR
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 LEASEHOLD ESTATES TRACT II
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 4700 WESTGROVE DRIVE
ADDISON, TEXAS

VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658
 4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172

DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C4



- LEGEND:**
- R.O.W. RIGHT OF WAY
 - PP EXISTING POWER POLE
 - FH EXISTING FIRE HYDRANT
 - F.I.R. FOUND IRON ROD
 - XXX.XX NATURAL GROUND
 - XXX.XX PAVEMENT
 - XXX.XX EP EDGE OF PAVING
 - XXX.XX SW SIDEWALK
 - XXX.XX TC TOP OF CURB
 - VOL. VOLUME
 - PG PAGE
 - M.R.D.C.T. MAP RECORDS, DALLAS COUNTY, TEXAS
 - D.R.D.C.T. DEED RECORDS, DALLAS COUNTY, TEXAS

16445 ADDISON RD
EX. BUILDING
19,906 S.F.
BUILDING HEIGHT: 25'
ZONING: I-3
USAGE: OFFICE/WAREHOUSE

PROPOSED BUILDING
BUILDING AREA: 17,483 S.F.
BUILDING HEIGHT: 45'9"
ZONING: I-3
USAGE: OFFICE/HANGAR

FINISH FLOOR: 643.60

4641 - 4661 WESTGROVE DR
16501 - 16541 ADDISON RD
BUILDING HEIGHT: 14'
ZONING: C-1 688
USAGE: RETAIL/OFFICE

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10/25/2018

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ADDISON ROAD
(60' R.O.W.)

4820 WESTGROVE DR
ZONING: A-318
USAGE: MULTI-FAMILY

BENCHMARK:
1. SQUARE CUT ON THE CURB INLET AT THE NORTHEAST CORNER OF THE INTERSECTION OF SUNBELT DRIVE AND WESTGROVE DRIVE. ELEVATION=628.54
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REVISD: 04/21/17

GRADING PLAN
MEHRDAD HANGAR
ADDISON AIRPORT
LEASEHOLD ESTATES TRACT II
1458 ACRES GROUND LEASE #080A-29 ALP#U23
4700 WESTGROVE DRIVE
ADDISON, TEXAS

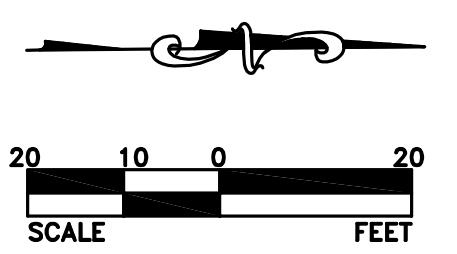
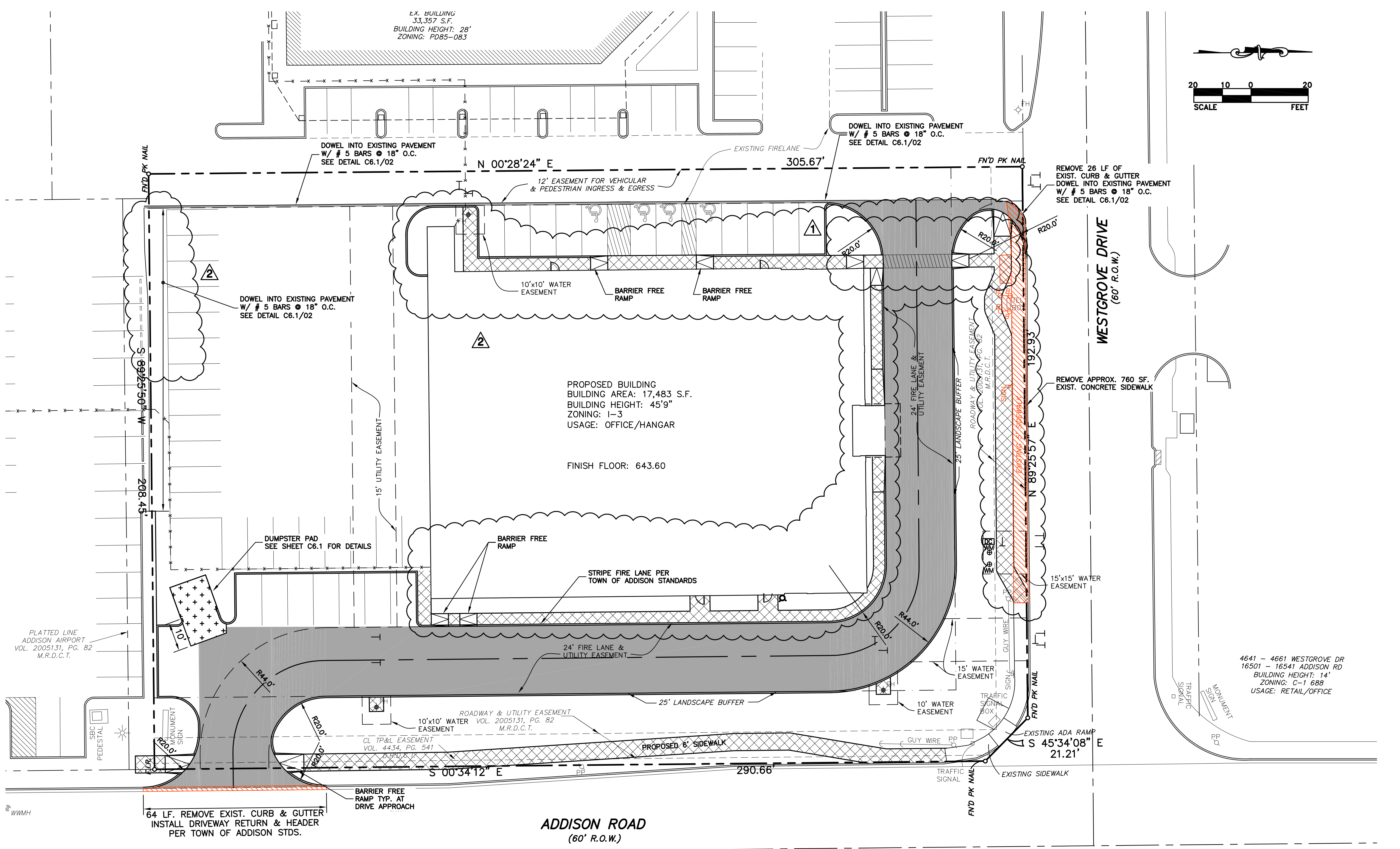
VIEWTECH INC.		TEXAS FIRM REGISTRATION NO. F2658		
4205 BELTWAY DR. ADDISON, TX. 75001		(972) 661-8187 FAX (972) 661-8172		
DESIGN	DRAWN	DATE	SCALE	JOB #
AW	AW	10/24/16	1"=20'	2015-224
				SHEET
				C5

PAVING GENERAL NOTES

1. **STANDARDS AND SPECIFICATIONS:** ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT, SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
2. **PAVEMENT WARRANTY:** THE CONTRACTOR SHALL PROVIDE A TWO (2) YEAR UNCONDITIONAL MAINTENANCE FREE WARRANTY ON ALL PAVEMENT SURFACES.
3. **PROOF-ROLL SUBGRADE:** PRIOR TO PREPARATION OF THE SUBGRADE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
4. **PAVEMENT SUBGRADE PREPARATION:** PAVEMENT SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE SUBGRADE SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES (6") AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND WITHIN THE RANGE OF -1.0% BELOW TO 5.0% ABOVE THE MATERIAL'S OPTIMUM MOISTURE CONTENT. DENSITY TEST MUST BE TAKEN NO MORE THAN 72 HOURS PRIOR TO PLACEMENT OF CONCRETE. THE SUBGRADE SHALL BE PROTECTED AND MAINTAINED IN A MOIST CONDITION UNTIL THE PAVEMENT IS PLACED. PAVEMENT SUBGRADES SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE PAVEMENT SUBGRADE.
5. **CONCRETE PAVEMENT DESIGN:** ALL ON SITE CONCRETE PAVEMENTS SHALL BE THE THICKNESS, COMPRESSIVE STRENGTH (28 DAYS) AND REINFORCED AS SHOWN ON THE PAVING PLAN AND DETAILS. THE CONCRETE SHALL HAVE A WATER-CEMENT RATIO TO PRODUCE A MINIMUM OF 3 TO MAXIMUM OF 5 INCH SLUMP AND CONTAIN PERCENT-ENTRAINED AIR RANGING FROM 4 TO 6. FLY ASH IN CONCRETE IS PROHIBITED.
6. **REINFORCING BARS:** ALL REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
7. **BAR CHAIRS:** ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
8. **WEATHER CONDITIONS FOR CONCRETE PLACEMENT:** CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM ARTIFICIAL HEAT. DO NOT PLACE CONCRETE WHILE IT IS RAINING OR RAIN IS IMMINENT.
9. **CONCRETE PLACEMENT:** CONCRETE SHALL BE PLACED IN STRIPS NOT TO EXCEED 30' IN WIDTH, UNLESS PUMPED.
10. **CONCRETE PAVEMENT CURING:** CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS.
11. **PAVEMENT JOINTING:**
 - a. **JOINT LAYOUT:** CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE (1) WEEK PRIOR TO PLACING PAVEMENT. JOINTS SHALL BE SPACED AS FOLLOWS:

CONTROL JOINTS:	5' PAVEMENT:	15' MAX.
	6' PAVEMENT:	15' MAX.
EXPANSION JOINTS:		90' MAX.

THE JOINT PATTERN SHALL BE CAREFULLY LAID OUT BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG "VALLEYS" IN THE PAVEMENT SUSCEPTIBLE TO STORM WATER DRAINAGE FLOW.
 - b. **SAW CUTTING:** SAW CUTTING SHALL BE DONE WITHIN 8 HOURS OF POUR OR AS SOON AS CONCRETE CAN SUPPORT WEIGHT. ALL SAWED JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH THE CURB. RADIAL JOINTS SHALL BE NO SHORTER THAN 18 INCHES.
 - c. **JOINT SEALING:** JOINTS SHALL BE SAWN, CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED. UNLESS NOTED OTHERWISE, SEALANT MATERIAL SHALL BE HOT POURED RUBBER JOINT SEALING COMPOUND.
12. **PAVEMENT REMOVAL:** BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS.
13. **CONNECTION TO EXISTING PAVEMENT:** PROPOSED PAVEMENT AND/OR CURBS SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS.
14. **TESTING:** TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER. TESTING SHALL BE PERFORMED, AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE INITIAL TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, SUBSEQUENT TESTS NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. PAVEMENT FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.
15. **CLEAN UP FOR FINAL ACCEPTANCE:** THE CONTRACTOR SHALL MAKE A FINAL CLEAN UP OF ALL PAVED AREAS PRIOR TO ACCEPTANCE BY THE OWNER. THIS CLEAN UP SHALL INCLUDE POWER WASHING THE PAVEMENT IF REQUIRED.
16. **ALL PEDESTRIAN FACILITIES IN THE PUBLIC R.O.W. MUST CONFORM TO THE MOST RECENT VERSION OF PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES.**



PAVING LEGEND	
	5\"/>
	6\"/>
	8\"/>
	4\"/>

AS-BUILT
10/25/2018

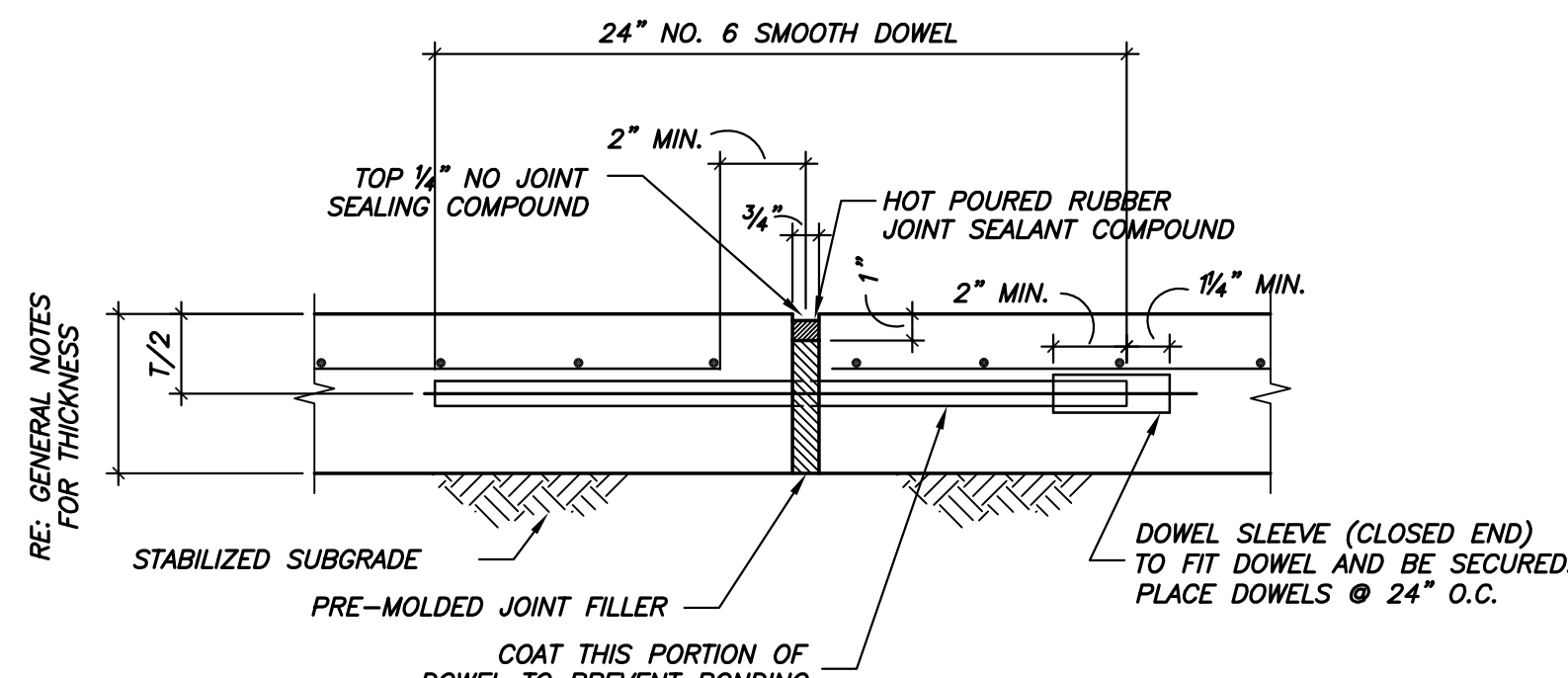
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR LISSIAK, JR., P.E. 30565 ON 10/25/2018



BENCHMARK:
1. SQUARE CUT ON THE CURB INLET AT THE NORTHEAST CORNER OF THE INTERSECTION OF SUNBELT DRIVE AND WESTGROVE DRIVE. ELEVATION=628.54
2. LIGHT POLE CONCRETE BASE IN THE EXCEL PARKWAY MEDIAN WEST OF ADDISON ROAD. ELEVATION=644.41

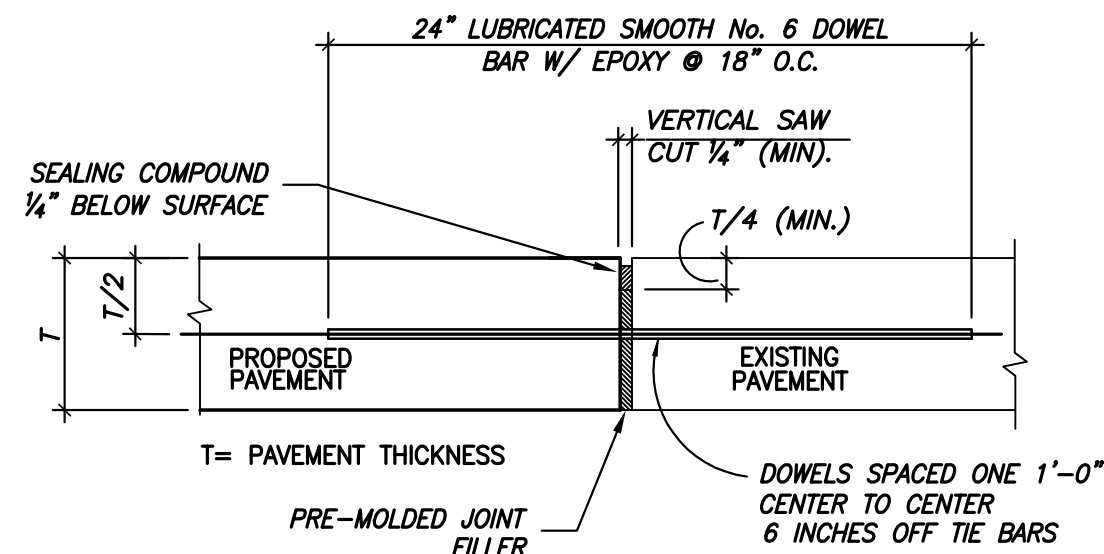
ZONING: PD-CC-707
REVISED: 06/16/17
REVISED: 04/21/17

PAVING PLAN					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II 1458 ACRES GROUND LEASE #080A-29 ALP#U23 4700 WESTGROVE DRIVE ADDISON, TEXAS					
VIEWTECH INC.					
4205 BELTWAY DR. ADDISON, TX. 75001			TEXAS FIRM REGISTRATION NO. F2658 (972) 661-8187 FAX (972) 661-8172		
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C6



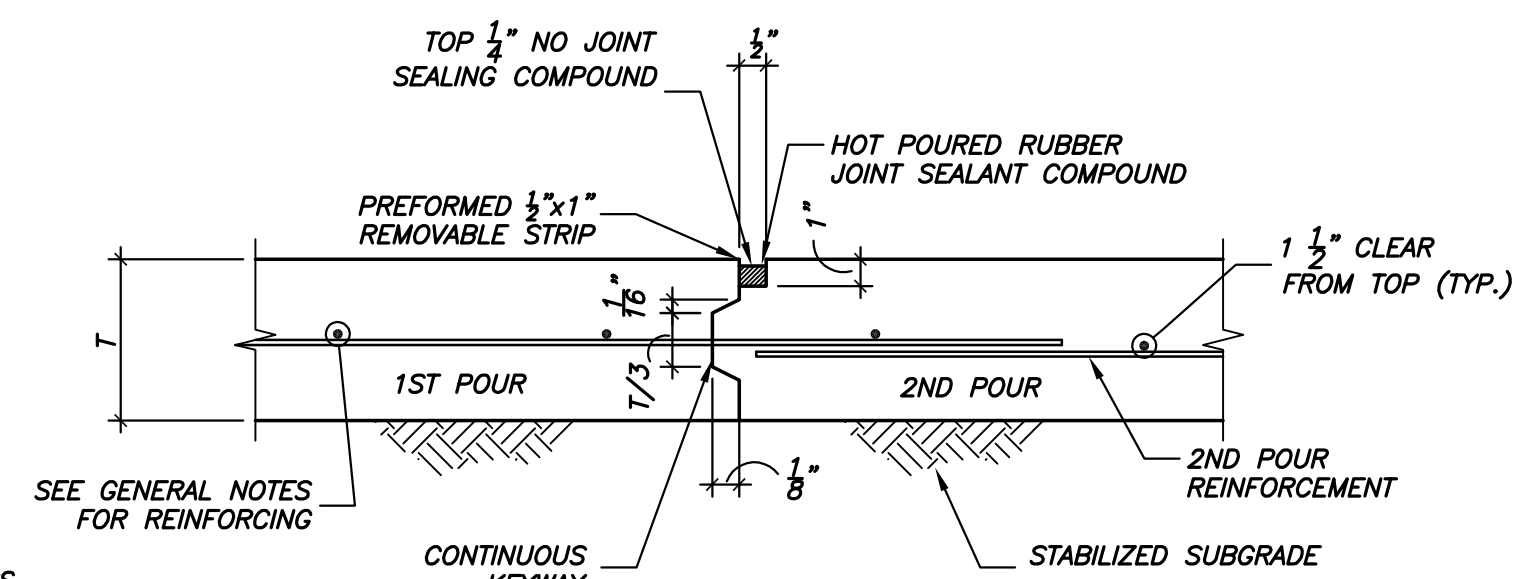
01 TYPICAL PAVING EXPANSION JOINT DETAIL
NOT TO SCALE

EXPANSION JOINT NOTES:
 1. DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.
 2. EXPANSION JOINTS SHALL BE SPACED AT 90' ON CENTER MAXIMUM.
 3. DO NOT CROSS EXPANSION JOINT WITH BONDED REINFORCEMENT.

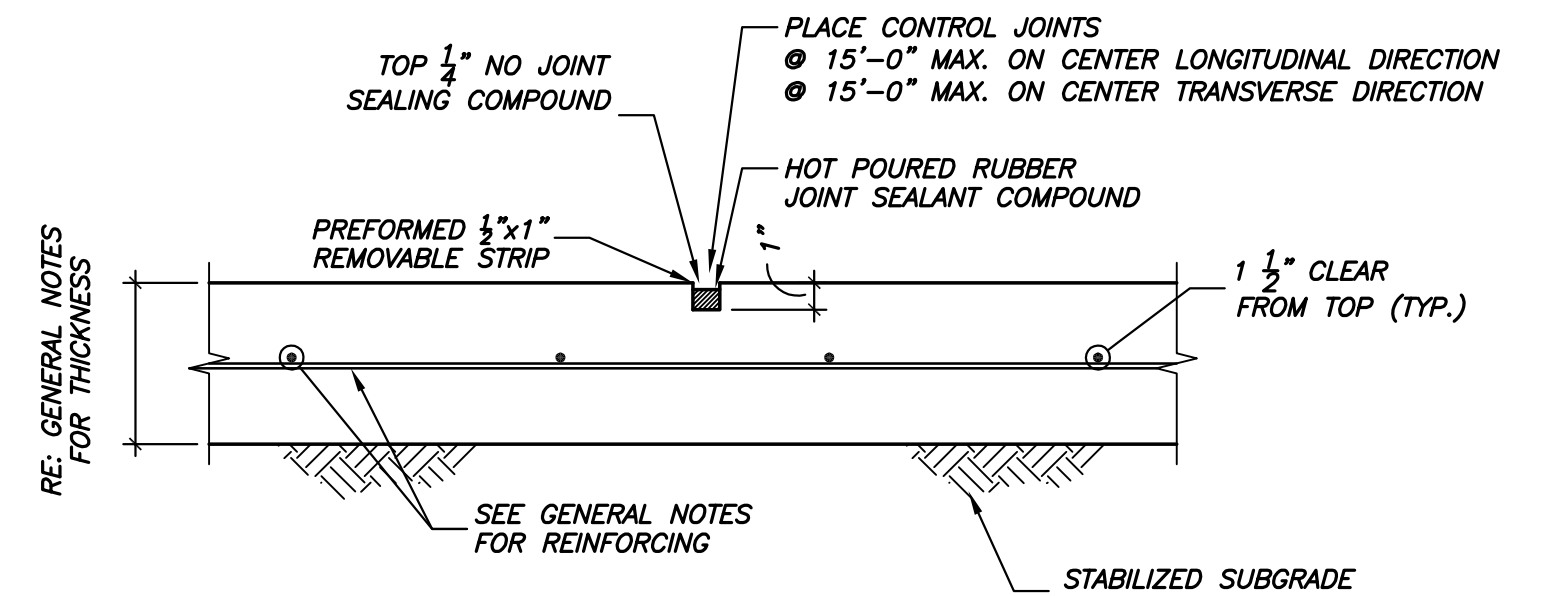


- NOTES:
- NO.5 SMOOTH DOWEL BAR MAY BE USED IN LIEU OF NO. 6 BAR IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
 - REFER TO PAVING GENERAL NOTES FOR JOINT SEALING COMPOUND REQUIREMENTS.

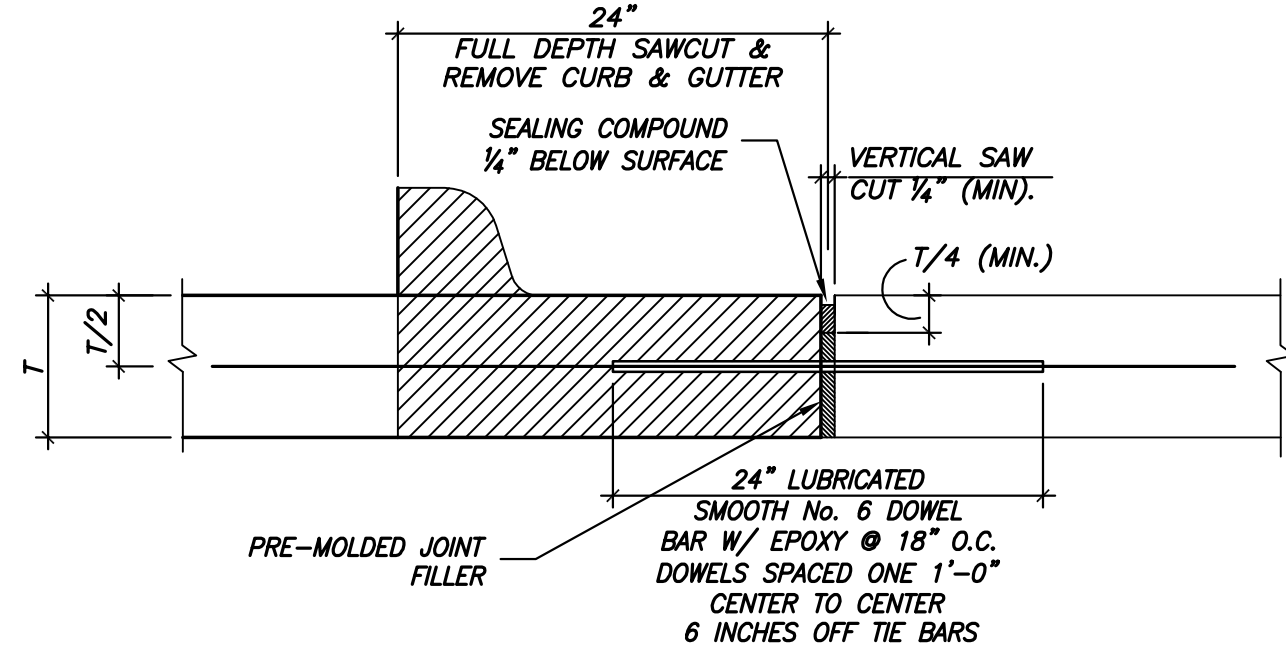
02 LONGITUDINAL BUTT JOINT AT EXISTING PAVEMENT DETAIL
NOT TO SCALE



03 PAVING CONSTRUCTION JOINT DETAIL
NOT TO SCALE

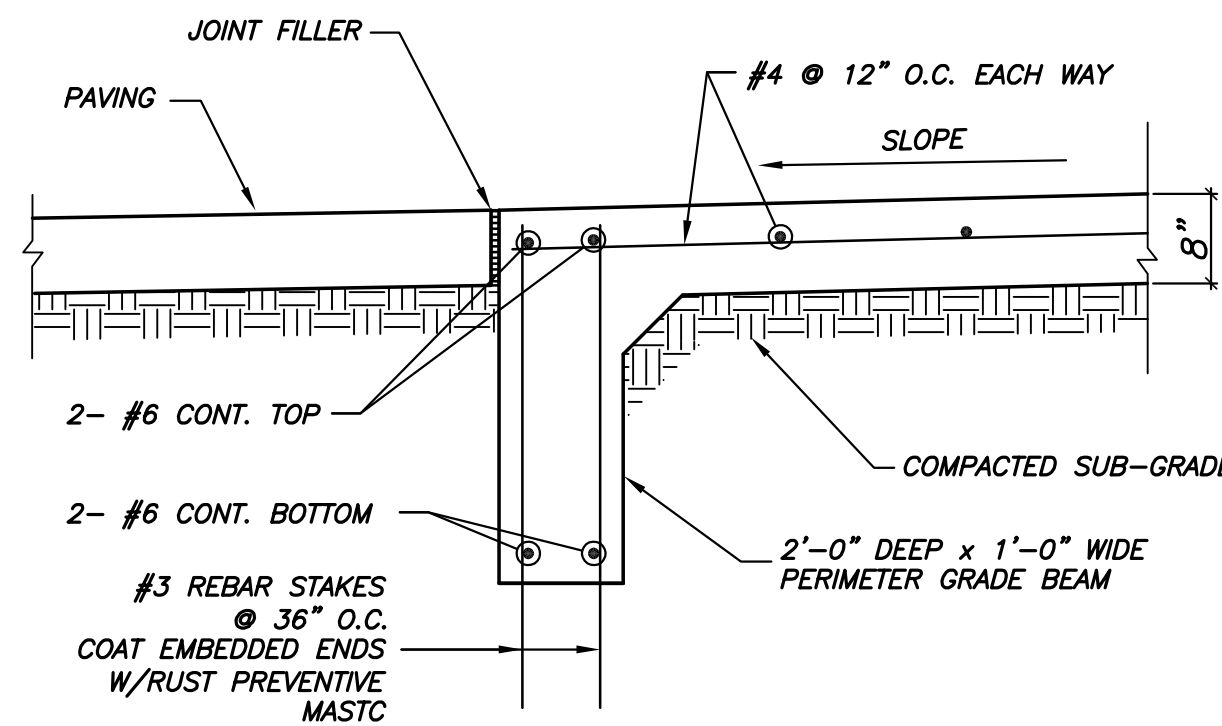


04 CONTROL JOINT DETAIL
NOT TO SCALE

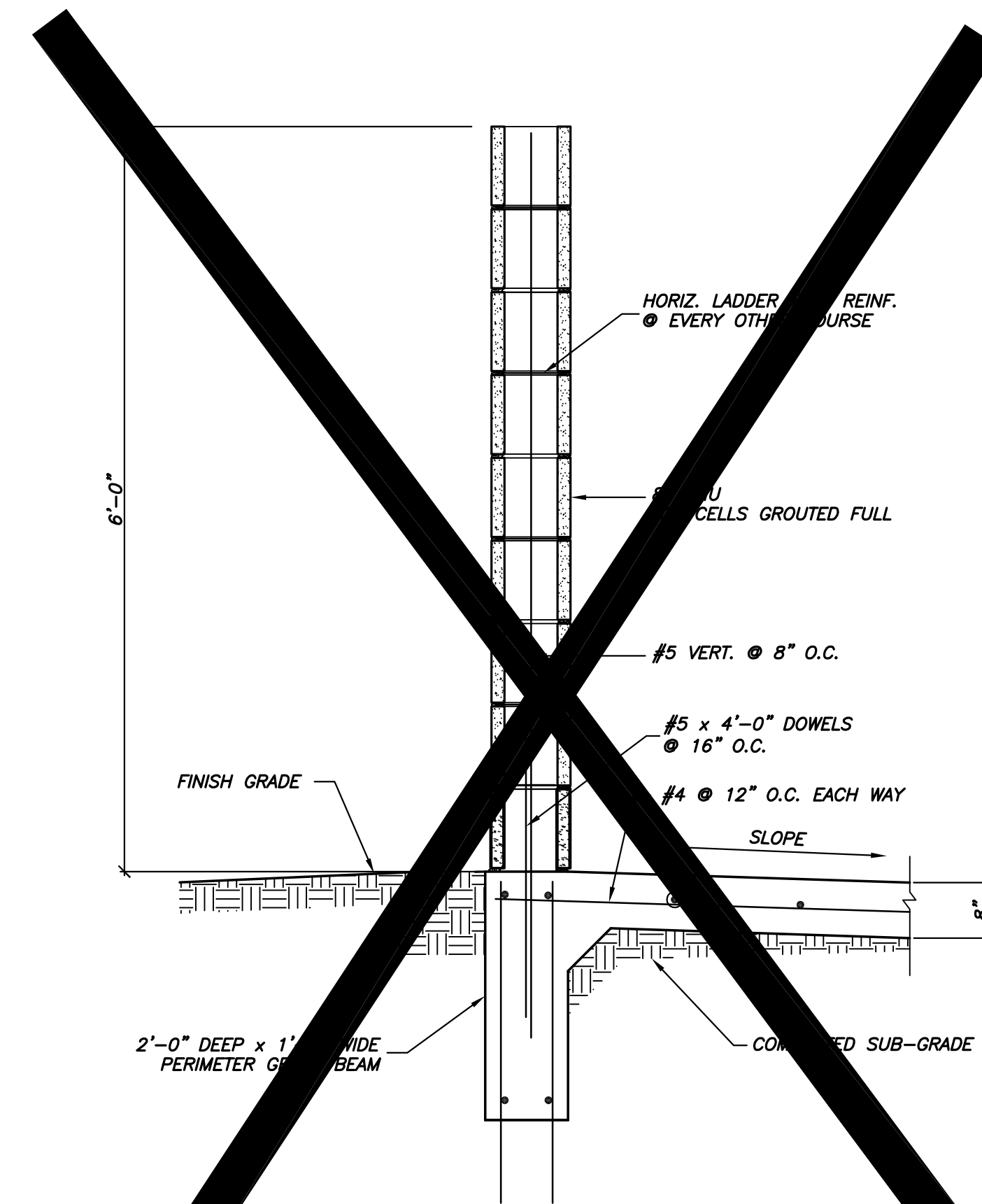


- NOTES:
- NO.5 SMOOTH DOWEL BAR MAY BE USED IN LIEU OF NO. 6 BAR IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
 - REFER TO PAVING GENERAL NOTES FOR JOINT SEALING COMPOUND REQUIREMENTS.

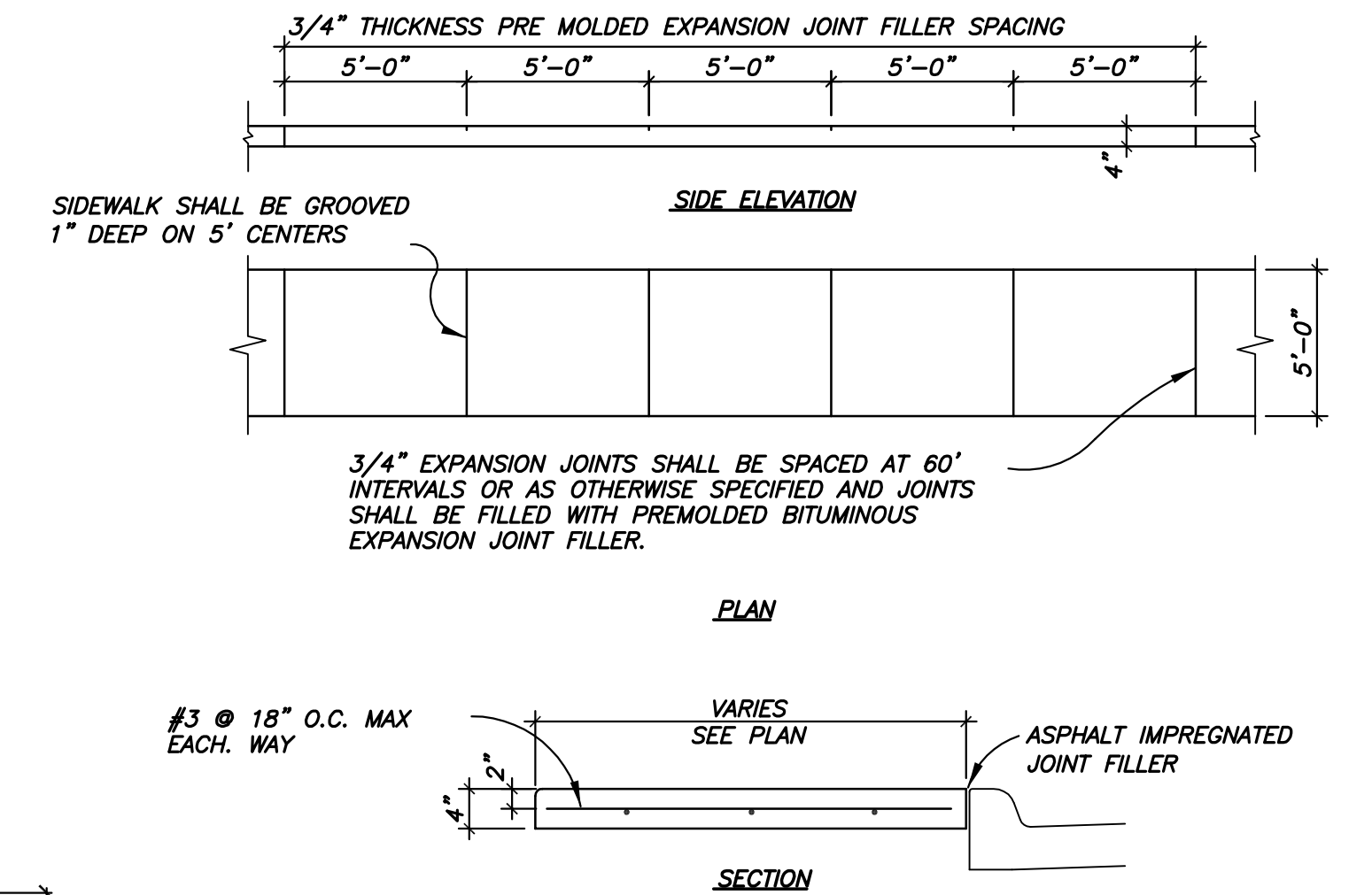
05 LONGITUDINAL BUTT JOINT AT EXISTING CURB DETAIL
NOT TO SCALE



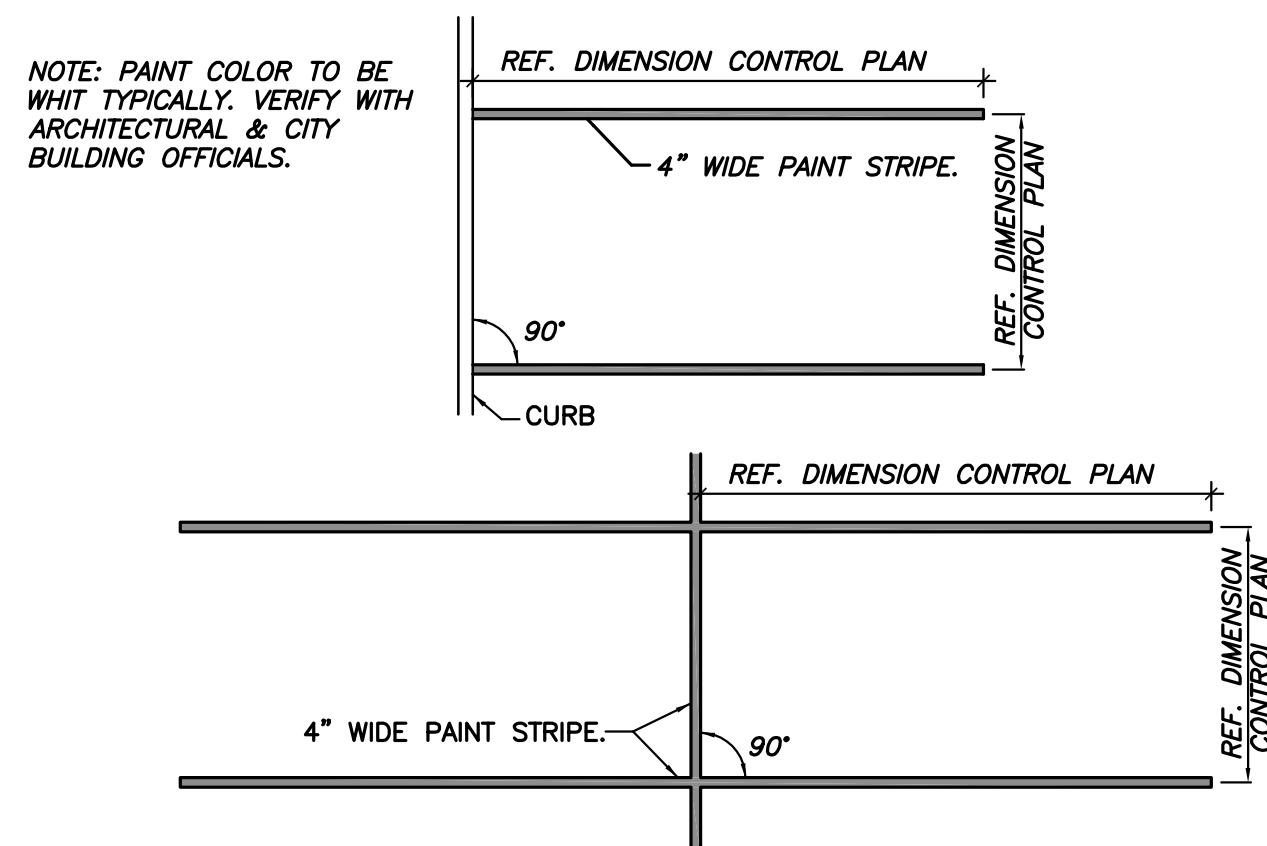
06 TRASH ENCLOSURE FOUNDATION DETAIL
NOT TO SCALE



07 TRASH ENCLOSURE WALL DETAIL AS-BUILT
NOT TO SCALE
10/25/2018

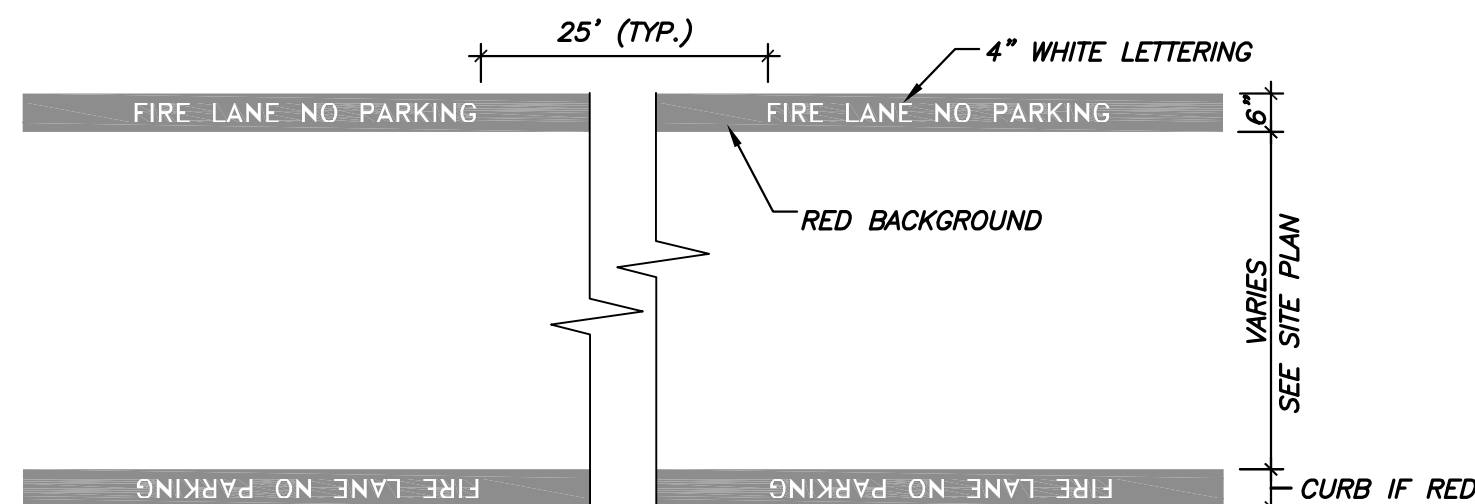


08 TYPICAL CONCRETE SIDEWALK DETAIL (PRIVATE)
NOT TO SCALE

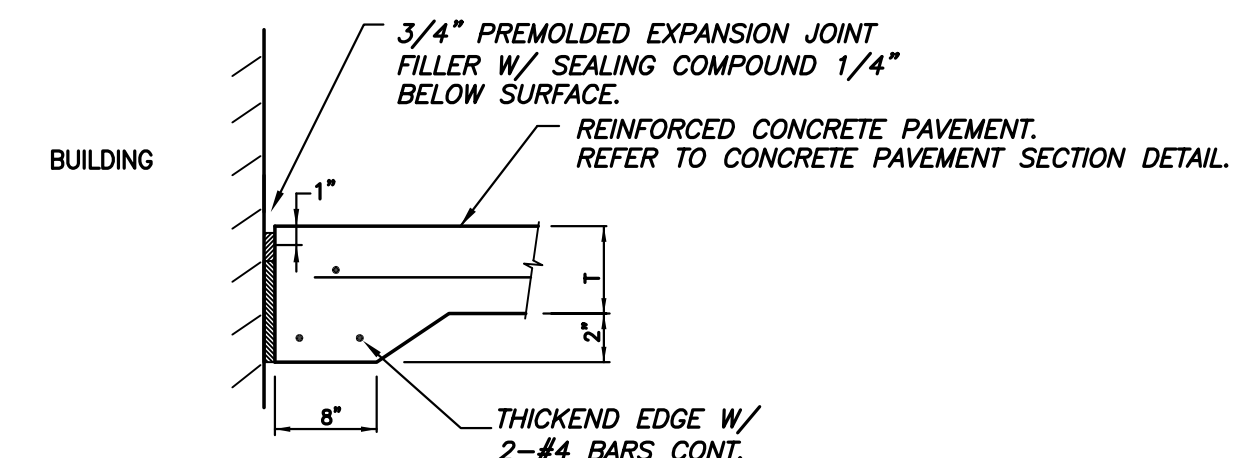


09 90° PARKING STALL STRIPING
NOT TO SCALE

- STRIPING TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITIES' STANDARDS. THE PAVEMENT MARKINGS SHALL BE FROM THE TOP OF THE SEAM OF THE CURB TO A POINT EVEN WITH THE DRIVING SURFACE.
- STRIPES SHALL BE SIX (6) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX TRAFFIC PAINT. COLOR SHALL BE "TRAFFIC RED". STRIPES MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
- LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC LATEX TRAFFIC PAINT. LETTERS TO BE ONE (1) INCH STROKE. COLOR SHALL BE "TRAFFIC WHITE". GLIDDEN NO. 563245 OR EQUAL.



10 FIRE LANE MARKING
NOT TO SCALE



11 PAVEMENT ISOLATION JOINT AT BUILDING
NOT TO SCALE

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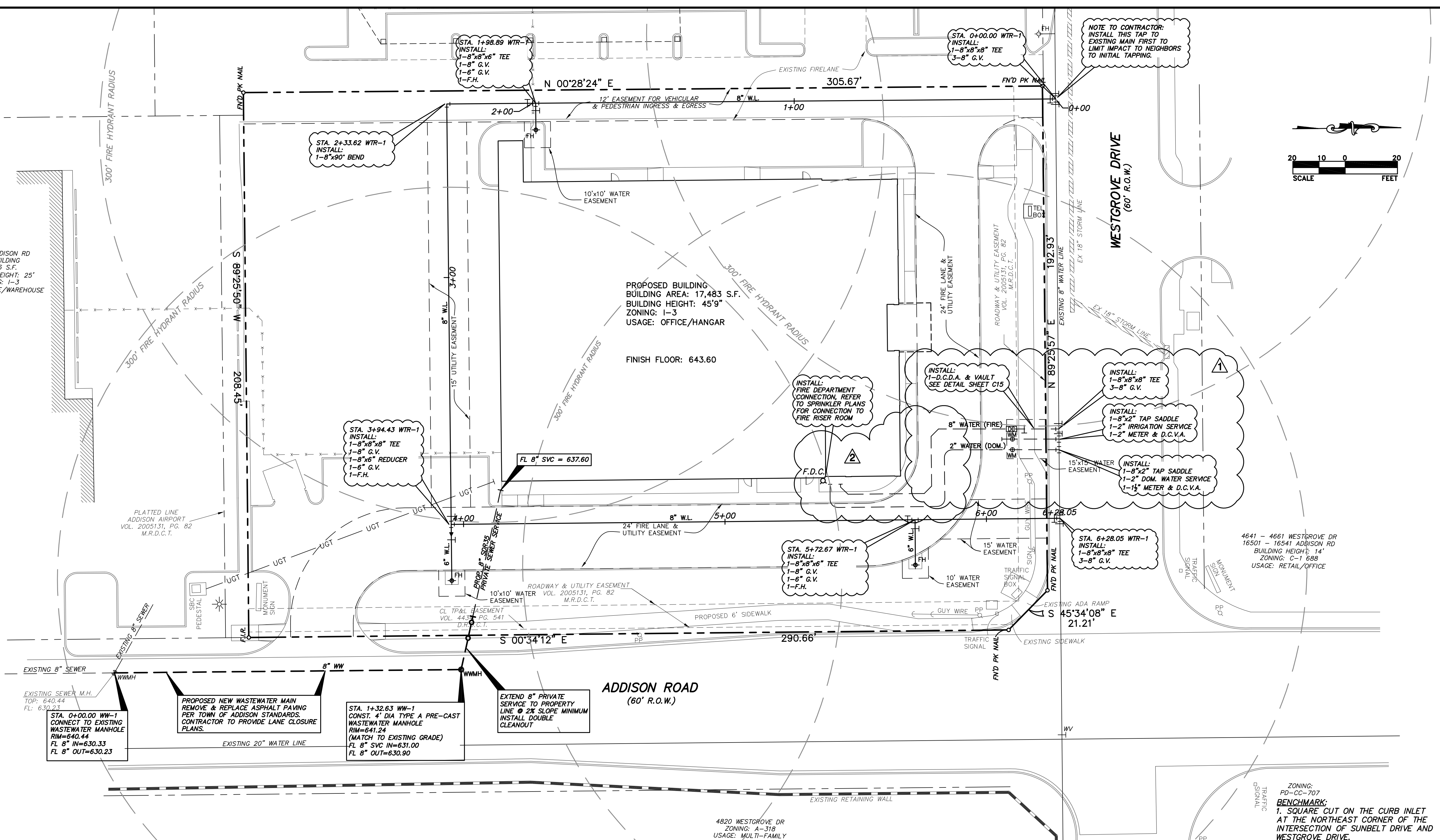
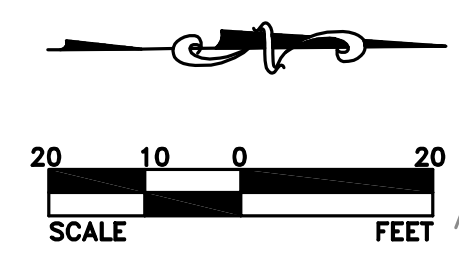


TYPICAL PAVING PLAN					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II					
1458 ACRES GROUND LEASE #080A-29 ALP#U23					
4700 WESTGROVE DRIVE					
ADDISON, TEXAS					
VIEWTECH INC.			TEXAS FIRM REGISTRATION NO. F2658		
4205 BELTWAY DR. ADDISON, TX. 75001			(972) 661-8187 FAX (972) 661-8172		
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C6.1

16445 ADDISON RD
EX. BUILDING
19,906 S.F.
BUILDING HEIGHT: 25'
ZONING: I-3
USAGE: OFFICE/WAREHOUSE

PROPOSED BUILDING
BUILDING AREA: 17,483 S.F.
BUILDING HEIGHT: 45'9"
ZONING: I-3
USAGE: OFFICE/HANGAR

FINISH FLOOR: 643.60



AS-BUILT
10/25/2018

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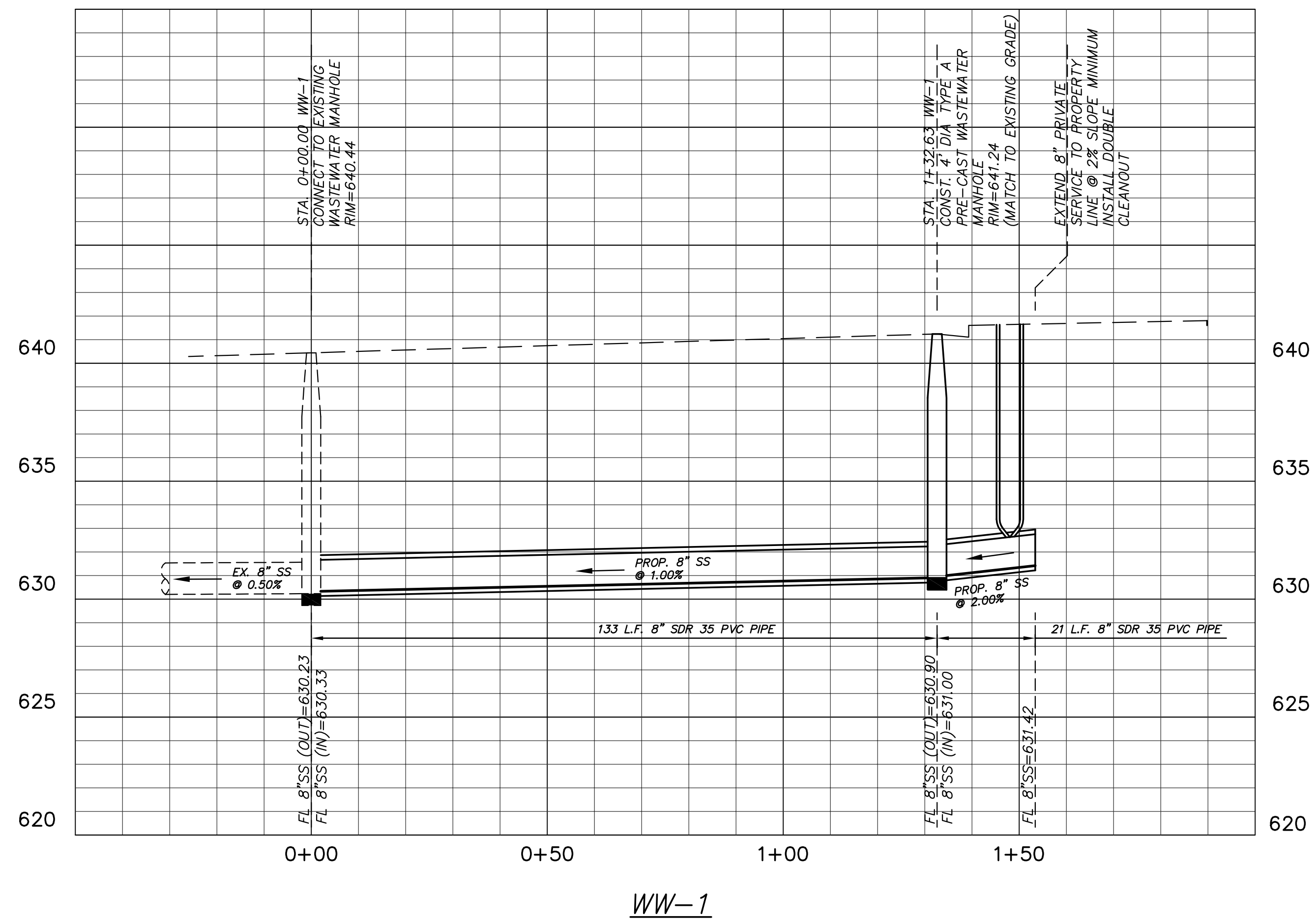


ZONING: PD-CC-707
BENCHMARK: 1. SQUARE CUT ON THE CURB INLET AT THE NORTHEAST CORNER OF THE INTERSECTION OF SUNBELT DRIVE AND WESTGROVE DRIVE. ELEVATION=628.54
2. LIGHT POLE CONCRETE BASE IN THE EXCEL PARKWAY MEDIAN WEST OF ADDISON ROAD. ELEVATION=644.41

REVISION: 09/14/2017
REVISION: 08/29/2017

WATER AND WASTEWATER PLAN
MEHRDAD HANGAR
ADDISON AIRPORT
LEASEHOLD ESTATES TRACT II
1458 ACRES GROUND LEASE #080A-29 ALP#U23
4700 WESTGROVE DRIVE
ADDISON, TEXAS

VIEWTECH INC.		TEXAS FIRM REGISTRATION NO. F2658			
4205 BELTWAY DR. ADDISON, TX. 75001		(972) 661-8187 FAX (972) 661-8172			
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C7.1



AS-BUILT
10/25/2018

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▲					
WASTEWATER PROFILE					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II 1458 ACRES GROUND LEASE #080A-29 ALP#U23 ▲ 4700 WESTGROVE DRIVE ADDISON, TEXAS					
VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658					
4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172					
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	H:1"=20' V:1"=4'	2015-224	C7.2

16445 ADDISON RD
EX. BUILDING
19,906 S.F.
BUILDING HEIGHT: 25'
ZONING: I-3
USAGE: OFFICE/WAREHOUSE

NEW TELEPHONE SERVICE
FROM EXISTING SERVICE
PEDESTAL. CONTRACTOR TO
CONTACT SERVICE PROVIDER
TO REQUEST SERVICE AND
COORDINATE INSTALLATION.

EXISTING SEWER M.H.
TOP: 640.44
FL: 630.23

PLATTED LINE
ADDISON AIRPORT
VOL. 2005131, PG. 82
M.R.D.C.T.

ROADWAY & UTILITY EASEMENT
VOL. 2005131, PG. 82
M.R.D.C.T.

INSTALL ELECTRICAL SERVICE
RISER. CONTRACTOR TO
CONTACT SERVICE PROVIDER
TO REQUEST SERVICE AND
COORDINATE INSTALLATION.

ADDISON ROAD
(60' R.O.W.)

4820 WESTGROVE DR
ZONING: A-318
USAGE: MULTI-FAMILY

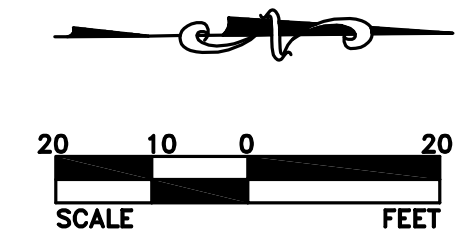
PROPOSED BUILDING
BUILDING AREA: 17,483 S.F.
BUILDING HEIGHT: 45'9"
ZONING: I-3
USAGE: OFFICE/HANGAR

FINISH FLOOR: 643.60

LOCATE ELECTRIC METER OUTSIDE OF SIDEWALK
AND LANDSCAPE BUFFER. REFER TO MEP PLANS
FOR SECONDARY BACK TO BUILDING.

REFER TO MEP PLANS FOR CONTINUATION,
LOADS, AND SPECIFICATIONS

APPROX. LOCATION OF
ELECTRICAL DUCT



AS-BUILT
10/25/2018

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DOCUMENT WAS AUTHORIZED BY
VICTOR LISSIAK, JR., P.E. 30565
ON 10/25/2018



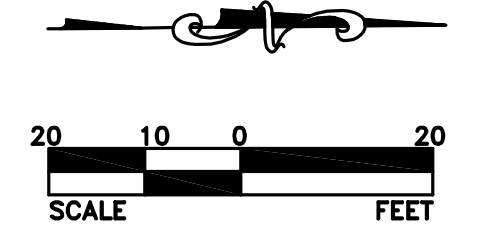
ZONING:
PD-CC-707

- BENCHMARK:**
1. SQUARE CUT ON THE CURB INLET AT THE NORTHEAST CORNER OF THE INTERSECTION OF SUNBELT DRIVE AND WESTGROVE DRIVE. ELEVATION=628.54
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FRANCHISE UTILITY PLAN
MEHRDAD HANGAR
ADDISON AIRPORT
LEASEHOLD ESTATES TRACT II
1458 ACRES GROUND LEASE #080A-29 ALP#U23
4700 WESTGROVE DRIVE
ADDISON, TEXAS

VIEWTECH INC.		TEXAS FIRM REGISTRATION NO. F2658			
4205 BELTWAY DR. ADDISON, TX. 75001		(972) 661-8187 FAX (972) 661-8172			
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C8

IMPORTANT
CURB INLET WEST OF PROJECT ON SOUTH SIDE OF WESTGROVE DRIVE SHALL REMAIN PROTECTED DURING CONSTRUCTION



ACREAGE SUMMARY	
TOTAL SITE	1.458 AC
TOTAL DISTURBED	1.325 AC
PRE-CONSTRUCTION RUNOFF COEFFICIENT	0.25
POST CONSTRUCTION RUNOFF COEFFICIENT	0.90

16445 ADDISON RD
EX. BUILDING
19,906 S.F.
BUILDING HEIGHT: 25'
ZONING: I-3
USAGE: OFFICE/WAREHOUSE

PROPOSED BUILDING
BUILDING AREA: 17,483 S.F.
BUILDING HEIGHT: 45'9"
ZONING: I-3
USAGE: OFFICE/HANGAR

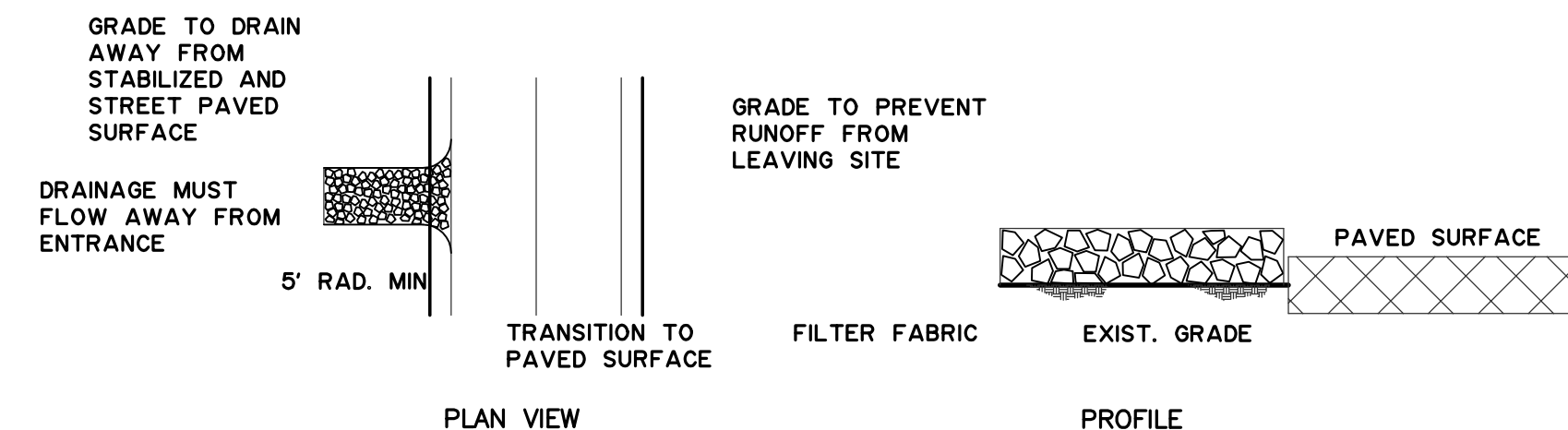
4641 - 4661 WESTGROVE DR
16501 - 16541 ADDISON RD
BUILDING HEIGHT: 14'
ZONING: C-1 688
USAGE: RETAIL/OFFICE

IMPORTANT
CURB INLET SOUTH OF PROJECT ON WEST SIDE OF ADDISON ROAD SHALL REMAIN PROTECTED DURING CONSTRUCTION

EXISTING SEWER M.H.
TOP: 640.44
FL: 630.23

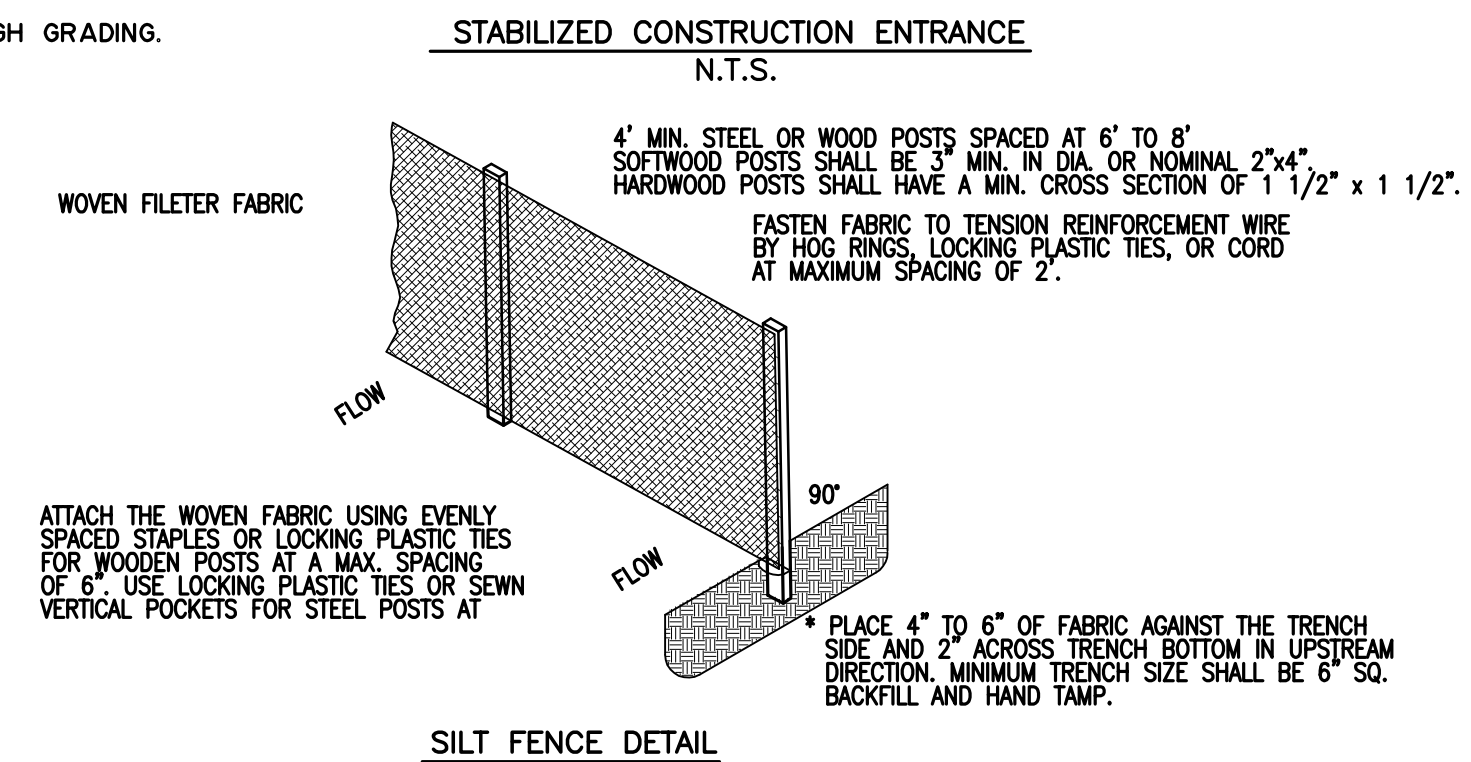
LEGEND:

	LIMITS OF DISTURBANCE
	SILT FENCE
	INLET PROTECTION
	EXISTING STORM SEWER
	STABILIZED CONSTRUCTION ENTRANCE



- EROSION CONTROL NOTES:**
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, (ICOG) LATEST EDITION, ISWM CRITERIA MANUAL FOR SITE DEVELOPMENT AND CONSTRUCTION (LATEST EDITION), ISWM TECHNICAL MANUALS, TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REGULATIONS, AND THE CITY OF LEWISVILLE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION STANDARDS.
 - THE SPECIFIC PLANT MATERIALS PROPOSED TO PROTECT FILL AND EXCAVATED SLOPES SHALL BE AS INDICATED ON THE PLANS. PLANT MATERIALS MUST BE SUITABLE FOR USE UNDER LOCAL CLIMATE AND SOIL CONDITIONS. IN GENERAL, HYDROSEEDING OR SODDING BERMUDA GRASS IS ACCEPTABLE DURING THE SUMMER MONTHS (MAY 1 TO AUGUST 30). WINTER RYE OR FRESCUE GRASS MAY BE PLANTED DURING TIMES OTHER THAN THE SUMMER MONTHS AS A TEMPORARY MEASURE UNTIL SUCH TIME AS THE PERMANENT PLANTING CAN BE MADE.
 - PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE SHALL BE INSTALLED AT THE LOCATION(S) SHOWN.
 - AS INLETS ARE COMPLETED, TEMPORARY SEDIMENT BARRIERS (INLET PROTECTIONS) SHALL BE INSTALLED. ALL INLETS, INCLUDING IN THE LANDSCAPE AREAS, SHALL HAVE TEMPORARY SEDIMENT BARRIERS INSTALLED.
 - AT THE COMPLETION OF THE PAVING AND FINAL GRADING, THE DISTURBED AREA(S) SHALL BE REVEGETATED IN ACCORDANCE WITH THE PLANS.
 - SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
 - DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED, DISTURBED AREA SHALL BE WATERED, FERTILIZED, AND RESEEDED OR RESODDED, IF NECESSARY.

- EROSION CONTROL CONSTRUCTION PHASING:**
- EROSION CONTROL BMP INSTALLATION
 - TOP SOIL REMOVAL, CLEARING, GRUBBING AND ROUGH GRADING.
 - UTILITY INSTALLATION.
 - BUILDING CONSTRUCTION.
 - PAVING.
 - FINE GRADING.
 - LANDSCAPE AND VEGETATION.
 - EROSION CONTROL BMP REMOVAL.



AS-BUILT
10/25/2018

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BENCHMARK:
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2. LIGHT POLE CONCRETE BASE IN THE EXCEL PARKWAY MEDIAN WEST OF ADDISON ROAD. ELEVATION=644.41

EROSION CONTROL PLAN					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II					
1458 ACRES GROUND LEASE #080A-29 ALP#U23					
4700 WESTGROVE DRIVE					
ADDISON, TEXAS					
VIEWTECH INC.			TEXAS FIRM REGISTRATION NO. F2658		
4205 BELTWAY DR. ADDISON, TX. 75001			(972) 661-8187 FAX (972) 661-8172		
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C9

SITE DESCRIPTION

PROJECT NAME & LOCATION:

MEHRDAD HANGER
WESTGROVE ROAD
ADDISON, TEXAS 75001

OWNER/OPERATOR NAME, ADDRESS & PHONE:

CENTURION AMERICAN DEVELOPMENT GROUP
1800 VALLEY VIEW LANE SUITE 300
FARMERS BRANCH, TX 75234
PHONE: 469.892.7200
CONTACT: _____

DEVELOPER NAME & ADDRESS:

CENTURION AMERICAN DEVELOPMENT GROUP
1800 VALLEY VIEW LANE SUITE 300
FARMERS BRANCH, TX 75234

PROJECT DESCRIPTION:

AIRCRAFT HANGAR WITH OFFICE BUILDING

SEQUENCE OF MAJOR ACTIVITIES:

1. CUTTING, ROUGH GRADING AND BACKFILLING
2. UTILITY CONSTRUCTION
3. PAVING/BUILDING CONSTRUCTION

MAJOR SOIL DISTURBING ACTIVITIES:

ITEMS 1, 2 AND 3 FROM ABOVE

PRE-DEVELOPMENT RUNOFF COEFFICIENT:

c = 0.25

FINAL RUNOFF COEFFICIENT AFTER CONSTRUCTION:

c = 0.90

TOTAL PROJECT AREA:

1.458 AC

TOTAL AREA TO BE DISTURBED:

1.458 AC

DESCRIPTION OF EXISTING SOIL (IF AVAILABLE):

PER USDA SOIL REPORT DATED SEPTEMBER 2014, SOILS ARE PRIMARILY NAVO CLAY LOAM WITH SOME BURLESON CLAYS

DESCRIPTION OF STABILIZATION OF EX. DRAINAGE WAYS:

DRAINAGE INLET

NAME OF RECEIVING WATERS:

CITY OF ADDISON STORMWATER SYSTEM

ADDITIONAL COMMENTS:

ESTIMATED PROJECT START DATE: OCT 1, 2016

ESTIMATED PROJECT END DATE: MAY 1, 2016

EROSION & SEDIMENT CONTROL

STABILIZATION PRACTICES:

DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED (TEMPORARILY OR PERMANENT) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME WITHIN 21 DAYS.

TEMPORARY	PERMANENT	
_____	_____	SEED OR SOD
_____	_____	VEGETATION OTHER THAN SEED OR SOD
✓ _____	_____	EROSION CONTROL MATS
_____	_____	PRESERVATION OF NATURAL VEGETATION
_____	_____	OTHER (DESCRIBE)

ADDITIONAL COMMENTS:

STRUCTURAL PRACTICES:

TEMPORARY	PERMANENT	
✓ _____	_____	SILT FENCE
_____	_____	HAYE BALES
_____	_____	DIVERSION, INTERCEPTOR, OR PERIMETER DIKES
_____	_____	DIVERSION, INTERCEPTOR, OR PERIMETER SWALES
_____	_____	PIPE SLOPE DRAIN
_____	_____	TRIANGULAR SEDIMENT FILTER DIKE
✓ _____	_____	INLET PROTECTION
_____	_____	STONE OUTLET SEDIMENT TRAP
_____	_____	SEDIMENT BASIN (REQUIRED FOR 10 ACRES OR LARGER WHERE ATTAINABLE)
_____	_____	CHECK DAM
_____	_____	TEMPORARY SEDIMENT TANK
✓ _____	_____	STABILIZED CONSTRUCTION ENTRY
_____	_____	SANDBAG BERM
_____	_____	OTHER (DESCRIBE):

ADDITIONAL COMMENTS:

OTHER ADDITIONAL STORM WATER MANAGEMENT FEATURES

	PERMANENT	
_____	_____	CURB & GUTTER
_____	✓ _____	STORM SEWER INLETS
_____	_____	STORM SEWER
_____	_____	CULVERTS
_____	_____	STORM WATER DETENTION POND
_____	_____	VELOCITY DISSIPATION DEVICES
_____	_____	OTHER (DESCRIBE):

ADDITIONAL COMMENTS:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNED: _____
NAME (PRINTED): _____
TITLE: _____ DATE: _____
NAME OF FIRM: _____ NATURE OF FIRM RESPONSIBILITY: _____
ADDRESS: _____ DEVELOPER/OWNER'S REPRESENTATIVE/PRIMARY OPERATOR
CITY, STATE, ZIP: _____
PHONE: _____

SIGNED: _____
NAME (PRINTED): _____
TITLE: _____ DATE: _____
NAME OF FIRM: _____ NATURE OF FIRM RESPONSIBILITY: _____
ADDRESS: _____ GENERAL CONTRACTER/SECONDARY OPERATOR
CITY, STATE, ZIP: _____
PHONE: _____

SIGNED: _____
NAME (PRINTED): _____
TITLE: _____ DATE: _____
NAME OF FIRM: _____ NATURE OF FIRM RESPONSIBILITY: _____
ADDRESS: _____
CITY, STATE, ZIP: _____
PHONE: _____



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR LISSIAK, JR., P.E. 30565 ON 10/25/2018



SW.P.P.					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II 1458 ACRES GROUND LEASE #080A-29 ALP#U23 4700 WESTGROVE DRIVE ADDISON, TEXAS					
VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658 4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172					
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16		2015-224	C10

GENERAL NOTES

- THE TOWN OF ADDISON'S BUILDING INSPECTOR OVERTIME POLICY ALLOWS THE CONTRACTOR TO WORK FROM 7:00 A.M. TO 7:00 P.M., MONDAY THROUGH SATURDAY. ANY REQUEST TO WORK ON SATURDAY MUST BE MADE PRIOR TO 12:00 P.M. ON THURSDAY AFTERNOON AND WILL REQUIRE A MINIMUM FOUR (4) HOUR CHARGE. THE CONTRACTOR SHALL PAY OVERTIME CHARGES OF \$45.00 PER HOUR TO THE TOWN OF ADDISON FOR WORK OUTSIDE THE NORMAL WORK WEEK (8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY). NO WORK IS ALLOWED ON SUNDAYS OR CITY HOLIDAYS WITHOUT WRITTEN APPROVAL FROM THE CITY BUILDING OFFICIAL OR DESIGNEE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A COPY OF THE BID PROPOSAL FOR ALL PUBLIC IMPROVEMENTS TO THE TOWN OF ADDISON AT THE PRE-CONSTRUCTION MEETING. THIS PROPOSAL SHALL INCLUDE UNIT COSTS, QUANTITIES AND AMOUNTS.
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING A 3.5% INSPECTION FEE TO THE TOWN OF ADDISON AT THE PRE-CONSTRUCTION MEETING FOR ALL PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A TWO (2) YEAR, 100% MAINTENANCE BOND TO THE TOWN OF ADDISON FOR ALL PUBLIC IMPROVEMENTS (WATER, SANITARY SEWER, STORM DRAINAGE, PAVEMENT, SIDEWALK, SCREENING WALLS, TRAFFIC SIGNALS, PAVEMENT MARKINGS, AND EXCAVATION/FILL) WITHIN RIGHT-OF-WAYS OR EASEMENTS.
- NO WATER JETTING IS ALLOWED FOR WATER, SANITARY SEWER AND STORM SEWER DRAINAGE CONSTRUCTION.
- ALL TRENCHES THAT ARE EXCAVATED TO A DEPTH IN EXCESS OF FIVE (5) FEET SHALL BE EXCAVATED AND MAINTAINED IN A MANNER THAT MEETS ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. PRIOR TO THE EXCAVATION AND CONSTRUCTION OF THE TRENCHES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TWO (2) COPIES OF THE TRENCH SAFETY PLANS PREPARED BY A LICENSED TEXAS PROFESSIONAL ENGINEER IN ACCORDANCE WITH OSHA STANDARDS.
- ALL EMBEDMENT AND BACKFILL SHALL BE WETTED TO APPROXIMATE OPTIMUM MOISTURE AND COMPACTED IN EIGHT (8) INCH LIFTS TO 95% STANDARD PROCTOR DENSITY. DENSITY TESTS SHALL BE OBTAINED FOR EACH LIFT AND FOR EACH 150 LINEAL FEET OF TRENCH OR INCREMENT THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A COPY OF ALL GEOTECHNICAL LABORATORY REPORTS/ TEST RESULTS TO THE TOWN OF ADDISON.
- THERE SHALL BE NO FILLING IN THE FLOODPLAIN OR DUMPING WITHIN THE TOWN OF ADDISON WITHOUT AN APPROVED GRADING PLAN AND/OR FILL PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ALL FIELD CHANGES TO THE PLANS, KEPT ONSITE AND MADE AVAILABLE FOR OBSERVATION AND REVIEW. THE PROJECT ENGINEER SHALL INCORPORATE THESE CHANGES IN "RECORD DRAWINGS" TO BE PROVIDED TO THE TOWN OF ADDISON AT COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL IN ACCORDANCE WITH THE EROSION CONTROL PLAN PREPARED BY THE ENGINEER AND/OR AS IDENTIFIED ON THE STORM WATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL DEVICES WHEN FIELD CONDITIONS WARRANT OR AS DIRECTED BY THE TOWN OF ADDISON OR THE ENGINEER.
- THE PERMITTED OPERATOR SHALL SUBMIT COPIES OF THE NOTICE OF INTENT (N.O.I.) AND THE NOTICE OF TERMINATION (N.O.T.) TO THE TOWN OF ADDISON ENGINEERING DIVISION AS PART OF THE SUBMITTAL TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
- THE CONTRACTOR SHALL REMOVE AND REPLACE ANY CONCRETE PAVEMENT (DRIVE APPROACHES/STREET PANELS) WITHIN FIVE (5) DAYS OF SAW CUTTING THE PAVEMENT. CONCRETE PAVEMENT SUBJECT TO VEHICULAR TRAFFIC SHALL HAVE A COMPRESSIVE STRENGTH OF 4,200 PSI AT 3 DAYS.
- THE USE OF FLY ASH IS NOT ALLOWED IN THE CONCRETE MIX DESIGN. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD AND THE CITY BUILDING OFFICIAL WITH A MIX DESIGN A MINIMUM OF ONE WEEK PRIOR TO POUR, FOR APPROVAL.
- ALL SUBGRADES FOR PUBLIC STREET IMPROVEMENTS SHALL BE TESTED FOR SULFATES PRIOR TO SUBGRADE TREATMENT. FILL MATERIALS CONTAINING SULFATES WILL NOT BE ALLOWED FOR USE WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAYS.
- THE DEVELOPER IS RESPONSIBLE FOR PROVIDING A PRELIMINARY GEOTECHNICAL REPORT AT THE TIME OF THE SUBMITTAL OF THE CONSTRUCTION DRAWINGS. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR PROVIDING A GEOTECHNICAL REPORT UPON COMPLETION OF THE SUBGRADE TREATMENT FOR COMPARISON.
- THE MAXIMUM P.I. ALLOWED FOR A TREATED SUBGRADE IS 25.
- THE DEVELOPER IS RESPONSIBLE FOR ALL THIRD PARTY COSTS ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT (I.E., INSPECTIONS, FLAGGERS, TRAFFIC CONTROL PERFORMED BY POLICE OFFICERS AND ETC.)
- EXISTING UTILITIES REPRESENTED IN THESE PLANS ARE BASED UPON FOUND EVIDENCE FROM AN ON-THE-GROUND SURVEY AND AS-BUILT CONSTRUCTION DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND ALERT THE ENGINEER OF RECORD OF ANY CONFLICTS.

STORM SEWER GENERAL NOTES :

1. ALL WORKMANSHIP, INSTALLATIONS, CONSTRUCTION AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND DETAILS FOR THE TOWN OF ADDISON.
2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
3. ALL PRIVATE STORM SEWER PIPE SHALL BE ADS-NI2 HDPE OR EQUIVALENT (UNLESS OTHERWISE NOTED), OR REINFORCED CONCRETE PIPE ASTM C-76, CLASS III, OR BETTER.
4. ALL ROOF DRAINS SHALL BE TIED INTO STORM SEWER MAIN. REFER TO ARCHITECTURAL PLANS FOR LOCATION. ALL ROOF DRAINS SHALL BE MINIMUM OF 6" PVC SCHEDULE 40, SDR 35 OR HDPE N-12.
5. ALL LANDSCAPE DRAINS SHALL BE 12"x12" GRATED CATCH BASIN BY CARSON INDUSTRIES LLC, OR EQUIVALENT.
6. ALL PIPES FROM LANDSCAPE DRAINS SHALL BE A MINIMUM OF 6" PVC SCHEDULE 40, SDR 35 OR HDPE N-12.
7. INSTALLATION OF PIPE SHALL CONFORM TO TOWN OF ADDISON STANDARDS. TRENCH WIDTH, LAYBACK, & EMBEDMENTS SHALL CONFORM TO TOWN OF ADDISON AND OSHA STANDARDS.

WATER LINE GENERAL NOTES :

1. ALL WORKMANSHIP, INSTALLATIONS AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
2. CONTRACTOR TO INCLUDE ALL REQD. BONDS, TAP FEES, ETC., IN PROPOSAL.
3. ALL SERVICE TAPS OF PVC PIPE, 2" OR LESS, SHALL UTILIZE A TAPPING SADDLE.
4. ALL FIRE WATER LINES AND HYDRANT LEADS SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, A.W.W.A. STANDARD C900, MINIMUM DR 14.
5. ALL DOMESTIC WATER MAINS SHALL BE CLASS 150 (DR-18) POLYVINYL CHLORIDE (PVC) PIPE, A.W.W.A. STANDARD C900, WITH DUCTILE IRON FITTINGS; TYPE K COPPER TUBING SHALL BE USED FOR SERVICE LINES.
6. FITTINGS SHALL BE DUCTILE IRON, A.W.W.A. STANDARDS C10 AND C11.
7. FITTINGS FOR PVC PIPE SHALL BE COMPATIBLE WITH THE PIPE UTILIZED.
8. DEPTHS OF WATER LINES TO MEET THE TOWN OF ADDISON DESIGN CRITERIA.
9. FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED.
10. VALVES TO BE TOWN OF ADDISON APPROVED.
11. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE TOWN OF ADDISON FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY. THE MAINTENANCE BOND SHALL BE FURNISHED ON A FORM ACCEPTABLE TO THE TOWN OF ADDISON.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES, TO BE PROVIDED TO THE TOWN OF ADDISON AT COMPLETION OF CONSTRUCTION.
13. FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
14. STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB OR FINISH GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL BE LOCATED 3' BEHIND THE CURB.
15. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
16. ALL WATER LINES SHALL BE STERILIZED PER TCEQ STANDARDS AND SPECIFICATIONS.
17. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
18. UTILITY TRENCHES SHALL BE BACK FILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS.
19. ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.
20. ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
21. CONTRACTOR TO INCLUDE ALL CITY WATER AND WASTE WATER FEES IN BID. PAY CITY CONNECTION FEES FOR WATER & WASTE WATER.
22. ALL PRIVATE FIRE LINES TO BE INSTALLED BY TEXAS LICENSED SPRINKLER CONTRACTOR.
23. INSTALL ADDITIONAL WATER LINE FITTINGS AS NECESSARY WHEN CROSSING STORM SEWER LINE, WASTE WATER LINE OR ANY OTHER UTILITY LINES.
24. ALL NEW FITTINGS SHALL BE RESTRAINED JOINTS AND SHALL HAVE CORE 10 (STD) BOLTS.
25. ALL NEW WATER LINES SHALL BE FULLY PURGED. DO NOT TEST AGAINST EXISTING VALVES WHEN CONNECTING TO EXISTING LINES.
26. A FLUSH VALVE SHALL BE INSTALLED WITHIN 5 FEET OF THE FIRE LINE RISER OUTSIDE OF THE BUILDING.
27. ALL WATER LINES SHALL BE ENCASED IN CONCRETE IF CROSSING UNDER STORM SEWER LINE. CONCRETE ENCASEMENT SHALL BE A MINIMUM OF 2 FEET BEYOND THE OUTER WALL OF STORM SEWER.

WASTE WATER GENERAL NOTES

1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE TOWN OF ADDISON STANDARD SPECIFICATIONS.
2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT; TO BE PROVIDED TO THE TOWN OF ADDISON AT COMPLETION OF CONSTRUCTION.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AND ADJUST AS NEEDED ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEAN OUTS, VALVE BOXES, FIRE HYDRANTS, SANITARY SEWER LATERALS, WATER SERVICE, ETC.
6. SANITARY SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE A MINIMUM OF PVC SDR-35, ASTM F789/D3212. ALL SANITARY SEWER LINES DEEPER THAN 10 FEET SHALL BE A MINIMUM OF PVC SDR-26.
7. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
8. ALL SANITARY SEWER MAINS SHALL COMPLY WITH TCEQ STANDARDS WHERE CROSSINGS AT WATER MAINS OCCUR.
9. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SANITARY SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SANITARY SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
10. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE TOWN OF ADDISON FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY. THE MAINTENANCE BOND SHALL BE FURNISHED ON A FORM ACCEPTABLE TO THE TOWN OF ADDISON.
11. CONTRACTOR TO INCLUDE ALL REQD. BONDS, TAP FEES, CAMERA FEES, ETC., IN PROPOSAL.
12. ALL MANHOLES SHALL HAVE CONCRETE COLLAR & WATER TIGHT INLET IN PUBLIC R.O.W.
13. ALL SEWER LINES SHALL BE ENCASED IN CONCRETE IF CROSSING UNDER OR ABOVE STORM SEWER LINE. CONCRETE ENCASEMENT SHALL BE A MINIMUM OF 2 FEET BEYOND THE OUTER WALL OF STORM SEWER.

PAVING - GENERAL NOTES

1. GENERAL:
PAVEMENT THICKNESS IS AS SHOWN IN ITEM 7. SUBGRADE DESIGN SHALL CONFORM TO TOWN OF ADDISON PUBLIC WORKS REQUIREMENTS IN ITEM 3, AND SHALL EXTEND 12" MIN. BEHIND THE BACK OF CURB.
2. REINFORCED CONCRETE PAVEMENT:
A. CONCRETE STRENGTH SHALL BE AS SHOWN IN ITEM 7 (NCTCOG LATEST EDITION).
B. ALL CURBS SHALL BE INTEGRAL WITH PAVEMENT AND SHALL BE OF THE SAME STRENGTH AS CONCRETE PAVEMENT.
C. DETAIL AND ARRANGEMENT OF PAVEMENT JOINTS, ALL TYPES, SHALL BE AS SHOWN ON THE TOWN STANDARD CONSTRUCTION DETAILS.
D. BAR LAPS SHALL BE THIRTY DIAMETERS.
E. REINFORCING STEEL SHALL BE #3 REBAR (3/8") ON 18" CENTERS FOR 8" OR LESS. #4 FOR 10" OR ABOVE.
3. SUBGRADE:
SUBGRADE UNDER ALL PAVEMENT SHALL BE 6" THICK AND SHALL BE STABILIZED WITH AT LEAST 30 LBS. PER SQ. YD. HYDRATED LIME, COMPACTED TO A DENSITY NOT LESS THAN 95 PERCENT. LABORATORY TESTS MUST BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR APPROVAL TO DETERMINE AMOUNT OF LIME REQUIRED. LABORATORY TEST MAY BE WAIVED PROVIDED AT LEAST 36 LBS. OF LIME PER SQ. YD. IS USED. SEE NCTCOG ITEM 301.2 "LIME TREATMENT". FLEXIBLE BASE (CRUSHED STONE/CONCRETE) PER NCTCOG ITEM 301.5 MAY BE SUBSTITUTED FOR LIME TREATMENT WITH THE APPROVAL OF THE TOWN ENGINEER.
4. REBAR SHALL BE SUPPORTED BY BAR CHAIRS OR OTHER DEVICES APPROVED BY TOWN ENGINEER.
5. NO TRAFFIC ON FINISHED SUBGRADE SHALL BE PERMITTED AFTER REINFORCING STEEL IS INSTALLED ABOVE SUBGRADE. NO TRAFFIC SHALL BE PERMITTED BEFORE OR DURING THE PLACING OF CONCRETE.
6. CROSS SLOPE OF STRAIGHT CROWN STREETS SHALL BE 1/4" PER FOOT UNLESS APPROVED BY THE TOWN ENGINEER.
7. PAVEMENT THICKNESS AND STRENGTHS SHALL BE AS FOLLOWS:
MAJOR ARTERIAL - 10" CLASS "P1" OR "P2."
MINOR ARTERIAL - 8" CLASS "P1" OR "P2."
COMMERCIAL/INDUSTRIAL COLLECTOR - 8" CLASS "P1" OR "P2."
RESIDENTIAL COLLECTOR - 8" CLASS "P1" OR "P2."
RESIDENTIAL LOCAL - 8" CLASS "P1" OR "P2."
SIDEWALK AND BFR's-4"-CLASS "A"
DRIVE APPROACH-8"-CLASS "P2"
ALLEY-6" CLASS "P1" OR "P2."
8. CONCRETE MIX DESIGN SHALL BE AS DEFINED BY NCTCOG 303.3.
9. ALL MEDIANS AND PARKWAYS SHALL BE PROVIDED WITH BERMUDA GROUND COVER.
10. ONCE A CURB ABUTTING A THOROUGHFARE HAS BEEN SAWCUT AND REMOVED, THE CONTRACTOR MUST REPLACE THE CONCRETE WITH A NEW POUR (I.e. DRIVEWAY) WITHIN 14 CALENDAR DAYS. LIQUIDATED DAMAGES WILL BE ASSESSED AT \$500 PER DAY FOR EACH CALENDAR DAY IN EXCESS OF 14 CALENDAR DAYS. PAYMENT SHALL BE MADE PRIOR TO ACCEPTANCE OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
11. ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%.
12. ALLEYS AND DRIVEWAYS
A. CONCRETE FOR ALLEY RETURNS AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS IDENTICAL TO THAT SPECIFIED FOR THE STREET PAVEMENT OR BASE WHEN BUILT AS COMPONENTS OF A CONCRETE PAVING PROJECT. WHEN BUILT SEPARATELY, THE STRENGTH SHALL BE AS SPECIFIED ON THE CONSTRUCTION PLAN.
B. SPACING AND CONSTRUCTION OF JOINTS SHALL CONFORM TO PARABOLIC STREET PAVEMENT.

	PAVING GENERAL NOTES	
	STANDARD CONSTRUCTION DETAILS PAVING	DATE: AUGUST, 2010

NOTE: ALL BACKFILL FOR TRENCHES AND STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY

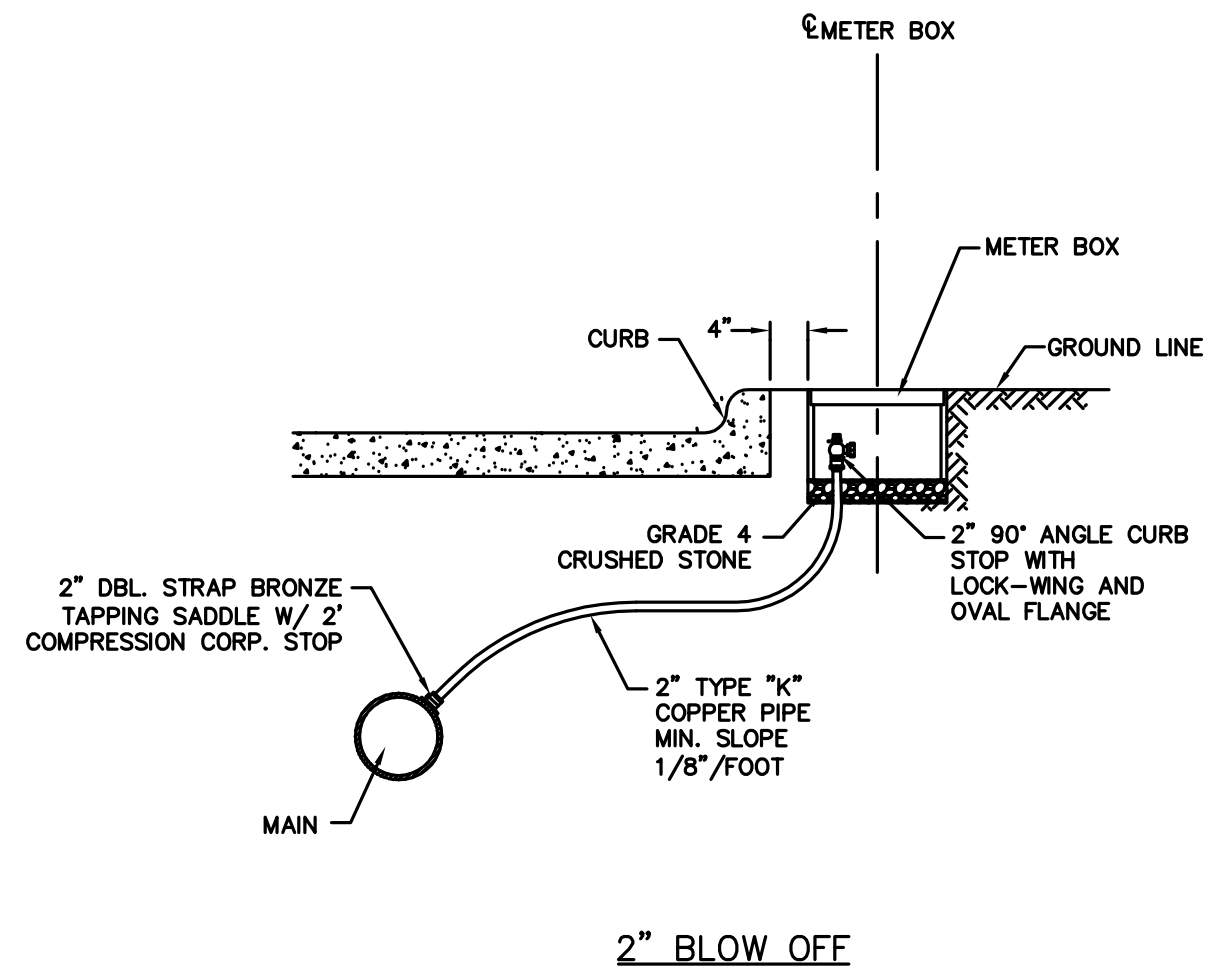
THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES THAT HAVE OR MAY HAVE ANY EFFECT ON THE PROPOSED IMPROVEMENTS BEFORE AN WORK COMMENCES. THE LAYING OF ALL GRAVITY FLOW PIPES SHALL BEGIN AT THE OUTFALL OR CONNECTION TO THE EXISTING SYSTEM AND PROCEED UPSTREAM. IF ANY DISCREPANCY FROM THE PLANS IS FOUND, THE CONTRACTOR IS TO NOTIFY VIEWTECH INC. BEFORE PROCEEDING FURTHER.

AS-BUILT
10/25/2018

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR LISSIAK, JR., P.E. 30565 ON 10/25/2018



GENERAL NOTES					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II					
1458 ACRES GROUND LEASE #080A-29 ALP#U23					
4700 WESTGROVE DRIVE					
ADDISON, TEXAS					
VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658					
4205 BELTWAY DR., ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172					
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16		2015-224	C11



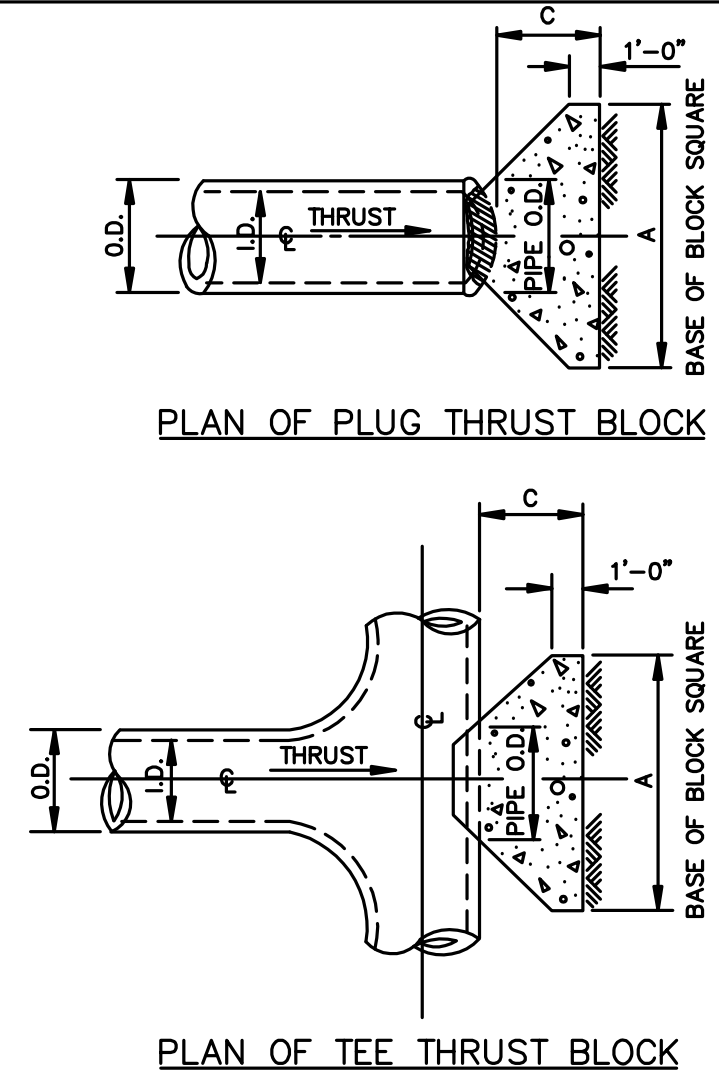
Type "K" Copper Service Pipe.	Double Strap Bronze Service Saddle with C.C. Threads	Galvanized Meter Box With Iron Ring & Cover	East Jordan Iron Works
2 Inch	2 Inch	28 Inches 20% 18 Inches	Min. Dia. Covers & Rigs Min. Ht. Min. Can Weight Min. Total Weight
			20 lbs. 127 lbs.

Addison! PUBLIC WORKS DEPARTMENT

2" BLOW OFF WITH METER BOX

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-W15



I.D. (IN.)	THRUST (TONS)	C (FT.)	EARTH		ROCK	
			A (FT.)	VOL. (C.Y.)	A (FT.)	VOL. (C.Y.)
4,6,8	5.1	1.5	2.5	0.3	2.0	0.2
10,12	11.3	1.5	3.5	0.6	2.5	0.3
16,18	25.5	2.0	5.5	1.6	4.0	0.9
20	31.5	2.0	6.0	1.9	4.0	0.9
24	45.2	2.5	7.0	3.1	5.0	1.7
30	53.0	3.0	7.5	4.1	5.5	2.4
36	76.3	4.0	9.0	7.3	6.5	4.2
42	104.0	4.5	10.5	11.0	7.5	6.2
48	136.0	5.0	12.0	15.6	8.5	8.7

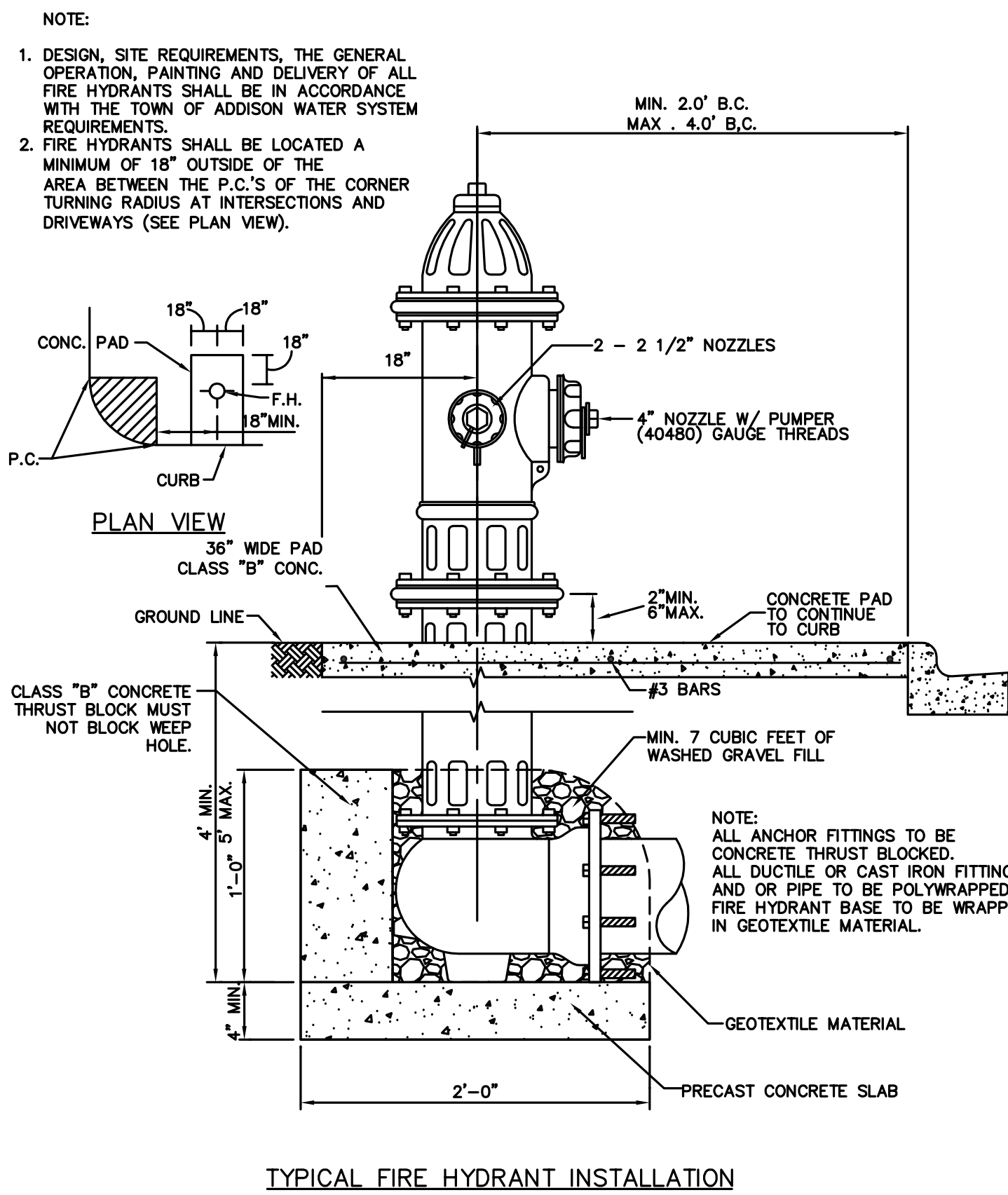
TABLES OF DIMENSIONS AND QUANTITIES

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HORIZONTAL THRUST BLOCK AT TEES & PLUGS

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-W17

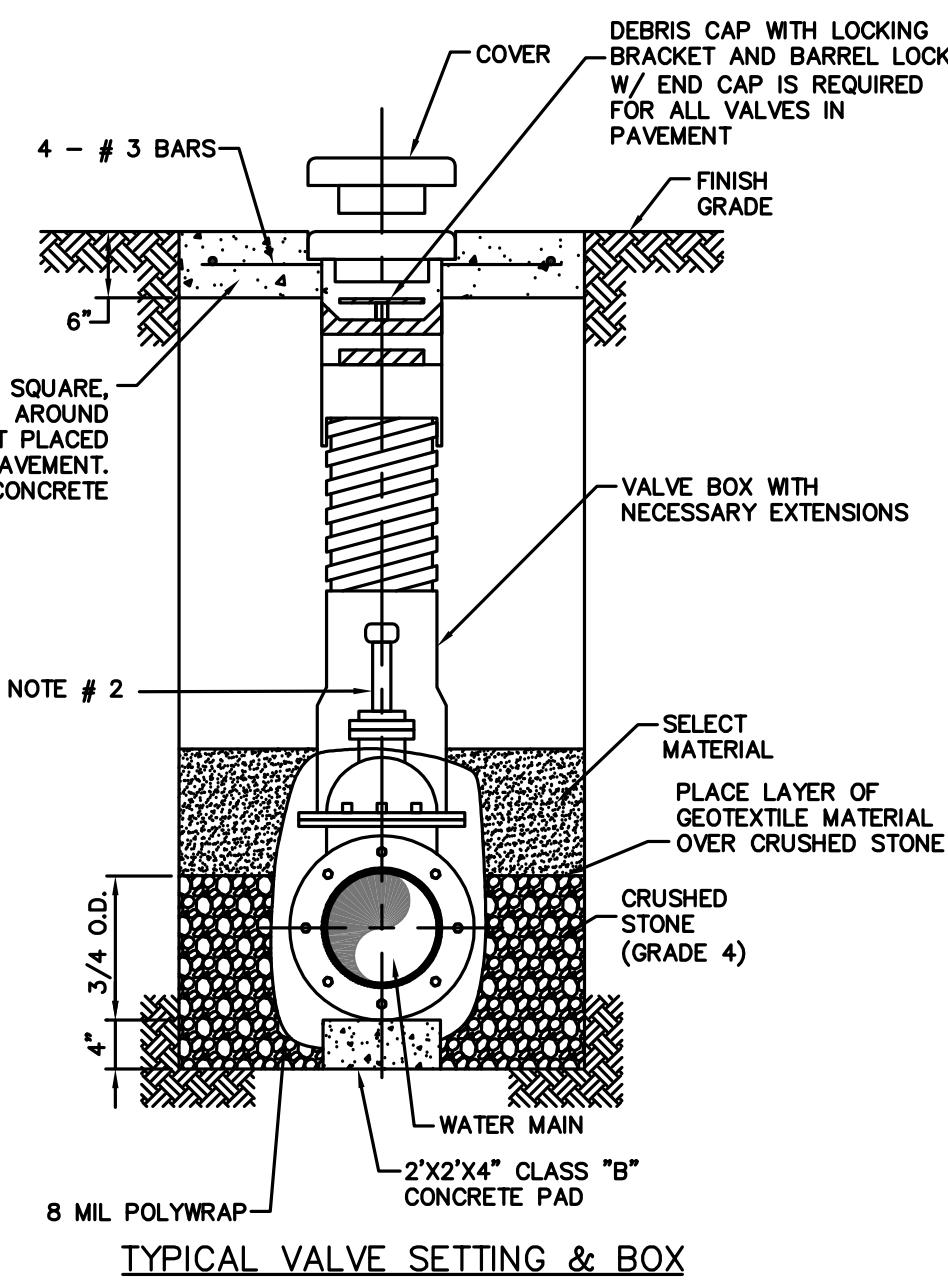


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TYPICAL FIRE HYDRANT INSTALLATION

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-W16



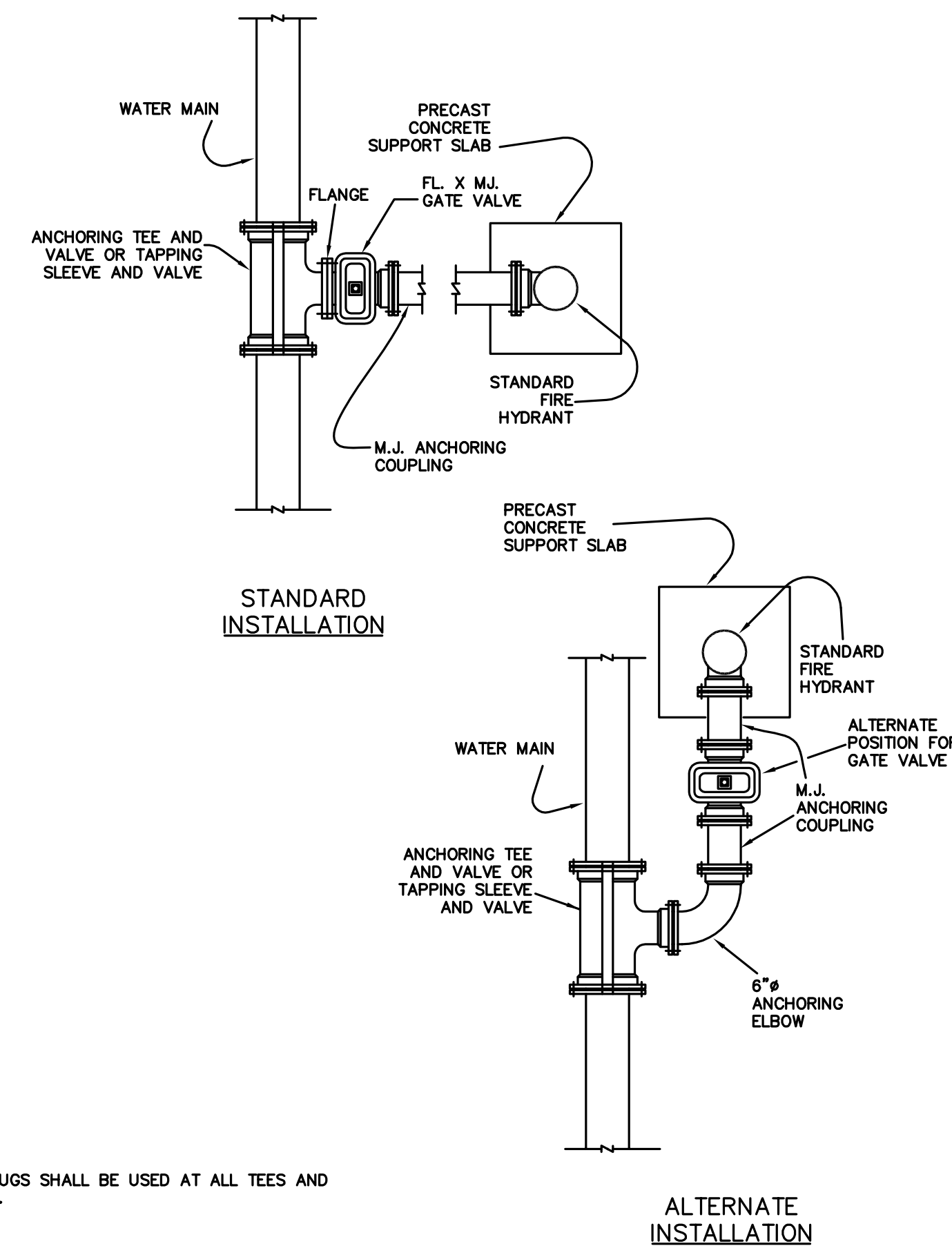
- NOTE:
- 4"-12" R.S. GATE VALVES SHALL BE IN ACCORDANCE WITH TOWN OF ADDISON WATER SYSTEM REQUIREMENTS.
 - A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE WHERE THE OPERATING NUT IS LOCATED IN EXCESS OF 5 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 5 FEET OF VALVE BOX LID.
 - BLUE "V" (3") CUT INTO FACE OF NEAREST CURB AND POINTING TOWARD THE VALVE.
 - ALL IRON MATERIALS SHALL BE DOMESTIC. (MADE IN USA)
 - CRUSHED STONE SHALL BE 3/4" PASSING #4 SIEVE.

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VALVE SETTING BOX

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-W16



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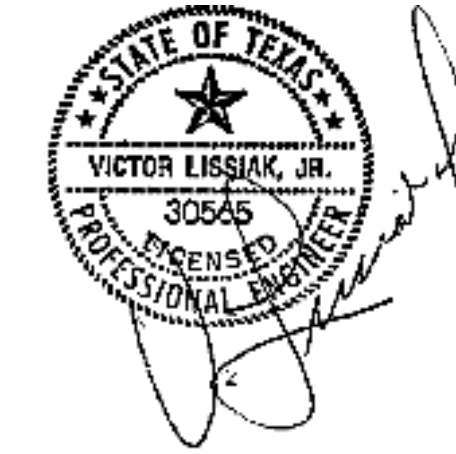
TYPICAL FIRE HYDRANT INSTALLATION

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-W17

AS-BUILT
10/25/2018

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR LISSIAK, JR., P.E. 30565 ON 10/25/2018



STANDARD DETAILS

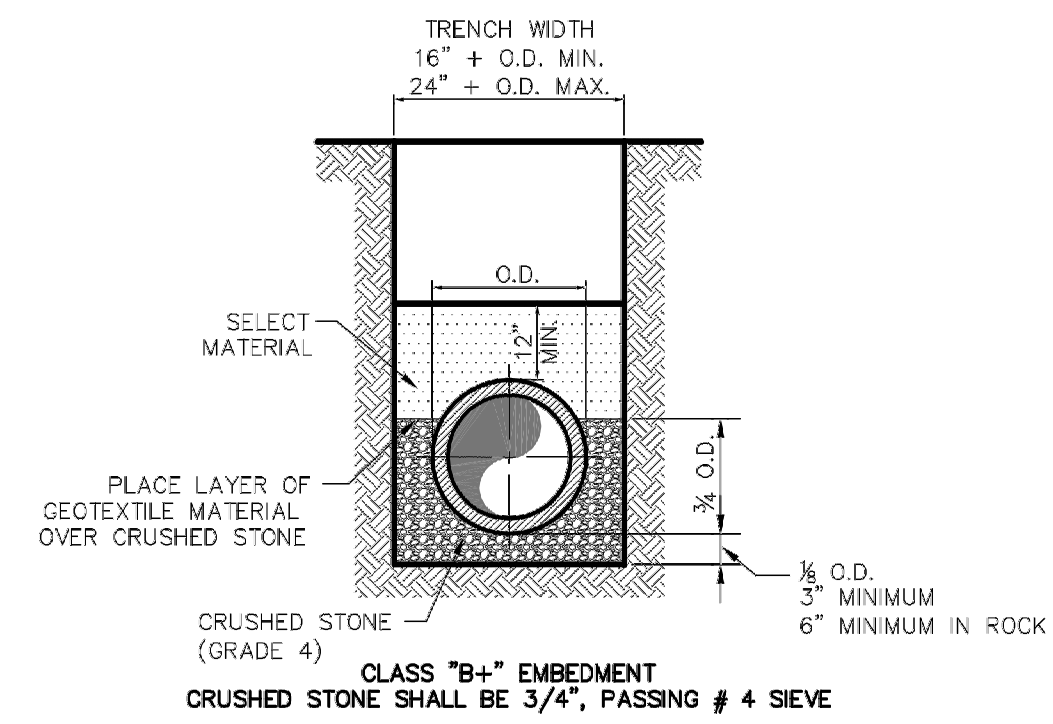
MEHRDAD HANGAR

ADDISON AIRPORT

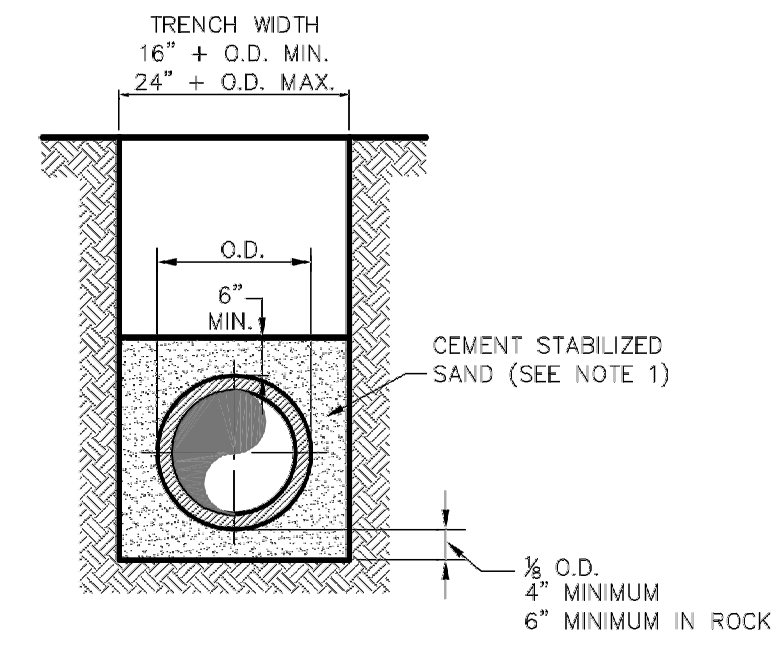
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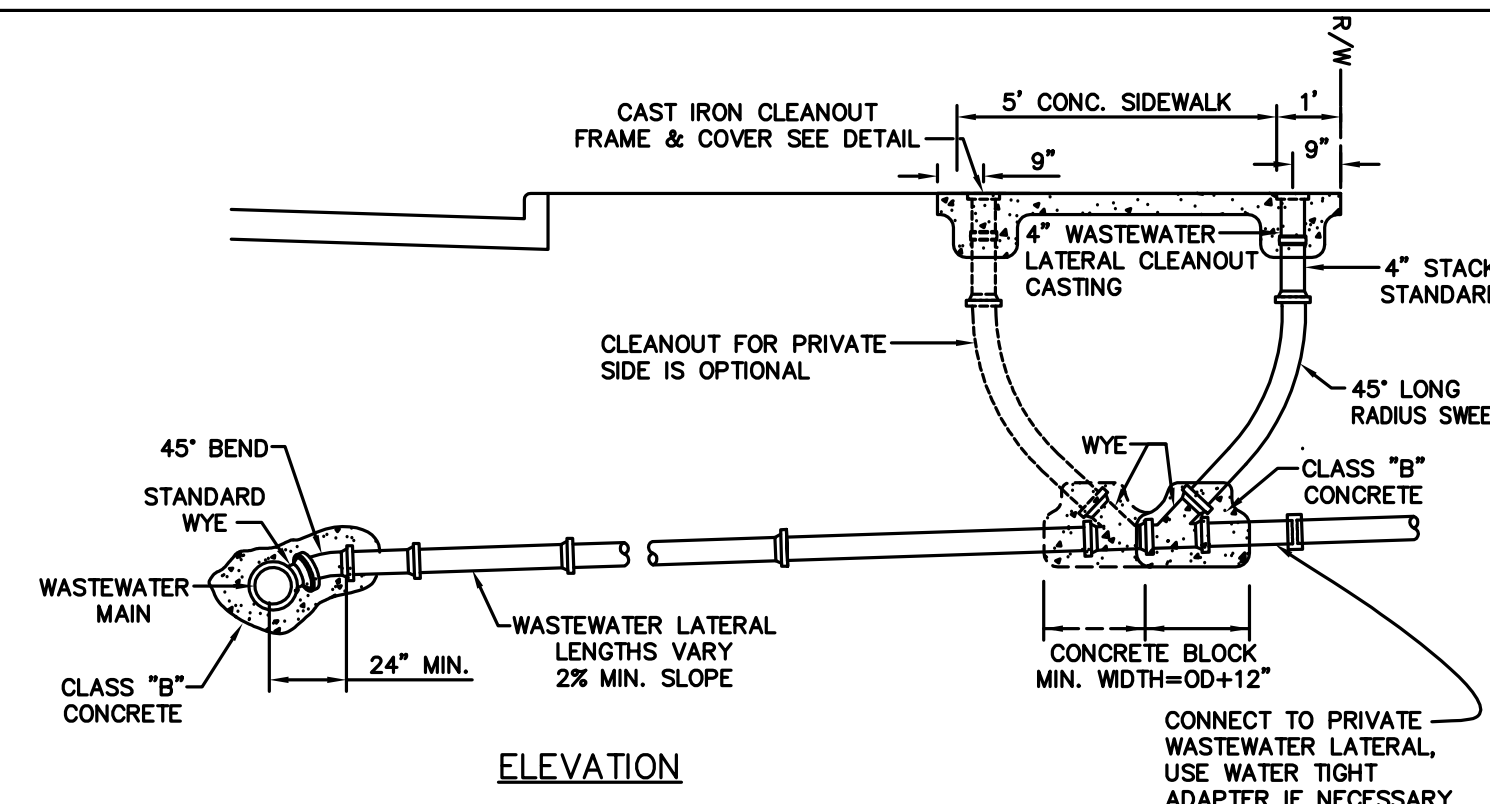
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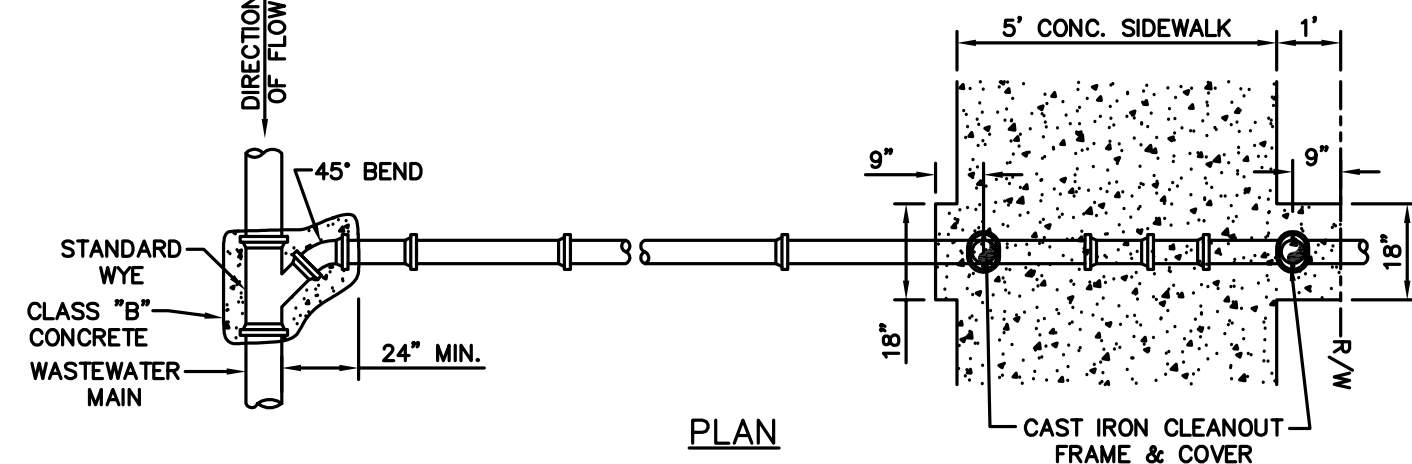
TYPICAL P.V.C. WASTEWATER MAIN EMBEDMENT



P.V.C. WASTEWATER MAIN CEMENT STABILIZED SAND EMBEDMENT



ELEVATION



PLAN

- NOTES:
1. WASTEWATER LATERALS ARE TO BE CONSTRUCTED TO CLEAR EXISTING AND PROPOSED FACILITIES, SUCH AS STORM DRAIN MAINS, RETAINING WALLS, OTHER UTILITIES, ETC.
 2. THE WASTEWATER LATERAL SHALL HAVE MINIMUM COVER OF 4'-0" BELOW THE PROPOSED CURB GRADE AT THE PROPERTY LINE, DETERMINED FROM PAVING GRADE, OR AS REQUIRED TO MAINTAIN A MINIMUM OF 2.0% GRADE, OR AS DIRECTED BY THE OWNER.

Addison!

P.V.C. WASTEWATER MAIN EMBEDMENT

STANDARD CONSTRUCTION DETAILS WASTEWATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-WW01

PUBLIC WORKS DEPARTMENT

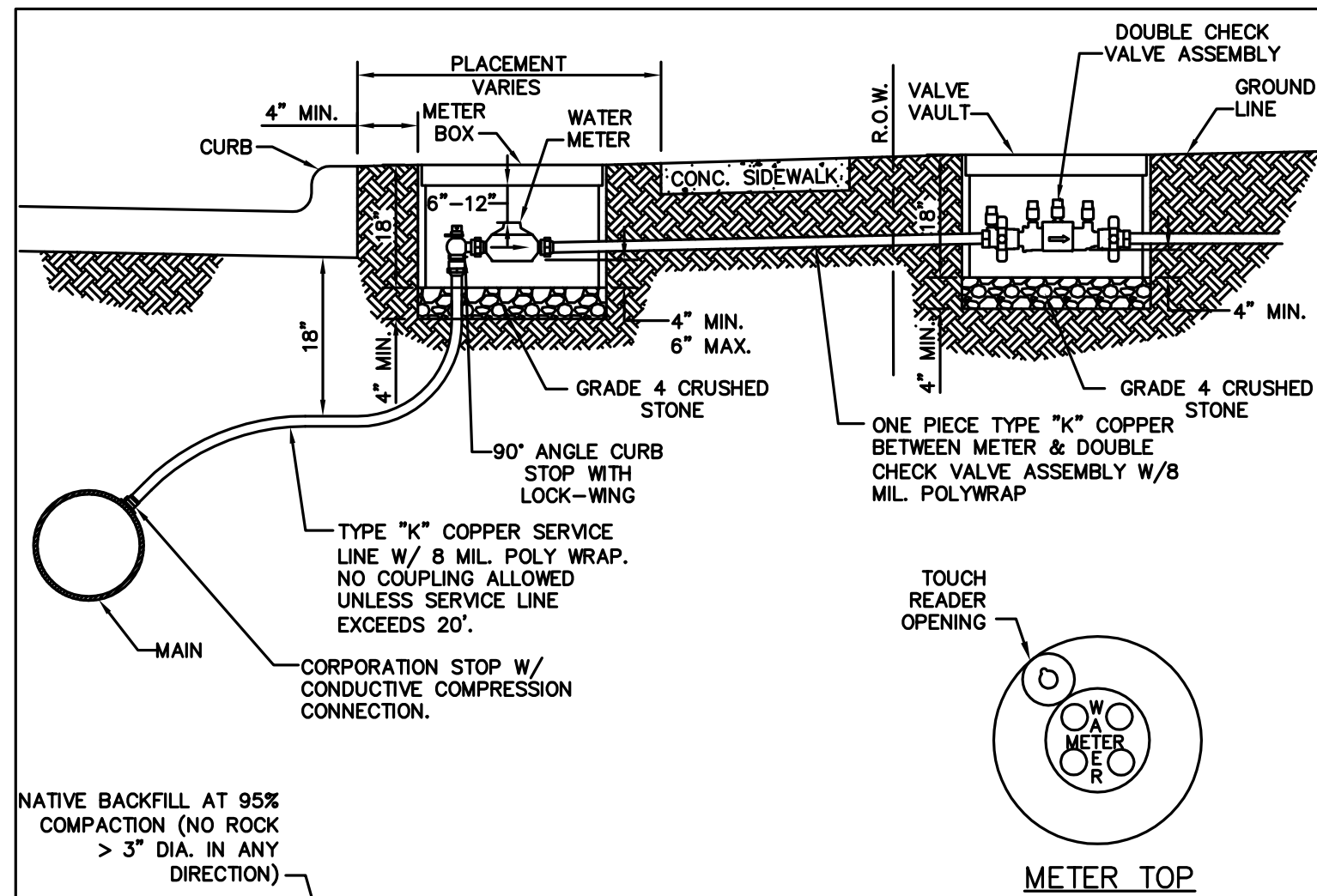
Addison!

TWO-WAY CLEANOUT NEW CONSTRUCTION

STANDARD CONSTRUCTION DETAILS WASTEWATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-WW02

PUBLIC WORKS DEPARTMENT



- GENERAL INSTALLATION NOTES:
1. WATER METER SHALL BE PLACED IN CENTER OF LOT WITH THE SANITARY SEWER SERVICE TO BE LOCATED 10' DOWNSTREAM.
 2. METER AND BOX SHALL BE SET BY THE CONTRACTOR TO ADDISON STANDARDS IN ALL CASES.
 3. THE METER BOX SHALL BE SET WITHIN THE R.O.W. OR A DEDICATED UTILITY EASEMENT. IN ALL CASES, THE METER BOX SHALL BE PROTECTED FROM VEHICULAR TRAFFIC.
 4. WATER SERVICES SHALL NOT BE CONNECTED TO DEAD END LINES OR FIRE HYDRANT LEADS.
 5. ALL MATERIALS SHALL CONFORM TO THE TOWN OF ADDISON WATER SYSTEM REQUIREMENTS.

Type "K" Copper Service Pipe	Double Strap Bronze Service Saddle with C.C. Threads	East Jordan Iron Works Galvanized Meter Box With Iron Ring & Cover				
		Min. Dia.	Covers & Rings	Min. Ht.	Min. Can Weight	Min. Total Weight
3/4 Inch	3/4 Inch	18 Inches	12% Inches	18 Inches	13 lbs.	42 lbs.
1 Inch	1 Inch	24 Inches	20% Inches	18 Inches	17 lbs.	98 lbs.
1 1/2 Inch	1 1/2 Inch	28 Inches	20% Inches	18 Inches	20 lbs.	127 lbs.
2 Inch	2 Inch	28 Inches	20% Inches	18 Inches	20 lbs.	127 lbs.

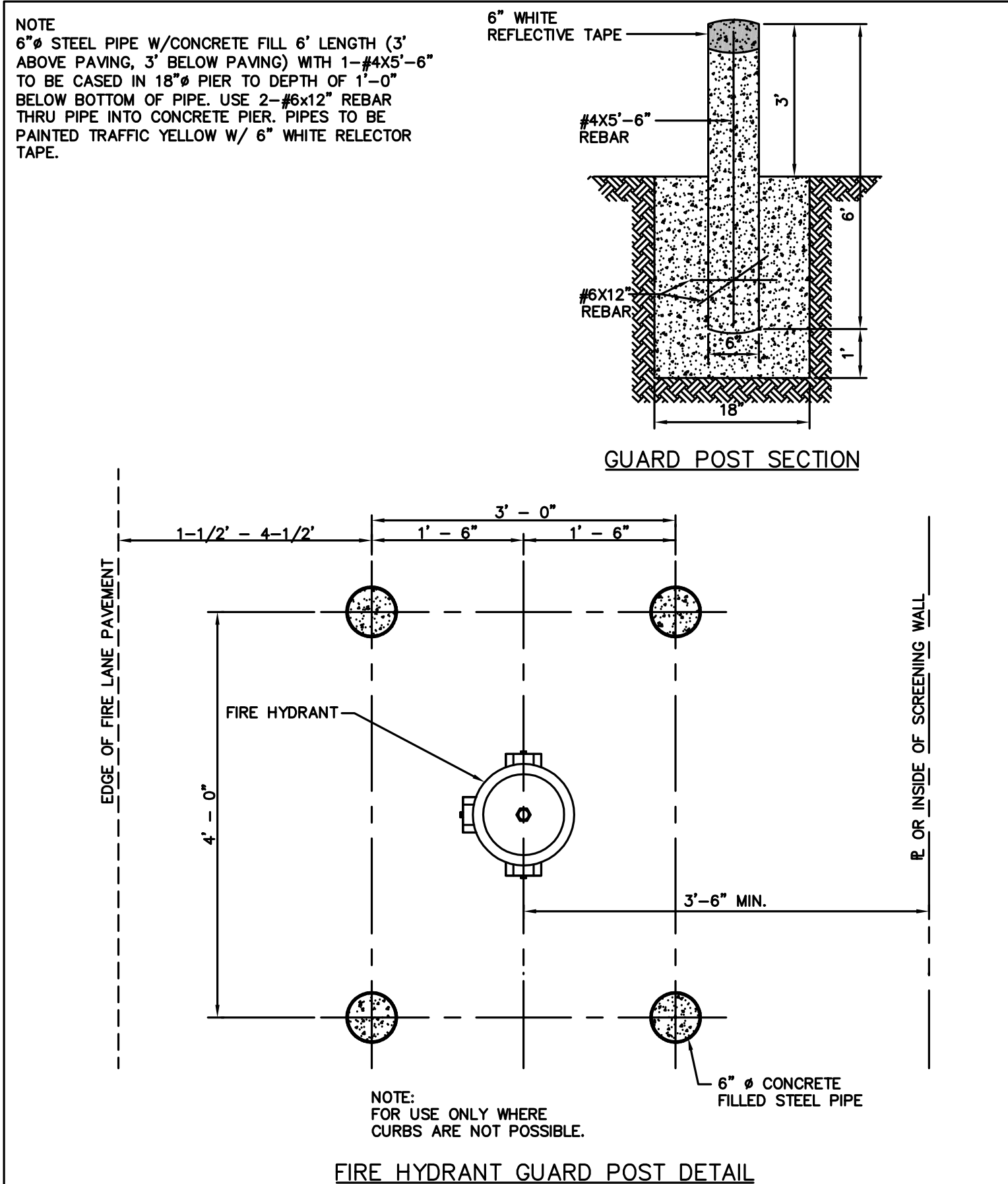
Addison!

SERVICE CONNECTION WITH METER BOX

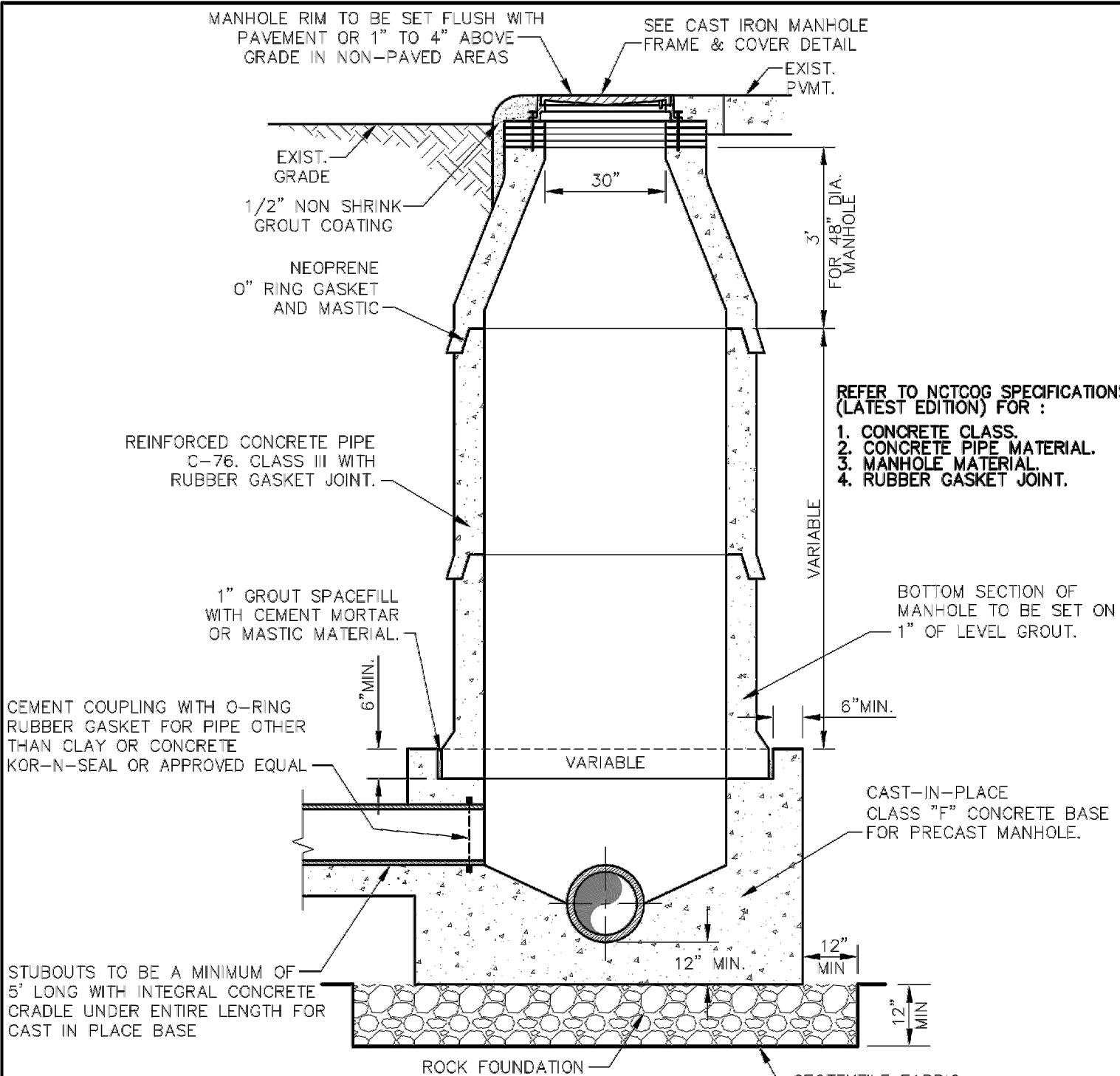
STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-WW03

PUBLIC WORKS DEPARTMENT



FIRE HYDRANT GUARD POST DETAIL



- NOTES:
1. IF FALSE MANHOLE BOTTOMS ARE REQUIRED, THEY SHALL BE CONSTRUCTED, INSTALLED, AND REMOVED PER WASTEWATER MANHOLE FALSE BOTTOM STD. DETAIL.
 2. WHERE MANHOLE'S ARE OUTSIDE OF PAVEMENT, FRAME & COVER SHALL BE CENTERED IN 5'x5' CONCRETE PAD CLASS 'A' CONCRETE, 4" THICK
 3. ALL MANHOLES SHALL PASS VACUUM TEST AS PER NCTCOG SPECIFICATIONS

Addison!

PRECAST CONCRETE PIPE MANHOLE ALTERNATE "A"

STANDARD CONSTRUCTION DETAILS WASTEWATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-WW06

PUBLIC WORKS DEPARTMENT

Addison!

FIRE HYDRANT GUARD POST

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV DATE: SHEET: SD-WW08

PUBLIC WORKS DEPARTMENT

AS-BUILT
10/25/2018

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STANDARD DETAILS

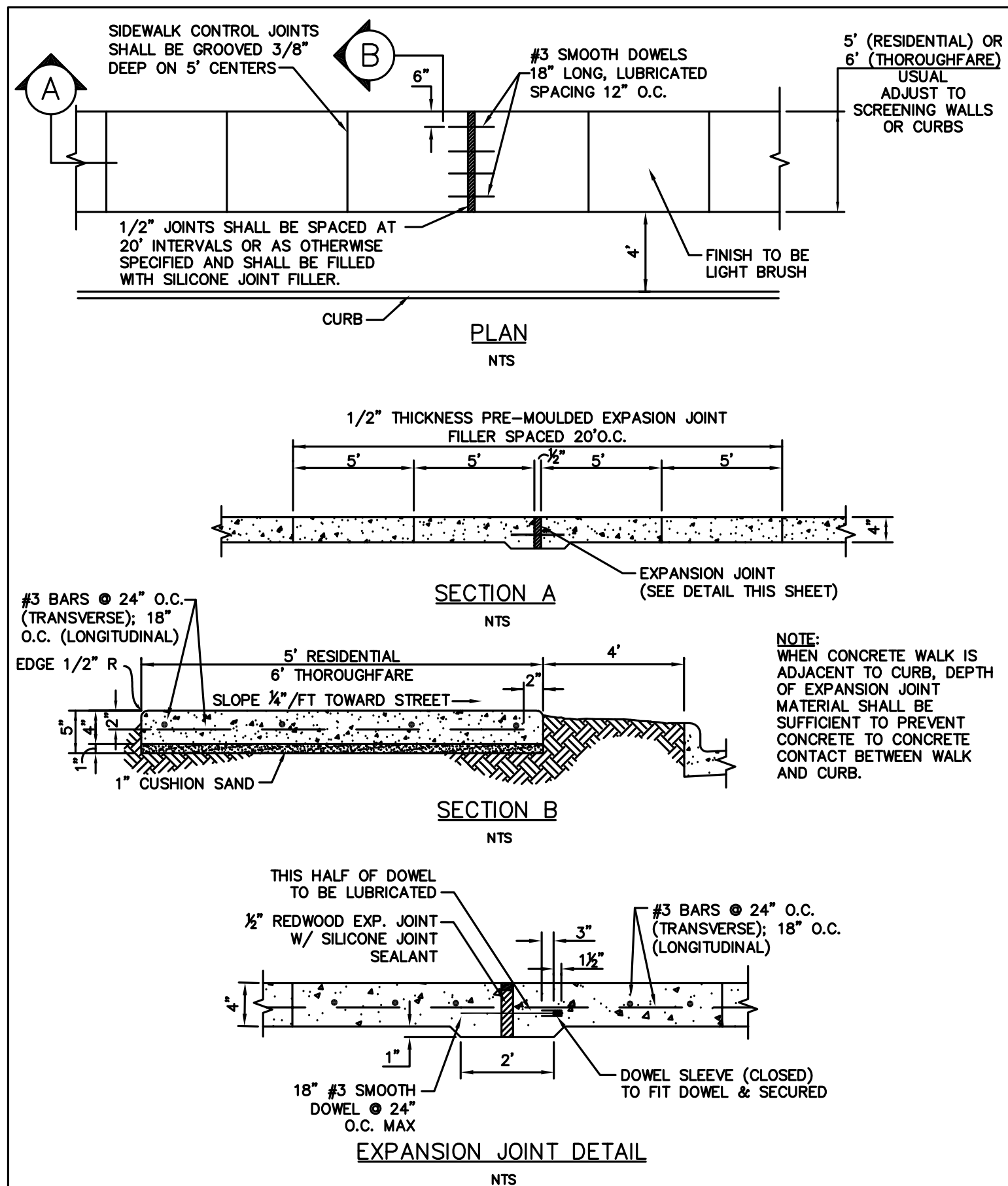
MEHRDAD HANGAR

ADDISON AIRPORT

LEASEHOLD ESTATES TRACT II
1458 ACRES GROUND LEASE #080A-29 ALP#U23
4700 WESTGROVE DRIVE
ADDISON, TEXAS

VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658
4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172

DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16		2015-224	C13

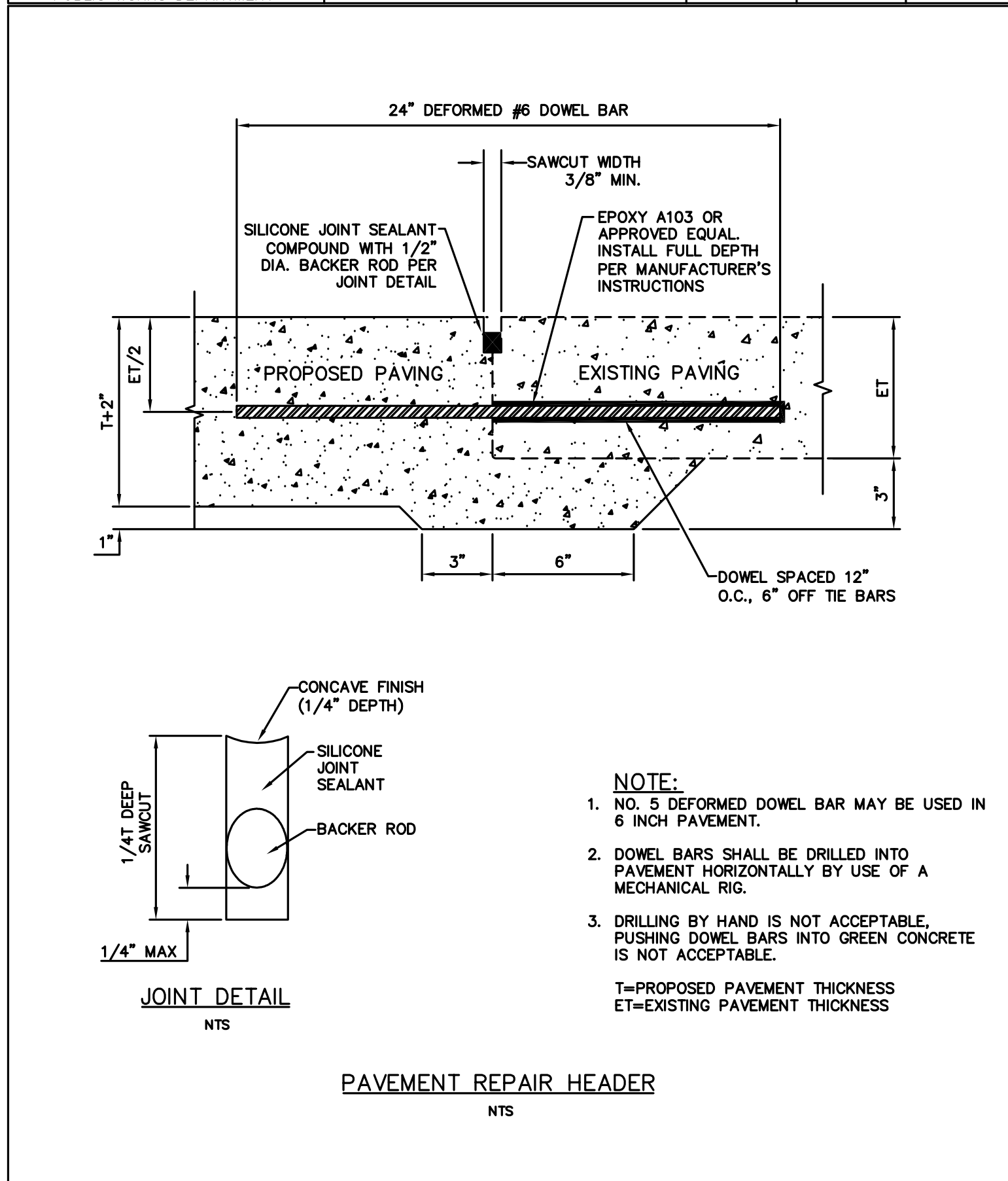


Addison!
PUBLIC WORKS DEPARTMENT

CONCRETE SIDEWALK

STANDARD CONSTRUCTION DETAILS PAVING

DATE: AUGUST, 2010 REV DATE: - SHEET: SD-P28

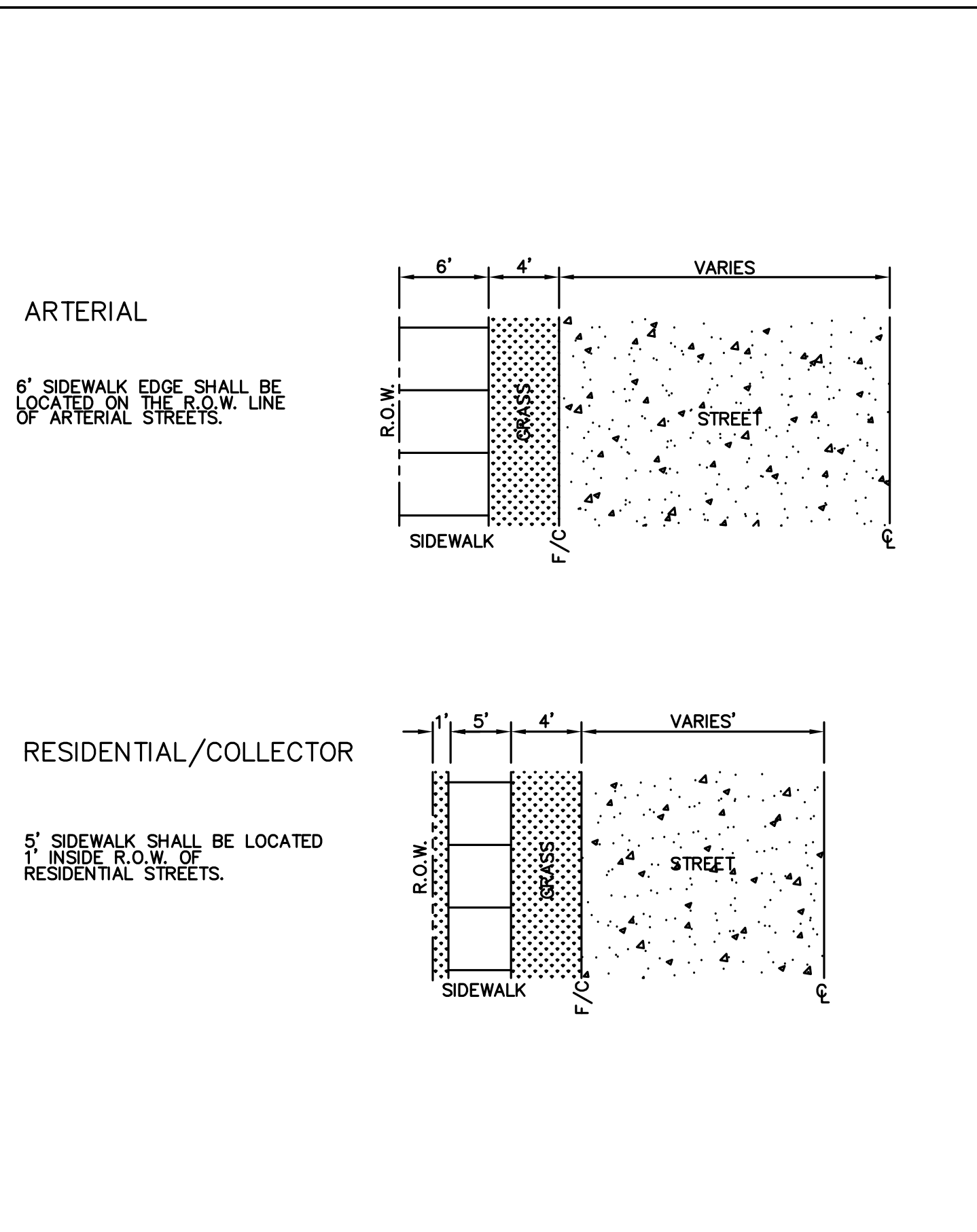


Addison!
PUBLIC WORKS DEPARTMENT

PAVEMENT REPAIR HEADER

STANDARD CONSTRUCTION DETAILS PAVING

DATE: AUGUST, 2010 REV DATE: - SHEET: SD-P16

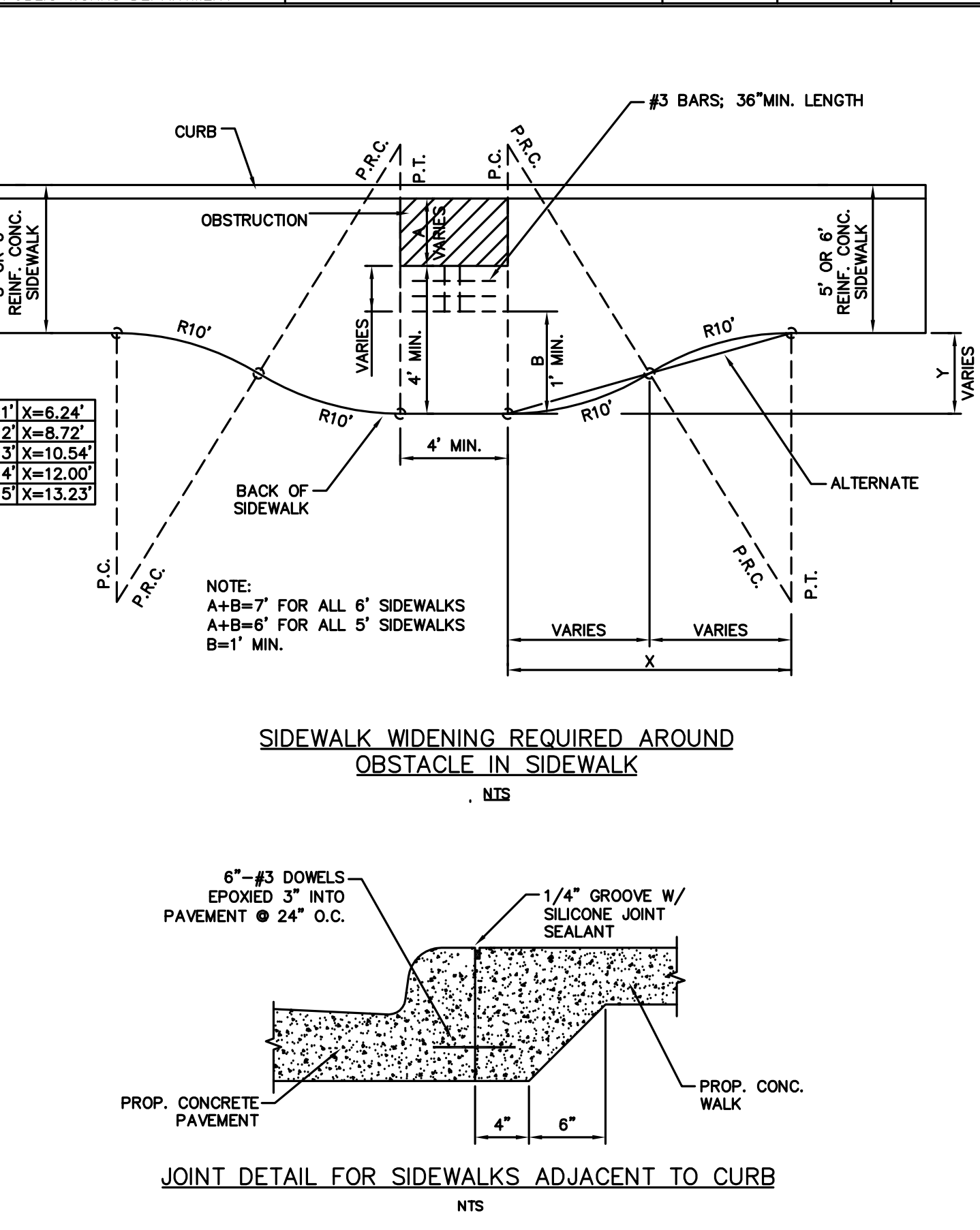


Addison!
PUBLIC WORKS DEPARTMENT

CONCRETE SIDEWALK CONTINUED

STANDARD CONSTRUCTION DETAILS PAVING

DATE: AUGUST, 2010 REV DATE: - SHEET: SD-P27

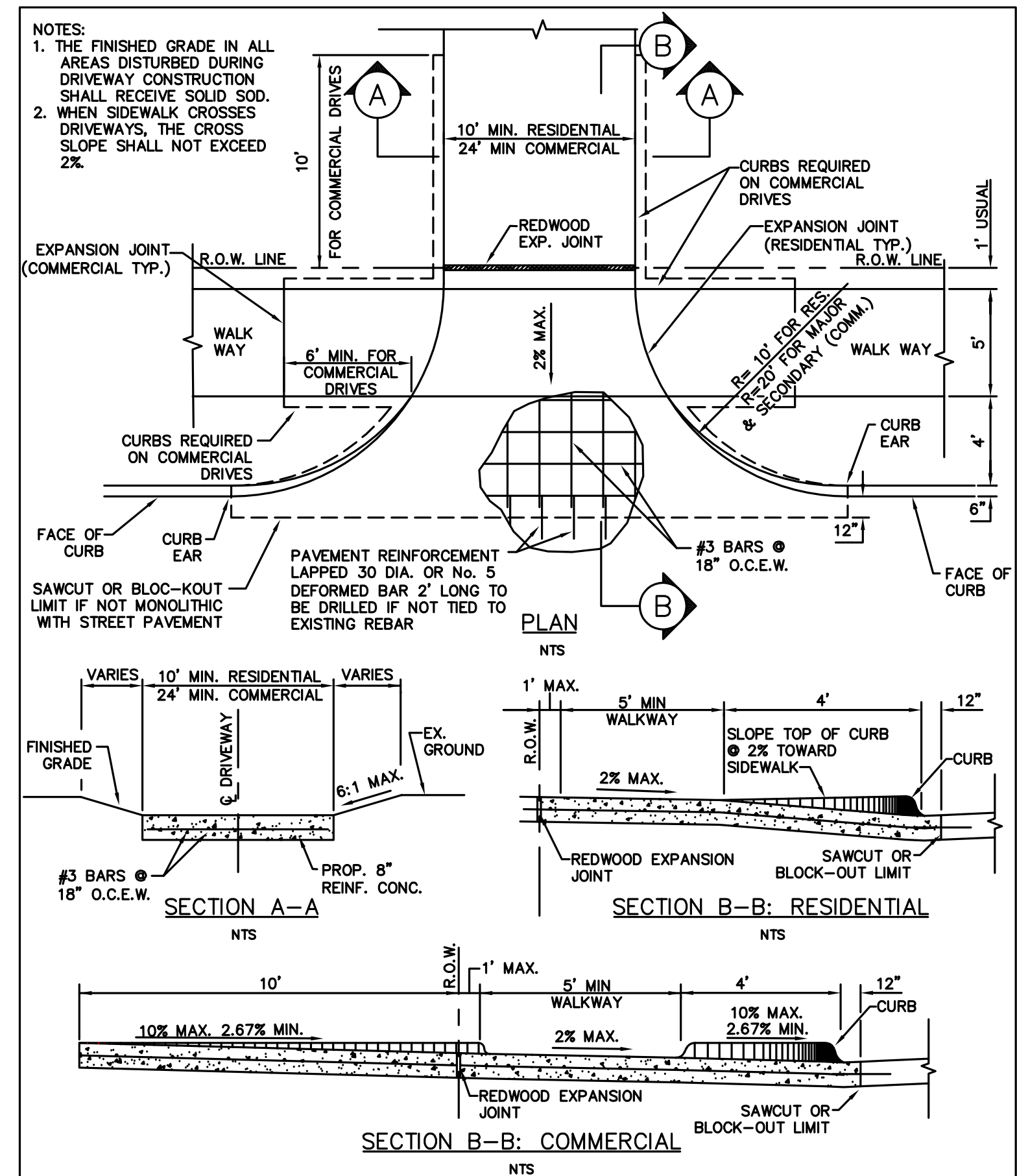


Addison!
PUBLIC WORKS DEPARTMENT

SIDEWALK WIDENING REQUIRED AROUND OBSTACLE IN SIDEWALK & JOINT DETAIL FOR SIDEWALKS ADJACENT TO CURB

STANDARD CONSTRUCTION DETAILS PAVING

DATE: AUGUST, 2010 REV DATE: - SHEET: SD-P25



Addison!
PUBLIC WORKS DEPARTMENT

DRIVEWAY RETURN DETAILS

STANDARD CONSTRUCTION DETAILS PAVING

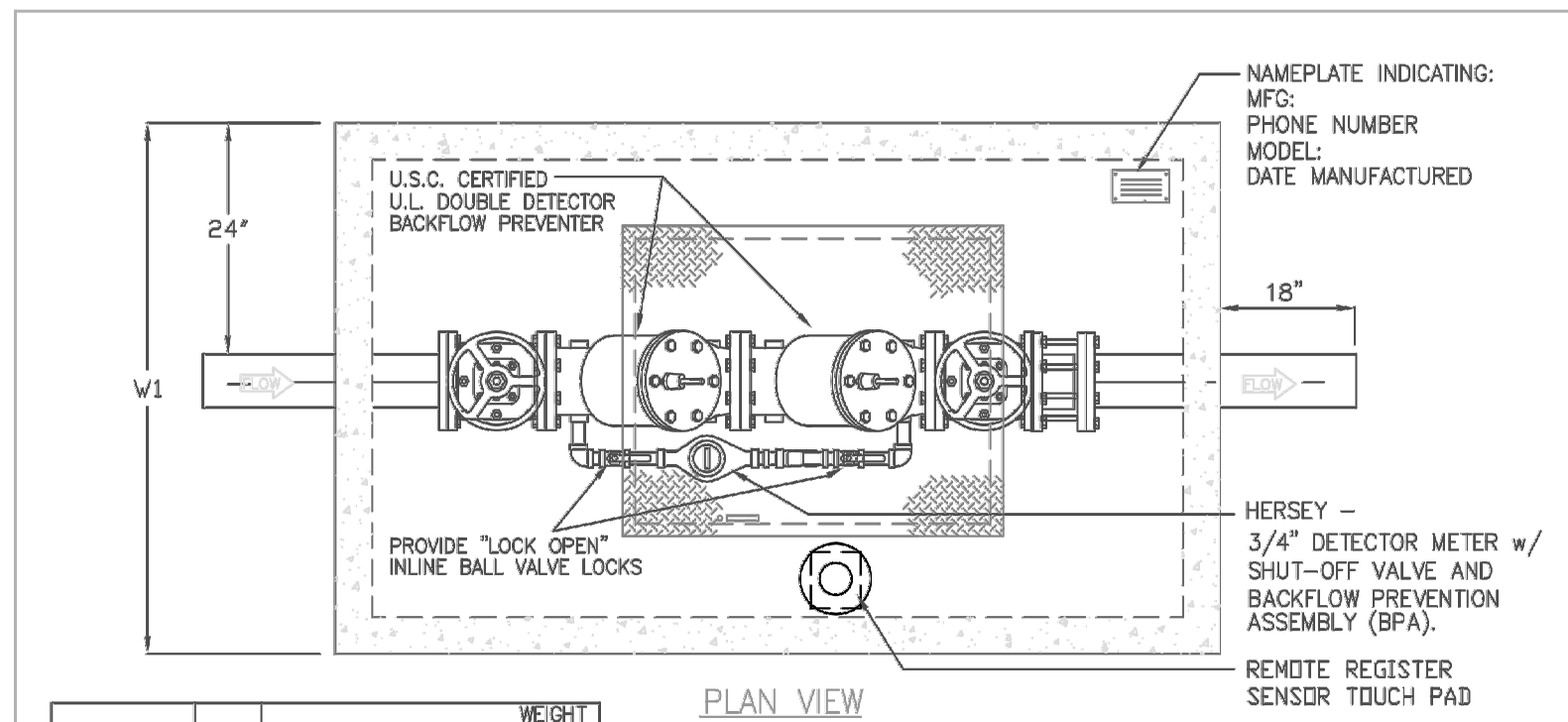
DATE: AUGUST, 2010 REV DATE: - SHEET: SD-P38

AS-BUILT
10/25/2018

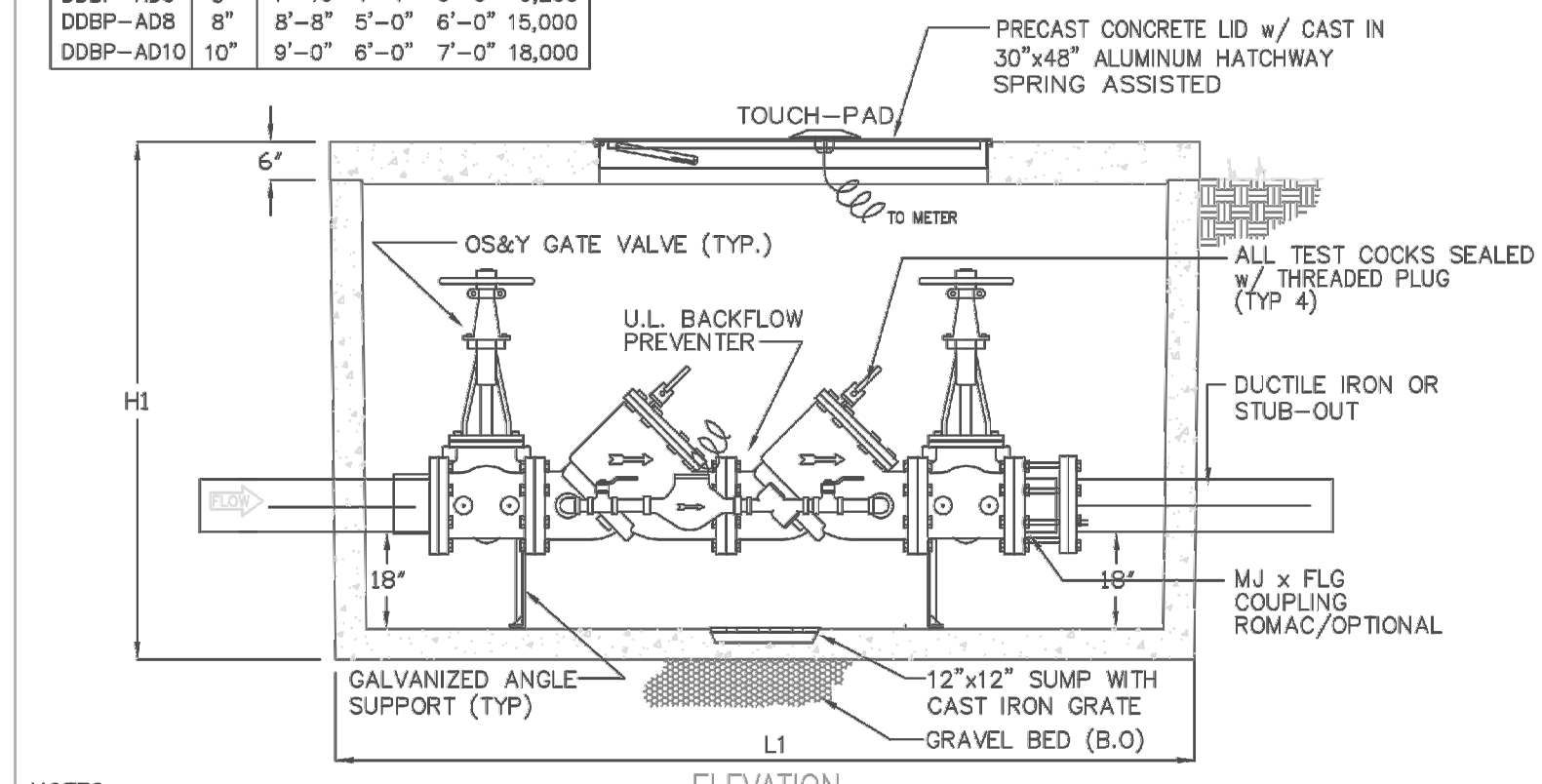
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR LISSIAK, JR., P.E. 30565 ON 10/25/2018



STANDARD DETAILS					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II 1458 ACRES GROUND LEASE #080A-29 ALP#U23 4700 WESTGROVE DRIVE ADDISON, TEXAS					
VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658 4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172					
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16		2015-224	C14



MODEL	SIZE	L1	W1	H1	WEIGHT LBS.
DDBP-AD4	4"	7'-10"	4'-4"	6'-0"	9,000
DDBP-AD6	6"	7'-10"	4'-4"	6'-0"	9,200
DDBP-AD8	8"	8'-8"	5'-0"	6'-0"	15,000
DDBP-AD10	10"	9'-0"	6'-0"	7'-0"	18,000



- NOTES:**
1. ALL CONCRETE SHALL BE CLASS 1 CONCRETE WITH DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. UNITS ARE OF MONOLITHIC CONSTRUCTION AT FLOOR AND FIRST STAGE OF WALL WITH SECTIONAL RISER TO REQUIRED DEPTH.
 2. ALL REINFORCEMENT SHALL BE GRADE 60 REINFORCED STEEL REBAR CONFORMING TO ASTM A615 ON REQUIRED CENTERS OR EQUAL.
 3. ALL HATCHWAYS SHALL BE 1/2" ALUMINUM DIAMOND PLATE COVER, WITH 1/4" EXTRUDED ALUMINUM FRAME. HATCH TO BE FURNISHED WITH 316 STAINLESS STEEL SNAP LOCK AND HINGES.
 4. THE BACKFLOW ASSEMBLY SHALL BE FACTORY ASSEMBLED IN VAULT AND HYDROSTATICALLY TESTED PRIOR TO DELIVERY. PIPE, VALVES AND FITTINGS OF THE ASSEMBLY SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON WATER SYSTEM REQUIREMENTS.

	DOUBLE CHECK DETECTOR ASSEMBLY	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2009	LAST REV DATE: MAY 2016	SHEET: SD-W22

GENERAL NOTES FOR PEDESTRIAN FACILITIES

1. ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE THAT WILL STILL DRAIN PROPERLY SHOULD BE USED. ADJUST CURB RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS AS DIRECTED.
2. LANDINGS SHALL BE 5'X5' MINIMUM WITH A MAXIMUM 2% SLOPE IN ANY DIRECTION.
3. MANEUVERING SPACE AT THE BOTTOM OF CURB RAMP SHALL BE A MINIMUM OF 4'X4' WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICULAR TRAVEL PATH.
4. MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND CURB RAMP SURFACES IS 2%.
5. CURB RAMP WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP, EITHER BECAUSE THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR BECAUSE THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED. OTHERWISE, PROVIDE FLARED SIDES.
6. ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) AND 16 TAC §66.102.
7. CURB RAMP SHALL BE ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY THE TOWN ENGINEER.
8. HANDRAILS ARE NOT REQUIRED ON CURB RAMP. PROVIDE CURB RAMP WHEREVER ON ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.
9. FLARE SLOPE SHALL NOT EXCEED 10% MEASURED ALONG CURB LINE.
10. BARRIER FREE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS).
11. ALL BARRIER FREE RAMPS MUST PASS AN INDEPENDENT INSPECTION. A LETTER OF COMPLIANCE ACCEPTANCE IS REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE TOWN OF ADDISON.
12. HANDRAILS ARE NOT REQUIRED ON CURB RAMP. PROVIDE CURB RAMP WHEREVER ON ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.
13. MAXIMUM SLOPE ON RAMP PORTION SHALL NOT EXCEED 1" PER FOOT AT ANY LOCATION. VERTICAL DISTANCE BETWEEN STREET AND RAMP SHALL NOT EXCEED 4".

GENERAL NOTES FOR DETECTABLE WARNINGS

1. CURB RAMPS MUST CONTAIN A DETECTABLE WARNING SURFACE THAT CONSIST OF RAISED TRUNCATED DOMES COMPLYING WITH SECTION 4.29 OF THE TEXAS ACCESSIBILITY STANDARDS (TAS). THE SURFACE MUST CONTRAST VISUALLY WITH THE ADJOINING SURFACES, INCLUDING SIDE FLARES. FURNISH DARK RED COLORED DETECTABLE WARNING SURFACE ADJACENT TO UNCOLORED CONCRETE AND CREAM COLORED DETECTABLE WARNING SURFACE ADJACENT TO DARK RED COLORED BRICK PAVERS.
2. DETECTABLE WARNING SURFACES MUST BE SLIP RESISTANT AND NOT ALLOW WATER TO ACCUMULATE.
3. ALIGN TRUNCATED DOMES IN THE DIRECTION OF PEDESTRIAN TRAVEL WHEN ENTERING THE STREET.
4. DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 24" IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDING WHERE THE PEDESTRIAN ACCESS ROUTE ENTERS THE STREET.
5. DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS A MINIMUM OF 6" AND A MAXIMUM OF 8" FROM THE EXTENSION OF THE FACE OF CURB AND SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNING SURFACES MAY BE CURVED ALONG THE CORNER RADIUS.
6. ALL PEDESTRIAN FACILITIES IN THE PUBLIC R.O.W. MUST CONFORM TO THE MOST RECENT VERSION OF PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES.

GENERAL NOTES FOR DETECTABLE WARNING PAVER UNITS

1. DETECTABLE WARNING PAVER UNITS SHALL MEET OR EXCEED ALL REQUIREMENTS OF ASTM C-936, C-33, AND BE LAID IN A TWO BY TWO UNIT BASKET WEAVE PATTERN OR AS DIRECTED.
2. LAY FULL-SIZE UNITS FIRST FOLLOWED BY CLOSURE UNITS CONSISTING OF AT LEAST 25 PERCENT OF A FULL UNIT. CUT DETECTABLE WARNING PAVER UNITS USING A POWER SAW.

	PEDESTRIAN FACILITIES GENERAL NOTES	STANDARD CONSTRUCTION DETAILS PAVING		
		DATE: AUGUST, 2010	REV DATE:	SHEET: SD-P37

DIRECTIONAL RAMP WITHIN RADIUS

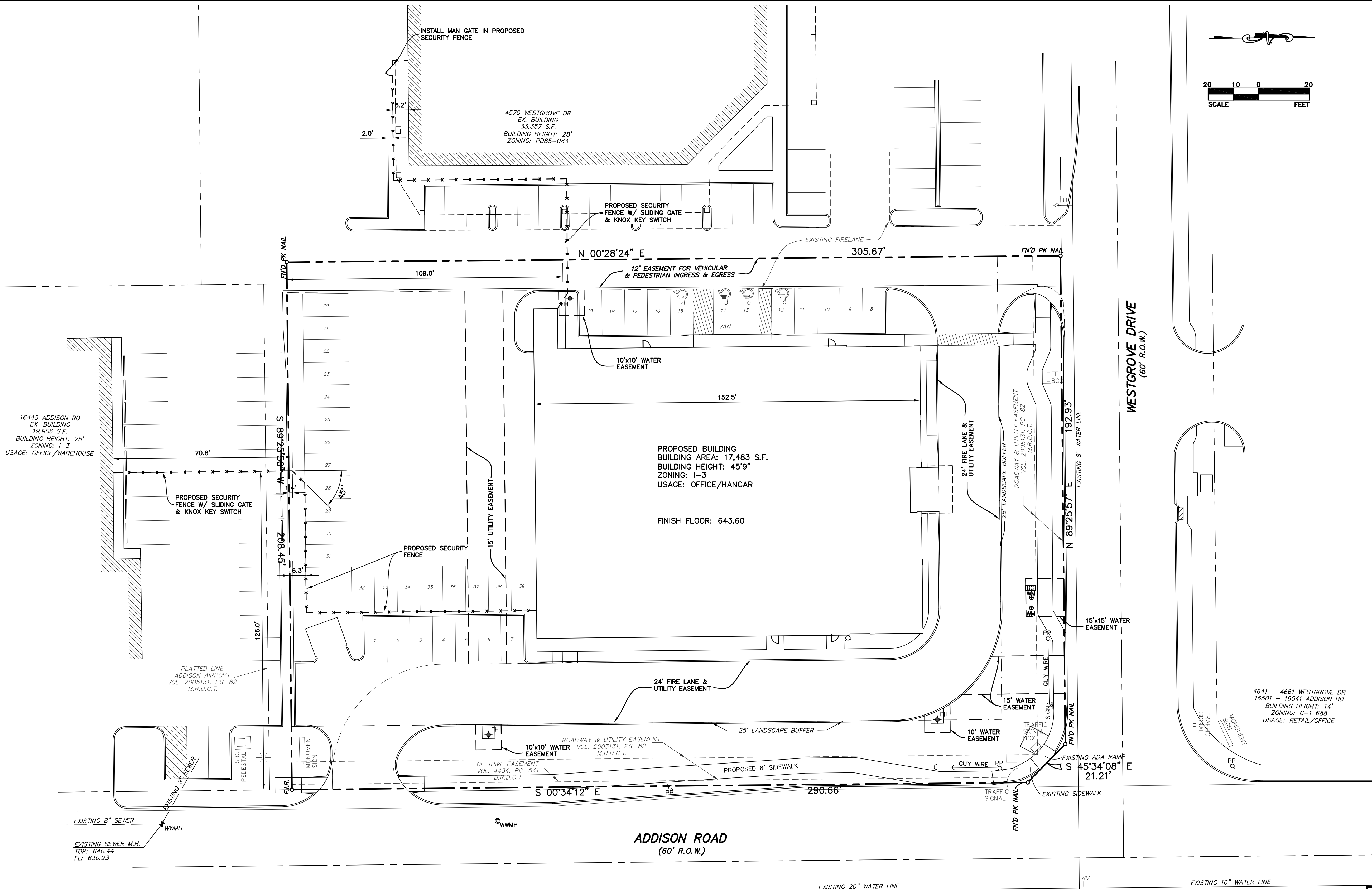
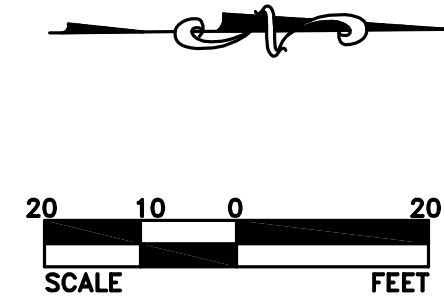
	PEDESTRIAN RAMPS	STANDARD CONSTRUCTION DETAILS PAVING		
		DATE: AUGUST, 2010	REV DATE: -	SHEET: SD-P38

AS-BUILT
10/25/2018

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR LISSIAK, JR., P.E. 30565 ON 10/25/2018



STANDARD DETAILS MEHRDAD HANGAR ADDISON AIRPORT LEASEHOLD ESTATES TRACT II 1458 ACRES GROUND LEASE #080A-29 ALP#U23 4700 WESTGROVE DRIVE ADDISON, TEXAS					
VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658 4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172					
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16		2015-224	C15



- LEGEND:**
- R.O.W. RIGHT OF WAY
 - PP EXISTING POWER POLE
 - FH EXISTING FIRE HYDRANT
 - F.I.R. FOUND IRON ROD
 - XXX.XX NG NATURAL GROUND
 - XXX.XX PV PAVEMENT
 - XXX.XX EP EDGE OF PAVING
 - XXX.XX SW SIDEWALK
 - XXX.XX TC TOP OF CURB
 - VOL. VOLUME
 - PG. PAGE
 - M.R.D.C.T. MAP RECORDS, DALLAS COUNTY, TEXAS
 - D.R.D.C.T. DEED RECORDS, DALLAS COUNTY, TEXAS

AS-BUILT
10/25/2018

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR LISSIAK, JR., P.E. 30565 ON 10/25/2018



SECURITY FENCE AND GATE EXHIBIT					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II 1458 ACRES GROUND LEASE #080A-29 ALP#U23 4700 WESTGROVE DRIVE					
ADDISON, TEXAS					
VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658					
4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172					
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16	1"=20'	2015-224	C16

OWNER'S DEDICATION

NOW, THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT, GIBON MCCROREY HOLDINGS, LLC, ACTING BY AND THROUGH ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THIS EXHIBIT, DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS LEASEHOLD ESTATE, GROUND LEASE #080A-29, ALP U23. THE EASEMENTS SHOWN THEREON ARE HEREBY RESERVED FOR THE PURPOSE INDICATED. THE UTILITY AND FIRE LANE EASEMENTS SHALL BE OPEN TO THE PUBLIC, FIRE AND POLICE UNITS, GARBAGE AND RUBBISH COLLECTION AGENCIES, AND ALL PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE UTILITY AND FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN. SAID EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE SAME. ALL, AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDING, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY MAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS, AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THE SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. (ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE OR SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY.)

WATER MAIN AND WASTEWATER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTION AND MAINTENANCE OF THE SYSTEMS. ADDITIONAL EASEMENT AREA IS ALSO CONVEYED FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEANOUTS, FIRE HYDRANTS, WATER SERVICES AND WASTEWATER SERVICES FROM THE MAIN TO THE CURB OR PAVEMENT LINE, AND DESCRIPTION OF SUCH ADDITIONAL EASEMENTS HEREIN GRANTED SHALL BE DETERMINED BY THEIR LOCATION AS INSTALLED.

WITNESS, MY HAND AT DALLAS, TEXAS THIS THE _____ DAY OF _____, 2016.

MEHRDAD MOAYEDI
GIBON MCCROREY HOLDINGS, LLC

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID STATE, ON THIS DAY PERSONALLY APPEARED MEHRDAD MOAYEDI, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

OWNER'S CERTIFICATE:

STATE OF TEXAS }
COUNTY OF DALLAS }

BEING ALL OF LEASEHOLD ESTATE TRACT II, GROUND LEASE #080A-29, ALP #U23 SITUATED IN THE WILLIAM LOMAX SURVEY ABSTRACT NO. 792, TOWN OF ADDISON, DALLAS COUNTY, TEXAS AND BEING A PART OF ADDISON AIRPORT, AN ADDITION TO THE TOWN OF ADDISON, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2005131, PAGE 62 IN THE MAP RECORDS OF DALLAS COUNTY, TEXAS (MRDCT), AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND "PK" NAIL IN CONCRETE AT THE SOUTH END OF A CORNER CLIP AT THE INTERSECTION OF THE SOUTH LINE OF WESTGROVE ROAD (60' R.O.W.), WITH THE WEST LINE OF ADDISON ROAD (60' R.O.W.);

THENCE SOUTH 00°34'12" EAST, ALONG THE WEST LINE OF SAID ADDISON ROAD, 290.66' TO A FOUND 5/8 INCH IRON ROD WITH PLASTIC CAP STAMPED "SPARR SURVEYS";

THENCE SOUTH 89°25'50" WEST, DEPARTING THE WEST LINE OF SAID ADDISON ROAD, 208.45' TO A FOUND "PK" NAIL IN CONCRETE;

THENCE NORTH 00°28'24" WEST, 305.67' TO A FOUND "PK" NAIL IN CONCRETE IN THE SOUTH LINE OF SAID WESTGROVE ROAD;

THENCE NORTH 89°25'57" EAST, ALONG THE SOUTH LINE OF SAID WESTGROVE ROAD, 192.93' TO A FOUND "PK" NAIL IN CONCRETE AT THE NORTH END OF SAID CORNER CLIP;

THENCE SOUTH 45°34'08" EAST, ALONG SAID CORNER CLIP, 21.21' BACK TO THE POINT OF BEGINNING AND CONTAINING 1.458 ACRES OF LAND.

STATE OF TEXAS }
COUNTY OF DALLAS }

SURVEYOR'S CERTIFICATE:

I, VICTOR LISSIAK, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM AN ACTUAL ON-THE-GROUND SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE FOUND AND/OR PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE PLATTING RULES AND REGULATIONS OF SMITH COUNTY, TEXAS.

VICTOR LISSIAK, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 3752

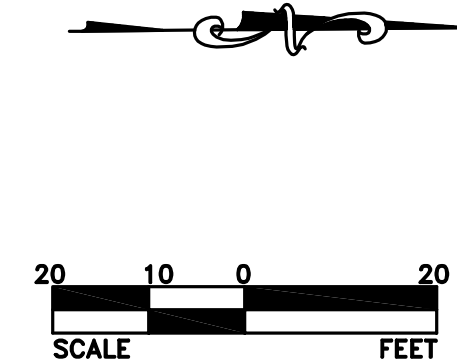
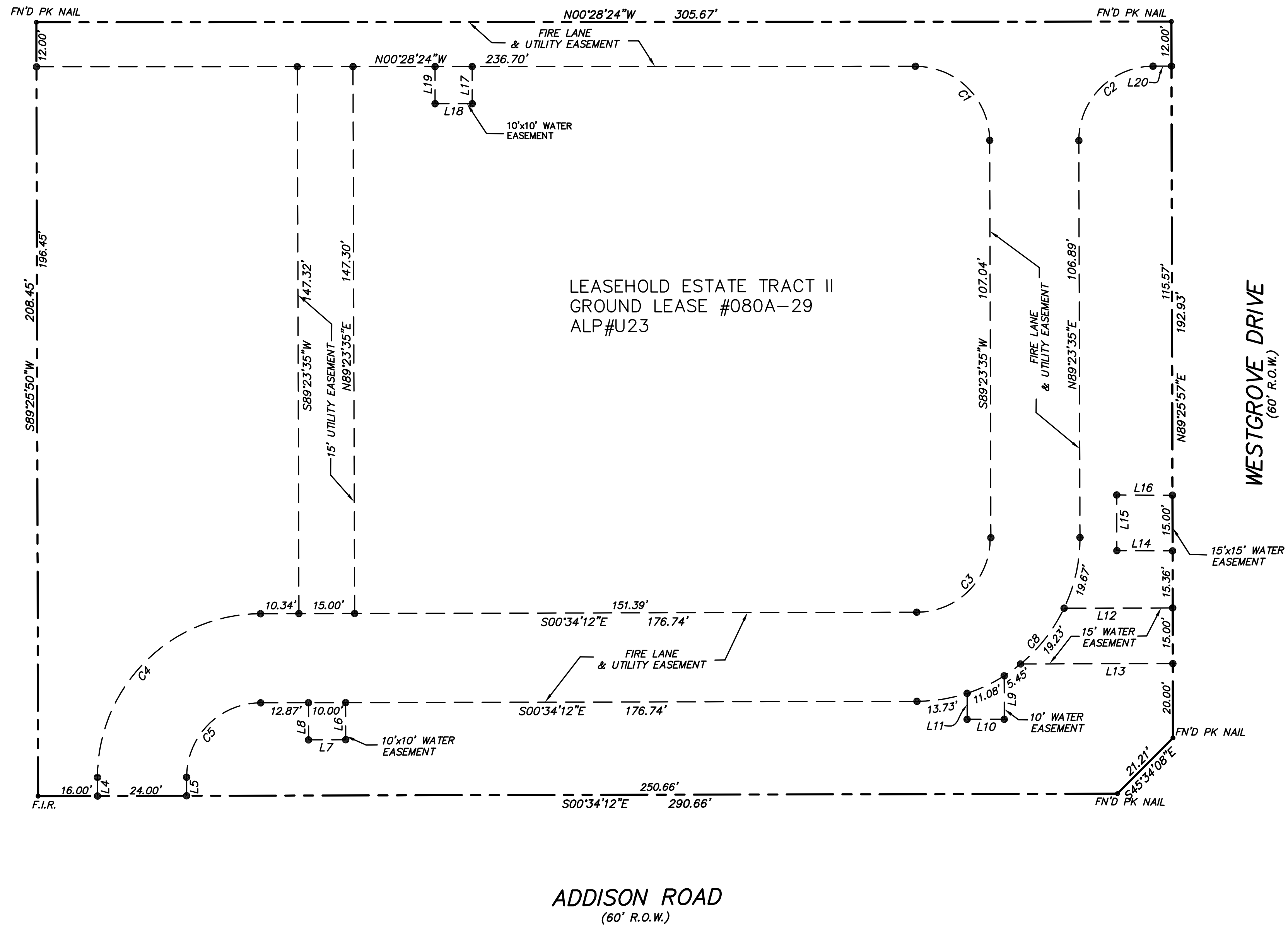


STATE OF TEXAS }
COUNTY OF DALLAS }

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED VICTOR LISSIAK, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION AND UNDER THE AUTHORITY THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2016.

NOTARY PUBLIC FOR AND IN THE STATE OF TEXAS

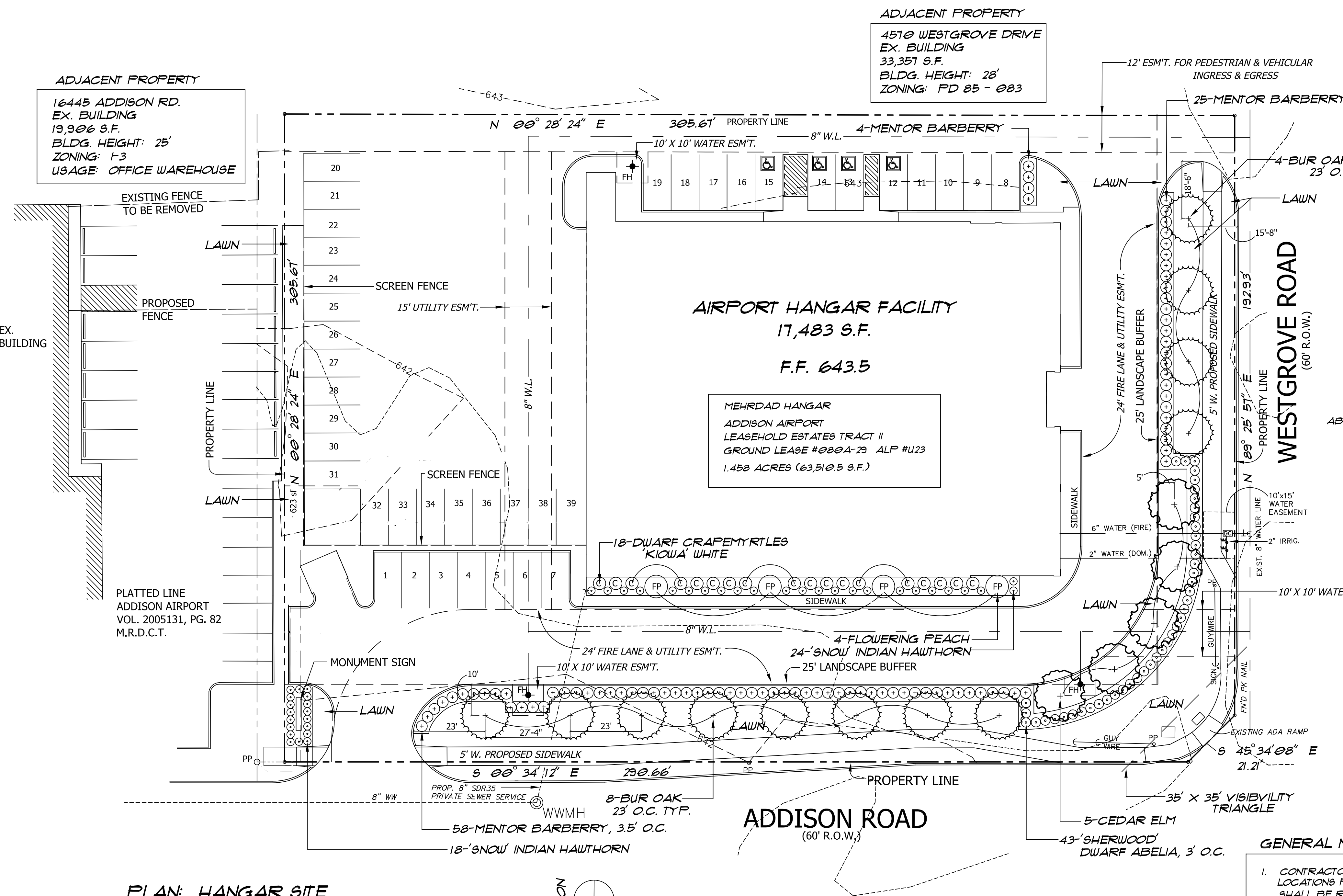
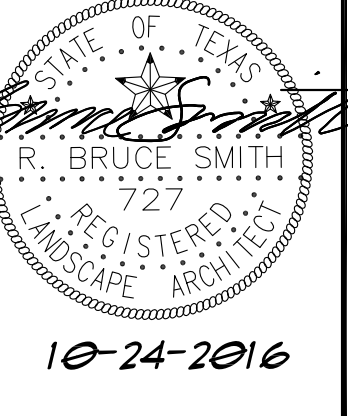


LINE #	LENGTH	DIRECTION
L4	5.00'	N89°25'48"E
L5	5.00'	N89°25'48"E
L6	10.00'	N89°25'48"E
L7	10.00'	S00°34'12"E
L8	10.00'	S89°25'48"W
L9	11.70'	N89°31'36"E
L10	10.00'	S00°28'24"E
L11	7.00'	S89°31'36"W
L12	29.24'	N00°34'12"W
L13	41.00'	S00°34'12"E

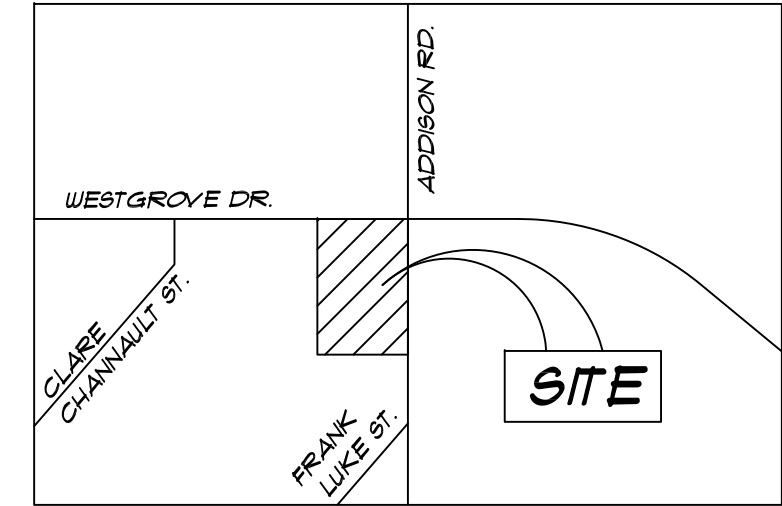
LINE #	LENGTH	DIRECTION
L14	15.00'	S00°11'21"E
L15	15.00'	S89°25'57"W
L16	15.00'	N00°11'21"W
L17	10.00'	N89°31'36"E
L18	10.00'	S00°28'24"E
L19	10.00'	S89°31'36"W
L20	4.97'	S00°28'24"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	31.37'	20.00'	089°51'59"	28.25'	S44°27'36"W
C2	31.46'	20.00'	090°08'01"	28.32'	S45°32'24"E
C3	31.08'	19.66'	090°34'27"	27.94'	N45°28'09"W
C4	69.12'	44.00'	090°00'00"	62.23'	S45°34'12"E
C5	31.42'	20.00'	090°00'00"	28.28'	S45°34'12"E
C8	69.14'	44.00'	090°02'13"	62.25'	N45°35'18"W

EASEMENT EXHIBIT					
MEHRDAD HANGAR					
ADDISON AIRPORT					
LEASEHOLD ESTATES TRACT II 1458 ACRES GROUND LEASE #080A-29 ALP#U23 4700 WESTGROVE DRIVE ADDISON, TEXAS					
VIEWTECH INC. TEXAS FIRM REGISTRATION NO. F2658					
4205 BELTWAY DR. ADDISON, TX. 75001 (972) 661-8187 FAX (972) 661-8172					
DESIGN	DRAWN	DATE	SCALE	JOB #	SHEET
AW	AW	10/24/16		2015-224	EE1

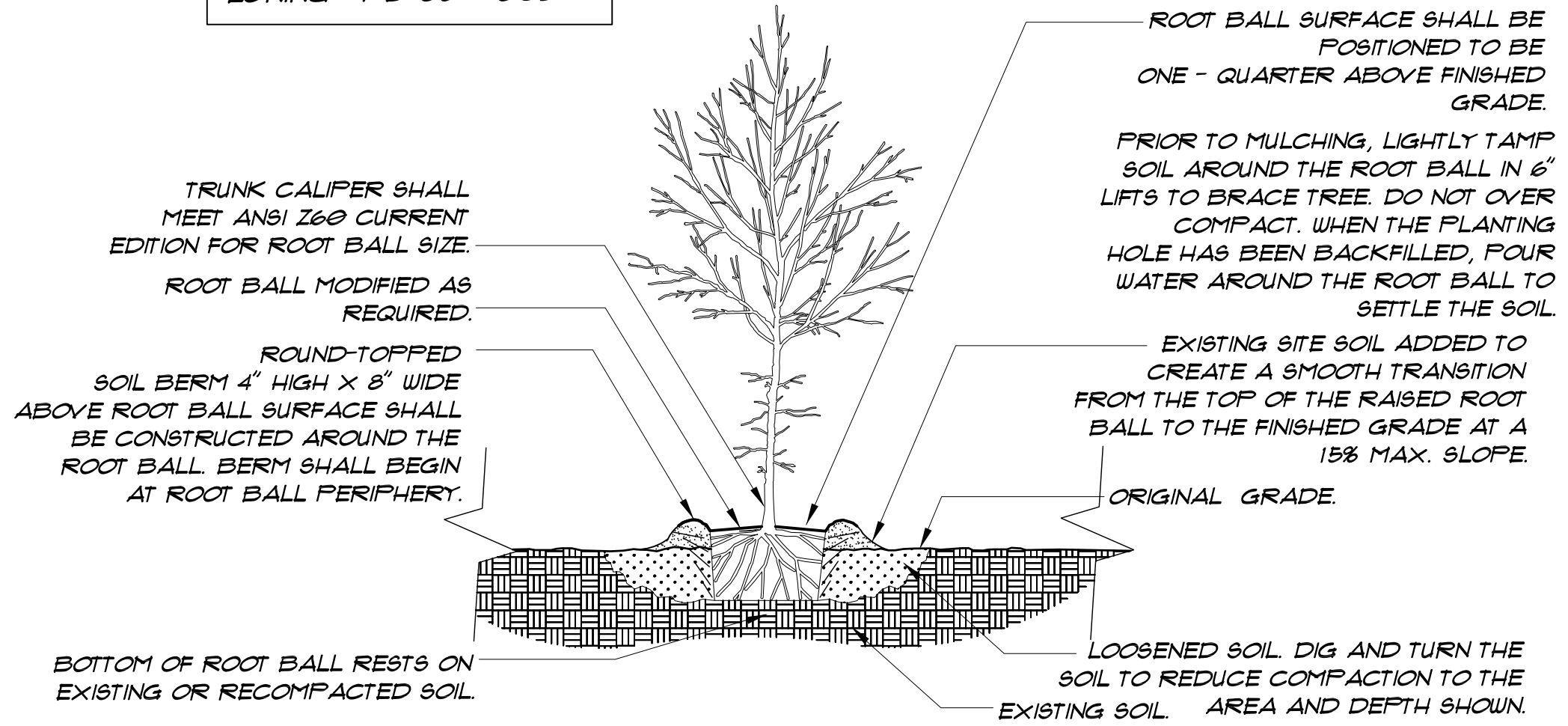


AS-BUILT
10/25/2018



LOCATION MAP:
NTS

ACROSS WESTGROVE DR.
4570 WESTGROVE DRIVE
EX. BUILDING
33,351 S.F.
BLDG. HEIGHT: 28'
ZONING: PD 85 - 083



SECTION: TREE PLANTING
NTS

IRRIGATION SYSTEM:
AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED, WITH AN AUTOMATIC PROGRAMMABLE CONTROLLER, WITH RAIN AND FREEZE SENSORS. THE SYSTEM SHALL BE DESIGNED TO PROVIDE ADEQUATE WATERING OF ALL LANDSCAPE AREAS. THE IRRIGATION PLAN SHALL BE PREPARED BY AN IRRIGATION DESIGNER LICENSED BY THE STATE OF TEXAS, AND SHALL COMPLY WITH ALL APPLICABLE CODES, REQUIREMENTS & STANDARDS. THE IRRIGATION CONTRACTOR SHALL INSTALL THE SYSTEM AS PER THE APPROVED PLAN. A PRESSURE VACUUM BREAKER ASSEMBLY OR EQUAL SHALL BE PROVIDED AS REQUIRED.

MAINTENANCE:
THE OWNER SHALL KEEP ALL LANDSCAPE AREAS MAINTAINED IN A NEAT APPEARANCE AT ALL TIMES. THIS SHALL INCLUDE MOWING, TRIMMING, EDGING, WATERING, UPKEEP OF THE IRRIGATION SYSTEM, AND REMOVAL OF TRASH AND DEBRIS. ALL PLANT MATERIAL SHALL BE KEPT IN A HEALTHY AND GROWING CONDITION.

- GENERAL NOTES:**
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF CONTRACTORS WORK.
 - CONTRACTOR SHALL PERFORM ALL WORK IN A TIMELY & WORKMANLIKE MANNER AS COMMONLY ACCEPTED IN THE TRADE.
 - CONTRACTOR SHALL KEEP THE SITE RELATIVELY CLEAN OF DEBRIS AT ALL TIMES AS WORK PROGRESSES, AND SHALL COORDINATE ALL WORK WITH OTHER WORK AT THE SITE, AND WITH OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PERMITS REQUIRED BY THE TOWN OF CROSS ROADS, TEXAS RELATED TO THE WORK.
 - SHOULD ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL SITE OF CONDITIONS ARISE, CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO CONTINUANCE OF WORK TO RESOLVE THE DISCREPANCY.
 - CONTRACTOR SHALL BEGIN WORK WITHIN FIVE WORKING DAYS FROM NOTICE TO PROCEED FROM OWNER.
 - NO IRRIGATION MAIN LINES, PARALLEL LATERAL LINES OR WIRING SHALL BE LOCATED WITHIN TWO FEET (2') FROM THE BACK OF ANY STREET CURBS. ONLY LATERAL LINES PERPENDICULAR TO THE CURB FOR POP-UP SPRAY HEADS ARE ALLOWED WITHIN TWO FEET FROM BACK OF CURB.
 - SEE SHEET L1.02 LANDSCAPE SPECIFICATIONS FOR FURTHER INFORMATION.

LANDSCAPE MATERIAL

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
TREES						
5	(+)	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIFER, 14'-16' HT. MIN. CONTAINER	AS SHOWN
12	(*)	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIFER, 14'-16' HT. MIN. CONTAINER	AS SHOWN
4	(FP)	FP	FLOWERING PEACH	PRUNUS PERSICA	8'-10' HT. CONTAINER	AS SHOWN
SHRUBS / ORNAMENTAL GRASSES / TURF GRASS						
83	(+)	MB	MENTOR BARBERRY	BERBERIS X MENTORENSIS	5 GAL	AS SHOWN
43	(O)	SAB	SHERWOOD DWARF ABELIA	ABELIA X GRANDIFLORA 'SHERWOODII'	5 GAL	AS SHOWN
42	(*)	SIH	'SNOW' INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'SNOW'	5 GAL	AS SHOWN
18	(C)	C	DWARF CRAPE MYRTLE, 'WHITE'	LAGERSTROEMIA INDICA, 'KIOWA' WHITE	5 GAL	AS SHOWN
TBD	(S.Y.)	S.Y. GRASS	COMMON BERMUDA GRASS CYNODON DACTYLON		SOLIDSOD (SEE SPECS. FOR HYDROMULCH OPTION)	

MEHRDAD HANGAR
ADDISON AIRPORT
LEASEHOLD ESTATES TRACT II
GROUND LEASE #080A-29 ALP #U23
1.458 ACRES (63,510.5 S.F.)
HANGAR FACILITY
4100 WESTGROVE DRIVE
ADDISON, TEXAS 75001
CITY PROJECT #2016-14
OWNER / AFLICANT:
CENTURIAN AMERICAN DEVELOPMENT GROUP
1800 VALLEY VIEW LANE STE 300
FARMERS BRANCH, TX. 75234
PHONE 469.892-1200
LANDSCAPE ARCHITECT:
BRUCE SMITH & ASSOCIATES (BS&A)
BRUCE SMITH
748 SWEET GUM DRIVE
LEWISVILLE, TEXAS 75067
PHONE 214.356-2109

PLAN: HANGAR SITE
SCALE: 1"=20'-0"

LANDSCAPE TABULATIONS: (ADDISON AIRPORT PROPERTY)

TOTAL SITE AREA: 1.458 ACRES (63,510.48 S.F.)
LANDSCAPE AREA REQUIRED: 10% OF 63,510.48 SF = 6,351 SF REQUIRED
LANDSCAPE AREA PROVIDED: 9,913 SF PROVIDED
ZONING: I-3 INDUSTRIAL
LANDSCAPE BUFFER: 25' LANDSCAPE BUFFER (ADDISON AIRPORT REQUIREMENT) ALONG ALL PUBLIC R.O.W.'S. EXCEEDS THE MINIMUM 20' LANDSCAPE BUFFER AS PER ORDINANCE WITHIN THE LANDSCAPE BUFFER, 1-4" CALIPER SHADE TREE, 14'-16' HT. IS REQUIRED FOR EVERY 30 LF OF R.O.W. FRONTAGE AND SHRUBS PLANTED 3' TO 3.5' ON CENTER DEPENDING ON SPECIES.
ADDISON ROAD FRONTAGE: 281 LF / 30 = 10 TREES, 4" CAL., 14'-16' HT. MIN. REQUIRED.
10 - TREES, 4" CAL., 14'-16' HT. MIN. PROVIDED
81 - SHRUBS REQUIRED / 81 SHRUBS PROVIDED
WESTGROVE ROAD FRONTAGE: 196 LF / 30 = 7 TREES, 4" CAL., 14'-16' HT. MIN. REQUIRED.
7 - TREES, 4" CAL., 14'-16' HT. MIN. PROVIDED
56 - SHRUBS REQUIRED / 68 SHRUBS PROVIDED
OFF STREET LOADING SCREEN: ALL OFF STREET LOADING AREAS ARE SCREENED FROM VIEW OF PUBLIC R.O.W.'S.
VISIBILITY TRIANGLES: A VISIBILITY TRIANGLE IS OBSERVED AND COMPLIED WITH AT THE ADDISON ROAD & WESTGROVE ROAD INTERSECTION.
PARKING LOT SCREENING: PARKING LOT SPACES ARE SCREENED FROM ALL PUBLIC & PERIMETER VIEWS TO THE EXTEND POSSIBLE.
PARKING LOT LANDSCAPING: TOTAL AREA = 17,492 SF X 5% = 875 SF OF LANDSCAPE AREA REQUIRED
PARKING LOT LANDSCAPE AREA PROVIDED: 1,131 SF

SECTION 02900 - LANDSCAPING

PART 1 - GENERAL

- 1.1 DESCRIPTION:
Provide complete landscaping shown on Drawings and described herein.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE:
A. Lawns - 02930
- 1.3 QUALITY ASSURANCE:
A. Comply with applicable Federal, State and County regulations governing landscape materials and work.
B. Architect reserves the right to review materials at growing site.
C. Observation at growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site shall be rejected.
D. Personnel: Employee only qualified personnel familiar with required work.
- 1.4 REFERENCE STANDARDS:
A. American Standard for Nursery Stock, Edition approved 1998 by Amerocan National Standards Institute, Inc. (Z60.1) - plant materials.
B. Hortus Third, 1976 - Cornell University - plant materials.
C. ASTM: American Standards Testing Material - sharp sand.
- 1.5 SUBMITTALS:
A. Samples: Provide representative quantities of sandy loam, sharp sand, bark mulch and peat moss.
B. Submit three representative samples of each of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install and maintain as representative samples for final installed plant material.
C. File Certificates of Inspection of plant material by State, County and Federal authorities with Architect, if required.
- 1.6 PRODUCT DELIVERY, STORAGE AND HANDLING:
A. Preparation:
1. Balled & Burlapped (B&B) Plants: Dig and prepare for shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in container sufficiently rigid to hold ball shape and protect root mass.
B. Delivery:
1. Deliver packaged material in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on site.
3. Protect root balls by heeling in with sawdust, if not planted within 24 hours of delivery.
4. Protect during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials.
5. Notify Architect of delivery schedules 48 hours in advance so plant materials may be observed upon arrival at job site.
6. Remove rejected plant materials immediately from site.
7. Do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.
- 1.7 JOB CONDITIONS:
A. Planting Restrictions: Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practices.
B. Protection:
1. Do not move equipment over existing or newly placed structures without approval of Architect or General Contractor.
2. Provide board-roading as required to protect paving.
3. Protect other improvements from damage, with protection boards, ramps and protective sheeting.
C. Utilities:
1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities.
2. Coordinate work with irrigation contractor to prevent damage to underground sprinkler system.
- 1.8 WARRANTY:
A. Warranty plants and trees for one year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and on notification by Architect. Replace plants, including trees, which in opinion of Architect have partially died thereby damaging shape, size, or symmetry.
B. Replace plants and trees with same kind and size as originally planted, at not cost to Owner. Provide one-year warranty on replacement plants. Trees should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
C. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects, or disease.
D. At end of warranty period, staking and guying materials shall be removed from the site by the Contractor at no additional costs.
- 1.9 MAINTENANCE:
A. Water will be available on site. Provide nessary hoses and other watering equipment required to complete work.
B. Maintain plantings and trees by watering, cultivating, weeding, spraying, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required until final acceptance.
C. Coordinate watering schedules with irrigation contractor during installation and until final acceptance.
- 1.10 WORK INCLUDED BUT SPECIFIED ELSEWHERE: NONE

PART 2- PRODUCTS

2.1 PLANTS:

- A. General: Equal to well-formed No. 1 grade nursery stock. Listed plant heights are from tops of root balls to nominal tops of plants.
B. Shrubs & Ground Covers: Nursery grown, healthy, vigorous, of normal habit of growth for species, free from disease, insect eggs and larvae. Specified sizes are before pruning and measured with branches in normal position. Plants shall be well rooted and established in the container.
C. Ornamental & Shade Trees: Healthy, vigorous, full-branched, well-shaped, trunk diameter and height requirements as specified. Balls shall be firm, neat, slightly tapered and well buttapped. Trees with loose or broken balls at time of planting shall be rejected. Trees will be individually approved by Architect. Root balls shall be ten (10") inches in diameter for each inch of caliper, measured twelve (1/2") inches above root ball. Trees shall be free of physical damage such as scrapes, bark abrasions or split branches.

2.2 SOIL PREPARATION MATERIALS:

- A. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.
2. Physical properties as follows: Clay-between 7-27 percent Silt-between 15-35 percent Sand-less than 52 percent
3. Organic matter shall be 4-percent of total dry weight.
B. Sharp Sand: Clean, washed sand, (fine aggregate) ASTM C-33.
C. Peat Moss: Commercial sphagnum moss or hyphum peat, or decomposed gin trash with ph between 5 and 7. The gin trash shall be sterilized to eliminate all active residues, i.e., insecticides, pesticides, herbicides, fungus, virus and defoliant chemicals. Organic matter shall not be less than 90 percent.
D. Commercial Fertilizer: Complete fertilizer (1:2:1 element ratio) with minimum 8% sulfur and 4% iron plus micronutrients.

2.3 MISCELLANEOUS MATERIALS:

- A. Steel Edging: 1/8" x 4" by Ryerson or equal.
B. Wrapping material: Waterproof crepe tree wrapping paper.
C. Tree Paint: Asphaltic based paint with antiseptic properties, manufactured for use on tree wounds.
D. Mulch: Shredded hardwood bark mulch by Living Earth Technology, Inc.
E. Guying Material:
1. Tie wire: 12 gauge, galvanized wire.
2. Black hose: 2 ply, fiber reinforced hose minimum 1/2 inch inside diameter.
3. T-shaped metal posts: Painted flat black, 8 foot long, or wood stakes 2x2 x 9 feet long dense pine, untreated.

PART 3- EXECUTION

3.1 CONDITION OF SERVICES:

Lawn and other planting areas will be left +/-, 1 feet below finish grade.

3.2 INSPECTION:

Examine subgrade upon which work is to be performed and verify conditions under which work is to be performed. Notify General Contractor and Architect of unsatisfactory conditions. Do not proceed with work until satisfactory conditions have been corrected in manner acceptable to Contractor.

3.3 BED PREPARATION:

- A. Provide 6 inches of thoroughly mixed and prepared soil for all shrubs, ground cover, perennials and seasonal color beds (except Azalea) as follows:
1 part mulch
1 part peat moss
1 part organic compost
Add 4 pounds commercial fertilizer per 100 square feet of bed area and mix thoroughly to all beds, including azaleas.
B. Provide 12"-18" minimum of 1/2 peat moss and 1/2 shredded pine bark thoroughly mixed for all azalea beds. Establish good drainage in beds.
C. Excavate bed areas of existing soil where necessary prior to placement preparation mix, and allow 2" additional depth to accomodate bark mulch flush with adjacent concrete surface or lawn areas. DO NOT BUILD UP BEDS AND IMPEED SITE DRAINAGE. Insure that all beds have sufficient slope for drainage.

3.4 SHRUB AND GROUND COVER PLANTING:

- A. Place plants in position on bed areas before cans have been removed. Obtain approval from Architect. Architect reserves right to interchange or shift locations of plants prior to planting. Do not remove burlap from BB plants. Add 4 pounds commercial fertilizer per 100 square feet of bed area and mix throughly. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball. Water thoroughly to eliminate air pockets. Carefully prune plants to remove dead or broken branches and hand-rake bad areas to smooth even surfaces.
B. Install ryerson steel edging to separate all planter beds from lawn areas.

3.5 TREE PLANTING:

- A. Ornamental Trees: Plant in pits 12 inches larger than tree ball, backfill with 25% organic mix and 75% existing soil.
B. Shade Trees:
1. Stake locations for approval by Architect.
2. Plant in pits 12" greater in diameter than root balls or to edge of tree leave-outs in paved areas, backfill with 25% organic mix and 75% existing soil. Remove excavated soil from site no used in backfill mix.

3.6 STONE WORK: NONE

3.7 TOP DRESSING:

After planting has been completed and approved by architect, top dress bed areas with bark mulch, 2 inches deep. Beds shouldbe left 2" below desired finish grade during excavation process. Delay this operation until near final acceptance.

3.8 TREE WRAPPING: Provide wrapping only at the Owner's request.

3.9 PRUNING OF NEW TREES: Prune trees to preserve natural character of plant. In general, remove sucker growth and broken or badly bruised branches.

3.10 TREE SAUCERS: Form a 4" (four inch) high saucer around each new tree planted in the lawn areas for deep watering place 2" of bark mulch within saucer. Contractor shall water until final acceptance.

3.11 TREE GUYING AND STAKING: Perform guying only as required and as directed by the Architect, due to site or weather conditions. Precautions shall be taken during guying operation to prevent damage or injury to the plant's branches and roots. If guying is required, the Contract amount will be adjusted using the unit price provided in the Contract.

3.12 CLEANUP: Keep premises neat and orderly including storage area. Remove trash and debris from excavating planting areas, preparing beds, or planting plants from site daily as work progresses. Keep paved areas clean by sweeping / hosing.

END OF SECTION 02900

SECTION 02930 - LAWNS

PART 1 - GENERAL

1.1 SCOPE: Furnish all labor, tools, transportation, materials, equipment, supervision, etc. required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications.

Redo any part of the area failing to show cover until a dense lawn is established. The cost of miscellaneous labor and materials for topsoil, weeding, tilling, pest control, fertilizing, etc., are not separate pay items and shall be included in the bid price for grassing.

1.2 RELATED WORK SPECIFIED ELSEWHERE:

- A. Landscaping,- Section 02900.

1.3 PAYMENT:

- A. Payment for grass planting, or hydromulching for general turf areas will be made after final acceptance based on hte method of payment stated in the bid proposal. If based on area units, such as square feet or square yards, payment will be based on actual field measurements. The contractor shall seed, fertilize, maintain and establish a healthy stand of grass before acceptance or payment for grass will be considered by the owner.
B. Bidders shall be aware that estimates of work under the specifications for monthly payments are made on nonperishable materials only. Payments for perishables will be made after final acceptance of the project. All grass planting, tilling, fertilizer etc. shall be considered perishable, therefore, no partial payments will be paid for grass planting and associated work.

1.4 MAINTRENANCE OF GRASS: The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivation, watering, disease and insect control, top dressing low spots, plus any procedures consistant with horticultural practice necessary to insure normal, vigorous, and healthy grass.

1.5 JOB CONDITIONS: Water will be available on site, including irrigation system. Lawn areas will be left within 0.1 foot of finish grade plus or minus. Fine grading, raking and smoothing will be the responsibility of the contractor.

1.6 SCHEDULE:

- A. Seeding/hydromulching bermudagrass - only between April 15th and Sept. 1st.
B. Seeding/hydromulching Ryegrass - only between Sept. 30th and Dec. 15th, or February 1st and April 15th.
C. Qualifications: Due to unseasonable weather, the above dates may vary, however, do not proceed with grassing operations beyond these dates without assuming full responsibility for a stand of grass.

1.7 ACCEPTANCE: The work will be accepted when a completed, undamaged stand of grass is achieved, as approved by the Owner or Architect.

PART 2 - MATERIALS

2.1 TOPSOIL: Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Topsoil containing Dallisgrass or nutgrass shall be rejected.

Physical properties as follows:
Clay- between 7-27 percent
Silt- between 28-50 percent
Sand- less than 52 percent

2.2 GRASS:

- A. Bermudagrass/Ryegrass: Extra fancy, hulled and treated, lawn type, delivered to sit in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination ninety percent (90%).
B. Seasonal Ryegrass: Extra Fancy, hulled and treated, lawn type, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination ninety percent (90%).
C. Solid Sod: Healthy, free of weeds and disease and overseeded with perennial rye if installed between September 15, and May 15.

2.3 FERTILIZER: Fertilizer shall be organic base, uniform in composition, dry and free flowing. Deliver fertilizer to site in original unopened containers.
A. First application: 12-12-12 element ratio w/ min. 8% sulfur, 4% iron & micro nutrients.
B. Second application: 3-1-2 element ratio. Nitrogen source to be a minimum 50% slow release organic nitrogen (SCU or UF) plus minimum 8% sulfur and 4% iron plus micro nutrients.

- 2.4 MULCH FIBER: Wood cellulose fiber for hydromulch: Weyerhaeuser or equal with green color nutrients.
2.5 TACKIFIER: Natural, non-asphaltic vegetable gum with gelling and hardening agents.
2.6 SHARP SAND: Clear, washed sand (fine aggregate) - ASTM C-33.
2.7 HERBICIDE: Round-up or equal.

PART 3 - EXECUTION:

3.1 PREPARATION:

- A. Scarify lawn areas where excessive compaction is greater than 8% Standard Proctor to a depth of 4 inches by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
B. Leave areas free of weeds and ready for final grading.
C. Provide barricades around sacrificed areas to prevent compaction by construction vehicles.
3.2 FINAL GRADING: Remove from site and legally dispose of stones 1 inch and larger, sticks and other debris exposed during this operation. Provide finish grading leaving surface uniform without depressions and undulations, graded approx. 1 inch below paving. Secure approval from Architect prior to grassing operation.
3.3 HERBICIDING: Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed applicator following the manufacturer's recommendations.
3.4 FERTILIZER: Place first application w/ hydromulch at rate of 12 lbs. / 1000 s.f.; uniformly distribute second application using a rotary type fertilizer spreader 3-4 weeks after first application at 12 lbs./ 1000 s.f..

- 3.5 HYDROMULCH/SEEDING:
A. At time of hydromulch/seeding, soil shall be moist not muddy, and wind velocity shall not exceed ten (10) miles per hour. Add water if required to moisten soil.
B. Hydromulch seed uniformly at rate of 2 lbs. of Bermudagrass or Ryegrass seed per 1,000 square feet.
C. Addtackifier to hydromulch mix for slopes 5:1 or greater at the rate of 1 lb. / bag.
3.6 MECHANICAL SEEDING: Seed uniformly at rate of 125 lbs. of Bermudagrass or Ryegrass seed per acre. Use grass drill, brillion seeder or viking roller.

3.7 SOLIDSOD: Plant grass by hand, edge to edge with staggered joints. Topdress w/ sharp sand raked in carefully to fill joints. Roll to eliminate undulations and provide complete soil contact. Fertilize immediately after grass is planted @ 4lbs./1000 s.f..

Fertilizing: Fertilize immediatly after grass is planted at rate of 4 lbs. pre 1,000 square foot. Repeat fertilizing at the same rate 3-4 weeks later.

3.8 ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:

- A. Watering:
1. Water lawn areas immediately after grassing operation with either the irrigation system in areas covered, or with truck watering along parkways.
2. Continue watering as required to keep soil uniformly moist to a minimum depth of 4-inches.
3. Be alert to over-watering newly planted grass, particularly in heavy clay soils.
B. Replanting/ Erosion Control:
1. Correct any erosion that may occur during the establishment of grass.
2. Reseed (sod) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (sodding) until a stand of grass is achieved.
3. A stand of grass will be defined as a uniform cover of actively growing turf.
C. Mowing/Weed Control:
1. Mowing lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches; set mower to cut at 2-inches. A minimum of two mowings is required.
2. Weed lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved, herbicide spot treatments may be used.
3.9 CLEANUP: During work, keep premises neat and orderly, including storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

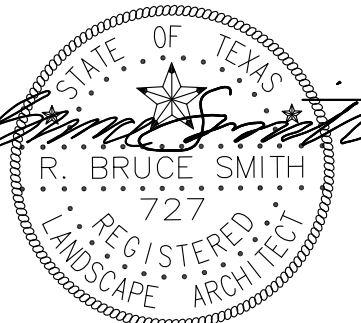
END OF SECTION 02930

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EXP. 08/17



10-10-2016

AS-BUILT
10/25/2018

LANDSCAPE SPECIFICATIONS

MEHRDAD HANGAR SITE
WESTGROVE ROAD
ADDISON, TEXAS

PROJECT No.
VT.ADDISON.031516

DRAWING FILE:

ISSUE DATE:
10-10-2016

REVISIONS:
DATE: NOTE:

SHEET
L1.02