

COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



JOHN M. HILL
214.672.2170
JHILL@COWLESTHOMPSON.COM

December 22, 2004

STEVE,
PLEASE FILE
Whit

VIA CERTIFIED MAIL, RRR # 7003 3110 0006 2023 6790

Mr. Chris Robinson
Senior Vice President
Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229

**RE: Addison Arts & Events District
Festival Way Reconstruction**

Dear Mr. Robinson:

We write on behalf of the Town of Addison, Texas ("Addison") with regard to the above-referenced matter. As you are aware, Abstract was retained by Addison as the Contractor for the construction of the Addison Arts & Events District, which included, among other things, the construction of Festival Way. Addison has experienced inaccurate grades and drainage problems on this street. Although not exclusive, examples of the problems include that the paving has been poured too high and too low, and that the drainage inlets are constructed improperly.

In responding to these issues, Addison requested that Abstract provide survey data on the full length of Festival Way. In response, Abstract eventually provided a letter dated February 3, 2004 and drawing dated February 4, 2004 prepared by Eric L. Davis, Consulting Engineering indicating his findings and proposed resolution. Addison submitted these materials to the engineer of record, Sasaki Associates, Inc., to review and to offer its opinion of the proposed resolution. As you know, Sasaki indicated that the Davis report does not effectively resolve the problems identified with Festival Way and rejected the proposed resolution.

Subsequently, on or about June 8, 2004, Abstract submitted to Addison a proposed solution to the drainage issues at Festival Way. Eric L. Davis created the proposal labeled "Festival Way Road Proposed Regrading" that was submitted to Addison (the "Davis Proposal"). Addison originally rejected the Davis Proposal as insufficient to resolve the drainage problems and demanded that Abstract and its surety reconstruct the road according to the original specifications. Addison's demands have thus far been rejected.

At this point, Addison is evaluating all of the legal rights and remedies to which it is entitled, including litigation, if necessary. However, before pursuing any specific remedy, Addison wishes to attempt to find a resolution to this matter that will generally address the drainage issues that exist and avoid any further controversy among the parties. Accordingly, Addison has

formulated this revised version of the Davis Proposal that it proposes as a solution to these problems recognizing that the Davis Proposal does not fully comply with the design standards originally incorporated by the engineer of record. This revised version requires the following:

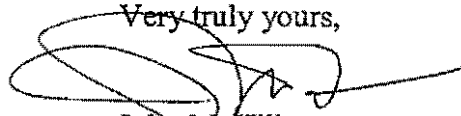
- 1) Reconstruction of Festival Way as proposed by the Davis Proposal.
- 2) Additionally, all remaining panels on Festival Way showing any cracking shall be replaced.
- 3) At any location where replacement of the curb causes the elevation of the adjacent sidewalk to be higher or lower than the new top of curb, the sidewalk must be replaced to match the new elevation. Under no circumstances can the cross pitch of the new sidewalk exceed the 1/4 inch per foot called for in the drawings and it must align with any adjacent undisturbed sidewalk in compliance with all applicable accessibility standards.
- 4) Abstract shall have all appropriate field engineers or other qualified persons present during all pours to confirm the proper elevations are being maintained during concrete placement. Addison must be provided with the contract required testing and inspection reports necessary for the street construction, including the subgrade.
- 5) No concrete is to be poured unless a representative of Addison is present to observe and, if necessary, point out corrective actions to be taken. David Wilde with the Addison Public Works Department should be contacted in advance to schedule the attendance of the appropriate Addison representative.
- 6) The work described in Paragraphs 1-5 shall be completed no later than May 1, 2005.
- 7) Addison shall continue to hold any and all monies owed to Abstract related to the Addison Arts & Event District Project until the work described in Paragraph 1-3 is completed.
- 8) Pursuant to Paragraph 12.2.1 of the General Conditions of the Contract for Construction (the "Contract"), Addison will deduct the final amount of money expended for the Construction Manager's and Architect's services and expenses related to resolving and correcting the work on Festival Way.
- 9) Upon completion by Abstract and approval by Addison of the work described in Paragraphs 1-5, Addison will release the monies described in Paragraph 7 to Abstract, less the amounts described in Paragraph 8 and less \$50,000 to be retained as guarantee of a new one year warranty on the replacement work. The \$50,000 retained will be

Mr. Chris Robinson
December 22, 2004
Page 3

released at completion of the warranty period, less any funds expended to accomplish needed warranty work not addressed by Abstract.

This proposal shall remain open until January 7, 2005. If you have any questions or comments, please do not hesitate to contact me.

Very truly yours,



John M. Hill

JMH/yjr

cc: Fidelity and Deposit Company of Maryland (Via Certified Mail,
Colonial American Casualty and Surety Company RRR # 7003 3110 0006 2023 6806)
P.O. Box 1227
Baltimore, MD 21203-1227

Ms. Carmen Moran, w/Town
Mr. Mike Murphy, w/Town
Mr. James Duffy
Mr. Larry Johnson, w/firm
Mr. Ken C. Dippel, w/firm

JAMES F. DUFFY

TRANSMITTAL

3887 RIDGELAKE CT.
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

To: STEVE CHUTCHIAN	From: JIM DUFFY
PROJECT: AAED	DATE: 1/17/03

FYI REQUESTED REVIEW / COMMENT FOR APPROVAL OTHER

COMMENTS:

STEVE:

HERE IS A COPY OF RFI #6 AND THE INFORMATION I RECEIVED FROM BIRKHOFF'S OFFICE IN RESPONSE. I THOUGHT YOU WOULD LIKE A COPY FOR YOUR RECORDS.

JIM

10-12-04

Festizal Way
~~Copper Street~~
\$50K offer

Larry Johnson

Surety put on formal notice

Pay requests are being held (July Aug)
250K is being withheld (mostly retainage)
40K pay requests

Abstract has not given us a good alternate

1. Accept offer
2. Terminate Contract
Hire someone to fix road
3. Don't terminate - hire someone to finish
the road &
4. Go to mediation

Gov Council on 26th

Cost Est to Repair	-	390 K
20% Contingency	-	-
Total Est		468 K

Utility Projects Description

<Item #	Description	Quantity	Unit	UNIT BID PRICES	Unit Cost
1	Mobilizationa (10%)	1	LS	\$33,990.00	\$33,990.00
2	SW3P (5%)	1	LS	\$17,000.00	\$17,000.00
3	Sawcut pavement	50	LF	\$3.50	\$175.00
4	Demo - Concrete Pavement	5120	SY	\$5.00	\$25,600.00
5	Demo - integral Curb and Gutter	2200	LF	\$2.50	\$5,500.00
6	Remove Trees	44	Ea	\$300.00	\$13,200.00
7	Tree Protection	28	Ea	\$100.00	\$2,800.00
8	Project Signs	2	Ea	\$350.00	\$700.00
9	Storm Inlet Adjustment adjusting box top and grate drains	8	Ea	\$1,500.00	\$12,000.00
10	Valve Adjustment - water and sewer	23	Ea	\$2,000.00	\$46,000.00
11	8" PCC Pavement	5120	SY	\$40.00	\$204,800.00
12	4" PCC Sidewalk	620	SY	\$35.00	\$21,700.00
13	Parking Lot Striping	1694	LF	\$1.50	\$2,541.00
14	Landscaping - 5%	1	LS	\$2,170.00	\$2,170.00
15	Irrigation System - 3%	2	LS	\$1,310.00	\$2,620.00
				Sub Total	\$390,796.00
				20% contingency	\$78,159.20
				Total	\$468,955.20

10/19/04
 cc: J. Duffy
 Carmen

STEVE,
 PLEASE F.I.E.
 Jh

Quantity Takeoff

2*25 = 50 (2 entrances)
see takeoff sheets

- wag - assumed all trees on south side to be removed
- wag - taken off of plans trees on north side
- assumed all inlets to be adjusted

=1100*5/9

HP LaserJet 3200se

HP LASERJET 3200

OCT-5-2004 8:56AM



Fax Call Report

Job	Date	Time	Type	Identification	Duration	Pages	Result
256	10/ 5/2004	8:55:57AM	Send	99724061146	0:39	3	OK

**TOWN OF ADDISON
PUBLIC WORKS**

To:

Company:

FAX #:

Date:

No. of Pages(Including cover):

From:

Michael E. Murphy, P.E.
Director of Public Works

Office: 972/450-2878
Fax: 972/450-2837

16801 Westgrove
P.O. Box 9010
Addison, TX 75001-9010

3

HP LaserJet 3200se



HP LASERJET 3200

OCT-5-2004 8:52AM

Fax Call Report

Job	Date	Time	Type	Identification	Duration	Pages	Result
255	10/ 5/2004	8:51:28AM	Send	7043	0:54	2	OK

Item #	Description	Quantity	Unit	UNIT BID PRICES	Unit Cost
1	Mobilizations (10%)	1	LS	\$33,890.00	\$33,890.00
2	ST&P (3%)	1	LS	\$17,000.00	\$17,000.00
3	Secure pavement	50	LF	\$3.90	\$178.00
4	Demo - Concrete Pavement	5720	SY	\$5.00	\$28,600.00
5	Demo - original curb and gutter	2200	LF	\$2.50	\$5,500.00
6	Remove Trass	44	Ea	\$300.00	\$13,200.00
7	Tree Protection	28	Ea	\$100.00	\$2,800.00
8	Project Signs	2	Ea	\$350.00	\$700.00
9	Storm Inlet Adjustment adjusting box top and grate drains	5	Ea	\$1,500.00	\$7,500.00
10	Valve Adjustment - water and sewer	23	Ea	\$2,000.00	\$46,000.00
11	8" PCC Pavement	5720	SY	\$40.00	\$229,600.00
12	4" PCC Sidewalk	820	SY	\$35.00	\$28,700.00
13	Parking Lot Striping	1694	LF	\$1.50	\$2,541.00
14	Landscaping - 6%	1	LS	\$2,170.00	\$2,170.00
15	Irrigation System - 3%	2	LS	\$1,310.00	\$2,620.00
				Sub Total	\$390,788.00
				20% contingency	\$78,159.20
				Total	\$468,947.20

Post-It® Fax Note 7671

To: *Carmen*

From: *WEM*

Co./Dept.:

Phone #:

Fax #:

of pages: 2

R:\Public\Harris Center\Festival Way\Festival Way 0410.mxd.xls

Post-It® Fax Note 7671

Date: 10/5/04 # of pages: 2

To: *Carmen* From: *WEM*

Co./Dept.:

Phone #:

Fax #:

JAMES F. DUFFY

FAX COVER SHEET

3667 RIDGELAKE COURT
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

SEND TO:	MIKE MURPHY	FROM:	JIM DUFFY
CC:	DAVE WILDE		
		DATE:	6/30/04
FAX NUMBER:	972.450.2837	PHONE NUMBER:	

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 2

COMMENTS:

LETTER REGARDING FESTIVAL WAY RECONSTRUCTION

STEVE,
FYI.
Mike

(PLEASE FILE)

JAMES F. DUFFY

June 30, 2004

Via Facsimile & USPS

Mr. Craig Gaussiran
Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229

Re: Addison Arts & Events District
Festival Way Reconstruction

Dear Craig:

On June 15, 2004 we received undated drawings with a seal date of 6-8-04 from Eric L. Davis Engineering, Inc. titled "Festivalway Road Proposed Regrading". These drawings are the second effort by Mr. Davis' office to design a solution to the Town of Addison's concerns about the as built condition of Festival Way.

After review by the engineer of record, Sasaki Associates Inc., and the Town's Public Works staff it has been decided this proposed solution fails to satisfactorily correct the problems with the street. You are again directed to reconstruct Festival Way and the adjacent sidewalk in strict accordance with the original plans and specifications.

Please refer to my March 26, 2004 letter on the same subject for the parameters under which Abstract's work is to be accomplished, particularly the schedule and quality control steps.

I want to remind you again that we have a narrow window between July 5 and the beginning of the Oktoberfest special event in September in which to complete this work.

Regards,

Jim Duffy

cc: Dave Clough
Carmen Moran
Mike Murphy
Dave Wilde

RECEIVED
James F. Duffy

DEC 19 '03

Interdisciplinary Design

December 17, 2003

S A S A K

Jim Duffy
JFD Group
3887 Ridgelake Court
Addison, TX 75001

re: Addison Arts & Events District – Construction Administration
SA #14516.05

Dear Jim:

Our office has completed an analysis of the as-built grading and drainage conditions on Festival Way. The analysis was based on the survey plan titled "Grade Exhibit for Festival Way", done by Benchmark Group of Texas, Inc., dated 10/22/03. A copy of this plan with our notations is attached.

Sasaki Associates Inc.

64 Pleasant Street

Watertown Massachusetts

02472 USA

t 617 926 3300

f 617 924 2748

w www.sasaki.com

Grades along the entire length of roadway are very irregular along the curb lines, gutter lines, and centerline. Slopes vary from flat to more than 3% with no consistency. In one case, the cross-pitch is almost 5%. Some cross-pitches run in the wrong direction. As a result, water does not flow evenly along gutter lines and into the drainage structures; it just runs to the low areas and in some places becomes trapped.

Gutter inlets have been constructed incorrectly. According to Detail 1 on drawing C8-8 (Town of Addison's standard detail), the opening at the inlet should be 6" high with the roadway paving sloped down to the bottom of the inlet (the flow line elevation) over a three foot wide apron. The apron is also supposed to extend along the 6' length of inlet and then slope up for 10' on either side of the inlet, creating a transition curb from typical 6" height from top to bottom of curb to a 10" height along the gutter inlet. Inlets have been built without the sloped apron, and instead have a steep pitch right at the inlet. Together with the inconsistent grading, this compounds the problem of properly getting water into the gutter inlets. In some places, the grade is virtually flat from the roadway centerline to the gutter inlet and in one case, at the west end of the street, the grade actually pitches from the inlet toward the center of the street.

In our opinion, the entire roadway should be reconstructed to proper grades and slopes. It's not possible to salvage some areas and reconstruct others since there is so much inconsistency. If one particularly bad section is removed and reconstructed, the slopes would still not work properly with the sections that would be left.

Since the curb is integral with the roadway pavement, our suggestion is to remove all the paving and curb, both sides of Festival Way. Gutter inlet structures should be left in place and modified at the inlet as required to meet the reconstructed road paving. Working

December 17, 2003

Page 2

with the as-built grades for the top of curb/south edge of sidewalk along the north side of the road and the top of gutter inlet structure grades on both sides, we could adjust our grading plan as necessary to provide for proper slopes as originally designed and then issue the revised plan for the reconstruction work. The surface should also have a broom finish, which was specified but not done.

Please let me know if there are any questions.

Best regards,



David Clough
Senior Associate

Enclosure: Sasaki Associates Grading Analysis, 17 December '03

Cc: Carmen Moran (w/enc.), Alan Ward, Steve Hamwey, Cathy Baker, Ting Chang

Sasaki Associates Inc.

Abstract Construction Company
 11157 Ables Lane
 Dallas, TX 75229
 (Phone) 469-385-9723
 (Fax) 469-385-9753



REQUEST FOR INFORMATION (RFI)

TO:	Jim Duffy Town of Addison c/o JFD Group 3887 Ridgeland Court Addison, Tx 75001 (Phone) 972-241-2816 (Fax) 972-406-1146	DATE:	01/14/03
FROM:	Craig A. Gaussiran Project Manager	RFI NO.:	006
PROJECT:	Addison Arts & Events District	PROJECT NO.:	G02068E
ORIGIN:	CalHar Construction, Inc. (Phone) 972-838-2888 (Fax) 972-838-2299	ARCH. PRO. NO.:	
		DATE SENT:	01/14/03
		DAYS ALLOWED FOR RESPONSE:	3
		REQUESTED RESPONSE DATE:	01/17/03
		SENT VIA:	

ACTION NOTES:	
SPEC SECTION / TITLE:	
RFI SUBJECT:	Field layout verification
<p>The survey crew hired by Abstract Construction sent a crew to the site on 1/13/03 for initial site control as listed on the Construction Plans for verification. The field crew found (TBM-1) to be 0.07 feet out horizontally and 0.06 feet out vertically. In addition this benchmark was destroyed by City of Addison subcontractor while Field crew was on site. Crew found (TBM-2) to 0.10 feet out horizontally and 0.05 feet out vertically. Please advise if this does or does not meet this projects position tolerances. No right of way information was provided on the plans. Without this information we are unable to know if any new construction will or does encroach into any of the Public Right of Ways. Please advise.</p>	

see attached letter and drawing from Birkhoff, Hardricks & Conway regarding benchmark

ANSWERED BY: **RESPONSE DATE:** 1-17-03

DISTRIBUTION	COPIES	SENT VIA
By: <div style="display: inline-block; vertical-align: middle; margin-left: 20px;"> Garth Rogers Craig A. Gaussiran </div>		Field File Project File

BIRKHOFF, HENDRICKS & CONWAY, L.L.P.
CONSULTING ENGINEERS

7502 Greenville Ave., #220

Dallas, Texas 75231

Fax (214) 361-0204

Phone (214) 361-7900

JOHN W. BIRKHOFF, P.E.
RONALD V. CONWAY, P.E.
GARY C. HENDRICKS, P.E.
JOE R. CARTER, P.E.
PAUL A. CARLINE, P.E.
MATT HICKEY, P.E.
DOUGLAS K. SHOWERS, P.E.
ROSS L. JACOBS, P.E.

January 17, 2003

Mr. Jim Duffy
3887 Ridgelake Ct.
Addison, Texas 75001

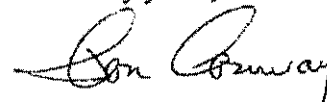
Re: Addison Arts and Events District

Dear Mr. Duffy:

We are enclosing four copies of the Existing Condition Plan we prepared for the Addison Arts and Events District. We have highlighted the original City of Addison benchmark we used for the survey of this site. We have also highlighted the horizontal control points we established during the survey of the site. This information is to be given to the surveyor staking the site for construction.

If you have additional questions concerning our survey of this site, please give me call.

Sincerely yours,



Ronald V. Conway, P.E.

Enclosures

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Friday, August 05, 2005 9:27 AM
To: Carmen Moran; Ron Lee; Steve Chutchian
Subject: Fwd: Festival Way Update - 8/5/05

FYI

Begin forwarded message:

From: "Rich Favre" <richf@abstractmail.com>
Date: August 5, 2005 8:38:42 AM CDT
To: "Jim Duffy" <jfdgroup@flash.net>
Subject: Festival Way Update - 8/5/05

Jim,

I met with Strand on-site yesterday and took them through the elevations/plans we received from the surveyor. They began working on forms, steel, etc. yesterday and will continue today. They will be staking points and pulling string to show contours. We plan on meeting with Strand on Monday to make sure that everything is correct/up to grade. I then hope to schedule a meeting for Tuesday in order for us all to meet and approve everything. Once Rusty has approval, he will schedule the concrete pour ASAP. If that schedule holds up, I hope to be done with concrete by the end of next week. We can then use the week of the 15th to do clean-up, striping, etc. I can also make sure that all of the remaining punch items are complete. I already have someone lined up to replace the roses. The same with the control joint at Quorum. The sub that we use to do striping is also very good with a power washer so I plan on having him remove the material on Addison Circle. That should give the city a couple of weeks before they have any events out there. My main focus over the next couple of days is to make sure that Strand has everything correct.

Thanks,
Rich

8/5/2005

COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



LARRY W. JOHNSON
214.672.2108
LJOHNSON@COWLESTHOMPSON.COM

June 7, 2005

Mr. Michael S. Nixon
Griffith & Nixon, P.C.
One Lincoln Centre
5400 LBJ Freeway, Suite 1025
Dallas, Texas 75240

Re: Festival Way – Town of Addison

Dear Mr. Mike:

Please find enclosed a fully executed original of the Agreement of Parties in connection with the above-referenced matter.

If you have any questions, please do not hesitate to contact me.

Sincerely,



Larry W. Johnson

LWJ:le
Enclosure

Mr. Michael S. Nixon
June 7, 2005
Page 2

bxc (w/encl.): Ms. Carmen Moran
Mr. John Hill [Firm]

RE: DISPUTE AMONG TOWN OF ADDISON, ABSTRACT CONSTRUCTION COMPANY,
STRAND & ASSOCIATES, ET AL.

AGREEMENT OF PARTIES

1. The Town of Addison ("Addison") and Abstract Construction Company ("Abstract") have agreed upon a scope of work to repair Festival Way (the "Scope of Work"). The Scope of Work is attached hereto as Exhibit A. Abstract will ensure that the Scope of Work conforms to the original construction drawings issued by Sasaki.

2. Abstract will notify Addison of the subcontractors responsible for performing any portions of the Scope of Work. Within five (5) business days of notification from Abstract, Addison shall have the right to approve any subcontractor chosen by Abstract to perform the Scope of Work.

3. All terms and conditions of the Contract between Addison and Abstract for construction of the Addison Arts & Events District shall apply to the Scope of Work for repair of Festival Way. To the extent the terms of this Agreement contradict or are inconsistent with the terms and conditions of the original contract executed by Addison and Abstract, the terms of this Agreement shall supersede those set forth under the original contract.

4. Abstract shall have appropriate field engineers or other qualified persons present during all pours to confirm the proper elevations are being maintained during concrete placement. Addison must be provided with the contract required testing and inspection reports necessary for the street construction, including the subgrade.

5. No concrete is to be poured unless a representative of Addison is present to observe and, if necessary, point out corrective actions to be taken. The Addison Public Works Department should be contacted in advance to schedule the attendance of the appropriate Addison representative.

6. The Scope of Work shall be completed between July 4 – September 1, 2005.

7. On or before March 21, 2005, Addison provided a punch list to Abstract related to the Addison Arts & Events District. Upon completion of the punch list, Addison shall release to Abstract all but \$50,000 of retainage held by Addison. Upon completion of the Scope of Work, Addison shall release to Abstract another \$25,000 of the retainage held. Addison shall keep the remaining \$25,000 of retainage (the "Remainder") and Abstract releases any and all claims or rights to the Remainder.

8. The agreed-upon subcontractor for the Scope of Work shall provide a one (1) year guarantee on the Scope of Work and one (1) year maintenance bond.


9. The Parties agree to a tolling agreement of any claims related to Festival Way until completion of the work described by Scope of Work.

AGREED this _____ day of _____, 2005.

TOWN OF ADDISON

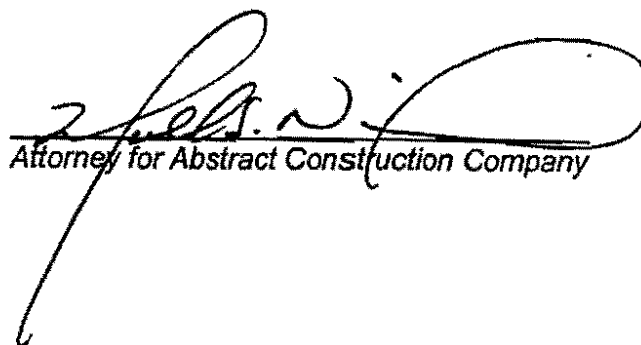
ABSTRACT CONSTRUCTION COMPANY

By: _____

By:  _____

APPROVED AS TO FORM:

Attorney for Town of Addison



Attorney for Abstract Construction Company

EXHIBIT A

1. All curb inlets in Festival Way must be reconstructed to comply with design details as indicated on sheet C8-8, detail 1 in the project plans.
2. In conjunction with the reconstruction of curb inlets 1 & 2 at the west end of Festival Way, certain paving areas will be reconstructed. Those paving areas are defined by the north/south transverse expansion joint separating the drive approach from Festival Way to the next north/south transverse expansion joint east, and from the sawed east/west dummy joint adjacent to the parking areas on the north side of the street to the dummy joint adjacent to the parking area on the south side of the street. The defined areas will be reshaped to expedite flow of storm water to the corrected curb inlets.
3. Remove and re-pour paving panels in Festival Way at the southern end of the Pergola. This area is defined as the panel incorporating the storm and sanitary sewer manholes and the panel east to the first transverse expansion joint. This area is to be removed from curb line to curb line. Reconstruction of curb inlets 3 & 4 is to be included in this area.
4. Remove the two paving panels surrounding catch basin 7 and panels to the west if necessary and replace in order to properly direct storm water into the catch basin. All concrete removal will be done within the areas defined by existing joints.
5. Rout and seal all remaining cracks in Festival Way using an approved silicone sealant.
6. Any parking striping or traffic control elements damaged during the work must be restored.

NANCY has the
③ letters from
Apr. & May 2005
re Repair of
Festival way

Re: Dispute among Town of Addison, Abstract Construction Company,
Strand & Associates, et al.

AGREEMENT OF PARTIES

1. Within the next thirty (30) days, the Parties will work to develop a scope of work to repair Festival Way. The scope of work from Surety shall include engineered construction drawings of the scope of work subject to approval by Addison. Paragraphs 2 – 10 are contingent upon developing an agreed-upon scope of work.
2. Within five (5) business days, Addison shall have the right to approve any subcontractor chosen by Abstract/Strand's Surety to perform the scope of work.
3. All terms and conditions of the Contract between Addison and Abstract for construction of the Addison Arts & Events District shall apply to the scope of work for repair of Festival Way.
4. Abstract shall have all appropriate field engineers or other qualified persons present during all pours to confirm the proper elevations are being maintained during concrete placement. Addison must be provided with the contract required testing and inspection reports necessary for the street construction, including the subgrade.
5. No concrete is to be poured unless a representative of Addison is present to observe and, if necessary, point out corrective actions to be taken. The Addison Public Works Department should be contacted in advance to schedule the attendance of the appropriate Addison representative.
6. The scope of work shall be completed between July 4 – September 1, 2005.
7. By March 21, 2005, Addison shall provide a punch list to Abstract related to the Addison Arts & Events District. Upon completion of the punch list, Addison shall release \$100,000.00 of monies held. Upon completion of the work described by the scope of work in Paragraph 1, Addison shall release all remaining monies held.
8. Either Strand Surety or the agreed-upon subcontractor shall provide a one (1) year guarantee on the work performed under the scope of work and a one (1) year maintenance bond.
9. The Parties agree to a tolling agreement of any claims related to Festival Way until completion of the work described by scope of work.
10. Abstract and/or Stand's Surety shall make a payment (or retained funds) totaling \$25,000.00 to Addison.

Agreed this _____ day of March, 2005.

TOWN OF ADDISON

ABSTRACT CONSTRUCTION COMPANY

BY: _____

BY: _____

STRAND & ASSOCIATES, LLC

NAS INSURANCE SERVICES

BY: _____

BY: _____

APPROVED AS TO FORM:

Attorney for Town of Addison

Attorney for Abstract Construction Company

Attorney for Strand & Associates, LLC

Attorney for NAS Insurance Services



JOHN M. HILL
214.672.2170
JHILL@COWLESTHOMPSON.COM

December 22, 2004

VIA CERTIFIED MAIL, RRR # 7003 3110 0006 2023 6790

Mr. Chris Robinson
Senior Vice President
Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229

**RE: Addison Arts & Events District
Festival Way Reconstruction**

Dear Mr. Robinson:

We write on behalf of the Town of Addison, Texas ("Addison") with regard to the above-referenced matter. As you are aware, Abstract was retained by Addison as the Contractor for the construction of the Addison Arts & Events District, which included, among other things, the construction of Festival Way. Addison has experienced inaccurate grades and drainage problems on this street. Although not exclusive, examples of the problems include that the paving has been poured too high and too low, and that the drainage inlets are constructed improperly.

In responding to these issues, Addison requested that Abstract provide survey data on the full length of Festival Way. In response, Abstract eventually provided a letter dated February 3, 2004 and drawing dated February 4, 2004 prepared by Eric L. Davis, Consulting Engineering indicating his findings and proposed resolution. Addison submitted these materials to the engineer of record, Sasaki Associates, Inc., to review and to offer its opinion of the proposed resolution. As you know, Sasaki indicated that the Davis report does not effectively resolve the problems identified with Festival Way and rejected the proposed resolution.

Subsequently, on or about June 8, 2004, Abstract submitted to Addison a proposed solution to the drainage issues at Festival Way. Eric L. Davis created the proposal labeled "Festival Way Road Proposed Regrading" that was submitted to Addison (the "Davis Proposal"). Addison originally rejected the Davis Proposal as insufficient to resolve the drainage problems and demanded that Abstract and its surety reconstruct the road according to the original specifications. Addison's demands have thus far been rejected.

At this point, Addison is evaluating all of the legal rights and remedies to which it is entitled, including litigation, if necessary. However, before pursuing any specific remedy, Addison wishes to attempt to find a resolution to this matter that will generally address the drainage issues that exist and avoid any further controversy among the parties. Accordingly, Addison has

Mr. Chris Robinson
December 22, 2004
Page 2

formulated this revised version of the Davis Proposal that it proposes as a solution to these problems recognizing that the Davis Proposal does not fully comply with the design standards originally incorporated by the engineer of record. This revised version requires the following:

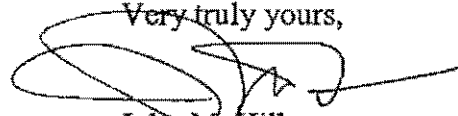
- 1) Reconstruction of Festival Way as proposed by the Davis Proposal.
- 2) Additionally, all remaining panels on Festival Way showing any cracking shall be replaced.
- 3) At any location where replacement of the curb causes the elevation of the adjacent sidewalk to be higher or lower than the new top of curb, the sidewalk must be replaced to match the new elevation. Under no circumstances can the cross pitch of the new sidewalk exceed the 1/4 inch per foot called for in the drawings and it must align with any adjacent undisturbed sidewalk in compliance with all applicable accessibility standards.
- 4) Abstract shall have all appropriate field engineers or other qualified persons present during all pours to confirm the proper elevations are being maintained during concrete placement. Addison must be provided with the contract required testing and inspection reports necessary for the street construction, including the subgrade.
- 5) No concrete is to be poured unless a representative of Addison is present to observe and, if necessary, point out corrective actions to be taken. David Wilde with the Addison Public Works Department should be contacted in advance to schedule the attendance of the appropriate Addison representative.
- 6) The work described in Paragraphs 1-5 shall be completed no later than May 1, 2005.
- 7) Addison shall continue to hold any and all monies owed to Abstract related to the Addison Arts & Event District Project until the work described in Paragraph 1-3 is completed.
- 8) Pursuant to Paragraph 12.2.1 of the General Conditions of the Contract for Construction (the "Contract"), Addison will deduct the final amount of money expended for the Construction Manager's and Architect's services and expenses related to resolving and correcting the work on Festival Way.
- 9) Upon completion by Abstract and approval by Addison of the work described in Paragraphs 1-5, Addison will release the monies described in Paragraph 7 to Abstract, less the amounts described in Paragraph 8 and less \$50,000 to be retained as guarantee of a new one year warranty on the replacement work. The \$50,000 retained will be

Mr. Chris Robinson
December 22, 2004
Page 3

released at completion of the warranty period, less any funds expended to accomplish needed warranty work not addressed by Abstract.

This proposal shall remain open until January 7, 2005. If you have any questions or comments, please do not hesitate to contact me.

Very truly yours,



John M. Hill

JMH/yjr

cc: Fidelity and Deposit Company of Maryland (Via Certified Mail,
Colonial American Casualty and Surety Company RRR # 7003 3110 0006 2023 6806)
P.O. Box 1227
Baltimore, MD 21203-1227

Ms. Carmen Moran, w/Town
Mr. Mike Murphy, w/Town
Mr. James Duffy
Mr. Larry Johnson, w/firm
Mr. Ken C. Dippel, w/firm

INLETS UNDER CAPACITY - ACCORDING TO THEIR ENGINEERS

CATCH BASINS (GATE INLETS) - WATER BY-PASSES
→ PLACED 0.1 HIGH - CONCRETE DOESN'T SCORE TO BASINS

ALL DRAINAGE WORK WILL END UP
WITH HUGE ROAD PATCHES

LARGE PATCHES IN ROAD FROM M.H. & VALVE ADJUSTMENTS
& CRACKING IN STREET. - STRUCTURAL DAMAGE

STANDING WATER AT LOCATIONS AWAY FROM INLETS!

BETWEEN THE CRACK REPAIR, M.H. & VALVE
ADJUSTMENTS, & DRAINAGE REPAIR, THE
"NEW" ROAD WILL BE BUTCHERED & IT
WILL SHOW!

JAMES F. DUFFY

March 26, 2004

Via Facsimile & USPS

Mr. Craig Gaussiran
Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229

Re: Addison Arts & Events District
Festival Way Reconstruction

Dear Craig:

As you are well aware, for a number of months we have been analyzing and evaluating problems with the construction of Festival Way done under your contract with the Town of Addison, dated November 7, 2002.

You had previously been notified that the as built condition was not acceptable to the engineer of record or the Town. Abstract requested an opportunity to have another engineer review the situation to offer alternative solutions.

On February 5, 2004 you provided us with a letter dated February 3, 2004 and drawing dated February 4, 2004 prepared by Eric L. Davis, Consulting Engineering indicating his findings and proposed resolution. The Town had the engineer of record, Sasaki Associates, Inc., review those documents to offer their opinion of the proposed resolution.

Sasaki has indicated to the Town that the Davis report does not effectively deal with the problems identified with Festival Way and has recommended against the proposed resolution. The Town is in agreement with Sasaki's findings.

The Town of Addison has determined that Festival Way and its adjacent sidewalk are not built in accordance with the plans and specifications defined in the contract with Abstract Construction Company and therefore is rejected. You are hereby directed to reconstruct Festival Way and the sidewalk in strict accordance with the original plans and specifications.

No construction can take place during the period from April 17, 2004 to July 5, 2004 because of events booked at Addison Circle Park that would be disrupted by such an undertaking. Please schedule the work accordingly.

Prior to the start of reconstruction of Festival Way you must provide us with a schedule detailing

3887 RIDGELAKE COURT • ADDISON, TX • 75001
PHONE: 972.241.2816 • FAX: 972.406.1146
JFDGROUP@FLASH.NET

March 26, 2004

how you intend to undertake the rebuilding of the street. That schedule must include sequence of events and durations clearly identifying your plan.

Before any concrete is poured for the new street we need written confirmation of the correctness of the grades of all elements of the construction including inlets, valve boxes, cleanouts, etc. In addition include formwork elevations to assure the Town and Abstract that everything is properly prepared for the new concrete. We also expect you to have the appropriate field engineers or other qualified persons present during all pours to confirm the proper elevations are being maintained during concrete placement.

Of course, the Town must be provided with the contract required testing and inspection reports necessary for the street construction, including the subgrade.

No concrete is to be poured unless a representative of the Town of Addison Public Works Department is present to observe and, if necessary, point out corrective actions to be taken. You should contact Dave Wilde in advance to schedule the Public Works representative.

Regards,

Jim Duffy

cc: David Clough
Carmen Moran
Mike Murphy
Dave Wilde

**Punch-list of Festival Way and perimeter of
Addison Circle Park Addendum
10/03/29**

Jim,

Upon further inspection, the Public Works staff has found several more punch list items, or changes to existing punch list items. Please include these on your final punch-list.

1. Fire Lane markings are inadequate. According to Town of Addison Code of Ordinances Section 82-86 (7) "It is unlawful to park a vehicle within 15 feet of any fire hydrant". Furthermore, State Transportation Code 545.302(b)(2) also states "An operator may not, except momentarily to pick up or discharge a passenger, stand or park an occupied or unoccupied vehicle: (2) within 15 feet of a fire hydrant"*
2. Re-do ADA ramp to meet specifications. Section 02750 Part 1.03A states "Comply with the applicable requirements of the following standards" Subsection 3 lists Americans with Disabilities act (ADA) as a standard that must be met for all work performed. No exception is given for work that the contractor was specifically told NOT to do but chose to ignore the contract documents, and did anyway. Furthermore, section 027501 part 1.04(b) (Quality Control) states "Work and materials shall conform to applicable sections of Americans with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities."
3. Remove and replace 39 panels marked with yellow paint, to correct:
Gouges in surface of pavement between valves and MH at W end of Festival Way (FW).
Pocked surface at valve and redwood (first redwood E of Addison Rd. (AR)).
Patch attempt in S. center panel (3rd E of Main Stage redwood).
Gouges in S curb, 3rd panel W of fire lane marking.
Broken corner at centerline, 2nd redwood W of Pergola.
Cracks in pavement * 2nd and 3rd panels W of Pergola inlets, 1st panel at manholes, at inlets, at Pergola, and at 1st, 2nd, 5th, and 6th panels E of Pergola.
4. Provide the specified broom finish over the entire length of Festival way.
5. RE-do curb inlets 1, 2, 3, 4, 5, 6 and catch basins 7&8 so that they will actually drain runoff. Please see the attached photos of the inoperable drainage.
6. Extend the metal lip on the column fountains so that the condensation on the underside of the lip falls into the pool, not onto the stonework.

Events of September 18th, 2003

1. Experienced heavy rainfall in afternoon (approx. 1"-2"/hour).
2. Received call from Barbara K about 4:20 pm she said they were experiencing substantial flooding inside of restaurant tent just west of stage, received same call from Slade S a few minutes later.
3. 4:25 pm I directed Utility Crew and Engineer to take large pump to site and remove water from tent area.
4. 4:30 pm I received call from Chris to come out to site to see if we could determine problem for future reference.
5. Had water evacuated from site by 5:30 pm, kept Utility Crew on sight until last rainfall threat passed.
6. Walked site next day to determine what caused drainage system overload.

What we saw when we arrived on site:

1. Area around drain inside of tent completely submerged (approx. 24"-30").
2. Were able to immediately determine that we could drop a submersible pump into manhole just outside tent to clear water from inside.
3. Once we turned pump on -- inside drain evacuated water within a couple of minutes, which would tend to support idea there was some type of blockage.

Some Ideas:

1. Place vault and sump pump near entrance manholes to each drainage field to pump water directly to street drainage system.
2. Put concrete aprons around each area drain and re-grade to funnel water into area.
3. Completely re-grade area above fountains to properly direct water to area drains.
4. Consider future placement of restaurant tent outside area drains.

1. TALK TO ROBIN ABOUT LIGHT POLE NEAR JEWELRY STORE.
2. HAVE MEMO FROM GASMI TO COMPLETELY REPLACE FESTIVAL WAY.
3. WORK WILL NOT START UNTIL JAN. 19TH
4. QUESTION FOR CARMEN "WHAT HAPPENED TO A FB CONTRACT?"
5. REGRADING WILL NOT HAPPEN UNTIL LANDSCAPE CONTRACTOR IS FINISHED.
6. DRAINAGE NEAR FOUNTAIN WILL CHANGE --- CONTRACTOR WILL ADD A SWELL TO AREA IN PLACE OF CURRENT MOUND.

Jim,

We appreciate the efforts that you have made to identify the deficiencies in Festival Way. We would be glad to meet with you and the Engineer, Sasaki, to further identify the problems that must be corrected in the roadway. The fax that we received only identified a portion of the overall problem that currently exists. For example, the surface finish, the extensive cracking, improperly constructed inlets, poor drainage patterns, and the damage placed on the pavement as a result of poorly adjusted utility valves and manholes, must be completely addressed before the Town can accept the street.

It will be interesting to see what recommendations the Contractor will submit to your office. However, it is ultimately the responsibility of the Engineer to complete the evaluation and recommend necessary actions. At the very least we would expect that a new roadway would drain properly, have the finished surface that was specified and be free of cracking. Therefore, we recommend that those areas that do not meet these minimum standards be removed and replaced.

In addition, the overall site drainage system is in need of auditing by the Engineer. Specifically, the construction of the system versus the design must be reviewed in the field (i.e., surveying, etc.) and in the office (i.e. calculations, etc.). Large tents tend to change drainage patterns and runoff quantities, and should be considered.

Please let Mike Murphy or other members of the Public Works staff know what action will be taken as soon as possible.

MIKE

JAMES F. DUFFY

FAX COVER SHEET

3887 RIDGELAKE COURT
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

SEND TO:	STEVE CHUTCHIAN	FROM:	JIM DUFFY
CC:	CARMEN MORAN		
		DATE:	11/17/03
FAX NUMBER:	972.450.2837 972.450.7043	PHONE NUMBER:	

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 6

COMMENTS:

STEVE,

HERE IS THE ARCHITECT'S REVIEW OF THE IN PLACE GRADES ON FESTIVAL WAY. I HAVE ASKED THE CONTRACTOR TO COME BACK TO ME WITH RECOMMENDED SOLUTIONS BY THE END OF THE WEEK. I WOULD APPRECIATE YOUR INPUT AS TO APPROPRIATE CORRECTIVE ACTIONS, IN THAT SAME TIME FRAME IF POSSIBLE.

JIM

↙ All drainage deficiencies should be corrected by removal and replacement. Also, all cracked panels should be replaced. ↘
 ↙ Current condition of roadway is unacceptable ↘



facsimile

date November 15, 2003

to Jim Duffy
Cc: Alan Ward, Cathy Baker, Ting Chang

company JFD Group

facsimile no. 972 406-1146 phone no.

from Dave Clough direct line 617 923 7331

project name Arts & Events District project no. 14516.05

of pages 4

transmitted by DC direct line 617 923 7331



Sasaki Associates Inc.
64 Pleasant Street
Watertown Massachusetts
02472 USA
t 617 926 3300
f 617 924 2748

Jim,

I just finished checking the grading along Festival Way. In general, areas where there are discrepancies from design grades are at the west end of the street, at the south end of the pergola, at the south end of the north-south walk through the park, and at the east end of the street. I've marked up spot elevations that differ by 1" or more. I think that differences of less than 1" are not significant. Also I've looked primarily at the road grades, not top of curb elevations, since road grades are most critical to drainage. Gutter grades on the north side of Festival Way are generally OK. I've checked some of the crosspitches on the sidewalk and they are mostly at 2%, with a few slightly over that.

At the west end, I've found that the curb inlet on the south side is 4" high and the grade at the centerline to the north of the inlet is 2 1/2" low. As a result, most of the water must be flowing away from the inlet and toward the middle of the street and from there out to Addison Road, as Dave Wilda said that he observed. Obviously this situation has to be corrected. The curb inlet on the north side is lower than the centerline grade, so water should be flowing into it, but the crosspitch on the road is about 1%, not 2% as specified.

Most of the grades at the south end of the pergola are too low, but the curb inlet grades are also correspondingly low, so it appears that the drainage does work; however, two spot grades in the middle of the street are 3 to 4" low, creating a flat area with not enough crosspitch to drain properly.

Grades around the south end of the north-south walk are both too high and too low in places. I've marked one area where the gutter grade drops about 6" over a 5' length, creating at least a 10% slope, and it looks like the top of curb and gutter grades are at about the same elevation. This condition also appears to create a crosspitch on the sidewalk that's much more than the <2% allowable by ADA. As I've noted on the attachment, 2 gutter and back of curb grades must be reversed. The gutter is shown higher than the top of curb.

November 15, 2003

Page 2

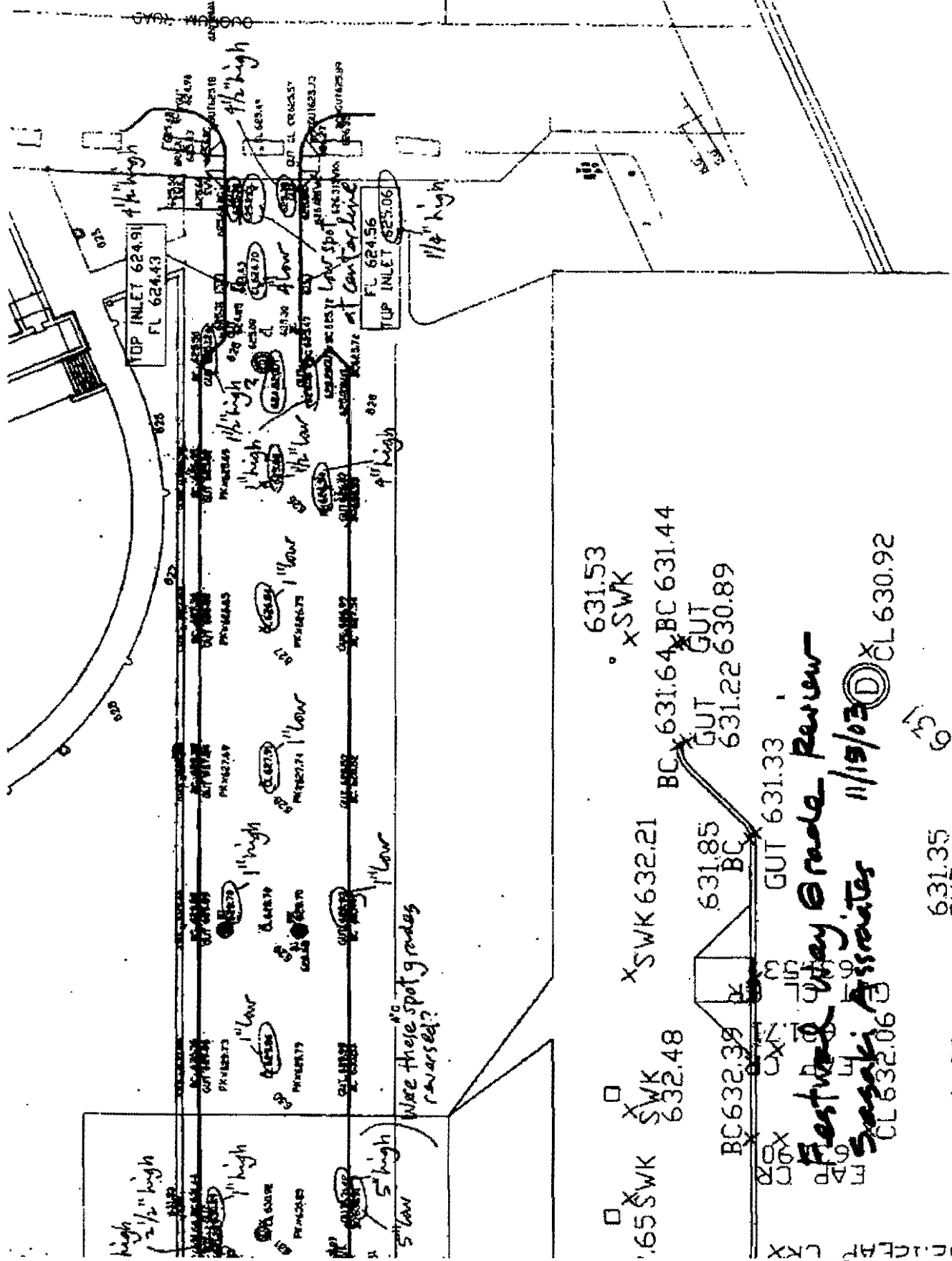
It looks like there still are discrepancies with design grades at the east end, of the Quorum Drive intersection. Two gutter grades are 4 1/2" too high, with a grade at the centerline that is lower. However, since the centerline grade just to the west is 4" lower than designed, it seems that water does flow from the intersection in a westerly direction and then into the curb inlets. If no one has observed problems with drainage in this area, maybe this is acceptable. I've marked a spot grade at a drain manhole with a question mark. Elevation 624.82 is labeled as "Gut", but if it is really the manhole elevation, it is too low.

I'll send a print of the whole sheet early next week when I'm back in the office, but I wanted to get this off to you, as you requested.

Please let me know if there are any questions.

Dave

3.



631.53
 X SWK
 BC 631.64 BC 631.44
 GUT GUT
 631.22 630.89
 BC 632.21
 631.85 BC
 GUT 631.33
 CL 632.06
 CL 630.92
 631.35
 631.35

Festival Way Grade Review
 Sasaki Associates 11/19/03

JAMES F. DUFFY

FAX COVER SHEET

3887 RIDGELAKE COURT
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

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JIM



facsimile

date November 15, 2003

to Jim Duffy
Cc: Alan Ward, Colby Baker, Ting Chang

company JFD Group

facsimile no. 972 406-1146 phone no.

from Dave Clough direct line 617 923 7331

project name Arts & Events District project no. 14516.05

of pages 4

transmitted by DC direct line 617 923 7331

S A S A K I

Sasaki Associates Inc.
64 Pleasant Street
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November 15, 2003

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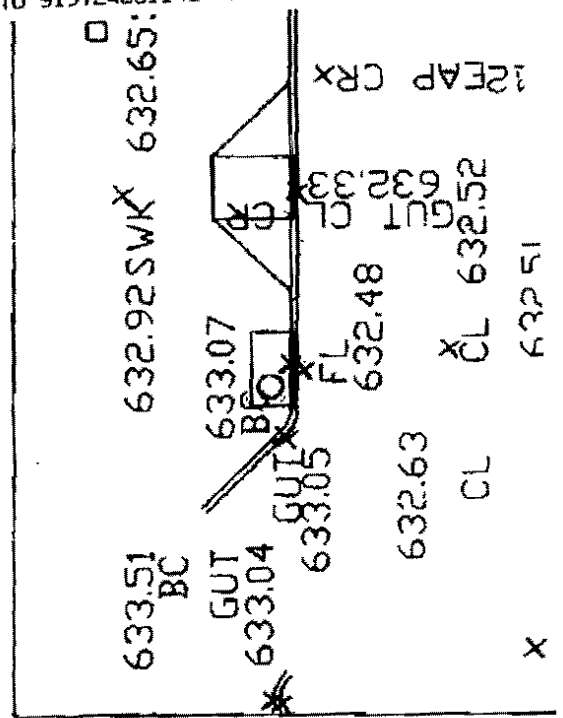
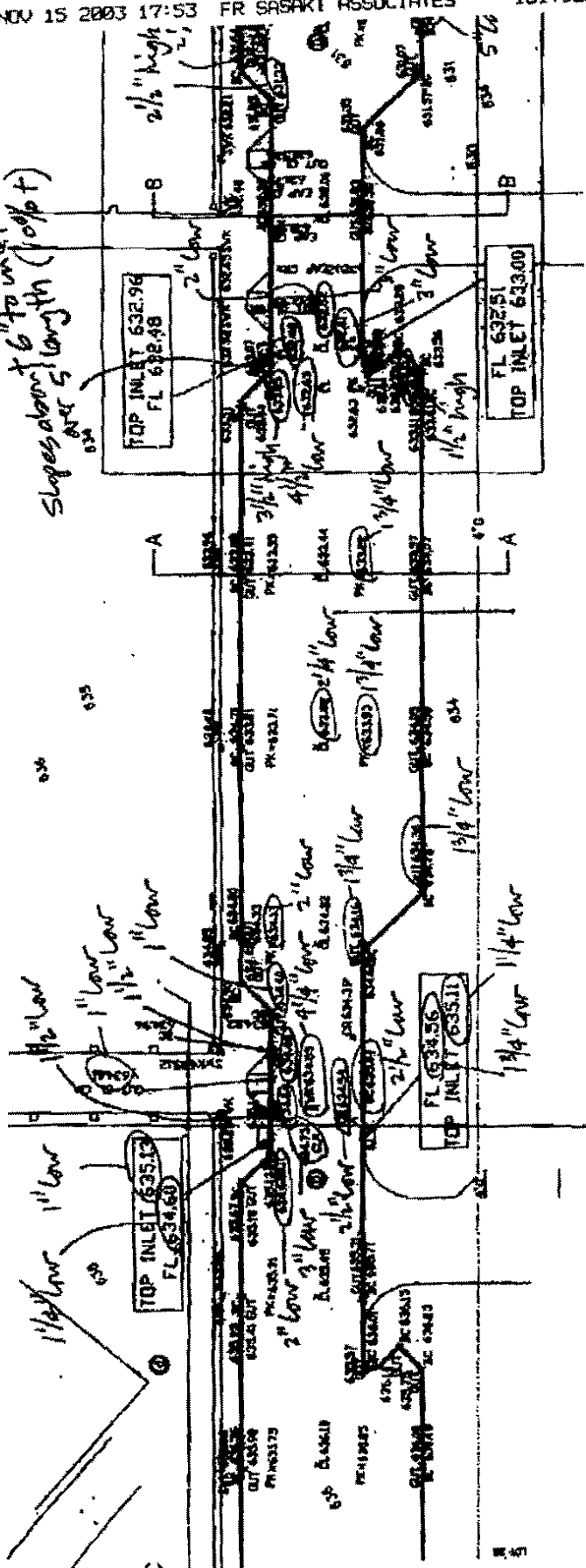
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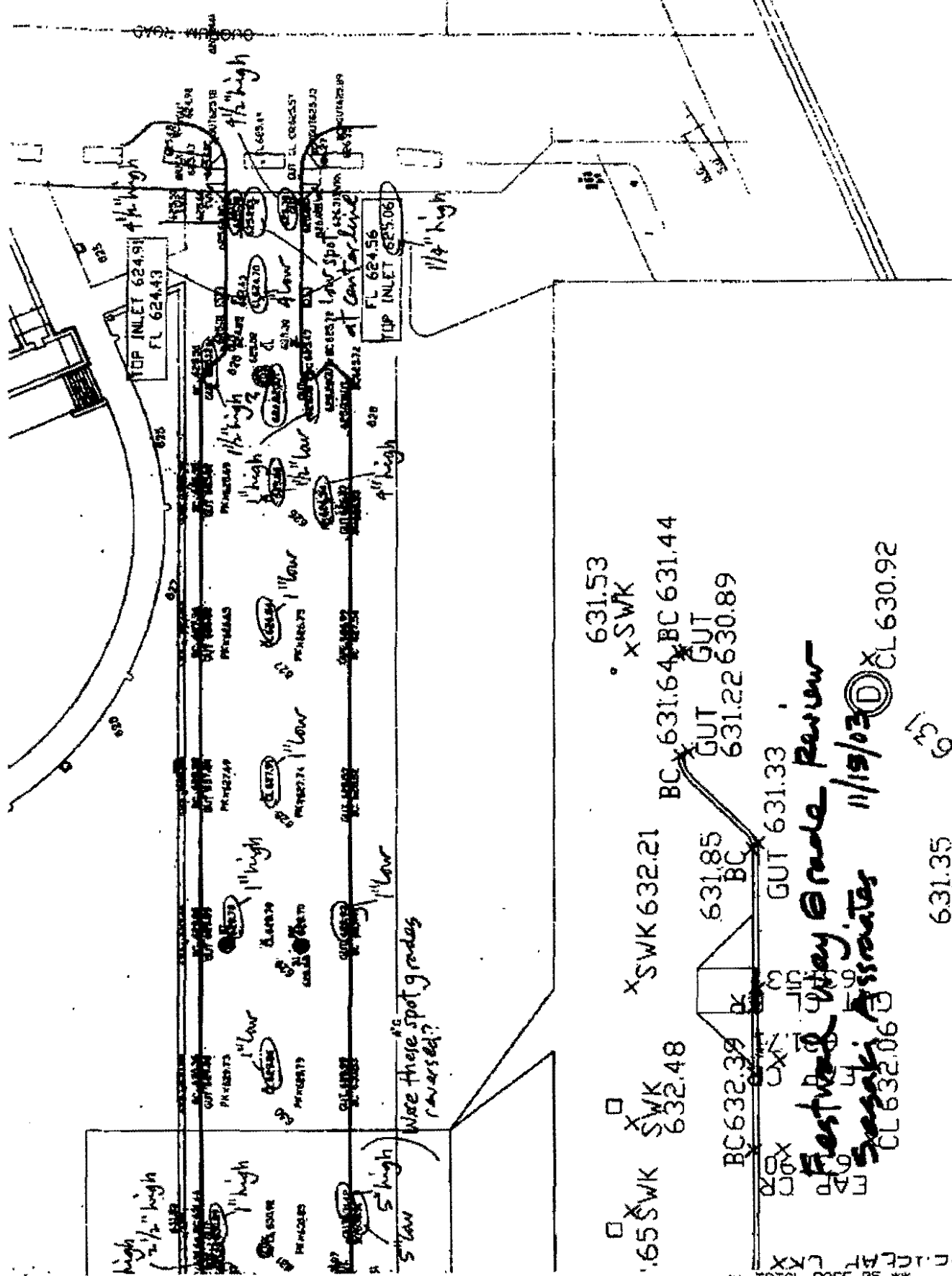
2.

Slopes down 6" to inlet
over 5' length (0.012)



Festival Way @ road - paving
Sasaki Associates 11/15/03

3.



631.53
 * X SWK

BC 631.64 * BC 631.44
 GUT GUT
 631.22 630.89

632.21
 X SWK 632.21

631.85
 BC

GUT 631.33

631.35

CL 632.06

CL 630.92

11/19/03

Fast-track Hwy @ grade Review

Sasaki Associates

CL 632.06

GUT 631.35

JAMES E DUFFY

October 22, 2003

HAND DELIVERED

Mr. Craig Gaussiran
Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229

Re: Addison Arts & Events District
Final Punch List

Dear Craig:

Attached are the punch lists for the completion of the Addison Arts & Events District. These lists cover the balance of the site to the east of the Pergola and the sidewalk paving on the entire site.

The lists attached include my notes from our walk through of the stone and masonry and other miscellaneous items, the architect's field report #6, the landscape and irrigation punch lists as modified by my notes, Dave Wilde's perimeter list as modified by my comments and the items from Jim Pierce's vault walk through as modified by my comments.

This list does not include a punch of the fountains. When the fountain work is complete and operating properly, please let me know and we will provide a punch list of that work.

Please let me know if you have any questions.

Regards,



Jim Duffy

cc: Carmen Moran
Slade Strickland
Dave Clough
Steve Chutchian
Dave Wilde

3887 RIDGELAKE COURT • ADDISON, TX • 75001
PHONE: 972.241.2816 • FAX: 972.406.1146
JFDGROUP@FLASH.NET

ARCHITECT'S FIELD REPORT

OWNER



CONSULTANT



ARCHITECT



FIELD



PROJECT: Addison Arts & Events District

FIELD REPORT NO.: 6

CONTRACT:

ARCHITECT'S PROJECT NO.: 14516.05

DATE: 10/16 & 17/03

TIME: Thurs. PM, Fri. 9-5 WEATHER: Sunny

TEMP. RANGE: 65 - 75

EST. % OF COMPLETION

CONFORMANCE WITH SCHEDULE (+,-)

PRESENT AT SITE: Jim Duffy, Carmen Moran, Ron Lee, Dave Wilde, Craig Gaussiran, David Barnes, David Clough

WORK IN PROGRESS: Adjustments to fountain systems, grading repairs, adjustments/installation of irrigation.

OBSERVATIONS

1. Carmen told me that the Town would like to make a change to the area in front of the Main Stage. In order to be able to set up a dance floor directly in front of the stage and to allow people to get closer to the stage and performers, the slope from the bottom of the stage wall to the low point of grading in the Ellipse should be reduced. I suggested another low (less than 30" ht.) Milsap stone wall be constructed 10' in front of the stage wall, centered on it, but about 2/3 as long. The grade from the bottom of the new wall could slope at about 2% for drainage to the existing drain inlets. Sasaki will prepare a sketch, based on existing grades to be provided by Abstract. I marked on a plan the location for the spot grades to be shot.
2. Carmen instructed Sasaki to prepare construction sketches for the proposed revisions to the Plaza Fountain pool. Ron Whitehead is most concerned that storm runoff from paths to the west of the fountain be kept out of the pool. The storm that last caused a major flow of drainage into the pool was estimated to be an 80 year event. According to Jim Duffy, the curb edge proposed in the redesign should be at least 8 to 10" high, and the existing small gap near the 8' wide bridge also needs to be closed. Sasaki will proceed with construction details for pricing.

The following is a punchlist of items to be repaired/corrected, based on my walk through with Jim, Craig, and others. I was told that the Town will take responsibility for preparing punchlists for planting, irrigation, drainage structures and piping, Festival Way paving, and fountain systems operation (including lighting). This punchlist primarily covers the easterly side of the site (east of the Pergola) and is supplementary to the items described in Field Report No. 5.

1. Remove pipe exposed in ground directly east of the southeasterly-most Pergola column.
2. Concrete spatter on the first section of ornamental fence in the same location noted above should be cleaned off.
3. Some top rails of ornamental fence along Festival Way are rough. They should be sanded and touch-up painted as necessary and all ornamental fence post bottoms should be painted.
4. Some yard hydrant handles are missing and need to be replaced.
5. Clean ornamental fence light pylons at N-S walk, east of the Bowl.

6. One fence panel located between the above-mentioned light pylons and the SE entrance to the park needs to be welded to the post.
7. Camlock panels mounted on the fence, near the Bowl, need welds and rust spots touch-up painted.
8. Some ornamental fence post caps are missing along the south side of the park.
9. It was not clear if power has been provided yet to the fence light pylon at the SE entry to the park.
10. The handrail on the west side of the stair at the SE corner of the park has not been installed yet.
11. All mitered corners of railings along the lower channel wall should be painted.
12. Paint end of handrail at SE stair.
13. Remove exposed wire at the northwesterly-most water garden bed, near the fountain vault vents.
14. Repaint fountain vault intake & exhaust vents (metal and concrete).
15. The post at the bottom of the stair adjacent to the fountain vault should be cut off, the handrail patched, and a new post cut to be welded to the handrail, closer to the first step riser. The new post should be mounted in the concrete stair foundation, which will require cutting and removing a small area of metal grating and frame as well as coring the concrete foundation. Sasaki will provide a sketch.
16. All cores for handrails in stone steps and cheekwalls should be filled with grout, flush with the top of stone (except where tops of cheekwalls slope, grout should be flush with low end of the core).
17. Strip coulk and redwood installed between concrete bench footings and exposed aggregate pavement in Water Garden area and fill with soil.
18. The northeasterly-most bench at the Fountain Plaza has been set too low and has to be raised to be flush with finish grade.
19. One bench at the northeasterly-most Water Garden bed has to be reset to be aligned parallel with the roughback stone pavers.
20. Sandblast the exposed portion of concrete curb on the N side of the HC ramp to the Pavilion.
21. Clean off (expose) tops of all concrete bench footings at Garden spaces.
22. Oncor has removed a transformer at Addison Circle Drive and will remove the concrete pad. Sasaki will coordinate with the Town regarding planting of the area after the pad is removed.
23. Repaint camlock panels mounted on section of ornamental fence near the NE end of the Pergola.
24. Caulk limestone panels on Pergola column, northerly-most section of Pergola, east side, 3rd from N end.
25. Area between ornamental fence and sidewalks should be sodded, per Drawings L1-1 and L1-2. Box out around roses with 3' width of metal edging, centered on roses. Edging should extend from the edge of sidewalk to the centerline of fence.
26. Concrete sidewalk along Addison Road: remove 2 rough areas of spilled concrete, repair chipped area midway along sidewalk, remove paint spill.

27. Cut down joint filler material between paving and top of Milsap wall and limestone cap, both sides of Main Stage, and install backer rod and sealant.

28. Exposed aggregate concrete panels that are not acceptable have been marked with orange paint. These panels shall be removed entirely and reconstructed to match the approved paving sample. Expansion joints shall be provided at ends of panels to be reconstructed, where they meet panels to remain.

29. Twelve paving panels to be reconstructed at the SE corner of the Ellipse shall be constructed with a cross-pitch toward the inside of the Ellipse and Area Drain 5, as designed. Lawn area on the SE side of the walk shall be regarded as necessary to meet the new finish edge of pavement.

30. All pit holes in exposed aggregate paving shall be cleaned and filled with mortar grout, colored to match the pavement (no stone aggregate). After grout has set, it shall be lightly sandblasted to match surface texture of the pavement. Test patch to be approved by Jim Duffy before proceeding.

31. General note: remove all areas of spilled or overpoured caulk material from exposed aggregate pavement. Patch concrete where caulk has filled in chips at joints.

32. Remove formboard at edge of curved paving, E side of Pergola at Cotton Belt Route marker. Finish caulking joint.

33. General note: remove all spilled concrete and/or grout from all exposed aggregate pavement.

34. As noted in Field Report No. 5, all light pole anchor bolts are to be cut as required for base covers to be properly seated. This requires cutting the bolts slightly below angled pole base flanges.

35. Chip down top surface of concrete light pole bases to eliminate or minimize square pattern. Finish to blend with surrounding surface of concrete.

36. Remove concrete chunk next to drinking fountain at Addison Circle Drive, N side of Ellipse.

37. Patch pitted concrete light pole base, N. side of Ellipse.

38. Remove and reconstruct entire exposed aggregate concrete walk on E side of Tree Lawn. Walk to be constructed perpendicular to 15' wide E-W walk. Burford Holly plant bed will also have to be replanted to be parallel with reconstructed walk.

39. Many saw cut joints are not carried through to edges - especially at the Pavilion terrace. All saw cuts should be completed to edges or common end points. Paving on the N side of the Pavilion is the example to follow.

40. One of the saw cut joints on the W side of the lawn panel, west side of Pavilion, is very rough. This joint should be cut to $\frac{1}{2}$ " width to remove the rough edge, and caulked to look like an expansion joint. Treat N-S rough saw cut joint at stairs, SW corner of Pavilion, in same manner.

41. Replace concrete collar around sewer connection clean out in plant bed, S side of Pavilion.

42. Honeylocust trees in plant bed on E side of Pavilion should be replanted as necessary so all trees are aligned E-W, centered on score joint bands in Pavilion terrace paving.

43. Clean concrete splatter off lighting control panel at Addison Circle.

44. Remove and reinstall all cleanout covers (underdrain, sewer, etc.) on entire site to ensure that they are operable and not frozen in place by construction.

45. Caulk expansion joint at bottom of Pavilion HC ramp to finish grade.

46. Carry saw cut joints through to manhole, SMH 6, S side of pavilion.

47. Clean off all mortar from brick paving at the W end of Fountain Plaza.

48. Finish caulk joints in 3 locations at N-S walk along Lower Channel, bottom of the Bowl.

49. Ron Lee pointed out a drainage problem at the W corner of the SE stair. Water is running down the walk pavement to the stair cheekwall and washing out the embankment. The Town is looking into adding a small drain at the problem corner and possibly daylighting the pipe, or perhaps connecting it to an existing drain structure.

50. Drain inlet R17, at the SE corner of the park, has been set too high. Water is ponding around the inlet. Also, the jointing around the square rim does not match the rest of the pavement. Pavement panels to be removed and reconstructed were marked. The rim should be set lower for proper drainage, and should be oriented in alignment with the jointing pattern.

51. The edge of pavement, E of the Lower Channel railing, N of the middle Upper Channel, still needs to be sandblasted.

52. Remove spilled grout from the middle bridge on the northerly Upper Channel.

53. Check for leak at drinking fountain adjacent to the northerly Upper Channel (standing water at base of fountain). Caulk joint between the base and walk.

54. Remove grout on exposed end of capstone at metal grating bridge, northerly Upper Channel.

55. When metal bridges are reset after installing supports, make sure that gratings are set flush with top of frames.

56. Sawcutting of pavement joints along the northerly Upper Channel has left splatter on the stone caps that should be cleaned off.

57. Clean caulk off stone cap at pylon, northerly Upper Channel.

58. Remove and replace cracked triangular paving panel at intersection of semicircular Bowl walk and Cotton Belt Route walk. Recast with expansion joint extending through it, as designed.

59. Adjust grades around water valves at Bowl walk, near camlock panels.

60. Caulk joint at Bowl walk, top of stair at SE corner of park.

61. Clean up caulk joint on Cotton Belt Route walk, between Weiner and Hickory Ridge markers.

62. Remove and replace paving panel between Stuttgart and Alzheimer markers. Remove and reset both granite panels.

63. Adjust grades to be flush, as required, around all retention field cleanout caps and set caps level.

64. Remove and replace cracked panel in concrete sidewalk along Festival Way, near N-S walk, E of the Pergola.

65. Remove concrete chunk next to sidewalk along Festival Way, adjacent to Bowl walk.

66. It was noted in Field Report No. 5 that the edge of brick paving along lawn or planted areas should be reset to be straight and level. A change was made to this edge design, removing the brick soldier course. However, bricks along the edge were supposed to be mortared to hold them in place and lock in the sand setting bed for the rest of the brick sidewalk. This was documented in a telephone memo dated 7/7/03 (attached). It doesn't appear that this has been done, but it should be.

67. All brick paving abutting concrete paving or curb, steps, walls, etc. should be installed with a full-depth expansion joint from bottom of concrete slab to top of brick per Details 1/C7-2, 9/C7-1, and 10/C7-1.

68. Remove edge board at brick paving, HC ramp SE corner of Festival Way.

69. Remove spilled concrete from brick paving along Quorum Drive sidewalk.

70. Reset bricks that have settled near the middle Fountain Pylon, existing Quorum Drive light pole and handhole.

71. Fountain Plaza brick paving: All bricks within the same panel (between limestone paver bands) should have straight joints. All areas of brick with wavy joints are unacceptable and should be reset. Also, brick pavers set with a mortar bed and grouted joints have been set tight to the limestone paver band on one end, but have been set with uneven, large joints and filled with small pieces of brick at the other end of the panel. Bricks should be reset in these areas to the joint dimensions specified, as well as to straight joint lines as required.

72. Brick paving along the bottom of stairs on the N side of the Pavilion terrace creates a low area that traps water. Bricks should be reset as necessary to provide positive drainage away from the stairs.

73. Check the elevation of the chemical ground set in the lawn panel on the W side of the Pavilion. It has been set low and will collect water since it has a slotted top. It should be set slightly higher than surrounding grade so that water drains away from it, especially if the slotted top is correct.

74. The edge of brick sidewalk along Addison Circle Drive, along the N edge of the lawn panel, W side of the Pavilion, should be set to a straight line between the walks.

75. Straighten uneven joint between brick paving and random limestone paving at Garden Courts.

76. Clean mud off all sidewalk areas where irrigation heads have been reworked.

77. Turf should be level with the edge of brick paving in all areas.

78. Remove sidewalk sealer from all granite markers.

79. Lamps on the following light fixtures were not operating: 1 at each of the 30' poles; 1 at Pergola middle section, W side; 1 lamp & lens on S side of Festival Way, W of Pergola; 2 Garden Lights; 1 different lamp (different color) at Dbl. Pole, W of Garden Courts, S of Tree Lawn; 1 on S side of Festival Way, midway between Quorum and Addison Road.

INFORMATION OR ACTION REQUIRED

1. Abstract to provide existing grade information at Main Stage area.

2. Sasaki to prepare sketches for new wall at Main Stage, pool edge redesign, and handrail attachment at pool stairs.

3. Sasaki to send sample of handrail with skate stoppers to Jim Duffy for Town's review.

ATTACHMENTS: 7/7/03 Telephone Memo

REPORT BY SASAKI ASSOCIATES, INC. REPRESENTATIVE: David Clough

Telephone Memo

By Jim Duffy Date 07/07/03
 Job Name Addison Artist Events District Job No. 14516.05
 Re Brick Paving on Sidewalk 1/07-2
 Call In X From Jim Duffy
 Call Out _____ To _____

• Re Detail 1 m 07-2:
 Soldier course @ planting edge of sidewalk does not match existing conditions - no soldier course.
 New walls will ~~match~~ existing paving pattern by eliminating soldier course. Sand setting bed will be retained by mortaring last course of bricks to concrete base.

• Walls @ Fountain Plaza -
 Fieldstone walls - detail won't work. Face of ~~stone~~ exposed - not end. CMU back up wall @ main stage - where similar detail was modified.
 Excavation of Footing + CMU = extra cost.
 \$25,000 extra for east end of wall
 230 LF of wall
 Part of wall only 4" exposed - do we want CMU back up?

• Jim will fax MFI re: Fountain wall rough stone veneer.

Copies to Ward, Givign, Hamming, Lavinis, File, Parker File 14516.05

**Addison Arts & Events District
Stone & Misc. Items Punch List
10/16/03**

- 1. Round edges of cheek wall at NE Pavilion stair and patch at concrete.**
- 2. Round edges of cheek wall at SW Pavilion stair and all other locations.**
- 3. Repair broken corner of Milsap wall at Plaza entry.**
- 4. Provide mortar joints at all Milsap wall / limestone step joints.**
- 5. Replace broken limestone steps at NE steps to upper channel.**
- 6. Provide mortar joints at brick / Millsap wall joints at masonry columns.**
- 7. Remove joint sealant at all locations between stone and limestone.**
- 8. Remove all stone piece numbers from exposed ends of limestone pieces.**
- 9. Remove fence where attached to Pergola columns at south end of Pergola. Repair broken stone veneer. Do not re-attach fence to columns.**
- 10. Clean stone walks in upper channel gardens of sandblast grit and debris.**
- 11. Patch stone at stair cheek wall at south end of lower channel at walk.**
- 12. Remove saw marks at cheek wall at east and west ends of Garden areas west of Pavilion and all other locations.**
- 13. Remove waste mortar from Quorum sidewalk and all other locations**
- 14. Remove pallets and any stored materials from stage electrical room.**
- 15. Demonstrate stage electrical room exhaust fan operation for Construction Manager and Town representative.**

Addison Circle Park

Preliminary Landscape Punch List

October 17, 2003

Landscaping:

- 1) Many trees are shocked. Some are partially and some are totally defoliated. Need to continue to monitor trees and will assess their health and need for replacement in the spring.
- 2) Turf area south of Festival Way is very rough. Need to wet and roll.
- 3) Clean up curb edge on south side of Festival Way.
- 4) Replace dead sod in several locations.
- 5) Spot in sod in various locations where bare soil is exposed.
- 6) Professionally prune trees with Town of Addison representative present. Remove broken limbs, crossing limbs, low limbs, suckers, etc.
- 7) Correct drainage issues in 'Bowl', and southwest and southeast corners of the ellipse.
- 8) Turf area along Addison Rd. rough. Need to wet and roll. Remove dirt from old drive approach here as well.
- 9) Kill weeds in turf and beds.
- 10) Question of mulch vs. turf in narrow area outside metal fencing. Need to review with architect for final determination.
- 11) Question on Lady Banks roses: How attach to fence? Need to review with architect for final determination. Remove wire ties from plants.
- 12) Clean up dirt in Asian Jasmine bed by stage electrical door.
- 13) Replace few dead trees.
- 14) Remove plant tags, ribbons, and twine from all trees and shrubs.
- 15) Remove rocks from entire site.
- 16) Remove nylon mesh from all turf areas.
- 17) Clean up irrigation repair areas throughout the site.
- 18) Add mulch to narrow bed on outside of metal fencing along Festival Way.
- 19) Replace (1) Pecan with broken major branch.
- 20) Clean up around water valves south of bowl and between concrete trail and metal fencing where concrete collars were installed.
- 21) Straighten trees as needed.
- 22) Remulch planting beds.
- 23) Remove sod inside metal fencing "A" columns at entry points.
- 24) Remove dirt from legs of metal benches.

- 25) Fill in collapsed areas in water garden and rework Mondo grass.
- 26) Much work needing to be done to garden areas east and west of pavilion: Rework grades, pick up rocks, mulch, rework and fill in Asian Jasmine plantings, install decomposed granite, adjust grade to meet stone walkway, etc.
- 27) Replace dead roses around the pavilion.
- 28) Need to lay sod west of pavilion.
- 29) Replace dead Burford hollies in planting areas between the pavilion and the pergola.
- 30) Rework and prep seasonal color bed areas.
- 31) Clean up the entire site of debris, trash, etc.
- 32) Roll sod on entire site once more
- 33) Bowl area very rough
- 34) Clean out existing tree wells on south side of Addison Circle Dr. near pavilion
- 35) Clean up irrigation repair sites: Pick up rocks and dirt from on top of grass; compact soil and fill holes; lay new sod where needed

~~**Note: This preliminary punch list does not constitute a final. The architect may choose to add to this list. This document is simply a tool for the landscape contractor to utilize to begin to address outstanding issues.**~~

Once all items are complete, call me at 972-450-2863 to reschedule another walk-through.

Ron Lee
Parks Operations Manager, Town of Addison

Addison Circle Park

Preliminary Irrigation Punch List

October 17, 2003

General Notes:

Raise/Lower and plumb all heads as needed.

Clear all clogs.

Adjust direction of spray pattern for pop-ups and arcs for rotors; keep from hitting metal fencing and pergola columns.

Clean up all repair locations: Remove rock and soil on top of grass; compact and backfill holes; restore grass (lay new sod as needed), etc.

South Controller:

Zone-

- 1) Leak along sidewalk
Nozzle sizes mixed; make all 10' or 12'
- 2) Break along Addison Rd. curb
- 3) See General Notes
- 4) See General Notes
- 5) See General Notes
- 6) Adjust head to water dry area at southwest corner of stage
- 7) Change pops in turf to 4" (Check planting plan for bed size first)
Spacing of some heads on Asian Jasmine too great; may need to add or move head(s)
- 8) See General Notes
- 9) See General Notes
- 10) See General Notes
- 11) See General Notes
- 12) See General Notes
- 13) See General Notes
- 14) See General Notes
- 15) Broken head
- 16) See General Notes
- 17) See General Notes
- 18) See General Notes
- 19) See General Notes
- 20) No coverage on Crossvine on east column of pergola
- 21) See General Notes
- 22) See General Notes

- 23) See General Notes
- 24) See General Notes
- 25) See General Notes
- 26) See General Notes
- 27) See General Notes
- 28) Change northeast Q (quarter) to H (half)
Break at light pole base
- 29) West Section:
Move far west head to curb
Change Q by inlet to H
Change Q at northeast corner to H
East Section:
Change northwest nose Q to T (third)
Change H in corner of parking space to TQ (three-quarters)
Break south of inlet
- 30) Broken or missing head
- 31) See General Notes

North Controller:

Zone-

- 1) See General Notes
- 2) See General Notes
- 3) See General Notes
- 4) See General Notes
- 5) See General Notes
- 6) See General Notes
- 7) See General Notes
- 8) See General Notes
- 9) See General Notes
- 10) See General Notes
- 11) See General Notes
- 12) Water Garden Upper Channel Planters:
North Planter-
Questionable coverage at northeast corner
Head at northwest corner not coming up
Change southeast corner Q to T
South Planter-
Change southwest corner Q to T
- 13) Poor coverage west of drinking fountain; change head by fountain to TQ and head behind bench to west to TT (two-thirds)
Dry area northeast corner; change Q to T
Change southeast corner Q to T
- 14) See General Notes
- 15) Dry area northeast corner
- 16) Move heads to sidewalk
Note: Second row of heads not installed in beds north of north side of stone walkway:
Change pops along benches to 6" and change nozzles to 10" FC (full circle) and check for coverage with Town representative

- 17) Very low pressure; unable to adequately check zone; check flow control on valve
- 18) Install second row of heads on east side of pavilion per plan
Change nozzles on roses to Toro pressure compensated stream bubbler nozzles for 570 heads
Change 4" heads on Asian Jasmine at southwest corner of pavilion to 6"
- 19) See General Notes
- 20) Poor coverage on center row of Burford hollies; possibly move heads between inner and center row of hollies and change nozzles to 10' FC
Move remaining heads to edging
Change southwest corner Q to H in west Burford holly bed
Check for leak at west side of Burford hollies between Crepe Myrtles and electrical panel
- 21) See General Notes
- 22) See General Notes

Number uncertain, but Asian Jasmine beds south of Crepe Myrtle gardens not coming up

Misc.:

- 1) Sequence both controllers
- 2) Correct constant low head leakage from turf rotor zone west of Crepe Myrtle gardens; appears to be leaking diaphragm.
- 3) Verify ability for system to read flow at the controller.
- 4) Verify phone communication to the Central Computer Control located at the Town of Addison Service Center.
- 5) Verify at the Central Computer the reading of flow, downloading of data, etc.
- 6) Provide as-built plans.

~~Note: This preliminary punch list does not constitute a final. The architect may choose to add to this list. This document is simply a tool for the landscape contractor to utilize to begin to address outstanding issues.~~

Once all items are complete, call me at 972-450-2863 to reschedule another walk-through.

Ron Lee
Parks Operations Manger, Town of Addison

**Punch-list of Festival Way and perimeter of
Addison Circle Park
10/03/03**

NOTE: Notes and comments begin at Addison Rd and Festival Way, proceeding east and continuing in a counter-clockwise direction. Items marked with an asterisk (*) should be considered as examples of a general condition found in other locations as well.

1. ~~Fire Lane markings are inadequate.~~ *
2. Rout and seal all repair saw-cuts. *
3. Repair gouges in surface of pavement between valves and MH at W end of Festival Way (FW).
4. Repair pocked surface at valve and redwood (first redwood E of Addison Rd. (AR)).
5. Seal redwood joints in curbs. *
6. Clean off all spilled concrete as found in front of Main Stage gate, on next panel East, and on curb S side 2nd parking space. *
7. Repair patch attempt in S. center panel (3rd E of Main Stage redwood).
8. Repair gouges in S curb, 3rd panel W of fire lane marking.
9. Repair broken corner at centerline, 2nd redwood W of Pergola.
10. Cracks in pavement * 2nd and 3rd panels W of Pergola inlets, 1st panel at manholes, at inlets, at Pergola, and at 1st, 2nd, 5th, and 6th panels E of Pergola.
11. Repair gouge in N curb, W of 2nd redwood E of Pergola.
12. Remove form board from behind curb, 2nd panel E of fire hydrant.
13. Cracked panels E of inlet S side, E of E ADA ramp, and next panel N side.
14. Crack along sawed joint (4th E of ADA ramp)
15. Remove filter fabric N grate inlet. *
16. Seal sidewalk EJ approx 65' W of E entrance sidewalk.
17. Clean up spilled concrete N center panel (2nd W of storm drain MH).
18. Repair spalled edge at E inlet - saw joint, and rout and seal joint.
19. ~~Relocate kiosk connection boxes to work with kiosks. (JFD comment: to be resolved outside of punch list)~~
20. Saw out curb returns at redwood – insert redwood “ears” and seal.
21. Repair tree-well railing S side.

22. Seal redwood joint where new pavement connects to Quorum Dr.

23. Level pavers and "sand in" S of intersection (connection to existing).

24. Repair gouge in curb radius S side.

Proceeding North on Quorum

25. Repair spalled edges of Quorum N side.

26. Clean mortar off of pavers S of main entrance. *

Proceeding West on Addison Circle Dr.

~~27. Re-do ADA ramp to meet specifications. (JFD comment: NIC for Abstract to correct as punch item)~~

28. South edge of pavers falling out all along Addison Circle Dr.

~~29. Remove old transformer base and conduits. (JFD comment: NIC for Abstract. Onco to do)~~

30. Clean black material off of pavement at storm drain tie-in concrete repair.

31. Turn over storm inlet cover across from Stone Cottage, and at West end of Conference Center, and remove inlet protection. Make sure all inlets are cleaned out. *

32. Re-set speed limit sign (West end of ACD for EB traffic), remove pavers, core base, re-grout and re-set pavers. Position in front of tree to ensure visibility.

South on Addison Rd.

33. Clean dirt off old drive approaches.

34. Remove inlet protection and clean out inlet N of FW. *

35. Seal redwood joints at entrance and ADA ramp at FW.

My comments on the vault "walk through":

Hatch safety catch broken off

It is not easy to enter the vault. Suggest a ladder extension be fabricated that operator could use when entering. **(JFD comment: to be added by Town if desired)**

Variable speed drives need to be moved away from being under the hatch.

No breaker for the eyewash heater

No pulling lugs

Lots of labeling needed on equipment, piping, valves

Leak through wall by irrigation pump. Irrigation pump housekeeping pad skimpy, nameplate data lacking.

Water garden filter difficult to access

I do not care for the grating type housekeeping pads. Difficult to clean under especially where the grating is within a containment area. **(JFD comment: not a punch list item)**

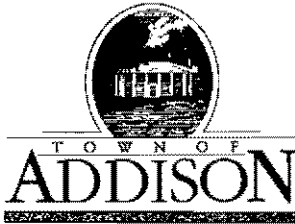
Jim Pierce, P.E.
Assistant Public Works Director
P.O. Box 9010
Addison, TX 75001-9010
972-450-2879



**Punch-list of Festival Way and perimeter of
Addison Circle Park
10/03/03**

NOTE: Notes and comments begin at Addison Rd and Festival Way, proceeding east and continuing in a counter-clockwise direction. Items marked with an asterisk (*) should be considered as examples of a general condition found in other locations as well.

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5. Seal redwood joints in curbs. *
6. Clean off all spilled concrete as found in front of Main Stage gate, on next panel East, and on curb S side 2nd parking space. *
7. Repair patch attempt in S. center panel (3rd E of Main Stage redwood).
8. Repair gouges in S curb, 3rd panel W of fire lane marking.
9. Repair broken corner at centerline, 2nd redwood W of Pergola.
10. Cracks in pavement * 2nd and 3rd panels W of Pergola inlets, 1st panel at manholes, at inlets, at Pergola, and at 1st, 2nd, 5th, and 6th panels E of Pergola.
11. Repair gouge in N curb, W of 2nd redwood E of Pergola.
12. Remove form board from behind curb, 2nd panel E of fire hydrant.
13. Cracked panels E of inlet S side, E of E ADA ramp, and next panel N side.
14. Crack along sawed joint (4th E of ADA ramp)
15. Remove filter fabric N grate inlet. *
16. Seal sidewalk EJ approx 65' W of E entrance sidewalk.
17. Clean up spilled concrete N center panel (2nd W of storm drain MH).
18. Repair spalled edge at E inlet - saw joint, and rout and seal joint.
19. Relocate kiosk connection boxes to work with kiosks.
20. Saw out curb returns at redwood – insert redwood “ears” and seal.
21. Repair tree-well railing S side.
22. Seal redwood joint where new pavement connects to Quorum Dr.



23. Level pavers and "sand in" S of intersection (connection to existing).

24. Repair gouge in curb radius S side.

Proceeding North on Quorum

25. Repair spalled edges of Quorum N side.

26. Clean mortar off of pavers S of main entrance. *

Proceeding West on Addison Circle Dr.

27. Re-do ADA ramp to meet specifications.

28. South edge of pavers falling out all along Addison Circle Dr.

29. Remove old transformer base and conduits.

30. Clean black material off of pavement at storm drain tie-in concrete repair.

31. Turn over storm inlet cover across from Stone Cottage, and at West end of Conference Center, and remove inlet protection. Make sure all inlets are cleaned out. *

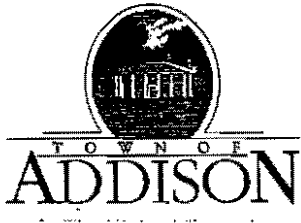
32. Re-set speed limit sign (West end of ACD for EB traffic), remove pavers, core base, re-grout and re-set pavers. Position in front of tree to ensure visibility.

South on Addison Rd.

33. Clean dirt off old drive approaches.

34. Remove inlet protection and clean out inlet N of FW. *

35. Seal redwood joints at entrance and ADA ramp at FW.



PUBLIC WORKS DEPARTMENT

Post Office Box 9010 Addison, Texas 75001-9010

(972) 450-2871 FAX (972)450-2837

16801 Westgrove

Addison Circle Park Utilities Walk-thru Notes

09/12/03

Attendees:

Antonio with CalHar

Dave Wilde, Town of Addison

Jose Flores, Town of Addison

1. Storm drain inlets on Festival Way need forms removed and debris cleaned out, and grout as needed to facilitate smooth flows.
2. DMH 5 ring and cover are off center.
3. DMH 4 holding water.
4. DMH 4A Pipe ends in MH need to be grouted in.
5. Three water valves E of Pergola – remove forms from concrete pad.
6. Yard Hydrant 10257 (E of Julian S side of Festival Way) - Raise and orient to match all others.
7. DMH 10 Clean out bottom.
8. DMH 11 Clean out mud and rocks
9. Place concrete locator pad on valve stack at 4" connection 10273.
10. SMH 6 Remove rocks from invert.
11. Valve stack at 6" connection 10277 – clean out stack and replace broken cap.
12. Meter vaults – Mount touch-pads for meter registers on vault lids.
13. Lower valve pads to grade at E meter and square them to the sidewalk.
14. Secure all cleanout tops on the retention fields
15. Replace curb stop valve stack in the Bowl.

Numerous DMH's were holding water. Additional investigation is needed to determine the cause, or verify the design functions. Inspection of the yard hydrants and other internal water systems will be performed by the Addison Building Inspection Department.

Cc: Claire Callahan, Craig Gaussiran, Jim Pierce, Jim Duffy, Dave Clough

10/3/03

Festival Way Pavement Punch list (Notes W to E)

Fire lane markings are inadequate.

1. Route + seal all repair saw cuts.
2. Patch chipped edges
3. Gouges between valves + Mt + W end.
4. Patch pocked surface @ valve + redwood (1st E of Addison Rd.)
5. Clean off spilled concrete in front of Main Stage gate.
6. Seal Redwoods in curbs
→ and next panel East, and curb on S side 2nd parking space.
7. Repair patch attempt center panel (S. 3rd. ~~E~~ E of Main Stage expansion joint)
8. Repair gouge in S curb 3rd panel W of fire lane marks
9. Broken corner at center line ^{2nd.} Redwood W of pergola.
10. Crack 3rd panel W of Pergola inlets, and 2nd panel, and 1st panel at Manholes, and at Inlet panels, and at Pergola, and 1st. E of Pergola, and 2nd E of Pergola, and 5th + 6th panel E of pergola @ control joint,
11. Gouge in curb W of 2nd Redwood E of pergola, N side
12. Remove form board from behind curb 2nd panel E of fire hydrant.
13. Cracked panel E of inlet S side, and E of E ADA ramp (and next panel N side).
14. Crack along sawed joint (4th E of ADA Ramp)
15. Remove filter fabric N grate inlet
16. Seal Sidewalk EJ approx 65' W of E entrance sidewalk

17. Clean up spilled concrete N. center panel (2nd W of storm M.A.)
18. Patch spalled edge at E inlet saw joint + seal joint
19. Rebricate Kiosk connection boxes so they work with Kiosks.
20. Saw out curb returns @ Redwood - insert redwood ears - seal.
21. Seal Redwood joint at connection to Quorum.
22. Repair trewell railing S side.
23. Level pavers + "sand in" S. of intersection (connection to existing.)
24. Gauge in curb radius S side. Proceeding CW Non Quorum.
25. Patch Spalled edges of Quorum N side
26. Clean mortar & pavers S of main entrance. Proceeding W on ACD.
27. Re-do ADA ramp to meet spec.
28. S edge of pavers falling out all along ACD.
29. Remove old Transformer base + conduits.
30. Turn over storm inlet cover across from Stone Cottage
31. and at Conference Center W end + remove inlet protection. Make sure all inlets are cleaned out.
32. Reset speed limit sign W end of ACD for EB traffic. (in front of tree - remove pavers - core base, re-grout + reset pavers.
33. Sanfelice in Rel. - remove inlet protection + clean inlet N of Fest Way.
34. Seal redwood joint @ Entrance + ADA ramp.

Events of September 18th, 2003

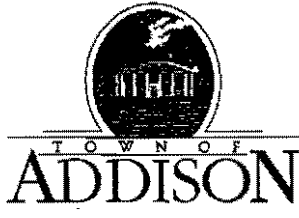
1. Experienced heavy rainfall in afternoon (approx. 1"-2"/hour).
2. Received call from Barbara K about 4:20 pm she said they were experiencing substantial flooding inside of restaurant tent just west of stage, received same call from Slade S a few minutes later.
3. 4:25 pm I directed Utility Crew and Engineer to take large pump to site and remove water from tent area.
4. 4:30 pm I received call from Chris to come out to site to see if we could determine problem for future reference.
5. Had water evacuated from site by 5:30 pm, kept Utility Crew on sight until last rainfall threat passed.
6. Walked site next day to determine what caused drainage system overload.

What we saw when we arrived on site:

1. Area around drain inside of tent completely submerged (approx. 24"-30").
2. Were able to immediately determine that we could drop a submersible pump into manhole just outside tent to clear water from inside.
3. Once we turned pump on -- inside drain evacuated water within a couple of minutes, which would tend to support idea there was some type of blockage.
4. Also, did not feel that drain fields were not draining properly but only could determine for sure after event. Recommendation to Project Manager to get with design engineer and contractor to audit entire drainage system to determine reason for failure (things to review would be grading, inlet/outlet elevations, blockages, debris).
5. Drainage around fountain area did not collect properly. From site visit it would seem that area grading does not adequately funnel water to area drains and therefore short-circuited and rushed directly to fountain area. Recommendation to Project Manager to get with design engineer and contractor to audit final grade to determine reason for short-circuiting of runoff into fountain areas.

Some Ideas:

1. Place vault and sump pump near entrance manholes to each drainage field to pump water directly to street drainage system.
2. Put concrete aprons around each area drain and re-grade to funnel water into area.
3. Completely re-grade area above fountains to properly direct water to area drains.
4. Consider future placement of restaurant tent outside area drains.



PUBLIC WORKS DEPARTMENT
Post Office Box 9010 Addison, Texas 75001-9010

(972) 450-2871 FAX (972) 450-2837
16801 Westgrove

*Star -
file*

Addison Circle Park Utilities Walk-thru Notes

09/12/03

Attendees:

Antonio with CalHar
Dave Wilde, Town of Addison
Jose Flores, Town of Addison

1. Storm drain inlets on Festival Way need forms removed and debris cleaned out, and grout as needed to facilitate smooth flows.
2. DMH 5 ring and cover are off center.
3. DMH 4 holding water.
4. DMH 4A Pipe ends in MH need to be grouted in.
5. Three water valves E of Pergola – remove forms from concrete pad.
6. Yard Hydrant 10257 (E of Julian S side of Festival Way) - Raise and orient to match all others.
7. DMH 10 Clean out bottom.
8. DMH 11 Clean out mud and rocks
9. Place concrete locator pad on valve stack at 4" connection 10273.
10. SMH 6 Remove rocks from invert.
11. Valve stack at 6" connection 10277 – clean out stack and replace broken cap.
12. Meter vaults – Mount touch-pads for meter registers on vault lids.
13. Lower valve pads to grade at E meter and square them to the sidewalk.
14. Secure all cleanout tops on the retention fields
15. Replace curb stop valve stack in the Bowl.

Numerous DMH's were holding water. Additional investigation is needed to determine the cause, or verify the design functions. Inspection of the yard hydrants and other internal water systems will be performed by the Addison Building Inspection Department.

Cc: Claire Callahan, Craig Gaussiran, Jim Pierce, Jim Duffy, Dave Clough

David Wilde

From: Steve Chutchian
Sent: Tuesday, March 11, 2003 7:48 AM
To: Dave Wilde
Cc: Jim Pierce
Subject: RE: Event site drainage

Dave - After construction is completed, I think it is a good idea to contact Neil G. about potential odor/mosquito problems. He may have to treat the area on occasion. Regarding the design, the Project Manager directed the contractor to construct the system according to plans. After further discussion with Mike, it is understood that J. Duffy is the responsible individual in charge of the project, he is aware of the situation, and his direction has been expressed to the contractor. Accordingly, this correspondence will be placed in our file for record purposes. Your attention to this situation is appreciated.

Steve C.

-----Original Message-----

From: Dave Wilde
Sent: Monday, March 10, 2003 3:50 PM
To: Steve Chutchian
Subject: Event site drainage

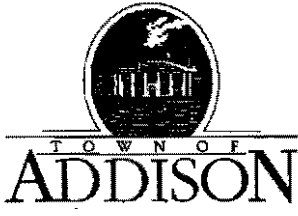
FYI. On or about 03/03/03 Garth w/Abstract told me that there would be some drain lines that would hold water. I asked him to check with Mr. Duffy if that was right, because I didn't think we wanted standing water in our RCP drain pipes. He said he would check it out. On Friday 03/07/03 I heard him tell the subcontractor's surveyor to lay it out according to plan. Today, the contractor's superintendent asked me about it and I told him to follow the directions he got from Abstract. This afternoon Garth told me he found out from Mr. Duffy on Friday to build it according to plan, and that the line from the stage vault entrance grata inlet to DMH 4A would be holding 4" of water, and that it would get deeper as it goes toward DMH 4, because the flow line into DMH 4 is 1.11 feet lower than the outlet from DMH 4 to DMH 5. There is also a situation at Retention Field 1 where the flow line out is at 631.5, and the flow line into the field is at 630.51. The inverts of Area Drains 1 and 2 are 630.86 and 630.87 respectively. That means there will be approx. 8" of water in those area drains constantly. (the difference from the outlet of the retention field and the outlets of the area drains.) Apparently the theory is that at least in the retention field, the water will eventually seep out of the perforations into the fractured rock and drain out. I don't know what will happen to the water held in the RCP from the Stage vault or to the RF 1. Do we need to let Neil in Environmental Health know about the potential mosquito breeding that will most likely occur in these retention fields and pipes? Maybe he can have these areas treated on a regular basis to minimize that potential problem.

Dave Wilde

Public Works Inspector

Town of Addison

PH: 972-450-2847



PUBLIC WORKS DEPARTMENT
Post Office Box 9010 Addison, Texas 75001-9010

(972) 450-2871 FAX (972)450-2837
16801 Westgrove

Addison Circle Park Utilities Walk-thru Notes

09/12/03

Attendees:

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Cc: Claire Callahan, Craig Gaussiran, Jim Pierce, Jim Duffy, Dave Clough

Steve Chutchian

From: Luke Jalbert
Sent: Monday, September 15, 2003 1:53 PM
To: Steve Chutchian; Jim Pierce; Mike Murphy
Subject: festival way paving

Guys,

Dave and I were looking at the Festival way paving this morning, as part of a so called walkthrough of the A&E site. It's a little ridiculous to call it a walkthrough when it is so far from completion.

apparently the contractor used the following method to pour festival way.

1. pour concrete
2. let concrete harden, and crack.
3. go back, and saw joints near where it already cracked
4. go back and look for valves that were not at correct elevation, and sawcut in patches around valves.

The cracking out there is **BAD**. Not to mention the areas they beat up looking for buried valves.

MAINTENANCE BOND

KNOW ALL MEN BY THESE PRESENTS:

That CalHar Construction, Inc.

as **Principal**, and International Fidelity Insurance Company, as Surety, are held and firmly bound unto Town of Addison Obligee, in the full and just sum of SIXTY THOUSAND ONE HUNDRED AND NO/100THS Dollars (\$60,100.00), lawful money of the United States for the payment whereof, well and truly to be made, the **Principal and Surety** bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the **Principal** has entered into a written contract dated 23rd of December, 2002 with Abstract Construction Company for Site Utilities for Addison Arts & Events District and

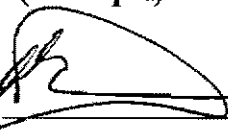
WHEREAS, **Obligee** provides that the **Principal** will furnish a bond conditioned to guarantee for the period of One (1) year(s) after approval of the final acceptance on said job, by the City, against all defects in workmanship and materials which may become apparent during said period.

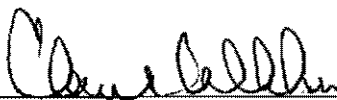
NOW, THEREFORE, the condition of this obligation is such that, if the **Principal** shall indemnify the **Obligee** for all loss that the **Obligee** may sustain by reason of any defective materials or workmanship which become apparent during the aforesaid period, then this obligation shall be void, otherwise to remain in full force and effect.

Signed, Sealed and Dated This 23rd Day of December, 2002.

CalHar Construction, Inc.

(Principal)

By:  _____

 _____
(Witness)

International Fidelity Insurance Company

(Surety)

By:  _____
Michael B. Hill, Attorney-In-Fact

 _____
(Witness)

POWER OF ATTORNEY INTERNATIONAL FIDELITY INSURANCE COMPANY

HOME OFFICE: ONE NEWARK CENTER, 20TH FLOOR
NEWARK, NEW JERSEY 07102-5207

KNOW ALL MEN BY THESE PRESENTS: That INTERNATIONAL FIDELITY INSURANCE COMPANY, a corporation organized and existing laws of the State of New Jersey, and having its principal office in the City of Newark, New Jersey, does hereby constitute and appoint

CINDY FOWLER, DEBBIE SMITH, MICHAEL B. HILL, WILLIAM D. BALDWIN, SUZANNE C. BALDWIN

Richardson, TX.

its true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise, and the execution of such instrument(s) in pursuance of these presents, shall be as binding upon the said INTERNATIONAL FIDELITY INSURANCE COMPANY, as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at its principal office.

This Power of Attorney is executed, and may be revoked, pursuant to and by authority of Article 3-Section 3, of the By-Laws adopted by the Board of Directors of INTERNATIONAL FIDELITY INSURANCE COMPANY at a meeting called and held on the 7th day of February, 1974.

The President or any Vice President, Executive Vice President, Secretary or Assistant Secretary, shall have power and authority

- (1) To appoint Attorneys-in-fact, and to authorize them to execute on behalf of the Company, and attach the Seal of the Company thereto, bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof and,
- (2) To remove, at any time, any such attorney-in-fact and revoke the authority given.

Further, this Power of Attorney is signed and sealed by facsimile pursuant to resolution of the Board of Directors of said Company adopted at a meeting duly called and held on the 29th day of April, 1982 of which the following is a true excerpt:

Now therefore the signatures of such officers and the seal of the Company may be affixed to any such power of attorney or any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by facsimile signatures and facsimile seal shall be valid and binding upon the Company in the future with respect to any bond or undertaking to which it is attached.



IN TESTIMONY WHEREOF, INTERNATIONAL FIDELITY INSURANCE COMPANY has caused this instrument to be signed and its corporate seal to be affixed by its authorized officer, this 31st day of August, A.D. 1998.

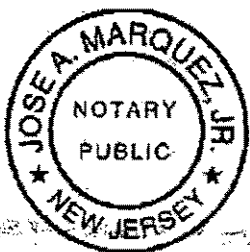
INTERNATIONAL FIDELITY INSURANCE COMPANY

STATE OF NEW JERSEY
County of Essex

James R. Hunkley
Vice-President

On this 31st day of August 1998, before me came the individual who executed the preceding instrument, to me personally known, and, being by me duly sworn, said he is the therein described and authorized officer of the INTERNATIONAL FIDELITY INSURANCE COMPANY; that the seal affixed to said instrument is the Corporate Seal of said Company; that the said Corporate Seal and his signature were duly affixed by order of the Board of Directors of said Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand affixed my Official Seal, at the City of Newark, New Jersey the day and year first above written.



Jose A. Marquez

A NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Nov. 21, 2005

CERTIFICATION

I, the undersigned officer of INTERNATIONAL FIDELITY INSURANCE COMPANY do hereby certify that I have compared the foregoing copy of the Power of Attorney and affidavit, and the copy of the Section of the By-Laws of said Company as set forth in said Power of Attorney, with the ORIGINALS ON IN THE HOME OFFICE OF SAID COMPANY, and that the same are correct transcripts thereof, and of the whole of the said originals, and that the said Power of Attorney has not been revoked and is now in full force and effect

IN TESTIMONY WHEREOF, I have hereunto set my hand this 23rd day of December, 2003

Maria H. Branco
Assistant Secretary

IMPORTANT NOTICE

TO OBTAIN INFORMATION OR TO MAKE A COMPLAINT

You may contact the Texas Department of Insurance to obtain information on companies, coverage's, rights or complaints at

1-800-252-3439

You may write the Texas Department of Insurance:

**PO BOX 149104
Austin, Texas 78714-9104
Fax (512) 475-1771**

PREMIUM OR CLAIM DISPUTES

Should you have a dispute concerning you premium or about a claim, you should contact the company first. If the dispute is not resolved, you may contact the Texas Department of Insurance.

ATTACH THIS NOTICE TO YOUR POLICY

This notice is for information only and does not become a part or condition of the attached document.



August 22, 2003

City of Addison
 Engineering Dept.
 Attn: Dave Wilde

Site Utilities Sub-Contractor: CalHar Construction, Inc.
 General Contractor: Abstract Construction Services, Inc.
 Civil Engineer: Sasaki Interdisciplinary Design

Project: Addison Arts & Events District
 Location: Addison Road & Addison Circle - Addison, Texas

Site Utilities : Water/Sanitary Sewer/Storm Sewer for the Town of Addison Arts & Events District:

ITEM	DESCRIPTION	QTY	UNIT	UNIT PRICE	TOTAL
DEMOLITION					
1	Remove Manhole Cone and Abandon	3	EA	\$ 1,100.00	
2	Remove/Salvage Hydrant, Meter, Valves	5	EA	\$ 300.00	
3	Remove/Dispose of Storm Pipe	211	LF	\$ 10.00	
4	Remove/Dispose of Hose Bib Water Line	330	LF	\$ 5.00	
5	Remove/Salvage Water Hose Bibs	3	EA	\$ 200.00	
6	Remove/Dispose of Catch Basin	2	EA	\$ 300.00	
7	Cap Existing Line at Manhole	3	EA	\$ 450.00	
8	Cut/Cap Storm Line	1	EA	\$ 700.00	
9	Abandon Existing Valve	1	EA	\$ 200.00	
				TOTAL \$	12,010.00
WATER					
1	12" Ultra Blue (C909)	1176	LF	\$ 20.00	
2	8" Ultra Blue (C909)	2607	LF	\$ 16.00	
3	6" Ultra Blue (C909)	52	LF	\$ 15.00	
4	4" Ultra Blue (C909)	120	LF	\$ 15.00	
5	6" Ultra Blue (C909) Fire Hydrant Lead	161	LF	\$ 15.00	
6	12" Gate Valve	3	EA	\$ 1,140.00	
7	8" Gate Valve	17	EA	\$ 700.00	
8	6" Gate Valve	7	EA	\$ 535.00	
9	8" Meter/Vault	2	EA	\$ 19,600.00	
10	8" Backflow/Vault	2	EA	\$ 8,065.00	
11	2" Copper Line	270	LF	\$ 17.00	
12	3/4" Copper Line	631	LF	\$ 16.00	
13	1/2" Copper Line	365	LF	\$ 15.00	
14	3/4" Yard Hydrant	25	EA	\$ 180.00	
15	24x12 Tapping Sleeve & Valve (On RCCP)	2	EA	\$ 4,600.00	
16	Cased Bore for 12" Line	65	LF	\$ 185.00	
17	Cut/Connect to Existing 8" Line	1	EA	\$ 400.00	
18	Connect to Existing 2" Valve	1	EA	\$ 200.00	
19	Standard Fire Hydrant	6	EA	\$ 1,285.00	
20	Remove/Replace Quorum Drive Pavement	10	SY	\$ 55.00	
21	Remove/Replace Asphalt Pavement	225	SY	\$ 55.00	
22	Remove/Replace Addison Road Pavement	10	SY	\$ 55.00	
23	Fountain Vault Only	28	EA	\$ 325.00	
24	Fittings	28	EA	\$ 325.00	
				TOTAL \$	221,393.00



SANITARY SEWER

1	8" SDR 35	1093	LF	\$	16.50	
2	6" SDR 35	517	LF	\$	15.50	
3	4" SDR 35	15	LF	\$	15.00	
4	4" Cleanout	11	EA	\$	165.00	
5	4' Diam. Manhole (5' - 15' Deep)	7	EA	\$	2,300.00	
6	Connect to Existing Manhole (11' - 15' Deep)	2	EA	\$	615.00	
7	Drop Connection (7' Deep)	2	EA	\$	900.00	
8	Raise Existing Manhole (1' Depth)	1	EA	\$	275.00	
9	Remove/Replace Addison Circle Drive Pavement	20	SY	\$	55.00	
10	Remove/Replace Brick Paved Sidewalk	150	SF	\$	7.00	
						TOTAL \$ 48,743.00

STORM SEWER

1	36" RCP CL III	153	LF	\$	60.00	
2	24" RCP CL III	387	LF	\$	39.00	
3	21" RCP CL III	171	LF	\$	36.00	
4	18" RCP CL III	1018	LF	\$	32.00	
5	15" RCP CL III	1009	LF	\$	30.00	
6	8" Trench Drain	6	LF	\$	250.00	
7	8" HDPE	24	LF	\$	16.00	
8	4" Sch. 40 Kiosk Utility Box Drain Line (See Note #17)	20	LF	\$	16.00	
9	4" Solid Underdrain (See Note #24)	1140	LF	\$	11.85	
10	4" Perforated Underdrain (See Note #24)	1198	LF	\$	17.35	
11	2" Underdrain Cleanout	12	EA	\$	75.00	
12	7' Diam. Manhole (9' Deep)	1	EA	\$	4,650.00	
13	5' Diam. Manhole (4' - 9' Deep)	10	EA	\$	2,300.00	
14	3x3 Type "A" Manhole (6' Deep)	1	EA	\$	2,725.00	
15	1.5x1 Kiosk Utility Box (1' Deep)	1	EA	\$	900.00	
16	Precast 6' Curb Inlet (4' Deep)	8	EA	\$	1,725.00	
17	Precast 2X2 Area Drain (3'-6' Deep)	18	EA	\$	1,060.00	
18	Retention Field #1 (See Note #16)	1	EA	\$	29,500.00	
19	Retention Field #2 (See Note #15)	1	LS	\$	41,500.00	
20	Retention Field #3 (See Note #18)	1	LS	\$	24,500.00	
21	Connect to Existing RCP in Addison Circle Drive	1	EA	\$	600.00	
22	Connect to Existing RCP in Addison Road	1	EA	\$	600.00	
23	Connect to Existing Inlet	2	EA	\$	425.00	
24	Connect to Existing RCP	2	EA	\$	425.00	
25	Remove/Replace Addison Road Pavement	10	SY	\$	55.00	
26	Remove/Replace Addison Circle Drive Pavement	15	SY	\$	55.00	
27	Inlet Protection	26	EA	\$	50.00	
28	Planter Bed Gravel/Fabric/Pipe (Per Detail 7/L2-1)	1	LS		No Charge	
						TOTAL \$ 295,903.30

Trench Safety/Pipe Testing
TOTAL \$ 22,950.70

TOTAL SCOPE AMOUNT: \$ 601,000.00
--

NOTES:

- 1 1YR/10% Maintenance Bond to be provided to the City of Addison upon completion of the above work.



facsimile

date July 31, 2003
to Jim Duffy
 Cc: Alan Ward, Steve Hamwey, Cathy Baker, Ting Chong
company JFD Group
facsimile no. 972 406-1146 **phone no.**
from Dove Clough **direct line** 617 923 7331
project name Arts & Events District **project no.** 14516.05
of pages 2
transmitted by DC **direct line** 617 923 7331



Sasaki Associates Inc.
 64 Pleasant Street
 Watertown Massachusetts
 02472 USA
 t 617 926 3300
 f 617 924 2748

Jim,

I'm attaching our markup of grade information for the SE corner of the site we received today from Abstract, which is being issued as SK-35. Our proposed grades are indicated with a box around them, as noted on the sketch.

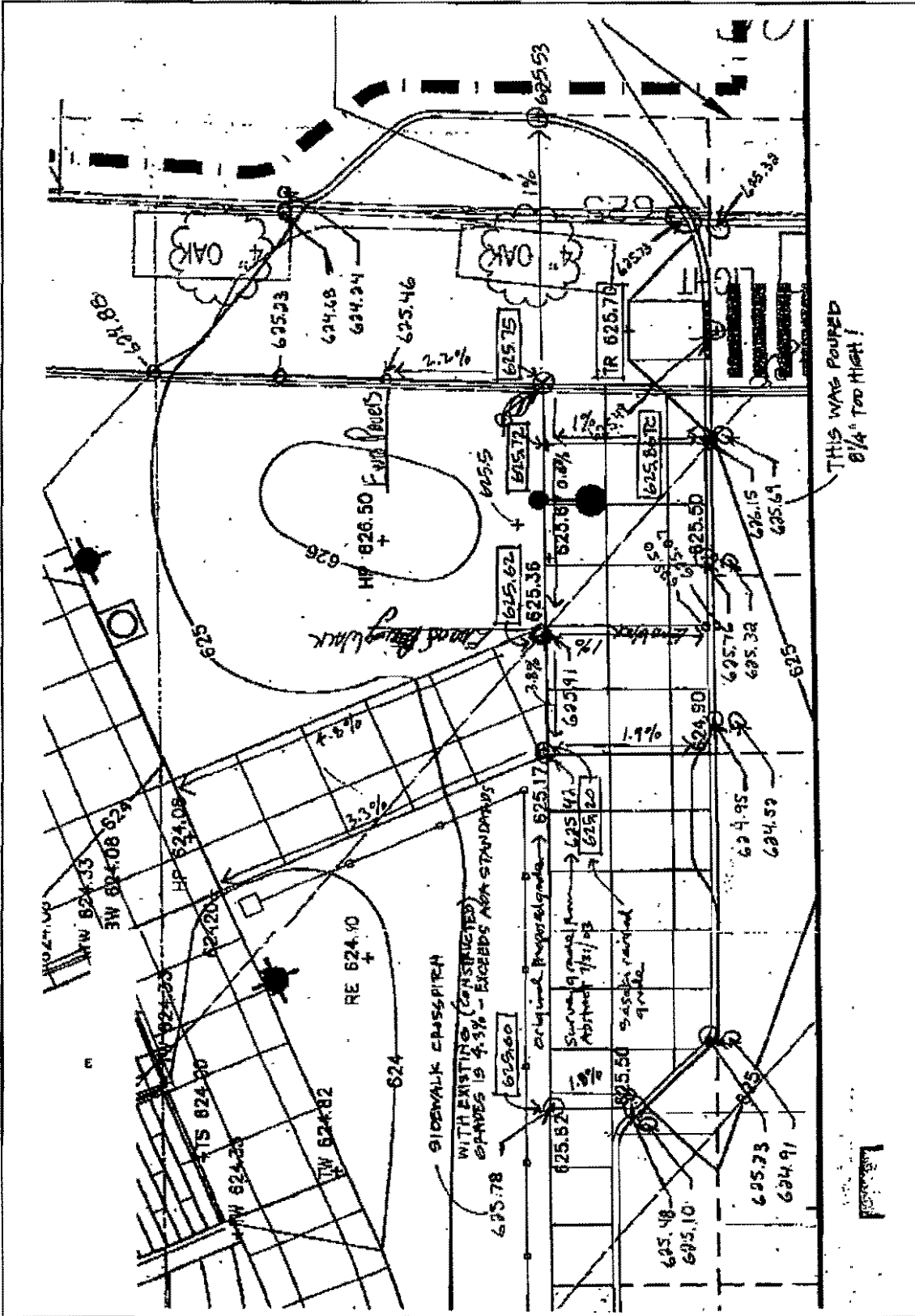
I've revised the grading trying to avoid reconstructing the curb and pavement in Festival Way. However, in the area of the HC ramp (at BC el. 625.69), the roadway pavement has been poured more than 8" too high. An alternative to removing the road pavement is to reconstruct a section of curb from the end of the westerly wing on the ramp to TC spot elevation 625.76. I'm suggesting a 2" high minimum curb at the end of the ramp wing to avoid a crosspitch exceeding ADA standards from the curb to the plant bed to the north. The drainage in this area will go in the opposite direction from what was intended, but it's only for a limited area. The grades along the back edge of the sidewalk have been revised so that crosspitches on the sidewalk will be less than 2% as required by ADA. As constructed, they are now in the 3 to 4% range. Also, the slope on the walk connecting the Festival Way sidewalk and the Upper Channel area must be less than 5%, so I've made revisions to grades accordingly.

The last grade that was shot on the west side of the back edge of sidewalk is el. 625.78. As noted on the sketch, the sidewalk crosspitch here is about 4.3%. It should be lowered to around 625.6 to comply with ADA. I don't know how much further to the west the sidewalk would have to be removed before the crosspitch becomes less than 2%.

As I told you, Fred Cawyer, who will do the ADA compliance review, stressed a number of times to me that the contractor should use a slope level on the forms before concrete is poured since he will be checking them carefully. It certainly wasn't done in this area of the site and I can only hope that Abstract checked other sidewalks before they were poured. Please let me know if there are any questions.

Dave

Jim - I'm also sending full-size hand copy by mail.



Project Title
Addison Arts and Events District

Project Number
 14516.05

Drawn By
 DCC

Drawing Title
GRADE REVISIONS @ SE CORNER OF SITE

Ref. Dwg No. **CS-6**

Scale
 1/8" = 1'-0"

Date
 7/31/03

Drawing Number

SK-35



64 Pleasant St Woburn, MA 02472 617 828 3300

Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229
(Phone) 469-385-9723
(Fax) 469-385-9753



OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Minutes of Meeting No. 11

April 16, 2003, Wednesday

1:30 PM

Meeting Location: Addison Arts and Events District Jobsite
15440 Addison Road

Page: Cover Sheet
Project No.: G02068E
Project: Addison Arts & Events District

Here Y/N	Initials	Attendee Name	Company Represented
Y	CAG	Craig Gaussiran	Abstract Construction Company
Y		Garth Rogers	Abstract Construction Company
Y		Jim Duffy	JFD Group
Y		Slade Strickland	Town of Addison
N		Luke Jalbert	Town of Addison
Y		Steve Chutchian	Town of Addison
N		Ron Lee	Town of Addison
Y		Dave Wilde	Town of Addison
Y		Carmen Moran	Town of Addison
N		Jim Pierce	Town of Addison

The attached minutes reflect the author's interpretation of what was discussed, determined or occurred at the above referenced meeting. If any attendee feels there has been a discrepancy or error in documenting the discussions, please notify the author in writing within 5 days of receipt of these minutes. Otherwise these minutes will be deemed to be accurate and accepted as written by all parties in attendance.

The Next meeting will be held at the following location, date and time:

Location: Addison Arts and Events District Jobsite
15440 Addison Road

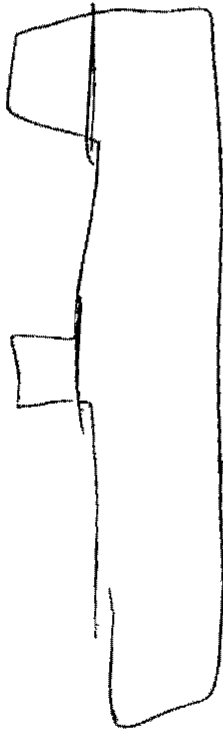
Date: Wednesday, April 30, 2003
Time: 1:30 PM

Prepared By: Abstract Construction Company

Signed: **Craig A. Gaussiran**

Craig A. Gaussiran

Dated: 04/16/03



CHECK w/ ABS ON
REUSED PATEL 2 LEGAL

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Minutes of Meeting No. 11

April 16, 2003, Wednesday

1:30 PM

Meeting Location: Addison Arts and Events District Jobsite
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Project: Addison Arts & Events District

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Y		Garth Rogers	Abstract Construction Company
Y		Jim Duffy	JFD Group
Y		Stade Strickland	Town of Addison
N		Luke Jalbert	Town of Addison
Y		Steve Chutchian	Town of Addison
N		Ron Lee	Town of Addison
Y		Dave Wilde	Town of Addison
Y		Carmen Moran	Town of Addison
N		Jim Pierce	Town of Addison

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Location: Addison Arts and Events District Jobsite
15440 Addison Road

Date: Wednesday, April 30, 2003
Time: 1:30 PM

Prepared By: Abstract Construction Company

Signed: Craig A. Gaussiran

Craig A. Gaussiran

Dated: 04/16/03

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 12

Page No.: 1

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
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03 - Schedule

Open 04/16/03

Abstract is requesting the schedule for the Pavilion by Big Sky. This is needed so we may properly schedule completion of our original scope.

06 - Cost Issues

Open 04/16/03

CMU backup and concrete footing

Bulletin #4 and Bulletin #5

Deduct for boring.

07 - RFI's and Architect's Supplemental Instructions

Open 01/06/03

RFI log is attached for review.

08 - Submittals

Open 01/06/03

Submittal Log attached for review.

10 - Safety

Open 01/06/03

12 - Miscellaneous Issues

Type C fixture added in Bulletin #2 will have the pendants run East and West with the flood light facing south.

15 - New Business

Closed 04/01/03

04/16/03

Fountain vault discussion.

Closed 04/01/03

04/16/03

Approval of aggregate walks.

Closed 04/01/03

04/16/03

Storm tie-in on Addison Road and Addison Circle.

Closed 04/01/03

04/16/03

Stone sample approval.

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 12

Page No.: 2

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
		Open	04/02/03		Town of Addison - Ron Lee	
	Bubblers will be added to the trees by the pavilion. This will be added once all irrigation changes are completed.					
		Open	04/30/03			
	Transformer at the corner of Addison Road and Addison Circle Drive is leaking.					
		Open	04/30/03			
	Gas valve is in the approach at Addison Road.					

STATUS

A - AWAITING RESPONSE
R - RESPONSE RECEIVED

RFI LISTING



Project:

Date: 4/30/03

Page No: 1

RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent Sent To	Date Due	Date Returned	Status	Days Late	Reference Remarks
001	Cal Har	Request for CAD disk for Site Utilities	12/17/02	12/17/02	12/19/02	R	2	
02605			JFD Group					
002	Strand & Associates, LLC.	Exposed Aggregate	12/18/02	12/20/02	12/19/02	R		
03000			JFD Group					
003		Bituminous Pavers	01/06/03	01/06/03	01/07/03	R	1	
004		Concrete Sealer	01/06/03	01/06/03	01/06/03	R		
07100			JFD Group					
005	CalHar Construction, Inc.	Clarification of Manhole Covers	01/10/03	01/13/03	01/10/03	R		
02605			JFD Group					
006	CalHar Construction, Inc.	Field layout verification	01/14/03	01/17/03	01/17/03	R		
007			JFD Group					
02645	CalHar Construction, Inc.	Post Hydrant Product Data for Approval	01/17/03	01/17/03	01/17/03	R		
008	CalHar Construction, Inc.	Request for Area Drain Casing Clarification	01/17/03	01/17/03	01/28/03	R	11	
02605			Town of Addison c/o JFD Group					
009	CalHar Construction, Inc.	Request for Oil/Trap Catch Basin & Retention Manhole Casting Clarification	01/17/03	01/17/03	01/20/03	R	3	
02605			JFD Group					
010	CalHar Construction, Inc.	Onsite crushed limestone in lieu of Select	01/20/03	01/20/03	01/20/03	R		
02220			JFD Group					
011	Riddle Electric Company	Light pole banners	01/20/03	01/23/03	01/21/03	R		
16501			JFD Group					
012	CalHar Construction, Inc.	Revised submittal data for underdrain piping and Kiosk Drainage	01/28/03	01/31/03	01/30/03	R		
02600			JFD Group					

STATUS

A - AWAITING RESPONSE
R - RESPONSE RECEIVED

RFI LISTING

Project: 2068 - Addison Arts & Events District

Date: 4/30/03

Page No: 2

RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent	Date Due	Date Returned	Status	Days Late	Reference Remarks
013	CalHar Construction, Inc.	Revised submittal data for underdrain piping and Kiosk Drainage	01/29/03	02/01/03	02/03/03	R	2	
02600			JFD Group					
014	CalHar Construction, Inc.	Request Clarification on Valve box lid specifications.	01/29/03	02/03/03	02/03/03	R		
02600			Town of Addison c/o JFD Group					
015	Abstract Construction Company	Coordinates at 10313	02/03/03	02/08/03	02/03/03	R		
01330			Town of Addison c/o JFD Group					
016	Strand & Associates, LLC.	Concrete elevations	02/03/03	02/08/03	02/04/03	R		
03000			Town of Addison c/o JFD Group					
017	Strand & Associates, LLC.	Concrete Mix design	02/04/03	02/09/03	02/05/03	R		
03000			Town of Addison c/o JFD Group					
018	CalHar Construction, Inc.	Specifications for Fountain Vault lifting lugs	02/13/03	02/18/03	04/03/03	R	44	
05450			Town of Addison c/o JFD Group					
019	CalHar Construction, Inc.	Grade adjustment for storm drainage manholes and area drains	02/14/03	02/19/03	02/14/03	R		
			Town of Addison c/o JFD Group					
020	Johnston Products of Dallas, Inc.	Additional information on Stainless steel expansion	02/14/03	02/19/03	02/21/03	R	2	
			Town of Addison c/o JFD Group					
021			02/27/03	03/04/03	03/05/03	R	1	
02605			Town of Addison c/o JFD Group					
022	Riddle Electric Company	Cam Lok Panels	03/03/03	03/08/03	03/05/03	R		
			Town of Addison c/o JFD Group					
023	Riddle Electric Company	Conduit Stubs	03/03/03	03/08/03	03/05/03	R		
			Town of Addison c/o JFD Group					
024	CalHar Construction, Inc.	ADA Grates & Grease Trap Hood for Catch Basin	03/07/03	03/12/03	03/19/03	R	7	
			Town of Addison c/o JFD Group					
025	Riddle Electric Company	Pergola Lighting	03/10/03	03/15/03	03/19/03	R	4	
			Town of Addison c/o JFD Group					



STATUS

**A - AWAITING RESPONSE
R - RESPONSE RECEIVED**

RFI LISTING

Project: 2068 - Addison Arts & Events District

Date: 4/30/03

Page No: 3

RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent	Date Due	Date Returned	Status	Days Late	Reference Remarks
026	Riddle Electric Company	GFI's at Pergola columns	03/10/03	03/15/03	03/19/03	R	4	
			Town of Addison c/o JFD Group					
027	CalHar Construction, Inc.	Manholes and Catch Basins	03/11/03	03/16/03	03/14/03	R		
			Town of Addison c/o JFD Group					
028	Johnston Products of Dallas, Inc.	Ornamental Railing	03/11/03	03/11/03	03/14/03	R	3	
			Town of Addison c/o JFD Group					
029	Abstract Construction Company	Waterproofing at the upper and lower channels	03/11/03	03/16/03	03/18/03	R	2	
			Town of Addison c/o JFD Group					
030	Abstract Construction Company	Sump pit at main stage	03/11/03	03/16/03	03/14/03	R		
			Town of Addison c/o JFD Group					
031	Riddle Electric Company	Switch gear in the Main Stage	03/11/03	03/16/03	04/10/03	R	25	
			Town of Addison c/o JFD Group					
032	CalHar Construction, Inc.	Water line tie-in	03/13/03	03/15/03	03/19/03	R	4	
			Town of Addison c/o JFD Group					
033	Strand & Associates, LLC.	Channel connection details	03/13/03	03/18/03	03/18/03	R		
			Town of Addison c/o JFD Group					
033A	Strand & Associates, LLC.	Channe Connection Details Part II	03/21/03	03/26/03	03/21/03	R		
			Town of Addison c/o JFD Group					
034	Strand & Associates, LLC.	Footing at Main Stage	03/13/03	03/13/03	03/18/03	R	5	
			Town of Addison c/o JFD Group					
035	Greenscape Pump Service, Inc.	Channel Spray Cans	03/19/03	03/24/03	04/04/03	R	11	
			Town of Addison c/o JFD Group					
036	Dee Brown, Inc.	Granite marker	03/20/03	03/25/03	03/20/03	R		
			Town of Addison c/o JFD Group					
037	Dee Brown, Inc.	Stone walls	03/26/03	03/31/03	04/03/03	R	3	
			Town of Addison c/o JFD Group					



STATUS

A - AWAITING RESPONSE
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RFI LISTING

Project: 2068 - Addison Arts & Events District

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RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent	Date Due	Date Returned	Status	Days Late	Reference Remarks
038	CalHar Construction, Inc.	Gas and Electric conflict	03/26/03	03/31/03	04/04/03	R	4	
			Town of Addison c/o JFD Group					
039	Strand & Associates, LLC.	Construction Joint at lower channel wall	03/26/03	03/27/03	03/27/03	R		
			Town of Addison c/o JFD Group					
040	Riddle Electric Company	Location for panel L and Camlok panel #1	04/02/03	04/07/03	04/02/03	R		
			Town of Addison c/o JFD Group					
041	Riddle Electric Company	Panel schedule for panel DPH1	04/02/03	04/07/03	04/02/03	R		
			Town of Addison c/o JFD Group					
042	Greenscape Pump Service, Inc.	Below grade Ductwork	04/03/03	04/08/03	04/08/03	R		
			Town of Addison c/o JFD Group					
043	Strand & Associates, LLC.	Channel slab tying into slab.	04/04/03	04/04/03	04/09/03	R	5	
			Town of Addison c/o JFD Group					
044	Strand & Associates, LLC.	Void space under upper channel slab	04/11/03	04/16/03	04/14/03	R		
			Town of Addison c/o JFD Group					
045	Dee Brown, Inc.	Masonry Wall	04/14/03	04/19/03	04/15/03	R		
			Town of Addison c/o JFD Group					
046	Riddle Electric Company	Door location conflict	04/15/03	04/20/03	04/15/03	R		
			Town of Addison c/o JFD Group					
047	CalHar Construction, Inc.	Structural Steel request for Fountain Vault	04/24/03	04/24/03		A	6	
02605			Town of Addison c/o JFD Group					
048	CalHar Construction, Inc.	Condensate drain line screen and transition from 4" to 2" at Kiosk box	04/24/03	04/24/03	04/29/03	R	5	
			Town of Addison c/o JFD Group					



Abstract

AP - Approved or Reviewed
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**SUBMITTAL LISTING
 BY SPEC SECTION**

Abstract

Date: 04/30/03

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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
05700-001R1	-	Johnston Products of Dallas, Inc.			03/17/03	03/27/03	03/19/03	03/19/03			AP	2
03/17/03 Fountain Pylons												
02782-001	- 0278	Arlington Pavers		04/11/03	04/11/03	04/21/03	04/16/03	04/17/03			AP	5
04/11/03 Samples - Brick Pavers Autumn Haze												
02375 DRILLED CONCRETE PIER												
02375-001	02375- 1.04										NS	
Concrete Design Mix												
02375-002	02375- 1.04										NS	
Record Drawings of Drilled Shaft Foundation Work												
02605 UTILITY STRUCTURES												
02605-001	02605-	CalHar Construction, Inc.	01/09/03	01/09/03	01/09/03	01/19/03	01/16/03	01/16/03			RR	7
01/09/03 Utility Material Submittal												
02605-001R1	02605-	CalHar Construction, Inc.	02/06/03	02/06/03	02/07/03	02/17/03	02/12/03	02/13/03			RR	5
02/07/03 Utility Material Submittal - Resubmittal												
02605-002	02605-	CalHar Construction, Inc.	03/19/03	03/19/03	03/19/03	03/29/03	04/07/03	04/07/03			AP	19
03/19/03 ADA Catch basin manhole casting												
02736 STONE DUST SURFACING												
02736-001	02736- 1.04										NS	
Samples												
02736-002	02736- 1.04										NS	
Product Data												
02750 PORTLAND CEMENT CONCRETE PAVING												
02750-001	02750 - 1.06	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03	01/20/03	01/20/03			RR	6
01/14/03 Design Concrete Mixture												

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02750-001R1	02750 - 1.06	Strand & Associates, LLC.	01/25/03	02/06/03	02/10/03	02/20/03	02/12/03	02/13/03			AP	2

01/14/03 Design Concrete Mixture - 4200 psi mix

02752 EXPOSED AGGREGATE CONCRETE PAVEMENT

02752-001	02752 - 1.07	Strand & Associates, LLC.	01/15/03	01/15/03	01/15/03	01/20/03	01/20/03	01/20/03			RR	5
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01/15/03 Gray Aggregate Sample

02752-005	02752 - 1.07	Strand & Associates, LLC.	01/15/03	01/15/03	01/15/03	01/20/03	02/14/03	02/14/03			AP	30
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01/15/03 Tan Aggregate Sample

02752-002	02752 - 1.07	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03	01/20/03	01/20/03			AN	6
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01/14/03 Mix Design

02752-003	02752 - 1.07										NS	
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Shop Drawing

02752-004	02752 - 1.07	Strand & Associates, LLC.	01/20/03	02/07/03	02/10/03	02/20/03	02/19/03	02/20/03			AP	9
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02/10/03 Sieve Analysis on Sienna A-B and Texas Black A-B as per Cactus Canyon

Source : Cactus Canyon

Color : Sienna and Texas Black

Gradation: A - B

02752-001R1	02752 - 1.07	Strand & Associates, LLC.	01/15/03	01/15/03	02/12/03	02/22/03	02/14/03	02/14/03			AP	2
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02/12/03 Gray Aggregate Sample

02752-005R1	02752 - 1.07	Strand & Associates, LLC.	01/15/03	01/15/03	02/12/03	02/22/03	02/14/03	02/14/03			AP	2
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01/15/03 Tan Aggregate Sample

02772 CONCRETE CURB AND GUTTER

02772-001	02772 - 1.06	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03	01/20/03	01/20/03			RR	6
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01/14/03 Mix Designs

02772-002	02772 - 1.06										NS	
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Manufacturer's Product Data

02772-003	02772 - 1.06										NS	
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Shop Drawings



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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02784 STONE PAVERS												
02784-001	02784-1.04										NS	
Samples												
02784-002	02784-1.04										NS	
Manufacturer's Product Data												
02784-003	02784-1.04										NS	
Shop Drawings												
02784-004	02784-1.04										NS	
Contractors Review												
02784-005	02784-1.04										NS	
Test Reports												
02785 GRANITE PAVERS												
02785-001	02785-1.04										NS	
Samples												
02785-002	02785-1.04										NS	
Manufacturer's Product Data												
02785-003	02785-1.04	Dee Brown, Inc.	04/16/03	04/16/03	04/16/03	04/26/03	04/21/03	04/25/03			AN	5
04/16/03 Shop Drawings												
02785-004	02785-1.04										NS	
Contractors Review												
02785-005	02785-1.04										NS	
Test Report												
02786 SLATE PAVING TILE												
02786-001	02786-1.04										NS	
Manufacturer's Product Data												
02786-002	02786-1.04										NS	
Samples												

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**SUBMITTAL LISTING
 BY SPEC SECTION**

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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02810 IRRIGATION SYSTEM												
02810-001	02810-										NS	
02815 FOUNTAINS												
02815-001	02815-	Greenscape Pump Service, Inc.	01/03/03	01/03/03	01/06/03	01/13/03	01/10/03	01/10/03	03/20/03	69	RR	4
01/03/03 Product Data												
02815-002	02815-	Georgia Fountain Company, Inc.	01/06/03	01/06/03	01/06/03	01/12/03	01/10/03	01/10/03			AP	4
01/06/03 Fountain Shop Drawings												
02815-001A	02815-	Greenscape Pump Service, Inc.	01/16/03	01/16/03	01/16/03	01/23/03	01/20/03	01/20/03	03/20/03	59	AN	4
01/03/03 Product Data - Exhaust Fan Resubmittal												
02816 DRINKING FOUNTAINS												
02816-001	02816- 1.04										NS	
Shop Drawings												
02824 ORNAMENTAL METAL FENCE AND GATE												
02824-001	02824- 1.04										NS	
Shop drawings												
02824	02824- 1.04										NS	
02824-002	02824- 1.04										NS	
Samples												
02838 STONE WALL												
02838-001	02838-										NS	
02870 SITE FURNISHINGS												
02870-001	02870- 1.04	Victor Stanley, Inc.	02/11/03	02/11/03	02/11/03	02/21/03	02/12/03	02/13/03	05/12/03	88	AP	1
02/11/03 Shop Drawings - Trash Receptacle												

Color is Black

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SUBMITTAL LISTING
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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02870-002	02870-1.04	Victor Stanley, Inc.	02/11/03	02/11/03	02/11/03	02/21/03	02/12/03	02/13/03	05/12/03	88	AP	1

02/11/03 Shop Drawings - Bench

*** Color is Black***

03100 CONCRETE FORMS AND ACCESSORIES

03100-001	03100-1.04										NS	
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Samples

03100-002	03100-1.04										NS	
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Product Data

03200 CONCRETE REINFORCEMENT

03300-007R1	03200-	CalHar Construction, Inc.		04/10/03	04/11/03	04/21/03	04/16/03	04/17/03			AN	5
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04/11/03 Revised reinforcing drawings for Fountain Vault per Change on Bulletin #3

03200-001	03200-1.05	Strand & Associates, LLC.	01/31/03	01/31/03	01/31/03	02/15/03	02/05/03	02/05/03			AN	5
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01/31/03 Shop drawings

03200-002	03200-1.05										NS	
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Certified Copy of Mill Test of reinforcing steel

03300 CAST IN PLACE CONCRETE - FOUNTAIN VAULT

03300-007	03300-	CalHar Construction, Inc.	02/18/03	03/03/03	03/03/03	03/13/03	03/06/03	03/06/03			AN	3
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02/21/03 Mix Design - Fountain Vault

02/21/03 Waterstop - Fountain Vault

02/21/03 Aluminum Access Hatchway - Fountain Vault

02/21/03 Link Seal - Fountain Vault

02/21/03 Reinforcement - Fountain Vault

03300-008	03300-	Strand & Associates, LLC.		04/10/03	04/14/03	04/24/03	04/16/03	04/17/03			AP	2
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04/14/03 Lockstop - Mastic Waterstop for concrete construction

03300-001	03300-1.04	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03	01/20/03	01/20/03			RR	6
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01/14/03 Mix Designs



**SUBMITTAL LISTING
BY SPEC SECTION**

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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
03450-005	03450 - 1.04										NS	

Verification Samples

03450-006	03450 - 1.04										NS	
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Test Reports

04200 BRICK MASONRY

04200-001	04200 - 1.06										NS	
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Samples

04200-002	04200 - 1.06	Dee Brown, Inc.	02/17/03	02/17/03	02/21/03	03/03/03	03/06/03	03/06/03			AP	13
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02/21/03 Product Data - Wire reinforcing, rock wall ties, brick wall ties

02/21/03 CMU Certification Letter

02/21/03 Type "S" Mortar Design

02/21/03 Type "N" Mortar Design

04270 GLASS UNIT MASONRY

04270-001	04270 - 1.04	Dee Brown, Inc.									NS	
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Product Data

04270-03	04270 - 1.04	Dee Brown, Inc.	02/17/03	02/17/03	02/21/03	03/03/03	03/06/03	03/06/03			AP	13
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02/21/03 Type "S" Lime Certification Letter

02/21/03 Grey Portland Cement Certification Letter

04270-02	04270 - 1.04										NS	
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Samples

04430 QUARRIED STONE

04430-003R1	04430 -	Dee Brown, Inc.		04/16/03	04/18/03	04/26/03	04/28/03	04/28/03			RR	10
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04/18/03 Shop drawings - Limestone

04430-001	04430 - 1.05	Dee Brown, Inc.	03/31/03	03/31/03	03/31/03	04/04/03					SU	30
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03/31/03 Samples - Machine Smooth Buff Lueders Range Samples

04430-002	04430 - 1.05										NS	
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manufacturer's Product Data



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Project: 2068 - Addison Arts & Events District

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04430-003	04430 - 1.05	Dee Brown, Inc.	02/17/03	02/17/03	02/24/03	03/06/03	03/19/03	03/19/03			RR	23
02/24/03 Shop Drawing												
04430-004	04430 - 1.05										NS	
Test Reports												
04430-005	04430 - 1.05										NS	
Contractors Review												
04430-006	04430 - 1.05	Dee Brown, Inc.	03/31/03	03/31/03	03/31/03	04/04/03	04/07/03	04/07/03			AP	7
03/31/03 Samples - Ostirch Slate Tile Range Samples												
04430-007	04430 - 1.05	Dee Brown, Inc.	03/31/03	03/31/03	03/31/03	04/04/03	04/07/03	04/07/03			AP	7
03/31/03 Samples - Quarried Stone												
04430-008	04430 - 1.05	Dee Brown, Inc.	03/31/03	03/31/03	03/31/03	04/04/03	04/16/03	04/17/03			AN	16
03/31/03 Samples - Leuder's Limestone												
04430-009	04430 - 1.05	Dee Brown, Inc.	03/31/03	04/11/03	04/11/03	04/15/03	04/16/03	04/17/03			AP	5
04/14/03 Samples - Granite												
04430-010	04430 - 1.05	Dee Brown, Inc.	03/31/03	04/11/03	04/11/03	04/15/03	04/16/03	04/17/03			AP	5
04/14/03 Samples - Brick												
05120 STRUCTURAL STEEL												
05120-001	05120 - 1.04										NS	
Product Data												
05120-002	05120 - 1.04										NS	
Shop Drawings												
05500 METAL FABRICATIONS - PERGOLA												
05500-001	05500 - 1.04	Johnston Products of Dallas, Inc.	01/28/03	01/28/03	01/28/03	02/05/03	02/19/03	02/20/03			AN	22
01/28/03 Shop Drawings - Pergola												
05500-002	05500 - 1.04	Johnston Products of Dallas, Inc.			03/17/03	03/27/03	03/19/03	03/19/03			AP	2
03/17/03 Engineered Pergola Drawings												



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05500-003	05500 - 1.04										NS	

Calculations

05500-004	05500 - 1.04										NS	
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Welders Certification

05530 METAL GRATING												
05530-001	05530 - 1.04										NS	

Product Data

05530-002	05530 - 1.04	Johnston Products of Dallas, Inc.	01/31/03	02/12/03	02/13/03	02/23/03	02/24/03	02/24/03			AN	11
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02/13/03 Shop Drawings

05530-003	05530 - 1.04	Johnston Products of Dallas, Inc.		04/11/03	04/11/03	04/21/03	04/16/03	04/17/03			AP	5
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04/11/03 Sample - Metal Grating

05700 ORNAMENTAL METAL												
05700-001	05700 - 1.06	Johnston Products of Dallas, Inc.	02/21/03	02/17/03	02/21/03	03/03/03	03/13/03	03/13/03			RR	20

02/21/03 Product Data - Fountain Pylon

05700-002	05700 - 1.06	Johnston Products of Dallas, Inc.	02/13/03	02/13/03	02/18/03	02/28/03	03/06/03	03/06/03			AN	16
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02/18/03 Shop Drawings - Handrails

05700-003	05700 - 1.06										NS	
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Field Measurements

05700-004	05700 - 1.06										NS	
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calculations

05700-005	05700 - 1.06										NS	
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Verification Samples

05700-006	05700 - 1.06	Johnston Products of Dallas, Inc.		02/28/03	03/10/03	03/20/03	04/08/03	04/08/03			RR	29
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03/10/03 Shop Drawings - Frames, Stair rails, expansion joint covers and ladder

05700-007	05700 - 1.06	Johnston Products of Dallas, Inc.		02/28/03	03/10/03	03/20/03	03/26/03	04/01/03			AP	16
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03/10/03 Shop Drawings - Fencing and sliding gate.



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05700-006R1	05700- 1.06	Johnston Products of Dallas, Inc.		04/21/03	04/25/03	05/05/03					SU	5
03/10/03	Shop Drawings - Frames, Stair rails, expansion joint covers and ladder											

07110 BITUMINOUS DAMPROOFING

07110-001	07110- 1.04	Lewisville Waterproofing, Inc.	02/10/03	02/12/03	02/21/03	03/03/03	03/06/03	03/06/03			AP	13
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02/21/03 Product Data

07110-002	07110- 1.04										NS	
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Certification

07135 SHEET MEMBRANE WATERPROOFING

07135-001	07135- 1.04	Lewisville Waterproofing, Inc.	02/10/03	02/12/03	02/21/03	03/03/03	03/06/03	03/06/03			AP	13
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02/21/03 Product Data - Mira Dri 860/861

02/21/03 Product Data - Miradrain 6000

07135-002	07135- 1.04										NS	
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Samples

07135-003	07135- 1.04										NS	
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Manufacturer's Review

07135-004	07135- 1.04										NS	
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substrate acceptability

07135-005	07135- 1.04										NS	
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Statement of Supervision

07135-006	07135- 1.04										NS	
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Certification

07900 JOINT SEALERS

07900-001	07900- 1.04	Lewisville Waterproofing, Inc.	02/10/03	02/19/03	02/21/03	03/03/03	03/06/03	03/06/03			RR	13
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02/21/03 Product Data - Sonolastic "NP2"

02/21/03 Product Data - Sonolastic "SL1"

07900-002	07900- 1.04	Lewisville Waterproofing, Inc.	02/10/03	02/19/03	02/21/03	03/03/03	03/17/03	03/19/03			AP	24
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02/21/03 Initial Selection Samples - Color Chart

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07900-003	07900 - 1.04										NS	

Test Reports

08110 STEEL DOORS AND FRAMES

08110-001	08110 - 1.05										NS	
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Shop Drawings

08110-002	08110 - 1.05										NS	
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Product Data

09900 PAINTING												
09900-001	09900-1.04	Naylor Commercial Interiors, Inc.									NS	

Product Data

09900-002	09900 - 1.04										NS	
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Initial Color Selection Samples

09900-003	09900 - 1.04										NS	
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Verification Samples

10210 METAL WALL LOUVERS												
12010-001	10210 - 1.04										NS	

Shop Drawings

12010-002	10210 - 1.04										NS	
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Manufacturer's Literature

15010 GENERAL REQUIREMENTS FOR MECHANICAL												
15010-001	15010 - 1.5										NS	

Product Data

15010-002	15010 - 1.5										NS	
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Manufacturer's Specifications

15010-003	15010 - 1.5										NS	
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Manufacturer's Specifications

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Abstract

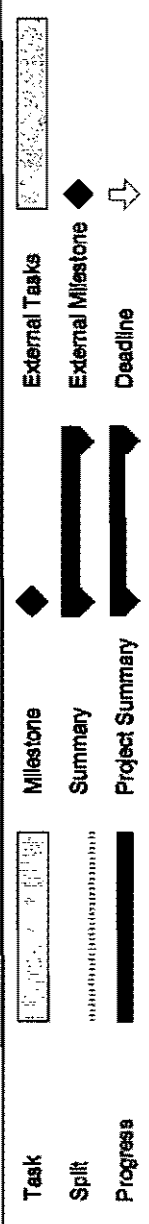
Date: 04/30/03

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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
16010-014	16010 - 1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03	03/07/03	03/07/03			AN	28
02/07/03 Boxes												
16010-013R1	16010 - 1.06	Riddle Electric Company		04/07/03	04/08/03	04/23/03	04/18/03	04/17/03			RR	10
04/08/03 Lighting Fixtures												
16010-002R1	16010 - 1.06	Riddle Electric Company	03/07/03	04/07/03	04/08/03	04/23/03	04/18/03	04/17/03			AN	10
04/08/03 Panel Boards												
16010-010R1	16010 - 1.06	Riddle Electric Company		04/07/03	04/08/03	04/23/03	04/18/03	04/17/03			AP	10
04/08/03 Transformers												
16010-007R1	16010 - 1.06	Riddle Electric Company		04/07/03	04/08/03	04/23/03	04/18/03	04/17/03			AP	10
04/08/03 Camlocks												
16010-014R1	16010 - 1.06	Riddle Electric Company		04/07/03	04/08/03	04/23/03	04/18/03	04/17/03			RR	10
04/08/03 Boxes												
16010-005R1	16010 - 1.06	Riddle Electric Company		04/07/03	04/08/03	04/23/03	04/18/03	04/17/03			AP	10
04/08/03 Wiring Devices												
16010-013R2	16010 - 1.06	Riddle Electric Company		04/21/03	04/25/03	05/10/03					SU	5
04/08/03 Lighting Fixtures												

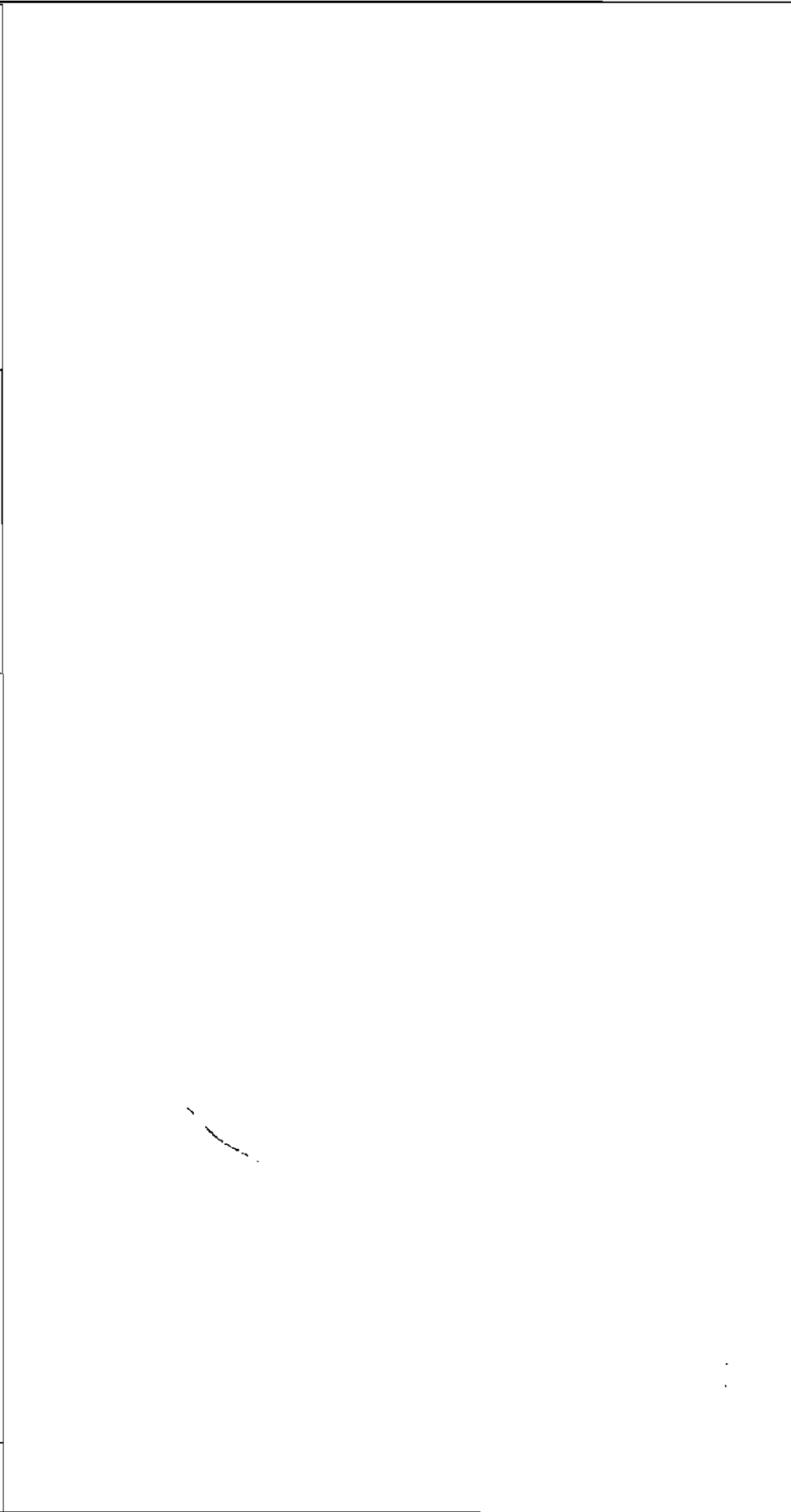
ID	Task Name	Duration	Start	Finish	May 2003
1	TWO WEEK SCHEDULE	18 days	Mon 4/21/03	Wed 5/14/03	15 16 18 21 24 27 30 3 6 9 12 15
2	ELLIPSE	5 days	Mon 4/28/03	Fri 5/2/03	
3	ELECTRICAL UNDERGROUND	2 days	Mon 4/28/03	Tue 4/29/03	
4	FORM WALKS	1 day	Wed 4/30/03	Wed 4/30/03	
5	REBAR/INSPECT	1 day	Thu 5/1/03	Thu 5/1/03	
6	POUR #1	1 day	Fri 5/2/03	Fri 5/2/03	
7	FOUNTAIN PLAZA	5 days	Mon 4/28/03	Fri 5/2/03	
8	VAULT	5 days	Mon 4/28/03	Fri 5/2/03	
9	INSTALL SLEEVES	3 days	Mon 4/28/03	Wed 4/30/03	
10	CLOSE WALLS	1 day	Thu 5/1/03	Thu 5/1/03	
11	POUR WALLS	1 day	Fri 5/2/03	Fri 5/2/03	
12	WATER CHANNELS	18 days	Mon 4/21/03	Wed 5/14/03	
13	LOWER CHANNEL SLAB	7 days	Mon 4/28/03	Tue 5/6/03	
14	BACKFILL	0 days	Mon 4/28/03	Mon 4/28/03	
15	REBAR	4 days	Mon 4/28/03	Thu 5/1/03	
16	FIXTURES	2 days	Fri 5/2/03	Mon 5/5/03	
17	POUR	1 day	Tue 5/6/03	Tue 5/6/03	
18	UPPER CHANNEL SLABS	18 days	Mon 4/21/03	Wed 5/14/03	
19	BACKFILL	10 days	Mon 4/21/03	Fri 5/2/03	
20	REBAR	4 days	Mon 5/5/03	Thu 5/8/03	
21	FIXTURES	3 days	Fri 5/9/03	Tue 5/13/03	
22	POUR	1 day	Wed 5/14/03	Wed 5/14/03	
23	MAINSTAGE	7 days	Wed 4/23/03	Thu 5/1/03	
24	FORM ROOF	4 days	Wed 4/23/03	Mon 4/28/03	
25	REBAR	1 day	Tue 4/29/03	Tue 4/29/03	
26	INSPECT	1 day	Wed 4/30/03	Wed 4/30/03	
27	POUR	1 day	Thu 5/1/03	Thu 5/1/03	
28	FESTIVAL WAY	11 days	Tue 4/29/03	Tue 5/13/03	
29	GRADING	4 days	Tue 4/29/03	Fri 5/2/03	
30	FORMING	4 days	Mon 5/5/03	Thu 5/8/03	
31	REBAR	2 days	Fri 5/9/03	Mon 5/12/03	



Task
 Split
 Progress

Project: TWO WEEK SCHEDULE
 Date: Wed 4/30/03

ID	Task Name	Duration	Start	Finish	15	16	18	21	24	27	30	3	6	9	12	15
32	POUR# 1	1 day	Tue 5/13/03	Tue 5/13/03												
33	APPROACHES	6 days	Thu 5/1/03	Thu 5/8/03												
34	FORM	3 days	Thu 5/1/03	Mon 5/5/03												
35	REBAR/INSPECT	2 days	Tue 5/6/03	Wed 5/7/03												
36	POUR	1 day	Thu 5/8/03	Thu 5/8/03												



Project: TWO WEEK SCHEDULE
Date: Wed 4/30/03

Task		Milestone		External Tasks	
Split		Summary		External Milestone	
Progress		Project Summary		Deadline	

Page 2

JAMES E. DUFFY

April 30, 2003

HAND DELIVERED

Mr. Craig Gaussiran
Abstract Construction
11157 Ables Lane
Dallas, TX 75229

Re: Addison Arts & Events District
April 15, 2003 Schedule Update

Dear Craig:

We have received and reviewed your revised and updated schedule dated April 15, 2003. The following reflects the concerns we have that this schedule still does not reflect a true picture of the project and its status of completion.

Because of the structure of the schedule, the update reports three separate critical paths:

A -22 days negative float critical path runs thru two underway activities "2000 Earthwork" and "3100 Fountain equipment". This -22 day critical path spans from the Data Date thru 17-Jul-03.

A -3 days negative float critical path runs thru two underway activities "3200 Concrete" and "5000 Grading". This -3 day critical path spans from the Data Date thru 29-Apr-03.

A 0 days negative float critical path runs thru seven future activities, beginning with plug-started (21-Apr-03) activity "5120 Regrade". Next are "6000 Concrete Foundations", "7100 Brick Pavers", "6200 Structural Steel", "6400 Masonry", "6500 Landscaping", and "7110 Substantial Completion". This 0 day critical path spans from the 21-Apr-03 plugged start date of "5120" thru 12-Sep-03.

The following problems compromise Abstract and the Owner's ability to use the schedule as a progress document or to effectively project completion.

Disconnected Activities. This update had several underway and future activities which are disconnected from the network. Seventeen activities have no successors. Activities having no successors have excessive float and can be performed at any time. This means they can also be delayed to stack at the end of the Project, causing congestion and confusion. Three activities have no predecessors, which causes them to start on the Data Date.

The 0-day critical path. The 0-day critical path contains activities starting with "5120 Regrade" which was forced to start on 21-Apr-03 by its plugged start date. Next comes "6000 Concrete foundations", "6100 Concrete columns", "6200 Structural steel", "6400 Masonry", "6500 Landscaping", and "7110 Substantial Completion". Glaringly apparent is the absence of inspection, systems completion, clean up and punch, or Owner Acceptance activities on or near the critical path. Furthermore, if the relatively large number of stacked activities are actually delayed to the last month of the project, they won't impact the critical path, because they are disconnected activities. That is not a realistic picture of what it will take to achieve

3887 RIDGELAKE COURT • ADDISON, TX • 75001
PHONE: 972.241.2816 • FAX: 972.406.1146
JFDGROUP@FLASH.NET

April 30, 2003

completion—letting multiple activities run to the very end, concurrent with true completion activities.

Inappropriate plugged dates. Plugged end dates on activities "5100 Utility work", "3200 Concrete" distort the schedule, and therefore should be removed. The 21-Apr-03 plugged start of "5120 Regrade" creates the 0 day critical path. Therefore this date should be verified to be the actual start of the critical path. This plugged date is significant enough to cause the project schedule to show an end on 12-Sep-03, but it is forced by the restraint inserted and may not reflect the actual status of the project.

It would be helpful if activities having duplicate descriptions, such as "Landscape", "Earthwork", etc. could be changed by replacing the duplicate descriptions with descriptions which uniquely designate work, such as in a specific project area or work phase. These duplicate descriptions are difficult to follow in certain report formats.

Also, we don't understand the work reflected in your activity "6500 Landscaping" which is shown as the last two weeks of the critical path and begins only on the completion of "4300 Masonry". Please help me understand the scope of that work so we can evaluate the impact on completion.

Please revise your schedule to correct all disconnected activities – especially those which potentially impact a -22 day, -3 day or 0 day critical path, or compete with other work whose delay could potentially enable them to impact the timely completion of the project. Activity "7110 Substantial completion" should be preceded by such completion events as final inspection, systems completion, clean up and punch and Owner Acceptance.

Please set up a new activity, "7500 Owner Acceptance" as a finish milestone with a plugged late finish date of September 4, 2003. Using that milestone in a properly connected network will allow us to truly measure progress against our targeted completion. It will tell us if we are on schedule and will tell you how you are doing toward bonus payment opportunities. This should all result in a more correct critical path and a more reasonable progress guide.

Regards,



Jim Duffy

cc: Steve Chutchian
Carmen Moran
Slade Strickland

Mar 21 03 01:51p The JFD Group

9724061146

P. 1

JAMES F. DUFFY

FAX COVER SHEET3887 RIDGELAKE CT.
ADDISON, TX 75001PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

SEND TO:	CRAIG GAUSSIRAN	FROM:	JIM DUFFY
CC:	CARMEN MORAN STEVE CHUTCHIAN SLADE STRICKLAND	DATE:	3/21/03
FAX NUMBER:	469.385.9753	PHONE NUMBER:	469.385.9723

 URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION**TOTAL PAGES, INCLUDING COVER: 2****COMMENTS:**

CRAIG,

AS REQUESTED, HERE IS AN EXECUTED CONSTRUCTION CHANGE DIRECTIVE ON THE WORK DESCRIBED IN YOUR PR004 AND PR005. PLEASE RETURN AN EXECUTED COPY TO ME AS SOON AS POSSIBLE.

JIM

Mar 21 03 01:52p

The JFD Group

9724061146

p. 2

Mar 21 03 10:23a

918 Dragon

214 915 0901

p. 2

CONSTRUCTION CHANGE DIRECTIVE

AIA DOCUMENT G714 - ELECTRONIC FORMAT
(This document replaces AIA Document G714, Construction Change Authorization.)

OWNER	<input type="checkbox"/>
ARCHITECT	<input type="checkbox"/>
CONTRACTOR	<input type="checkbox"/>
FIELD	<input type="checkbox"/>
OTHER	<input type="checkbox"/>

THIS DOCUMENT HAS IMPORTANT LEGAL CONSEQUENCES. CONSULTATION WITH AN ATTORNEY IS ENCOURAGED WITH RESPECT TO ITS COMPLETION OR MODIFICATION. AUTHENTICATION OF THIS ELECTRONICALLY DRAFTED AIA DOCUMENT MAY BE MADE BY USING AIA DOCUMENT D409.

PROJECT: ADDISON ARTS & EVENTS DISTRICT
(Name, address) ADDISON, TEXAS

DIRECTIVE NO.: 001

DATE: 3-21-03

TO CONTRACTOR:
(Name, address)
ABSTRACT CONSTRUCTION COMPANY
11157 ABLES LANE
DALLAS, TX 75229

ARCHITECT'S PROJECT NO: 14516-05

CONTRACT DATED: 11-27-02

CONTRACT FOR: ADDISON ARTS & EVENTS DISTRICT CONSTRUCTION

You are hereby directed to make the following change(s) in this Contract:

WORK DESCRIBED IN ABSTRACT'S PROPOSAL QUOTATIONS PRO04 & PRO05 DATED 1-30-03 & 2-17-03

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum (increase) (decrease) of \$
 - Unit Price of \$ per
 - as provided in Subparagraph 7.3.6 of AIA Document A201, 1987 edition.
 - as follows:
- The Contract Time is proposed to ~~(be adjusted)~~ (remain unchanged). The proposed adjustment, if any, is (an increase of days) (a decrease of days).

When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

Signature by the Contractor indicates the Contractor's agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this Construction Change Directive.

ARCHITECT _____

Address _____

BY: _____

DATE: _____

Town of Addison
OWNER

P.O. Box 9010
Address

Addison TX 75001

BY: _____

DATE: 3-21-03

CONTRACTOR _____

Address _____

BY: _____

DATE: _____

HP LaserJet 3200se



HP LASERJET 3200

MAR-21-2003 1:58PM

Fax Call Report

Job	Date	Time	Type	Identification	Duration	Pages	Result
104	3/21/2003	1:58:11PM	Receive	9724061146	0:40	2	OK

Mar 21 03 01:51p The JFD Group 9724061146 p.1

JAMES F. DUFFY

FAX COVER SHEET

3907 ROCKDALE CT.
ADDISON, TX 75001

PHONE 972.241.2816
FAX 972.406.1146
EMAIL JFDGRO@HP.LASERJET

SEND TO:	CRAIG GAUSSIRAN	FROM:	JIM DUFFY
CC:	CARMEN MORAN STEVE CHITCHAN SLADE STRICKLAND	DATE:	3/21/03
FAX NUMBER:	469.385.9753	PHONE NUMBER:	469.385.9723

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 2

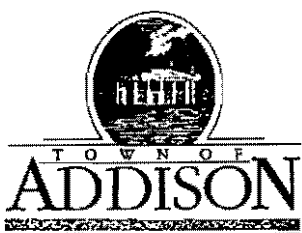
COMMENTS:

CRAIG,

AS REQUESTED, HERE IS AN EXECUTED CONSTRUCTION CHANGE DIRECTIVE ON THE WORK DESCRIBED IN YOUR PRO04 AND PRO05. PLEASE RETURN AN EXECUTED COPY TO ME AS SOON AS POSSIBLE.

JIM

Wittce, FYI



OFFICE OF THE CITY MANAGER

(972) 450-7000 • FAX (972) 450-7043

Post Office Box 9010 Addison, Texas 75001-9010

5300 Belt Line Road

March 17, 2003

Dear Addison Circle Business:

I wanted to notify you of an upcoming temporary change in parking availability as a result of the Addison Arts & Events District construction. Beginning late this week, we will begin staging construction materials for *The Pavilion* building located near the intersection of Addison Circle Drive and Witt Place. *The Pavilion* will be an outdoor catering service and special event building with kitchen and restroom facilities to serve the Arts & Events District.

To stage the construction of the building, the Town's contractor will be fencing off approximately six parallel parking spaces along the sidewalk and near the corner of Quorum Drive and Addison Circle Drive moving west to the intersection of Witt Place. These parking spaces are all on the south side of Addison Circle Drive. We anticipate these parking spaces will be needed throughout the construction period that should conclude in September.

We apologize for any inconvenience this may cause. We are excited about the opportunities the opening of the new Arts & Events District will bring to the community in the near future. The Town is working now to bring new events and activities to the area that we hope will benefit your business. Should you have any questions regarding the construction process, feel free to contact either Jim Duffy, Construction Project Manager at 972/241-2816 or me at 972/450-7010.

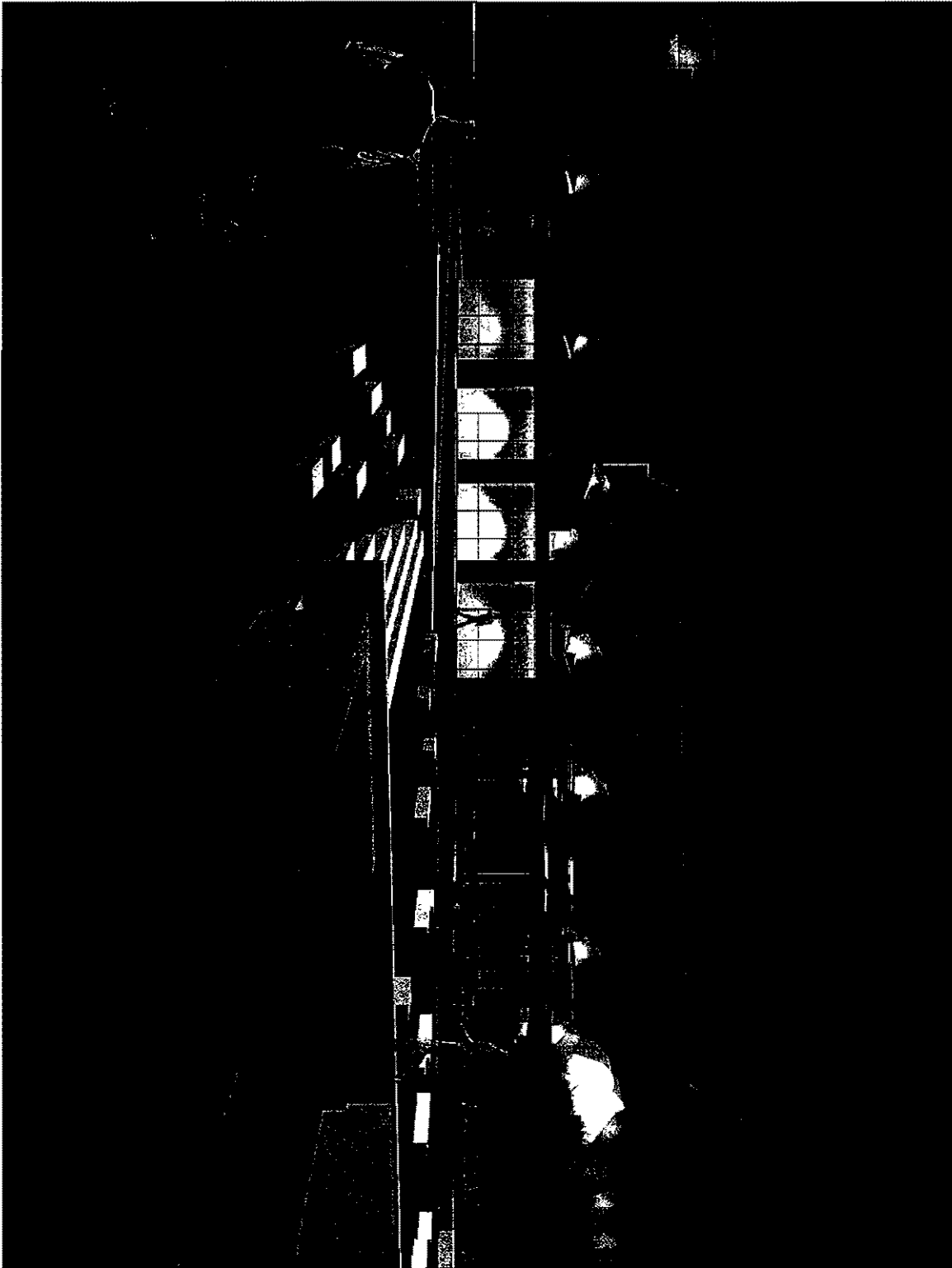
Sincerely,

Chris Terry
Assistant City Manager

STEVE
FOR YOUR
RECORDS.
mike

- cc: Ron Whitehead, City Manager
- Carmen Moran, Development Services Director
- Mike Murphy, Public Works Director
- Jim Duffy, Construction Project Manager

Wittce -
FYI,
Chris





MAR-21-2003 FRI 07:45 AM ABSTRACT CONST

FAX NO. 469 385 9753

P. 02

**ABSTRACT CONSTRUCTION**

March 20, 2003

Mr. Jim Duffy
JFD Group
3887 Ridgelake Court
Addison, Texas 75001

Dear Jim:

During the Progress Meeting on March 19, 2003 Change Order #2 was returned unsigned until the dispute is resolved on the additional cost of supervision and field office personnel directly attributable to the change.

With keeping in accordance with the Contract we are requesting that a Construction Change Directive be prepared for the items in Change Order #2. Per section 7.3.2 "A Construction Change Directive shall be used in the absence of total agreement on the terms of a Change Order." Per section 7.3.1 the Construction Change Directive is "prepared by the Construction Manager and signed by the Owner, Construction Manager and Architect, directing a change in the Work ..." Please forward the Construction Change Directive to our office as soon as possible, so we may continue with this change in work.

Thank you, for your time and consideration of this matter.

Sincerely,



Craig A. Gaussiran

Project Manager

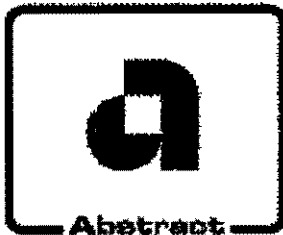
cc. Carmen Moran
Steve Chuchian
Slade Strickland

File-Correspondence with the City

MAR-21-2003 FRI 07:45 AM ABSTRACT CONST

FAX NO. 469 385 9753

P. 01



Abstract
 General Contractor
 Construction Manager

FACSIMILE TRANSMITTAL SHEET

TO:	FROM:
Steve Chutchian	Craig A. Gaussiran
COMPANY:	DATE:
Town of Addison	3/21/03
FAX NUMBER:	SENDER'S FAX NUMBER:
972-450-2837	469-385-9753
PHONE NUMBER:	SENDER'S PHONE NUMBER:
972-450-2886	469-385-9723
RE:	TOTAL NO. OF PAGES INCLUDING COVER:
Addison Arts and Events	2

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

11157 ABLKS LANE
 DALLAS, TEXAS 75229

Mar 19 03 04:33p

The JFD Group

9724061146

p. 1

JAMES F. DUFFY

FAX COVER SHEET

3887 RIDGELAKE COURT
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

SEND TO:	CARMEN MORAN STEVE CHUTCHIAN SLADE STRICKLAND	FROM:	JIM DUFFY
FAX NUMBERS:	972.450.7043 972.450.2837 972.450.2834	DATE:	3/19/03
		PHONE NUMBER:	

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 3

COMMENTS:

LETTER TO ABSTRACT REGARDING PROGRESS OF CONSTRUCTION.

Mar 19 03 04:33p

The JFD Group

9724061146

p.2

JAMES F. DUFFY

March 19, 2003

VIA FAX & USPS

Mr. Craig Gaussiran
Project Manager
Abstract Construction
11157 Ables Lane
Dallas, TX 75229

Re: Addison Arts & Events District
Progress of Construction

Dear Craig:

The purpose of this letter is to express our concern, in light of your latest schedule update, with the progress of construction on the Addison Arts and Events District project. Based on your schedule, your completion date has slipped from the contract completion date of September 6, 2003, to a currently projected October 9, 2003, without allowing for a potential shut down for the Oktoberfest event described in paragraph 3.10.6 of the Supplementary General Conditions of the contract.

A detailed analysis of Abstract's Baseline Schedule and Current Schedule raises serious concerns about Abstract's ability to use the schedule to effectively represent progress of the Work or to accurately project completion. Based on your latest update, the project has lost 36 calendar days in only two months between the Baseline Schedule and Current Schedule presented in that update. Observing work in the field during that period, I find that hard to accept.

Abstract's and the Owner's ability to use the Baseline Schedule and its periodic progress updates as the mechanism for forecasting the timing and priorities of future work depends on how well Abstract crafted the Baseline Schedule and how accurately it interprets each activity's status during the progress update process.

Abstract provided a Baseline Schedule in which a number of activities were disconnected from the network. While the progress of each activity may be accurately provided, Abstract is likely finding it difficult to demonstrate the impact of a delay or acceleration using activities in disconnected segments of the network during progress analysis. This may account for the current projected completion date or it may not, but it does demonstrate we don't have the tool we need to effectively plan.

The level of detail of the work represented in a schedule should be such that anyone reading a schedule report can clearly identify both the work and the status of the work in the field. This facilitates the objective recognition and reporting of activity status in progress updates. Except for simple tasks or long-lead procurement, it is a good practice for the level of detail of the work represented by a single schedule activity to not require more than 14 calendar days to complete. Abstract chose to represent its work remaining after 6 January 2003 in 42 activities, 30 of which have durations exceeding 14 days. You may be finding it difficult to survey the quantity of work performed during progress analyses involving these larger, more generalized activities.

3887 RIDGELAKE COURT • ADDISON, TX • 75001
PHONE: 972.241.2816 • FAX: 972.406.1146
JFDGROUP@FLASH.NET

Mar 19 03 04:34p

The JFD Group

9724061146

p. 3

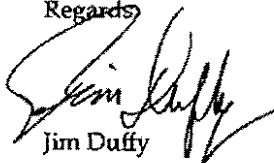
- 2 -

March 19, 2003

Comparing Abstract's Current Schedule with its Baseline Schedule indicates the schedule slippage previously discussed. However, unlike the critical path of the Baseline Schedule, which showed a continuous flow of work from the Data Date to the Project end date, the critical activities in the Current Schedule do not form a critical path explaining the cause of the end date slipping.

Due to Abstract's failure to provide a Current Schedule that accurately demonstrates Abstract's plan for timely performance of the Work, I am ordering you under paragraph 3.10.1 of the Supplementary General Conditions of the contract to take corrective measures necessary to expedite the progress of construction.

Regards

A handwritten signature in black ink, appearing to read "Jim Duffy", written over the typed name.

Jim Duffy

cc: Carmen Moran
Steve Chutchian
Slade Strickland

DOCUMENT 00952

BULLETIN NO. 2

DATE: March 10, 2003

TO: ABSTRACT CONSTRUCTION
11157 Ables Lane
Dallas, Texas 75229
Tel.: 469-385-9700
Fax: 469-385-9753

Att: Craig Gaussiran, Project Manager

FROM: SASAKI ASSOCIATES, INC.
64 Pleasant Street
Watertown, Massachusetts 02172

PROJECT: ADDISON ARTS & EVENTS DISTRICT
Addison, Texas

This Bulletin consists of three (3) pages plus attached revised drawings.

Description: This Bulletin includes the following:

1. Revise Street Light fixture.
2. Add Street Light fixtures with floodlights along south side of Festival Way.
3. Indicate north-south expansion joint locations in Festival Way roadway paving.
4. Add handrails, colored concrete and textured scoring pattern to handicapped ramp at east side of Pavilion.
5. Revise scoring pattern for handicapped ramps.
6. Revise drinking fountain configuration and orientation.
7. Eliminate some Youpon Holly and Crapemyrtle from Planting Plan.
8. Add duplex outlets at paved area in The Bowl.

SPECIFICATIONS

DIVISION 2 – SITE CONSTRUCTION

Section 16525 – Site Lighting

- 1) Page 16525-2, Subparagraph 2.02, C., revise to "Street Lights: shall be #2 SL BB18V3 – 175MH – SLA 17-2-MOD 5" Pole – PR5 5R18250 – Black – 277V – BBD5 24, manufactured by Architectural Area Lighting, La Mirada, CA 90638.

1. All Street Lights, except lights along south side of Festival Way, shall have GFI duplex receptacle with gasketed self-closing cover welded to pole, painted to match.

2. All Street Lights along south side of Festival Way shall be modified to accept one Infranor Callisto-12 floodlight, 175MH, RW, 277V, C, YK, with slip fitter modified to fit 5" pole, manufactured by Sterner Lighting Systems, Inc., Winsted, MN 55395. Finish shall be black polyester powder coat paint. Floodlights shall have separate control wiring so they may be operated independently from Street Light fixtures."

DRAWINGS**CIVIL****Drawing C2-1 – Materials Plan**

1. Indicate expansion joints in concrete roadway pavement at Festival Way.
2. Add Street Light fixtures along south side of Festival Way.

Drawing C2-2 – Materials Plan

1. Indicate expansion joints in concrete roadway pavement at Festival Way.
2. Add Street Light fixtures along south side of Festival Way.

Drawing C2-3 – Layout Plan

1. Revise layout information for Street Lights along north side of Festival Way to center foundations between edge of sidewalk and fence.
2. Add Street Light fixtures along south side of Festival Way.
3. Add note to Legend regarding layout of Street Lights.

Drawing C2-4 – Layout Plan

1. Revise layout information for Street Lights along north side of Festival Way to center foundations between edge of sidewalk and fence.
2. Add Street Light fixtures along south side of Festival Way.
3. Add note to Legend regarding layout of Street Lights.

Drawing C4-1 – Utilities Plan

1. Add Street Light fixtures along south side of Festival Way.

Drawing C4-2 – Utilities Plan

1. Add Street Light fixtures along south side of Festival Way.

Drawing C4-3 – Utilities Plan

1. Add Street Light fixtures along south side of Festival Way.

Drawing C5-1 – Materials Plan Detail

1. Indicate handrails and scoring pattern on handicapped ramp, east of Pavilion building.

Drawing C5-2 – Materials Plan Detail

1. Add Utility Box detail indication.

Drawing C5-3 – Paving and Layout Plan Detail

1. Indicate handrails and scoring pattern on handicapped ramp, east of Pavilion building.

Drawing C5-4 – Paving and Layout Plan Detail

1. Add layout information for Utility Boxes.

Drawing C7-1 – Site Details

1. Detail 1: Revise scoring pattern on handicapped ramp.

Drawing C7-2 – Site Details

1. Detail 9: Revise location of dog bowl on drinking fountain and position drinking fountain on concrete paved area to provide for adequate wheelchair accessibility.

Drawing C7-3 – Site Details – Lighting

1. Add Detail 6, Street Light Detail.

Drawing C7-13 – Site Details - Stairs

1. Details 7 & 8: Add handrails to both sides of handicapped ramp, east of Pavilion building.

Drawing C8-8 – Site Details – Drainage

1. Add Detail 7, Utility Box Detail, for duplex outlets added at The Bowl area.

LANDSCAPE

Drawing L1-1 – Planting Plan

1. Delete some Youpon Holly along west side of The Ellipse.
2. Add Street Lights along south side of Festival Way.

Drawing L1-2 – Planting Plan

1. Delete some Crapemyrtle at Garden areas.
2. Add Street Lights along south side of Festival Way.

Drawing L2-1 – Planting Details and Plant List

1. Revise quantities of Youpon Holly and Crapemyrtle in Plant List.

ELECTRICAL

Drawing E1-1 – Electrical Plan-West

1. Revise street lighting along Addison Circle Drive and north side of Festival Way to accommodate twin head fixtures. Add five twin headed street lights with post-mounted floodlights on the south side of Festival Way.

Drawing E1-2 – Electrical Plan-East

1. Revise street lighting along Addison Circle Drive and north side of Festival Way to accommodate twin head fixtures. Add five twin headed street lights with post-mounted floodlights on the south side of Festival Way. Add four duplex weatherproof, GFCI receptacles mounted in concrete utility boxes in The Bowl area.

Drawing E3-1 – Electrical Panelboard Schedules

1. Revise panelboard schedule loads for additional lighting and receptacles.

END OF BULLETIN

Mar 18 03 01:00p

The JFD Group

9724061146

P. 2

JAMES F. DUFFY

March 18, 2003

VIA FAX & USPS

Mr. Craig Gaussiran
Abstract Construction
11157 Ables Lane
Dallas, TX 75229

Re: Addison Arts & Events District
Abstract Request for Time Extension

Dear Craig:

On March 10, 2003, Abstract provided notice that it had "...experienced delays in the critical path of the project" and requested an extension of the contract end date in accordance with Article 8.3.1. of the General Conditions.

In utilizing its Current Schedule to show delay, Abstract has represented the delay in the form of activity 900 "Owner's removal of power poles" which is inserted into your Current Schedule. Abstract maintains the slippage of the Project Finish date from 4 September 2003 (see Baseline Schedule, below) to 9 October 2003 (see Current Schedule, below) was caused by the Owner's failure to timely perform, and that Abstract is therefore entitled to receive a Contract Change Order adding "approximately 26 days" to the contract end date.

Baseline Schedule, Data Date = 6 January 2003. Abstract had previously provided a 51-activity Project Baseline Schedule showing progress as of its 6 January 2003 Data Date. It had: a Start date of 02DEC02; a Finish date of 04SEP03; a Run date of 06JAN03; and a Data date of 06JAN03. Information for each activity included; Activity ID, Description, Original Duration, Remaining Duration, Early Start date, Early Finish date, and a time-scaled bar chart. The bar chart indicated the critical path of this Schedule consisted of the following activities (referenced first by Activity ID):

2000 (Site / Earthwork)
3000 (Fountain Plaza / Earthwork)
3100 (Fountain Plaza / Fountain equipment)
3200 (Fountain Plaza / Concrete)
3400 (Fountain Plaza / Stone Wall)
3600 (Fountain Plaza / Slate, Stone and granite pavers)
3700 (Fountain Plaza / Landscape)
3800 (Fountain Plaza / Metal Grating)
7110 (Paving / Substantial Completion)

Current Schedule, Data Date = 7 March 2003. Abstract preceded its notice of delay with a computer printout of its 51-activity Current Schedule showing progress as of its 7 March 2003 Data Date. It had: a Start date of 02DEC02; a Finish date of 09OCT03; a Run date of 07MAR03; and a Data date of 07MAR03. Information for each schedule activity included; Activity ID, Description, Original Duration, Remaining Duration, Early Start date, Early Finish date, Total

3887 RIDGELAKE COURT • ADDISON, TX • 75001
PHONE: 972.241.2816 • FAX: 972.406.1146
JFDGROUP@FLASH.NET

Mar 18 03 01:00p

The JFD Group

9724061146

p. 3

- 2 -

March 18, 2003

Float and a time-scaled bar chart. Project critical activities (those having a Total Float value of 0 days) were:

2000 (Site/ Earthwork)
3100 (Fountain Plaza / Fountain equipment)
3200 (Fountain Plaza / Concrete)
3400 (Fountain Plaza / Stone Wall)
3600 (Fountain Plaza / Slate, Stone and granite pavers)
3700 (Fountain Plaza / Landscape)
3800 (Fountain Plaza / Metal Grating)
7110 (Paving/Substantial Completion)

Activities in Abstract's Current Schedule (Data Date 7 March 2003) matched activities in your Baseline Schedule (Data Date 6 January 2003), except:

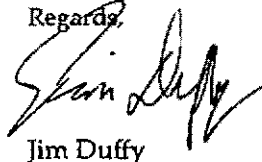
- Activity 5300 "Concrete Curb & Gutter" has been deleted;
- Activity 900 "Owner's removal of power poles" has been added;
- Activities 2200 "Drainage fields", 2000 "Earthwork" and 4000 "Earthwork" were reported to be completed; and
- Activities 900 "Owner's removal of power poles", 3200 "Concrete" and 3300 "Fountain Vault Work" were reported to be underway.

The Project Finish date of Abstract's Baseline Schedule was Early Finish = 4 September 2003. The Project Finish date in its Current Schedule is Early Finish = 9 October 2003. This indicates that during the two months that transpired between issuing the Baseline and Current Schedules, the Progress of the Work has slipped 36 calendar days. Analyzing activity Total Float values and bar chart representations within your Current Schedule clearly shows activity 900 (Owner's removal of power poles) was not critical (Total Float is 27 days).

While Abstract's Current Schedule identified the progress of the Work was delayed, it failed to show the Owner caused the delay. Due to Abstract's failure to show the Owner caused a delay in the progress of the Work, I find insufficient justification to grant a Change Order to Abstract extending the Contract Time.

As to your additional request for an extension in the early completion bonus date, I refer you to Paragraph 7.4.1 of the contract and the specific wording, "For purposes of the calculation and the determination of entitlement to the incentive payment stated above, the Original Contract Time will not be adjusted for any reason, cause or circumstance whatsoever, regardless of fault..."

Regards,



Jim Duffy

cc: Carmen Moran
Steve Chutchian
Slade Strickland

Mar 18 03 01:00p

The JFD Group

9724061146

p. 1

JAMES F. DUFFY

FAX COVER SHEET

3887 RIDGELAKE COURT
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

SEND TO:	CARMEN MORAN STEVE CHUTCHIAN SLADE STRICKLAND	FROM:	JIM DUFFY
FAX NUMBERS:	972.450.7043 972.450.2837 972.450.2834	DATE:	3/18/03
		PHONE NUMBER:	

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 3

COMMENTS:

LETTER TO ABSTRACT REGARDING REQUEST FOR TIME EXTENSION. CALL IF YOU HAVE QUESTIONS.

HP LaserJet 3200se



HP LASERJET 3200

MAR-18-2003 1:07PM

Fax Call Report

Job	Date	Time	Type	Identification	Duration	Pages	Result
46	3/18/2003	1:06:06PM	Receive	9724061146	1:04	3	OK

Mar 18 03 01:00p The JFB Group 9724061146 p.1

JAMES F. DUFFY

FAX COVER SHEET

3827 ROSELAKE COURT
ADDISON, TX 75001

PHONE: 972.241.2910
FAX: 972.406.1146
EMAIL: JFDUFFY@JFBGROUP.COM

SEND TO:	CARMEN MORAN STEVE CHUTCHMAN SLADE STRICKLAND	FROM:	JIM DUFFY
FAX NUMBERS:	972.450.7043 972.450.2837 972.450.2834	DATE:	3/18/03
		PHONE NUMBER:	

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 3

COMMENTS:

LETTER TO ABSTRACT REGARDING REQUEST FOR TIME EXTENSION. CALL IF YOU HAVE QUESTIONS.

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Friday, March 14, 2003 4:54 AM
To: Craig Gaussiran
Cc: Carmen Moran; Steve Chutchian; Slade Strickland
Subject: Weld Testing

Craig,

The Town has decided to do a visual inspection of the welds on the Pergola structure. The inspection and any subsequent testing will be done by Terra-Mar. Please send me the location of the material and a name and phone number for Terra-Mar to contact to coordinate their visit.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

From: Chris Terry
Sent: Friday, March 14, 2003 9:41 AM
To: Michael Murphy
Cc: Steve Chutchian
Subject: FW: Staging for Pavilion Building

Mike,
FYI-
Chris

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Thursday, March 13, 2003 6:07 AM
To: Harold Casler; Craig Gaussiran
Cc: Carmen Moran; Tom Dohearty; Chris Terry; Rob Bourestom
Subject: Staging for Pavilion Building

I talked with Assistant City Manager Chris Terry this morning regarding our discussion yesterday about staging for the Pavilion Building construction.

We will be able to use the parking spaces closest to the circle and across from the jeweler on Addison Circle Drive to stage materials for the building. Chris and I will meet with the jeweler tomorrow morning to explain our plan to him.

Harold: We will need a traffic control plan including signs, routing, barricades, etc. we can share with the proper authorities in the town. We will also need the date you plan to implement and take over this area.

We also have permission to stage the job trailer on the open property east of the Stone Cottage across Addison Circle Drive from the building site.

Harold: Please contact me when you are ready so we can meet on site with the Conference Center manager and identify the area to be used, fencing, restrictions on use, maintenance, etc.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Mar 13 03 06:48p

The JFD Group

9724061146

p. 1

JAMES F. DUFFY

FAX COVER SHEET

3887 RIDGELAKE COURT
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

SEND TO: STEVE CHUTCHIAN	FROM: JIM DUFFY
ATTENTION:	
	DATE: 3/13/03
FAX NUMBER: 972.450.2837	PHONE NUMBER:

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 3

COMMENTS:

LETTER TO DAVE CLOUGH RE ABSTRACT DISPUTE

Mar 13 03 06:48p

The JFD Group

9724061146

p.2

JAMES F. DUFFY

March 13, 2003

VIA FAX

Mr. Dave Clough
Sasaki Associates, Inc.
64 Pleasant Street
Watertown, MA 02172

Re: Addison Arts & Events District
Abstract Construction March 10 Letter

Dear Dave:

On March 10, 2003 Mr. Chris Robinson, Vice President of Abstract Construction wrote you a letter requesting your review of a dispute. His contract reference for his request was based on Paragraph 4.7.7 of the contract. I believe it is more correct to address this issue through the provisions of Paragraph 4.8.4 of the Supplementary General Conditions. Regardless, the purpose of my letter is to share my reasoning for rejecting Abstract's claim for certain costs.

Paragraph 7.3.6.5 of the General Conditions is not cited completely correctly in Mr. Robinson's letter by stating "additional cost for supervision and field personnel directly attributable to the change" will be compensated. My evaluation was based on the full language of "additional cost of supervision and field office personnel directly attributable to the change" (emphasis added).

A key phrase in my evaluation is "directly attributable to the change". In evaluating Abstract's proposals PR004 and PR005 I deleted the money added to the subcontractor's quote, identified as self-performed work. Backup information submitted with the quote indicated the self-performed work to be time and labor burden for the project manager and superintendent.

The work in the proposals was subcontractor work involving modification of existing scope. It involved no new work by Abstract forces and no additional supervision by the full-time, on site superintendent. I therefore rejected the additional charge for superintendent time. In a subsequent telephone conversation even Mr. Robinson acknowledged the added superintendent time probably wasn't justified.

I rejected the project manager time and burden because the project manager is not field office based. As a home office based member of their team, the project manager is covered by the 5% markup allowed under the contract for "overhead and profit for extra work performed by a Subcontractor and supervised by (Abstract)".

In his capacity as a home office based employee the project manager is covered by the markup, just like people in accounting or estimating who may perform duties related to this project.

Mar 13 03 06:48p

The JFD Group

9724061146

p.3

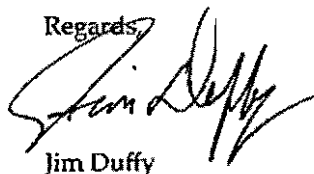
- 2 -

March 13, 2003

Abstract has internally decided to charge the project manager as "Direct Job Cost" and that is an acceptable practice, but it is Abstract's decision as a company. The Town should not be expected to pay extra costs because of their policy. Other companies do not follow the same practice. They carry the project manager cost as part of their markup or have estimators handle such things as pricing changes, handling submittals, shop drawings, etc.

I look forward to receiving your decision on this matter. Please feel free to contact me if you have questions on any of the above.

Regards,



Jim Duffy

cc: Chris Robinson
Carmen Moran
Steve Chutchian
Slade Strickland

Steve Chutchian

To: Jim Pierce; Michael Murphy
Subject: FW: Trench Drain

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Wednesday, March 12, 2003 7:22 AM
To: schutchian@ci.addison.tx.us
Cc: Dave Clough
Subject: Re: Trench Drain

Steve,

The trench drain is an 8" drain and connected to an 8" pipe. That is the same size as the cleanouts on one end of the retention fields. Since the retention cleanouts were designed to be serviced by the VAC truck, I assume it can access this location after removing the grate.

Let me know if you want further evaluation.

Jim

On Wednesday, March 12, 2003, at 04:52 PM, schutchian@ci.addison.tx.us wrote:

> Jim - Our staff discussed the design backwater affect in manhole #4 on
> the
> Arts & Events Site with Sasaki. Apparently, we are going to need to
> access
> the upstream trench drain (near the stage) for routine maintenance
> with our
> VAC Truck. Can you look at the design of the proposed trench drain,
> and
> determine what size is needed to accommodate our VAC Truck. This will
> allow
> our field crew to clean out the line periodically. Thanks.
>
> Steve C.
>

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Wednesday, March 12, 2003 6:01 AM
To: Carmen Moran; Steve Chutchian; Stade Strickland; Lynn Chandler
Cc: Tom Dohearty; Harold Casler
Subject: Pavilion BuildingProgress meetings

At the pre-construction meeting yesterday on the Arts District Pavilion project we discussed doing the Pavilion Building progress meetings with Big Sky Construction immediately following the Arts District meeting with Abstract. That means we would meet every other Wednesday afternoon at approximately 2:30 p.m., beginning next Wednesday, March 19.

Would you please let me know if this schedule creates a problem for you or any of your staff who would regularly attend these meetings?

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

To: jfdgroup@flash.net
Subject: Trench Drain

Jim - Our staff discussed the design backwater affect in manhole #4 on the Arts & Events Site with Sasaki. Apparently, we are going to need to access the upstream trench drain (near the stage) for routine maintenance with our VAC Truck. Can you look at the design of the proposed trench drain, and determine what size is needed to accommodate our VAC Truck. This will allow our field crew to clean out the line periodically. Thanks.

Steve C.

MAR-11-2003 TUE 04:57 PM ABSTRACT CONST

FAX NO. 469 385 9753

P. 02/02



ABSTRACT CONSTRUCTION

March 10, 2003

Mr. Dave Clough
SASAKI ASSOCIATES, INC.
64 Pleasant Street
Watertown, Massachusetts 02172

Dear Dave:

In accordance with the Contract paragraph 4.7.7 we provide this notification of a dispute regarding change orders. The clause for Construction Change Directives section 7.3.6.5 states that "additional cost of supervision and field personnel directly attributable to the change" will be compensated. Based upon this clause, our Proposal Request includes time for the Superintendent and the Project Manager. The Proposal Request as submitted was denied. The time for the Superintendent and the Project Manager was deleted contrary to the Contract.

The reason given for deleting the Project Manager's time was that he is considered Overhead. This is not the case. The Project Manager's time is a Direct Job Cost. Accordingly, per the Contract Abstract is entitled to charge for Superintendent and Project Manager time. We request your review and confirmation of this interpretation of the Contract.

Thank you, for your time and consideration of this matter.

Sincerely,

Chris Robinson

Vice President

cc. Jim Duffy
Carmen Moran
Steve Chuchian
Slade Strickland

File-Correspondence with the City

MAR-11-2003 TUE 04:57 PM ABSTRACT CONST

FAX NO. 469 385 9753

P. 01/02



Abstract
General Contractor
Construction Manager

FACSIMILE TRANSMITTAL SHEET

TO:	Steve Chutchian	FROM:	Chris Robinson
COMPANY:	Town of Addison	DATE:	3/11/03
FAX NUMBER:	972-450-2837	SENDER'S FAX NUMBER:	469-385-9753
PHONE NUMBER:	972-450-2886	SENDER'S PHONE NUMBER:	469-385-9723
RE:	Addison Arts & Events	TOTAL NO. OF PAGES INCLUDING COVER:	2

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

Steve Chutchian

To: Dave Wilde
Cc: Jim Pierce
Subject: RE: Channel drainage

Dave - I think it is obvious that certain individuals are not receptive to our staff addressing any construction issues at the site. It is very disappointing. You are doing a great job of observing conditions. Keep an eye out anyway.

Steve C.

-----Original Message-----

From: Dave Wilde
Sent: Tuesday, March 11, 2003 4:42 PM
To: Jim Pierce; Steve Chutchian
Subject: FW: Channel drainage

There's my answer.

Dave Wilde
Public Works Inspector
Town of Addison
PH: 972-450-2847

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Tuesday, March 11, 2003 10:11 AM
To: dwilde@ci.addison.tx.us
Cc: lfolse@ci.addison.tx.us
Subject: Re: Channel drainage

Dave,

I met today with Bruce Ellis and the fountain installers regarding this condition. We decided to leave it as installed. I'll be happy to go over it with you in detail if you like or you can talk to Bruce.

Jim

On Tuesday, March 11, 2003, at 09:50 PM, dwilde@ci.addison.tx.us wrote:

> Les,
>
> I just came from the site, and I asked one of the employees of the
> Georgia
> Fountain about the high pipe penetrating the wall of the channel (see
> attached pictures), and he told me that they were overflow drains that
> would
> be open (not capped). I asked him about pea traps, and he said I
> would have
> to ask one of the plumbers. So apparently they are not capped
> cleanouts as
> we discussed this morning. My question then is still, "How do we keep
> sewer
> gasses from venting through these overflow drains at the surface of the
> channel water?" These pipes (especially the south end of the channel)
> are
> at the high end of the sanitary sewer, so the methane type "lighter
> than
> air" gasses will be seeking an outlet.
>
> <<Channel drain to san N end 030703.jpg>> <<Cahnnel san connection N
> end

> 030703.jpg>> <<Channel drain to san S end 030703.jpg>>
>
> Dave Wilde
> Public Works Inspector
> Town of Addison
> PH: 972-450-2847
>
> <Channel drain to san N end 030703.jpg><Cahnnel san connection N end
> 030703.jpg><Channel drain to san S end 030703.jpg>

Steve Chutchian

To: Dave Wilde
Subject: RE: Event site drainage

Dave - After construction is completed, I think it is a good idea to contact Neil G. about potential odor/mosquito problems. He may have to treat the area on occasion. Regarding the design, the Project Manager directed the contractor to construct the system according to plans. After further discussion with Mike, it is understood that J. Duffy is the responsible individual in charge of the project, he is aware of the situation, and his direction has been expressed to the contractor. Accordingly, this correspondence will be placed in our file for record purposes. Your attention to this situation is appreciated.

Steve C.

-----Original Message-----

From: Dave Wilde
Sent: Monday, March 10, 2003 3:50 PM
To: Steve Chutchian
Subject: Event site drainage

FYI. On or about 03/03/03 Garth w/Abstract told me that there would be some drain lines that would hold water. I asked him to check with Mr. Duffy if that was right, because I didn't think we wanted standing water in our RCP drain pipes. He said he would check it out. On Friday 03/07/03 I heard him tell the subcontractor's surveyor to lay it out according to plan. Today, the contractor's superintendent asked me about it and I told him to follow the directions he got from Abstract. This afternoon Garth told me he found out from Mr. Duffy on Friday to build it according to plan, and that the line from the stage vault entrance grate inlet to DMH 4A would be holding 4" of water, and that it would get deeper as it goes toward DMH 4, because the flow line into DMH 4 is 1.11 feet lower than the outlet from DMH 4 to DMH 5. There is also a situation at Retention Field 1 where the flow line out is at 631.5, and the flow line into the field is at 630.51. The inverts of Area Drains 1 and 2 are 630.86 and 630.87 respectively. That means there will be approx. 8" of water in those area drains constantly.(the difference from the outlet of the retention field and the outlets of the area drains.) Apparently the theory is that at least in the retention field, the water will eventually seep out of the perforations into the fractured rock and drain out. I don't know what will happen to the water held in the RCP from the Stage vault or to the RF 1. Do we need to let Neil in Environmental Health know about the potential mosquito breeding that will most likely occur in these retention fields and pipes? Maybe he can have these areas treated on a regular basis to minimize that potential problem.

Dave Wilde
Public Works Inspector
Town of Addison
PH: 972-450-2847

Steve Chutchian

From: Craig Gaussiran [craigg@abstractmail.com]
Sent: Thursday, March 06, 2003 6:28 PM
To: Jim Duffy
Cc: Carmen Moran; Steve Chutchian; Slade Strickland
Subject: RE: Schedule update

Jim,

The schedule that we gave to you was in fact the identical schedule as the first suretrak schedule. However this was not done intentionally, this was a result of e-mail confusion between Garth and myself and we apologize for that.

We previously submitted an updated schedule, as per the original format of Microsoft Projects that was included in the bid documents and the weekly meetings. This was rejected because it was not in SureTrak form. Per your request I had Garth update the schedule in SureTrak.

As you well know schedules are crucial to any construction project especially one of this nature. We are constantly updating the schedule and changing the flow of the job to accommodate for the delay of the pole removal.

We have never submitted a schedule to be "eye wash" or a marketing tool, we use the schedule as it is intended.

As I am out of the office in the morning I will have the SureTrak schedule to you by noon on Friday.

Craig A. Gaussiran
Project Manager
Abstract Construction Company

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Wednesday, March 05, 2003 9:37 AM
To: Craig Gaussiran
Cc: Carmen Moran; Steve Chutchian; Slade Strickland
Subject: Schedule update

Craig,

The schedule "update" you provided for me today is identical to the original schedule provided to us. It does not reflect any progress or lack of progress in any activity. It uses the same data date as the original run. It is not an update and therefore does not give either of us a true picture as to where the project is in relation to its scheduled completion.

Under the contract, Abstract is obligated to provide monthly schedule updates. I have been patient in allowing you to get your feet on the ground and get your schedule update process worked out. My patience has not paid off if today's "update" is reflective of Abstract's use of their scheduling system.

I do not consider the schedule or updates to be "eye wash" to meet a contract requirement or a simply a marketing piece. It is an integral tool in successfully completing this project and should be used as such.

Please provide me a true and accurate update of the Addison Arts & Events District schedule no later than 5 p.m. Monday, March 10, 2003.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

March 4, 2003

VIA HAND DELIVERY

Mr. Robert C. Long
President
Big Sky Construction Co., Inc.
2611 N. Beltline Rd.
Sunnyvale, Texas 75182

Re: NOTICE TO PROCEED- BID NO. 03-07 Addison Arts District Pavilion

Dear Mr. Long:

This document shall serve as your Notice to Proceed for the above referenced Project, and is issued and effective March 4, 2003 to provide all labor and materials as outlined in the specifications, and under the terms and conditions of the contract documents.

Enclosed please find four completed copies of the contract to be signed by an authorized officer or principal of your firm. Please send the signed contracts along with the necessary insurance certificates, Payment Bond, Performance Bond, and Maintenance Bonds to Purchasing Office before the commencement date. Please also note that work may not begin until all of these documents are received in the Purchasing office at 5350 Belt Line Road.

The proposed improvements and work shall be completed within one hundred ninety-six (196) calendar days following the date of commencement of the work, with the original contract price of \$847,900.00. The date of commencement of the work is March 14, 2003 (the tenth day after the date of the issuance of this Notice to Proceed). Please include the Project name and Bid No. 03-07 on all monthly invoices or other correspondence to the Town of Addison.

Should you have any questions, please contact my office at 972-450-7091.

Sincerely,

Minok Suh
Purchasing Coordinator

Cc: Carmen Moran, Director of Development Services
Chris Terry, Assistant City Manager
Mike Murphy, Director of Public Works
Bryan Langley, Assistant Director of Finance
Steve Chutchian, Assistant City Engineer
Jim Duffy, Construction Manager
Jennie Eastman, Budget and Procurement Manager

Steve Chutchian

From: Minok Suh
Sent: Monday, March 03, 2003 5:16 PM
To: Carmen Moran
Cc: Chris Terry; Michael Murphy; Bryan Langley; Steve Chutchian; Jim Duffy (E-mail); Jennie Eastman
Subject: Notice to Proceed

Carmen,
Here is a copy of the Notice to Proceed letter to Big Sky Construction Co for the Addison Arts District Pavilion. I will send over the original to give to the contractors with Bryan. Please let me know if you have any questions.

Thanks
Minok



Proceed Letter.doc

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Wednesday, March 05, 2003 9:37 AM
To: Craig Gaussiran
Cc: Carmen Moran; Steve Chutchian; Slade Strickland
Subject: Schedule update

Craig,

The schedule "update" you provided for me today is identical to the original schedule provided to us. It does not reflect any progress or lack of progress in any activity. It uses the same data date as the original run. It is not an update and therefore does not give either of us a true picture as to where the project is in relation to its scheduled completion.

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Please provide me a true and accurate update of the Addison Arts & Events District schedule no later than 5 p.m. Monday, March 10, 2003.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Friday, February 21, 2003 6:52 AM
To: Craig Gaussiran
Cc: Carmen Moran; Steve Chutchian
Subject: Fwd: ADA Drain Inlet

Craig,

At the last progress meeting Carmen asked a question about the ADA requirements related to the alternate drainage grates we are planning to use. I raised the question with the architect and he determined we do not have that concern except for grates in traffic areas.

Below is the result of those conversations. Will you please contact CalHar and share this information to be sure we get the right grate?

Jim

Begin forwarded message:

From: dclough@sasaki.com
Date: Fri Feb 21, 2003 6:18:02 PM Europe/London
To: jfdgroup@flash.net
Cc: tchang@sasaki.com
Subject: ADA Drain Inlet

Jim,

I talked to East Jordan Iron Works, suppliers of the alternate frames and grates that we thought were acceptable. They sent me drawings for the few castings they have that meet the ADA req't. that openings be no larger than 1/2". I'm attaching the files for the one frame & grate that I think works with our area drain structure. We only need one ADA spec. grate, for R17, which is in pavement near the smallest water garden channel (SE corner of site). The open area for the grate is not given, but the drainage area for this structure is very limited so I don't think it's critical. There is also another area drain to the southwest of it, about 35' away. Since this casting is square, it should be oriented parallel to the edge of channel/edge of pavement.

2/21/2003

Let me know if there are any questions.

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Tuesday, February 18, 2003 11:13 AM
To: Dave Clough
Cc: Steve Chutchian; Carmen Moran
Subject: grates

Dave,

Hope you're thawed out!

I also hope you have received the copy I sent last week of the site utilities re-submittal. If so please look at it and look at the alternate round frame and grate submittals. I did not review them at the time because they submitted what you specified in your January 23, 2003 transmittal.

I got a cost proposal from those changes in the January 23 transmittal and in analyzing the numbers with the contractor discovered a couple of problems. First, the Neenah frames and grates are three times as expensive as the proposed Vulcan substitutions. Additionally, the lead time is much greater and will require us to leave the catch basins open extra weeks.

My review of the alternates was limited to the open area comparisons. In both cases, the Vulcan grates have greater free area than the specified Neenah.

If we can change to the Vulcan f&g from the Neenah we can save both time and money. I need an immediate response on this question because the Neenah have already been ordered and I don't know if we are still in the cancellation window.

Please let me know as quickly as you can.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229
(Phone) 469-385-9723
(Fax) 469-385-9753



OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Minutes of Meeting No. 5

January 22, 2003, Wednesday

1:30 PM

Meeting Addison Arts and Events District Jobsite
Location: 15440 Addison Road

Page: Cover Sheet
Project No.: G02068E
Project: Addison Arts & Events District

Here Y/N	Initials	Attendee Name	Company Represented
Y	CAG	Craig Gaussiran	Abstract Construction Company
Y		Garth Rogers	Abstract Construction Company
Y		Jim Duffy	JFD Group
Y		Slade Strickland	Town of Addison
Y		Luke Jalbert	Town of Addison
N		Steve Chutchian	Town of Addison
N		Ron Lee	Town of Addison
Y		Dave Wilde	Town of Addison
Y		Carmen Moran	Town of Addison
N		Jim Pierce	Town of Addison

The attached minutes reflect the author's interpretation of what was discussed, determined or occurred at the above referenced meeting. If any attendee feels there has been a discrepancy or error in documenting the discussions, please notify the author in writing with in 5 days of receipt of these minutes. Otherwise these minutes will be deemed to be accurate and accepted as written by all parties in attendance.

The Next meeting will be held at the following location, date and time:

Location: Addison Arts and Events District Jobsite
15440 Addison Road

Date: Wednesday, February 12, 2003
Time: 1:30 PM

Prepared By: Abstract Construction Company

Signed: _____
Craig A. Gaussiran

Dated: _____

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 6

Page No.: 1

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
----------	-------------	--------	--------	-----	--------------------	--------

01 - Field Progress Report

3		Open	01/15/03		Town of Addison	
Oncor is to cap the gas line in 1 week 1-29-03 and will energize the new line and start removing poles in a week and a half 1-31-03.						

4		Open	01/15/03		Town of Addison	
Transformer and switch is to be set on 1-30-03. Gas line to be capped and completed by 2-5-03?						

*STORM
DRAW
CONSTR. ON
FESTIVAL WAY
ON HOLD DUE
TO EXISTING
POWER POLES*

07 - RFI's and Architect's Supplemental Instructions

1		Open	01/06/03			
RFI log is attached for review.						

08 - Submittals

1		Open	01/06/03			
Submittal Log attached for review.						

10 - Safety

1		Open	01/06/03			
---	--	------	----------	--	--	--

12 - Miscellaneous Issues

1		Closed	01/22/03			02/05/03
Fiber Optics by trees along Addison Circle. Abstract will contact AT & T prior to demo work and have him determine the location of the fiber. Damage to fiber is a major concern.						

4		Closed	01/29/03			02/10/03
Funding is pending.						

14 - Delays

1		Open	01/29/03		Town of Addison	
→ Completion of the Utility work is being delayed by Oncor not completing capping off the gas and relocating the power poles.						

15 - New Business

		Open	02/05/03			
AT&T is to tech Monday and should be a two day job. Poles are to be removed by the end of next week (2-14-03)						

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 6

Page No.: 2

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
		Open	02/05/03			
	Two approaches that are not shown on the demo plan are to remain and will be removed during road expansion.					
		Open	02/05/03			
	Jim Duffy has requested the SF of reinforced earth.					
		Open	02/05/03			
	The Architect wants to consider using a 1/4". The concrete subcontractor will also check into the availability.					
1		Open	01/29/03			
	Move waterline to the east and demo tree if need be.					
2		Closed	01/29/03			02/05/03
	Removal of Cedar tree that was previously tagged to be saved has been approved.					
3		Open	01/29/03			
	Expansion joints in the paving is to be every 200 feet and at intersections.					
4		Open	01/29/03		Abstract Construction	
	Town of Addison is to determine if the center stripe is needed/required.					
5		Closed	01/29/03			02/05/03
	Jim Duffy requested an updated sublist. This will be distributed at the next weekly meeting.					
6		Closed	01/29/03			02/05/03
	Progress photos are to be issued at the end of every month, via e-mail.					
7		Closed	01/29/03			02/07/03
	Riddle Electric is to contact Jim Duffy to discuss the loads for future users of the space.					
8		Open	01/29/03			
	Get layout of equipment in the fountain vault to Jim Duffy.					

STATUS

**A - AWAITING RESPONSE
R - RESPONSE RECEIVED**

RFI LISTING

Project: 2068 - Addison Arts & Events District

Date: 2/12/03

Page No: 1

RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent Sent To	Date Due	Date Returned	Status	Days Late	Reference Remarks
001	Cal Har	Request for CAD disk for Site Utilities	12/17/02 JFD Group	12/17/02	12/19/02	R	2	
02605								
002	Strand & Associates, LLC.	Exposed Aggregate	12/18/02 JFD Group	12/20/02	12/19/02	R		
03000								
003		Bituminous Pavers	01/06/03 JFD Group	01/06/03	01/07/03	R	1	
004		Concrete Sealer	01/06/03 JFD Group	01/06/03	01/06/03	R		
07100								
005	CalHar Construction, Inc.	Clarification of Manhole Covers	01/10/03 JFD Group	01/13/03	01/10/03	R		
02605								
006	CalHar Construction, Inc.	Field layout verification	01/14/03 JFD Group	01/17/03	01/17/03	R		
007	CalHar Construction, Inc.	Post Hydrant Product Data for Approval	01/17/03 JFD Group	01/17/03	01/17/03	R		
02645								
008	CalHar Construction, Inc.	Request for Area Drain Casting Clarification	01/17/03 Town of Addison c/o JFD Group	01/17/03	01/28/03	R	11	
02605								
009	CalHar Construction, Inc.	Request for Oil/Trap Catch Basin & Retention Manhole Casting Clarification	01/17/03 JFD Group	01/17/03	01/20/03	R	3	
02605								
010	CalHar Construction, Inc.	Onsite crushed limestone in lieu of Select	01/20/03 JFD Group	01/20/03	01/20/03	R		
02220								
011	Riddle Electric Company	Light pole banners	01/20/03 JFD Group	01/23/03	01/21/03	R		
16501								
012	CalHar Construction, Inc.	Revised submittal data for underdrain piping and Kiosk Drainage	01/28/03 JFD Group	01/31/03	01/30/03	R		
02600								
013	CalHar Construction, Inc.	Revised submittal data for underdrain piping and Kiosk Drainage	01/29/03 JFD Group	02/01/03	02/03/03	R	2	
02600								



STATUS

A - AWAITING RESPONSE
R - RESPONSE RECEIVED

RFI LISTING

Project: 2068 - Addison Arts & Events District

Date: 2/12/03

Page No: 2



RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent		Date Due	Date Returned	Status	Days Late	Reference Remarks
			Sent To						
014 02600	CallHar Construction, Inc.	Request Clarification on Valve box lid specifications.	01/29/03	Town of Addison c/o JFD Group	02/03/03	02/03/03	R		
015 01330	Abstract Construction Company	Coordinates at 10313	02/03/03	Town of Addison c/o JFD Group	02/08/03	02/03/03	R		
016 03000	Strand & Associates, LLC.	Concrete elevations	02/03/03	Town of Addison c/o JFD Group	02/08/03	02/04/03	R		
017 03000	Strand & Associates, LLC.	Concrete Mix design	02/04/03	Town of Addison c/o JFD Group	02/09/03	02/05/03	R		

AP - Approved or Reviewed
 AN - Approved as Noted
 NS - Not Submitted

NR - No Response Required
 RR - Revise and Resubmit
 SU - Submitted to A/E

SUBMITTAL LISTING
BY SPEC SECTION

Abstract
 Date: 02/12/03
 Page: 2

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02752-003	02752 - 1.07										NS	

Shop Drawing

02752-004	02752 - 1.07	Strand & Associates, LLC.	01/20/03	02/07/03	02/10/03	02/20/03					SU	2
-----------	--------------	---------------------------	----------	----------	----------	----------	--	--	--	--	----	---

02/10/03 Sieve Analysis on Sienna A-B and Texas Black A-B as per Cactus Canyon
 Source : Cactus Canyon
 Color : Sienna and Texas Black
 Gradation: A - B

02752-001R1	02752 - 1.07	Strand & Associates, LLC.	01/15/03	01/15/03	02/12/03	02/22/03					SU	0
02752-005R1	02752 - 1.07	Strand & Associates, LLC.	01/15/03	01/15/03	02/12/03	02/22/03					SU	0

01/15/03 Tan Aggregate Sample

02772 CONCRETE CURB AND GUTTER

02772-001	02772 - 1.06	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03	01/20/03	01/20/03	01/20/03		RR	6
02772-002	02772 - 1.06	Mix Designs									NS	
02772-003	02772 - 1.06	Manufacturer's Product Data									NS	

Shop Drawings

02784 STONE PAVERS

02784-001	02784 - 1.04										NS	
02784-002	02784 - 1.04										NS	
02784-003	02784 - 1.04	Manufacturer's Product Data									NS	
02784-004	02784 - 1.04	Shop Drawings									NS	
		Contractors Review									NS	

Samples

Manufacturer's Product Data

Shop Drawings

Contractors Review

AP - Approved or Reviewed
 AN - Approved as Noted
 NS - Not Submitted

NR - No Response Required
 RR - Revise and Resubmit
 SU - Submitted to A/E

SUBMITTAL LISTING
BY SPEC SECTION

Abstract
 Date: 02/12/03
 Page: 3

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02784-005	02784 - 1.04										NS	

Test Reports

02785 GRANITE PAVERS

02785-001 02785 - 1.04
 Samples

02785-002 02785 - 1.04

Manufacturer's Product Data

02785-003 02785 - 1.04

Shop Drawings

02785-004 02785 - 1.04

Contractors Review

02785-005 02785 - 1.04

Test Report

02786 SLATE PAVING TILE

02786-001 02786 - 1.04

Manufacturer's Product Data

02786-002 02786 - 1.04

Samples

02810 IRRIGATION SYSTEM

02810-001 02810 -

02815 FOUNTAINS

02815-001 02815 -

01/03/03 Greenscape Pump Service, Inc. 01/03/03 01/06/03 01/13/03 01/10/03 01/10/03 01/10/03 69 RR 4

02815-002 02815 -

01/06/03 Georgia Fountain Company, Inc. 01/06/03 01/06/03 01/12/03 01/10/03 01/10/03 01/10/03 AP 4

02815-001A 02815 -

01/06/03 Fountain Shop Drawings 01/16/03 01/16/03 01/23/03 01/20/03 01/20/03 01/20/03 59 AN 4

01/03/03 Product Data - Exhaust Fan Resubmittal

AP - Approved or Reviewed
 AN - Approved as Noted
 NS - Not Submitted

NR - No Response Required
 RR - Revise and Resubmit
 SU - Submitted to A/E

**SUBMITTAL LISTING
 BY SPEC SECTION**

Abstract
 Date: 02/12/03
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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02816 DRINKING FOUNTAINS												
02816-001	02816 - 1.04										NS	

Shop Drawings

02824 ORNAMENTAL METAL FENCE AND GATE												
02824-001	02824 - 1.04										NS	

Shop drawings

02824	02824 - 1.04										NS	
02824-002	02824 - 1.04										NS	

Samples

02838 STONE WALL												
02838-001	02838 -										NS	

02870 SITE FURNISHINGS												
02870-001	02870 - 1.04	Victor Stanley, Inc.	02/11/03	02/11/03	02/11/03	02/21/03			05/12/03	80	SU	1

02/11/03 Shop Drawings - Trash Receptacle
 Color is Black

02870-002	02870 - 1.04	Victor Stanley, Inc.	02/11/03	02/11/03	02/11/03	02/21/03			05/12/03	80	SU	1
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02/11/03 Shop Drawings - Bench
 *** Color is Black***

03100 CONCRETE FORMS AND ACCESSORIES												
03100-001	03100 - 1.04										NS	

Samples

03100-002	03100 - 1.04										NS	
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Product Data

03200 CONCRETE REINFORCEMENT												
03200-001	03200 - 1.05	Sirand & Associates, LLC.	01/31/03	01/31/03	01/31/03	02/15/03	02/05/03	02/05/03			AN	5

01/31/03 Shop drawings

AP - Approved or Reviewed
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03200-002	03200 - 1.05										NS	

Certified Copy of Mill Test of reinforcing steel

03300 CAST IN PLACE CONCRETE

03300-001	03300 - 1.04	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03	01/20/03	01/20/03			RR	6
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01/14/03 Mix Designs

03300-002	03300 - 1.04	Strand & Associates, LLC.	01/27/03	01/27/03	01/27/03	01/27/03	02/05/03	02/05/03	02/01/03	-4	RR	9
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01/27/03 Manufacturer's Product Data / Concrete Accessories
 Cork Expansion Material

03300-003	03300 - 1.04										NS	
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Schedule for Execution of Concrete Work

03300-004	03300 - 1.04										NS	
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Shop Drawings of Structural Concrete Items

03300-001R1	03300 - 1.04	Strand & Associates, LLC.	01/14/03	01/28/03	02/04/03	02/14/03	2/10	02/10/03			AP	8
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02/04/03 Mix Designs - Exposed Aggregate Paving
 02/04/03 Mix Designs - Slabs and Walls

03300-005	03300 - 1.04	Strand & Associates, LLC.	01/27/03	02/04/03	02/05/03	02/15/03	02/10/03	02/10/03	02/01/03	-9	AP	5
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02/05/03 Manufacturer's Product Data / Concrete Accessories - Waterstop
 02/05/03 Sample Waterstop

03300-006	03300 - 1.04	Strand & Associates, LLC.	01/27/03	02/05/03	02/06/03	02/16/03			02/01/03	-15	AN	6
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02/06/03 Cork Expansion Material - Sample

03300-002R1	03300 - 1.04	Strand & Associates, LLC.	02/10/03	02/10/03	02/12/03	02/22/03			02/17/03	-5	SU	0
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01/27/03 Manufacturer's Product Data / Curing Compound

03450 ARCHITECTURAL PRECAST CONCRETE

03450-001	03450 - 1.04										NS	
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Product Data

03450-002	03450 - 1.04										NS	
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Shop Drawings

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SUBMITTAL LISTING
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03450-003	03450 - 1.04										NS	
Calculations												
03450-004	03450 - 1.04										NS	
Initial Selection Samples												
03450-005	03450 - 1.04										NS	
Verification Samples												
03450-006	03450 - 1.04										NS	
Test Reports												
04200 BRICK MASONRY												
04200-001	04200 - 1.06										NS	
Samples												
04200-002	04200 - 1.06										NS	
Product Data												
04270 GLASS UNIT MASONRY												
04270-001	04270 - 1.04										NS	
Product Data												
04270-02	04270 - 1.04										NS	
Samples												
04430 QUARRIED STONE												
04430-001	04430 - 1.05										NS	
Samples												
04430-002	04430 - 1.05										NS	
manufacturer's Product Data												
04430-003	04430 - 1.05										NS	
Shop Drawings												
04430-004	04430 - 1.05										NS	
Test Reports												

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SUBMITTAL LISTING
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Project: 2068 - Addison Arts & Events District

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04430-005	04430 - 1.05										NS	

Contractors Review

05120 STRUCTURAL STEEL

05120-001	05120 - 1.04										NS	
05120-002	05120 - 1.04										NS	

Product Data

Shop Drawings

05500 METAL FABRICATIONS

05500-001	05500 - 1.04	Johnston Products of Dallas, Inc.	01/28/03	01/28/03	01/28/03	01/28/03	01/28/03	01/28/03			SU	
05500-002	05500 - 1.04										NS	

01/28/03 Shop Drawings

Product Data

Calculations

Welders Certification

05530 METAL GRATING

05530-001	05530 - 1.04										NS	
05530-002	05530 - 1.04										NS	

Product Data

Shop Drawings

05700 ORNAMENTAL METAL

05700-001	05700 - 1.06										NS	
05700-002	05700 - 1.06										NS	

Product Data

Shop Drawings

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**SUBMITTAL LISTING
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05700-003	05700 - 1.06										NS	
Field Measurements												
05700-004	05700 - 1.06										NS	
calculations												
05700-005	05700 - 1.06										NS	
Verification Samples												
07110 BITUMINOUS DAMPROOFING												
07110-001	07110 - 1.04										NS	
Product Data												
07110-002	07110 - 1.04										NS	
Certification												
07135 SHEET MEMBRANE WATERPROOFING												
07135-001	07135 - 1.04										NS	
Product Data												
07135-002	07135 - 1.04										NS	
Samples												
07135-003	07135 - 1.04										NS	
Manufacturer's Review												
07135-004	07135 - 1.04										NS	
substrate acceptability												
07135-005	07135 - 1.04										NS	
Statement of Supervision												
07135-006	07135 - 1.04										NS	
Certification												
07900 JOINT SEALERS												
07900-001	07900 - 1.04										NS	
Product Data												

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07900-002	07900 - 1.04										NS	

Initial Selection Samples

07900-003	07900 - 1.04										NS	
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Test Reports

08110 STEEL DOORS AND FRAMES

08110-001	08110 - 1.05										NS	
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Shop Drawings

08110-002	08110 - 1.05										NS	
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Product Data

09900 PAINTING

09900-001	09900 - 1.04										NS	
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Product Data

09900-002	09900 - 1.04										NS	
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Initial Color Selection Samples

09900-003	09900 - 1.04										NS	
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Verification Samples

10210 METAL WALL LOUVERS

12010-001	10210 - 1.04										NS	
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Shop Drawings

12010-002	10210 - 1.04										NS	
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Manufacturer's Literature

15010 GENERAL REQUIREMENTS FOR MECHANICAL

15010-001	15010 - 1.5										NS	
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Product Data

15010-002	15010 - 1.5										NS	
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Manufacturer's Specifications

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Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
15010-003	15010-1.5										NS	

Manufacturer's Specifications

16010 GENERAL REQUIREMENTS FOR ELECTRICAL WORK

16010-001	16010-1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
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02/07/03 Service Entrance Equipment

16010-002	16010-1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
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02/07/03 Panel Boards

16010-003	16010-1.06										NS	
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Raceways

16010-004	16010-1.06										NS	
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Wiring

16010-005	16010-1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
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02/07/03 Wiring Devices

16010-006	16010-1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
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02/07/03 Disconnect Switches

16010-007	16010-1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
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02/07/03 Camlocks

16010-008	16010-1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
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Lighting Controls

16010-009	16010-1.06	Riddle Electric Company	02/05/03	02/07/03	02/10/03	02/20/03					SU	2
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02/10/03 Fuses

16010-010	16010-1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
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02/07/03 Transformers

16010-011	16010-1.06										NS	
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Terminal Blocks

16010-012	16010-1.06										NS	
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Cabinets

AP - Approved or Reviewed
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SUBMITTAL LISTING
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16010-013	16010 - 1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
02/07/03 Lighting Fixtures												
16010-014	16010 - 1.06	Riddle Electric Company	01/29/03	02/05/03	02/07/03	02/17/03					SU	5
02/07/03 Boxes												

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Friday, February 07, 2003 10:21 AM
To: Craig Gaussiran
Cc: Steve Chutchian; Carmen Moran; Slade Strickland
Subject: Fountain dump line

Craig,

The 4" plaza fountain dump line that's shown on dwg. F2-2, item 62 under Piping that we discussed earlier this week, only goes from the vault to the lower pool for that fountain system. The storm drain connection indicated is wrong, so we do not need to connect it to the sanitary system. It is used as a make-up line when the pumps start up for the plaza fountain.

If you have any questions, let me know.

Jim Duffy

3887 Ridgelake Ct.

Addison, TX 75001

972.241.2816

972.406.1146 fax

972.998.5078 cell

2/10/2003

Steve Chutchian

From: dclough@sasaki.com
Sent: Thursday, February 06, 2003 12:13 PM
To: Jim Duffy
Cc: Carmen Moran; Craig Gaussiran; Steve Chutchian
Subject: Re: Plan corrections and adjustments

Jim,

The pedestrian light pole can be moved to the east to avoid a conflict with the new water line. Our intention was to align the poles with a paving panel joint, or center it on a joint, so it looks like it should move to the center of the panel directly to the east of the pole (by 2'-6" plus or minus).

Regarding DMH 8 & 9, you are right. The detail references were reversed, so you were correct in your direction to the contractor.

Dave

Jim Duffy

<jfdgroup@flash.net>

02/05/2003 04:51 PM

To: Dave Clough <dclough@sasaki.com>

cc: Carmen Moran <cmoran@ci.addison.tx.us>, Craig Gaussiran <craigg@abstractmail.com>, Steve

Chutchian <schutchian@ci.addison.tx.us>

Subject: Plan corrections and adjustments

Dave,

At today's progress meeting a couple of issues came up I need to share with you.

First, as you and I had talked about earlier, we are planning to move the 8" water line on the east side of the Pergola to avoid conflict with the power poles which are still on site. As it turns out, the new location conflicts directly with the first pedestrian light pole east of the Pergola along the winding sidewalk. We would like to move that light pole two feet east of its current location. Is this acceptable to you?

Second, it was pointed out that on sheet C3-2 in the retention field we are showing DMH 8 as an outlet manhole per detail 6/8-7 and DMH 9 as an inlet manhole per detail 5/8-7. In fact, they should be the reverse. DMH 8 should be an inlet manhole and DMH 9 should be an outlet manhole. Unfortunately, this error in the plans was not discovered until DMH 8 had already been poured.

I directed the contractor to tear out the DMH 8 already poured and correct the condition, reversing the detail references in the plans.

2/6/2003

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

2/6/2003

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Wednesday, February 05, 2003 3:52 PM
To: Dave Clough
Cc: Carmen Moran; Craig Gaussiran; Steve Chutchian
Subject: Plan corrections and adjustments

Dave,

At today's progress meeting a couple of issues came up I need to share with you.

First, as you and I had talked about earlier, we are planning to move the 8" water line on the east side of the Pergola to avoid conflict with the power poles which are still on site. As it turns out, the new location conflicts directly with the first pedestrian light pole east of the Pergola along the winding sidewalk. We would like to move that light pole two feet east of its current location. Is this acceptable to you?

Second, it was pointed out that on sheet C3-2 in the retention field we are showing DMH 8 as an outlet manhole per detail 6/8-7 and DMH 9 as in inlet manhole per detail 5/8-7. In fact, they should be the reverse. DMH 8 should be an inlet manhole and DMH 9 should be an outlet manhole. Unfortunately, this error in the plans was not discovered until DMH 8 had already been poured.

I directed the contractor to tear out the DMH 8 already poured and correct the condition, reversing the detail references in the plans.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Thursday, January 30, 2003 11:32 AM
To: Craig Gaussiran
Cc: Carmen Moran; Steve Chutchian; Dave Clough
Subject: Traffic markings for Festival Way

Craig,

The question was raised Tuesday regarding traffic markings for Festival Way. The Town would like the following markings in addition to what is already shown on the drawings.

A single center line stripe of a painted broken yellow line.

24" wide thermoplastic stop bar at each intersection--Addison Road and Quorum.

Let me know if you have questions.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Thursday, January 30, 2003 11:48 AM
To: Dave Clough
Cc: Carmen Moran; Steve Chutchian
Subject: New lighting

Dave,

This will confirm our earlier telephone conversation regarding new lighting on Addison Circle Drive and Festival Way.

Please prepare a Bulletin for issue to the contractor to accomplish the following:

Change the poles and fixtures currently called for on Addison Circle Drive and Festival Way to the pole and fixture submitted in your transmittal to the Town dated January 28, 2003. Add the same poles and fixtures along the south side of Festival Way where we currently have no lighting. All poles will have banner arms placed at the same height as the interior poles with banner arms.

You are also going to explore the feasibility of placing flood lights on the new poles on the south side of Festival Way which could be separately activated to provide lighting across the open property south of Festival Way when it is in use as a parking area.

Finally, you will produce a new photometric map of the site to include the above new fixtures.

Let me know if you have any questions.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Wednesday, January 29, 2003 1:10 PM
To: schutchian@ci.addison.tx.us
Cc: dclough@sasaki.com
Subject: Re: Fountain vault shower

Steve,

I raised this question with Dave Clough after my meeting with Dave Wilde yesterday. The plans do in fact address the expansion joints in Paving Note #4 on C8-3. Dave is already confirming with the engineer the 200' spacing indicated there.

Jim

On Wednesday, January 29, 2003, at 01:01 PM, schutchian@ci.addison.tx.us wrote:

Dave - our construction inspector, Dave Wilde, indicated that the plans and specs. do not include a "jointing" plan for the concrete pavement on Festival Way. Could you check this and determine if it is covered, or have your staff provide a plan for use on Festival Way. Thanks.

Steve Chutchian

-----Original Message-----

From: dclough@sasaki.com [mailto:dclough@sasaki.com]
Sent: Wednesday, January 29, 2003 12:35 PM
To: Jim Duffy
Cc: Carmen Moran; Craig Gaussiran; Slade Strickland; Steve Chutchian; sehamwey@sasaki.com; alward@sasaki.com
Subject: Re: Fountain vault shower

Jim,

The information that I passed on to you was from another fountain consultant who is designing a similar fountain system for

1/29/2003

us on another project. I want to review his description and understanding of what is required with Georgia Fountain before we proceed with any changes to our fountain vault. They are our consultants under contract with us for this project, so the direction should come from them. I will send them a letter today and ask for a response as soon as possible.

Dave

Slade,

The architect has determined through a consultant that OSHA does not require a shower in the fountain vault to deal with chemical spills. They do require an eye wash station and we have one. We do not need a letter from the Town on this issue.

However, we will have to create some kind of containment area under the chemical dispersing equipment in case of a spill. After Abstract provides shop drawings of the equipment layout and piping in the vault, Sasaki will design a curb area to contain any spills.

Jim Duffy

3887 Ridgelake Ct.

Addison, TX 75001

972.241.2816

972.406.1146 fax

972.998.5078 cell

1/29/2003

Steve Chutchian

From: Steve Chutchian
Sent: Wednesday, January 29, 2003 1:01 PM
To: 'dclough@sasaki.com'
Cc: 'jfdgroup@flash.net'
Subject: RE: Fountain vault shower

Dave - our construction inspector, Dave Wilde, indicated that the plans and specs. do not include a "jointing" plan for the concrete pavement on Festival Way. Could you check this and determine if it is covered, or have your staff provide a plan for use on Festival Way. Thanks.

Steve Chutchian

-----Original Message-----

From: dclough@sasaki.com [mailto:dclough@sasaki.com]
Sent: Wednesday, January 29, 2003 12:35 PM
To: Jim Duffy
Cc: Carmen Moran; Craig Gaussiran; Slade Strickland; Steve Chutchian; sehamwey@sasaki.com; alward@sasaki.com
Subject: Re: Fountain vault shower

Jim,

The information that I passed on to you was from another fountain consultant who is designing a similar fountain system for us on another project. I want to review his description and understanding of what is required with Georgia Fountain before we proceed with any changes to our fountain vault. They are our consultants under contract with us for this project, so the direction should come from them. I will send them a letter today and ask for a response as soon as possible.

Dave

Jim Duffy

<jfdgroup@flash.net>

01/24/2003 05:11 PM

To: Slade Strickland <slade@ci.addison.tx.us>

cc: Carmen Moran <cmoran@ci.addison.tx.us>, Steve Chutchian <schutchian@ci.addison.tx.us>, Da

Clough <dclough@sasaki.com>, Craig Gaussiran <craigg@abstractmail.com>

Subject: Fountain vault shower

Slade,

The architect has determined through a consultant that OSHA does not require a shower in the fountain vault to deal with chemical spills. They do require an eye wash station and we have one. We do not need a letter from the Town on this issue.

However, we will have to create some kind of containment area under the chemical dispersing equipment in case of a spill. After Abstract provides shop drawings of the equipment layout and piping in the vault,

1/29/2003

Sasaki will design a curb area to contain any spills.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816

972.406.1146 fax

972.998.5078 cell

Steve Chutchian

To: Jim Duffy
Subject: RE: French drain connection to sanitary

Jim:

The Town of Addison Public Works Department is aware that the Engineer, Sasaki & Associates, designed a french drain to drain from the proposed fountain vault to a nearby sanitary sewer system, as part of the Arts & Events District improvements. Our staff has stated on several occasions that we oppose this connection (connecting storm water to a sanitary sewer is not allowed by ordinance), and have offered several alternatives to you for draining this sub-surface stormwater. These alternatives suggested have been:

- a. Thickening up the vault floor to increase weight
- b. Extending footings to pick up additional weight from soils
- c. Drain the vault french drain to a storm sewer

We would also like to offer another alternative, which includes a drawing that we will submit to you at the weekly meeting today. This alternative allows the french drain to drain to the sump within the vault. The water could then be pumped to the storm sewer. Any of these alternatives would satisfy Public Works. The Contractor may have other acceptable ideas we have not thought of to date. Should you have any questions, please let us know.

Steve Chutchian
Jim Pierce

-----Original Message-----

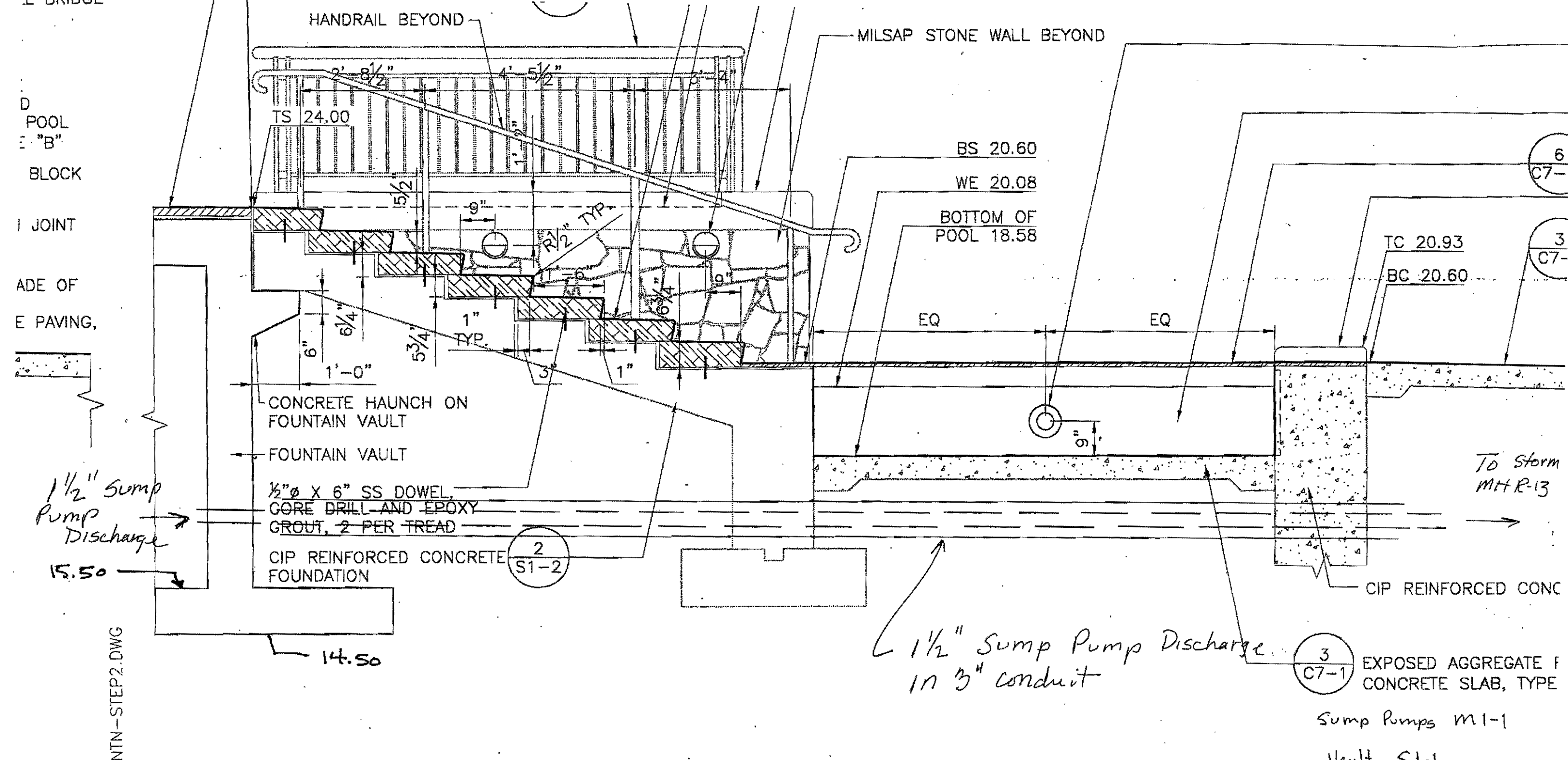
From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 24, 2003 4:04 PM
To: Steve Chutchian
Subject: French drain connection to sanitary

Steve,

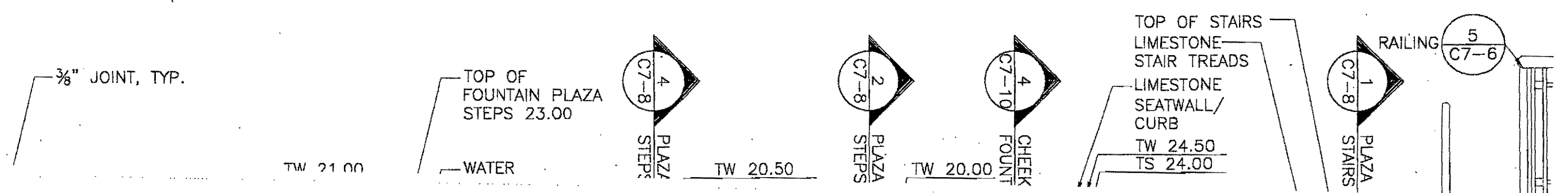
The mechanical engineer would like something from the Town indicating they are aware of the connection of the fountain vault french drain to the sanitary sewer. Will you please send me an email indicating your awareness of that connection so I can forward it on?

Thanks,

Jim



1 PLAZA FOUNTAIN STAIRS SECTION
 SCALE: 1/2" = 1' - 0"



Steve Chutchian

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Subject: RE: French drain connection to sanitary

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Steve Chutchian
Jim Pierce

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Thanks,

Jim

DRAFT

E-MAIL RESPONSE TO JIM DUFF:

(Connecting storm water to a sanitary sewer is not allowed by ordinance)

JIM -

THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT IS AWARE THAT THE ENGINEER, SASAKI ASSOCIATES, DESIGNED ~~A~~ A FRENCH DRAIN ^{TO DRAIN} FROM THE PROPOSED FOUNTAIN VAULT TO A NEARBY SANITARY SEWER SYSTEM, AS PART OF THE ARB & EVENTS ~~DISTRICT~~ DISTRICT IMPROVEMENTS. OUR STAFF HAS STATED ON SEVERAL OCCASIONS THAT WE ~~OPPOSE~~ ^{OPPOSE} THIS CONNECTION AND HAVE OFFERED SEVERAL ALTERNATIVES ^{FOR DRAINING} ~~FOR~~ THIS SUB-SURFACE STORM WATER.

Alternatives suggested have been:

- Thickening up the vault floor to increase weight
- Extending footings to pick up additional weight from soils
- Drain the vault french drain to a storm sewer.

We would also like to offer another alternative as shown on the attached sketch - this alternate allows the french drain to drain to the sump within the vault, the resulting water could then be pumped to the storm sewer.

Either one of these alternatives would satisfy Public Works. The contractor may have other acceptable ideas we have not thought of.

Please advise if you have any questions

YKT

Steve Chutchian

To: Jim Duffy
Cc: Michael Murphy; Jim Pierce
Subject: RE: Pavilion testing services

Jim - the testing requirements and selection of testing labs should be addressed by our building official. I talked with Lynn Chandler, Building Official, and he said that he will get quotes from three companies for the type of testing needed on this building project. He will get back with you within a week. Thanks.

Steve C.

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Monday, January 27, 2003 2:35 PM
To: Steve Chutchian
Cc: Carmen Moran
Subject: Pavilion testing services

Steve,

For the construction of the Pavilion building, the testing lab will work for the Town. Will you please get proposals for testing services from the firm's you prefer and let me know who we want to use? The requirements are shown in the plans and specs.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

**facsimile**

date January 27, 2003

to Jim Duffy
Cc: Ting Chang

company Town of Addison

facsimile no. 972 406-1146 **phone no.**

from Dave Clough **direct line** 617 923 7331

project name Arts & Events District **project no.** 14516.00

of pages 3

transmitted by DC **direct line** 617 923 7331

Steve

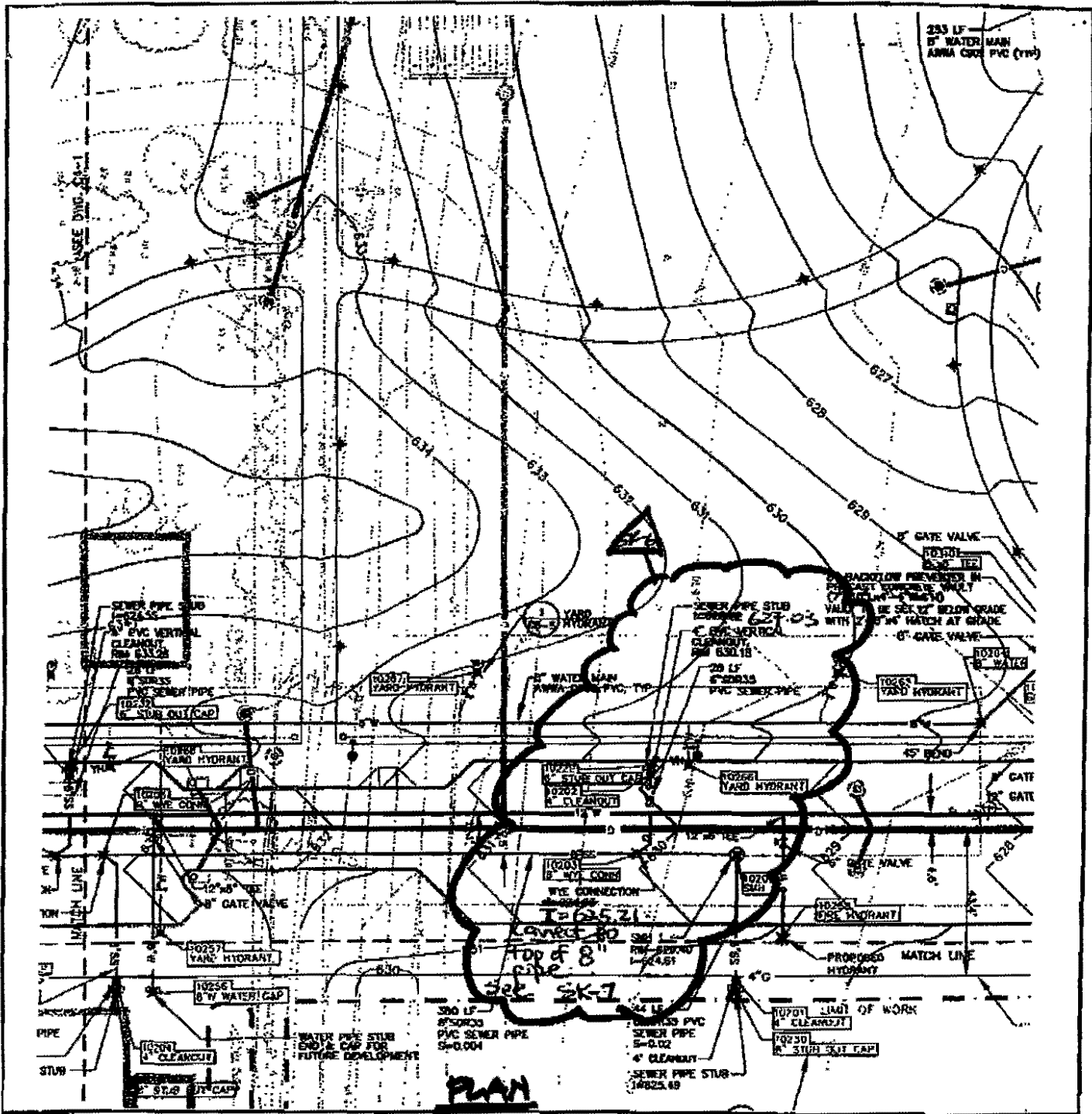
S A S A K I

Sasaki Associates Inc.
64 Pleasant Street
Watertown Massachusetts
02472 USA

T 617 926 3300
F 617 924 2748

Attached are sketches SK-6 and SK-7 showing a revised connection for the 4" cleanout at coordinate reference 10202 to the 8" sewer main in Festival Way. This revision should avoid a conflict with the 24" drain pipe in Festival Way that was discovered by the contractor.

Please let me know if there are further questions regarding this issue. I will send a hard copy by mail.



Project Title
Addison Arts and Events District

Project Number
 14516.05

Drawn By
 TC

Drawing Title

REVISED SEWER CLEANOUT CONNECTION Ref. Dwg No. **64-2**

Scale
 1" = 40'

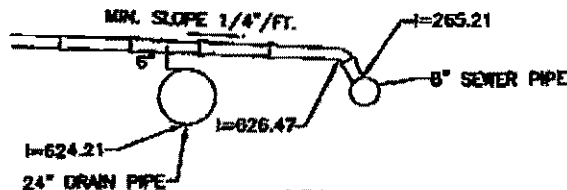
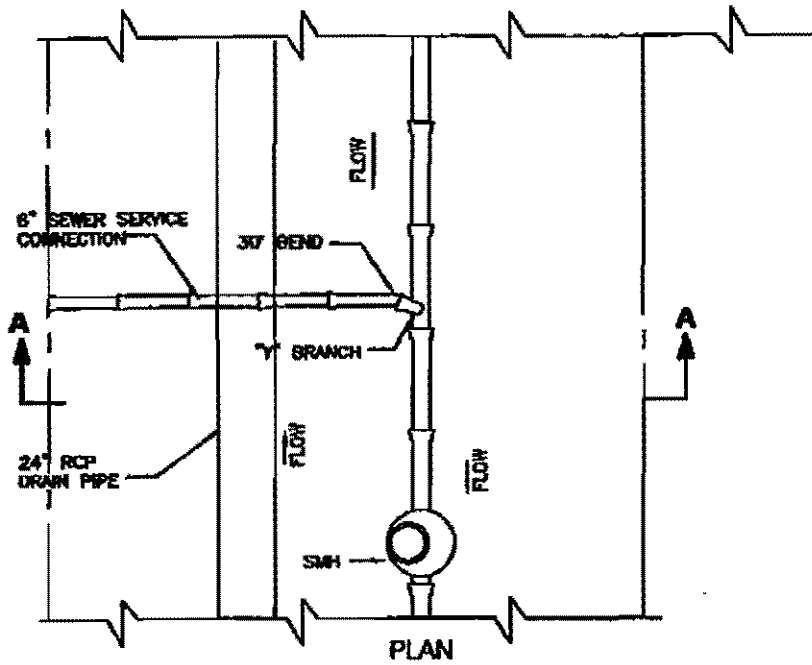
Date
 1/27/03

Drawing Number



64 Pleasant St. Watertown, MA 02472 617 926 3300

SK-6



SECTION A-A

SEWER PIPE CONNECTION
NTS

Project Title

Addison Arts and Events District

Project Number

14516.05

Drawn By

TC

Scale

NONE

Drawing Title

RAISED SEWER CLEANOUT CONNECTION Ref. Dwg No. **SK-6**

Date

1/27/03

Drawing Number

SK-7

SASAKI

64 Pleasant St. Watertown, MA 02472 617 926 3300



JAMES F. DUFFY

FAX COVER SHEET

3887 RIDGELAKE CT.
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

SEND TO: STEVE CHUTCHIAN	FROM: JIM DUFFY
ATTENTION:	
	DATE: 1/24/03
FAX NUMBER: 972.450.2837	PHONE NUMBER:

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 9

COMMENTS:

STEVE,

FOR YOUR RECORDS, HERE ARE SOME CHANGES THE ENGINEER IS MAKING TO DRAINS AND DRAINAGE STRUCTURES ON THE ARTS & EVENTS DISTRICT. IT HAS BEEN DISTRIBUTED TO THE CONTRACTOR.

WILL YOU SEE THAT DAVE WILDE GETS A COPY? *Got it DEW*

THANKS,

JIM



transmittal

to Jim Duffy
 JFD Group
 3887 Ridgelake Court
 Addison, TX 75001

date January 23, 2003
project name Addison Arts & Events District -
 Final Design
project no. 14516.05

attn **from** Dave Clough

we are sending you via overnight courier courier us mail other

SASAKI

Sasaki Associates Inc.
 64 Pleasant Street
 Watertown Massachusetts
 02472 USA
 t 617 926 3300
 f 617 924 2748

description	quantity	dated
Catalog cuts for area drain & catch basin frames and grates, catch basin oil/gas trap, and information regarding free open area of grates.	1 ea.	1/23/03
SK-3: Revised Area Drain Inlet Opening (Type A)	1	1/23/03
SK-4: Revised Area Drain Inlet Opening (Type B)	1	1/23/03
SK-5: Revised Catch Basin for Drain Structures R7 & R13	1	1/23/03

these are transmitted

- for your information please return materials for review and comment
 borrowed materials returned as requested for approval other

Jim,

Attached are cuts for the Neenah gratings that we would like to use. The catch basin trap was not specified, so I'm including that too.

In checking the open area for the small area drains, Ting found that the grate opening should be 18". Our detail (2/C8-7) shows a 12" opening for the structure, which should be revised to 18". Also, drainage structures R7 and R13 need 24" openings to handle the inflow, so their detail reference should be revised to 4/C8-7. They should be catch basins, not area drains, without the gas trap and with just a 2' deep sump. I'm also attaching sketch mark-ups of these details showing the revisions.

Please let me know if you need any further clarification or anything else in order to issue this.

Cc: Ting Chang, Cathy Baker

dc\g:\14516.05\proj\gmt\transmittals\Hfd23jan03.doc

NOTE: When specifying/ordering grates, refer to "CHOOSING THE PROPER INLET GRATE" on pages 108-109. For FREE OPEN AREAS of Neenah Grates, refer to pages 326-330.

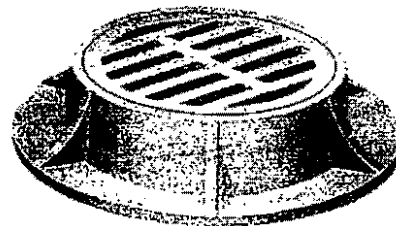
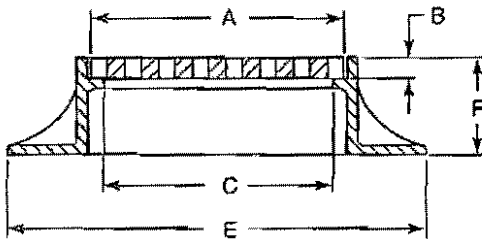
R-2525 Series
 Small Catch Basin Frames and Grates

Light Duty

Furnished standard with as-cast bearing surfaces.

Catalog No.	Dimensions in Inches								Frame
	A	B	C	E	F	G	H		
R-2525-A	12	1	11	19	4	1	1	R-1791-A	
R-2525-G	15 3/4	1 3/8	15	21	4 3/4	3/4	1	R-1910-C	
R-2525-D	15 3/4	1 3/8	15	23	4 3/4	3/4	1	R-1910-B	
R-2525-E	18	1	17	25	4 1/2	1 1/8	1 1/4	R-1791-E	
R-2525-F	20 1/2	5/8	18	30	5	1	1	R-1791-F	
R-2525-G	19 1/2	1 1/2	18	29	5 1/2	3/4	3/4	R-1791-G	

REF. DETAIL 2/CB-7
 2/CB-7



Illustrating R-2525-A

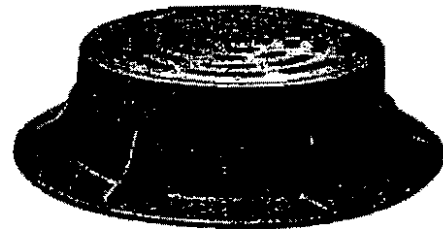
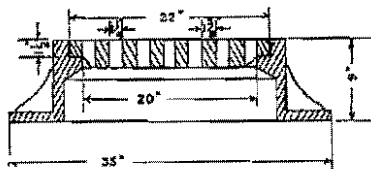
R-2533
 Catch Basin Frame, Grate

Heavy Duty

Also available with Type "B" or Type "C" grate. Available with machined or non-rocking bearing surfaces.

Specify:

1. Alternate grate type if required.
2. Machined bearing surfaces, or non-rocking style.

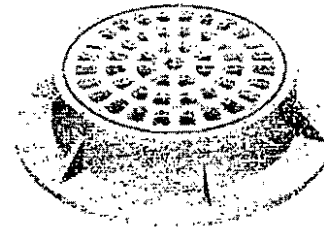
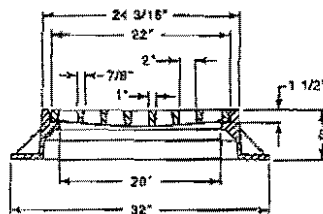


Uses R-1710 frame.

R-2535
 Catch Basin Frame and Grate

Heavy Duty

Note: Grate has 2" diameter hole in the center. (Not Shown)



Uses R-1510-A frame.

R-2535-A

Heavy Duty

Same as R-2535 except frame is 4" high.

NOTE: When specifying/ordering grates, refer to "CHOOSING THE PROPER INLET GRADE" on pages 108-109. For FREE OPEN AREAS of Neenah Grates, refer to pages 326-330.

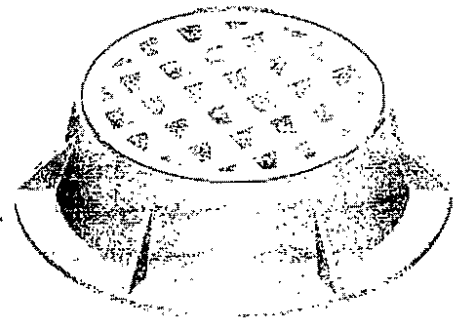
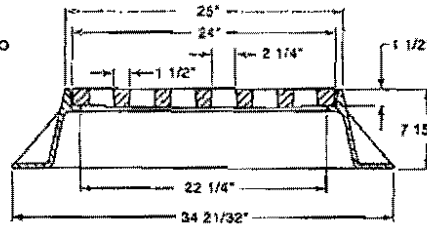
**R-2500
Catch Basin Frame and Grate**

Heavy Duty

Grate illustrated has non-rocking feature. Can also be furnished with machined bearing surfaces.

Specify:

- 1. Non-rocking, or machined bearing surfaces.

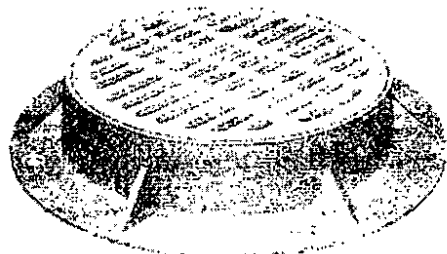
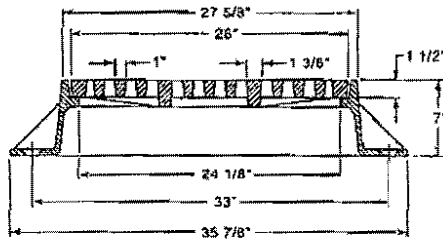


Uses R-1670-A frame.

**R-2501
Catch Basin Frame and Grate**

REF. DETAIL 4/CB-7

Heavy Duty

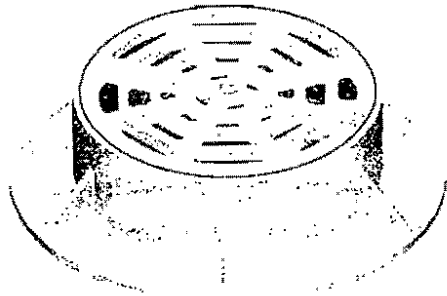
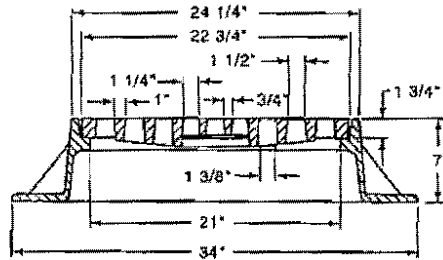


Uses R-1642 frame.

**R-2502
Catch Basin Frame and Grate**

Heavy Duty

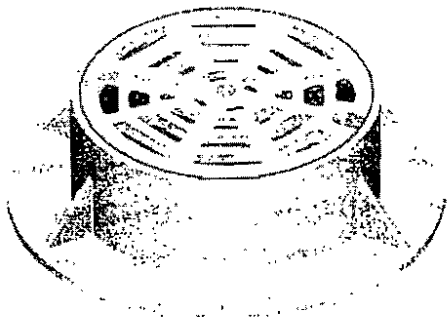
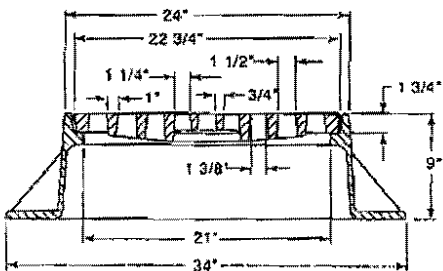
Also available with 36" diameter frame flange.



Uses R-1772 frame.

**R-2504
Catch Basin Frame and Grate**

Heavy Duty



Uses R-1713 frame.

Addison 1/23/03

CATCH BASIN TRAPS

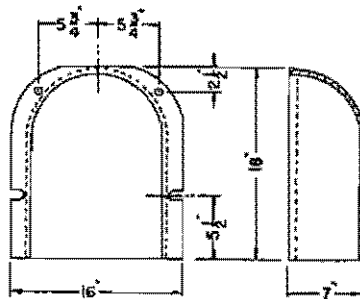
R-3700 to R-3709 Series

Cast iron catch basin traps are used extensively on sewer catch basins or manholes to prevent clogging on sanitary systems. They provide a waterseal against escaping gases. Traps with drop type catch basins provide effective means of keeping pipe lines entirely clean. The drop portion of inlet retains all solid material and the trap prevents all floating debris from entering outlet pipe. All catch basin traps shown are of approved design.

R-3700

Pipe size to 12".

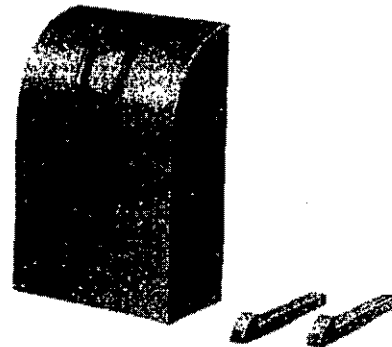
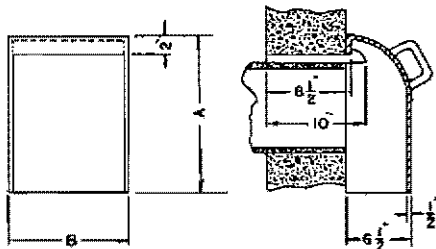
Setting method—4 anchor bolts.



R-3701 Series

Catalog No.	Dimensions in Inches			Setting Method	Notes
	A	B	For Pipe Size		
R-3701-6	16	12	to 6	on 2 hooks	
R-3701-8	18	12	8	on 2 hooks	Cast Iron Handle.
R-3701-10	20	12	10	on 2 hooks	
R-3701-12	22	16	12	on 2 hooks	Bottom of trap 6" min.
R-3701-15	25	19	15	on 2 hooks	below flow line.
R-3701-18	28	22	18	on 2 hooks	

REF. DETAIL
4/CB-7



Addison 1/23/03

FREE OPEN AREAS OF NEENAH GRATES

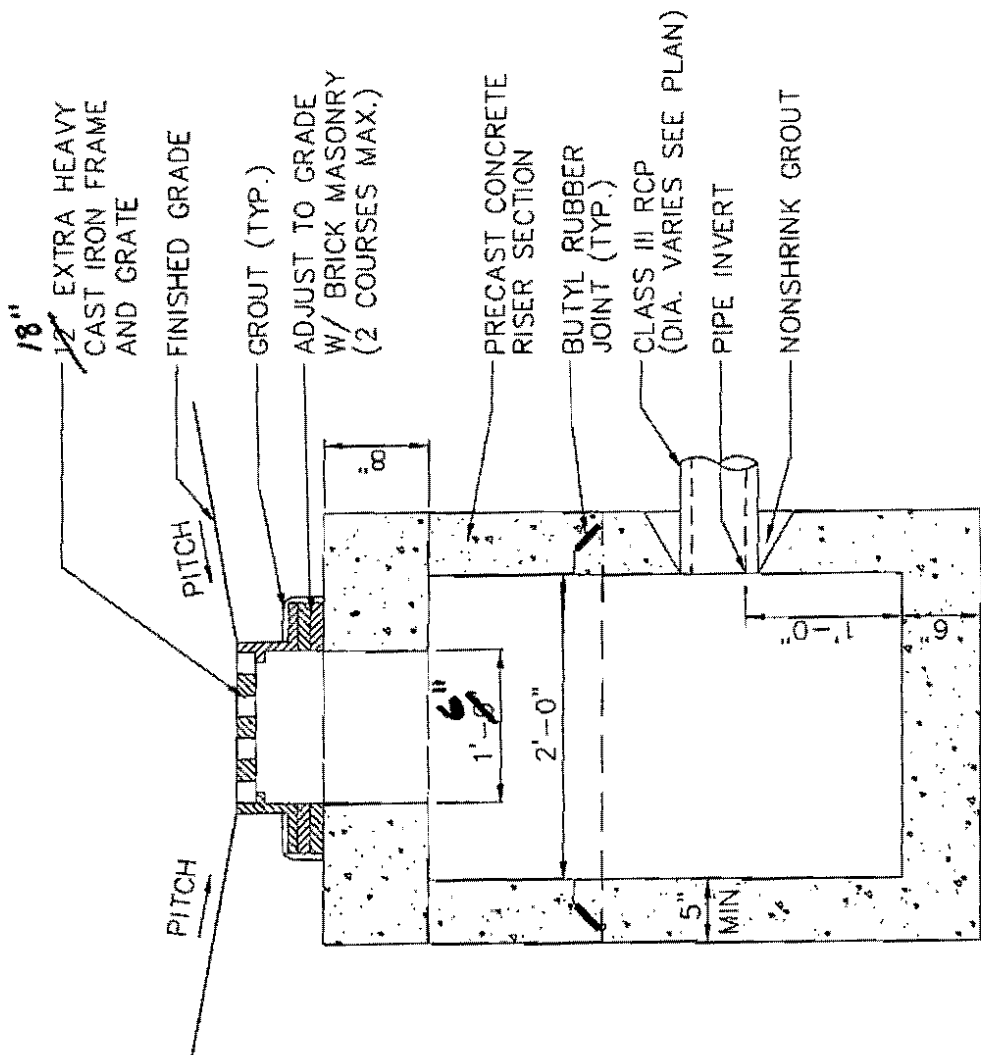
CATALOG NUMBER	GRATE TYPE	SQ. FT. OPEN	WEIR PERIMETER LINEAL FEET
R-1792-AG	G	0.2	2.7
R-1792-BG	G	0.3	3.5
R-1792-CG	G	0.5	4.3
R-1792-DG	G	0.7	4.8
R-1792-EG	G	1.0	5.8
R-1792-FG	G	1.7	6.9
R-1792-GG	G	2.0	7.4
R-1792-HG	G	2.7	9.0
R-1792-JG	G	3.7	10.5
R-1792-KG	G	4.8	12.1
R-1878-A1G	A or C	0.5	4.6
R-1878-A2G	A or C	0.8	6.0
R-1878-A3G	A or C	1.0	6.7
R-1878-A4G	A or C	1.1	7.3
R-1878-A5G	A or C	1.8	7.8
R-1878-A6G	A or C	2.7	8.6
R-1878-A7G	A or C	2.1	9.2
R-1878-A8G	A or C	2.3	9.8
R-1878-A9G	A or C	2.5	10.6
R-1878-A10G	A or C	3.0	12.3
R-1878-B1G	A	0.6	5.7
R-1878-B2G	A	0.9	6.5
R-1878-B3G	A	1.2	7.5
R-1878-B4G	A	2.1	8.5
R-1878-B5G	A	2.5	9.6
R-1878-B6G	C	2.6	9.5
R-1878-B7G	A	2.6	10.5
R-1878-B8G	A	3.7	12.6
R-1878-B9G	C	3.3	11.8
R-1878-B10G	C	4.9	13.5
R-1878-B11G	A	5.0	14.7
R-1879-A1G	A or C	0.4	4.6
R-1879-A2G	A or C	0.8	6.0
R-1879-A3G	A or C	1.2	8.7
R-1879-A4G	A or C	1.4	7.3
R-1879-A5G	A or C	1.9	7.8
R-1879-A6G	A or C	2.0	8.6
R-1879-A7G	A or C	1.7	9.2
R-1879-A8G	A or C	2.2	9.6
R-1879-A9G	A or C	2.8	10.6
R-1879-A10G	A or C	3.7	12.3
R-1879-B1G	A	0.6	5.7
R-1879-B2G	C	0.9	6.5
R-1879-B3G	C	1.0	7.5
R-1879-B4G	A	1.4	8.5
R-1879-B5G	A	1.9	9.8
R-1879-B6G	A	2.4	9.5
R-1879-B7G	A	3.0	10.6
R-1879-B8G	A	3.2	11.6
R-1879-B10G	C	4.2	13.5
R-1881-A	Q	0.2	4.0
R-1881-B	Q	0.8	6.0
R-1881-C	Q	1.0	6.8
R-1881-D	Q	0.2	5.3
R-1881-E	Q	0.2	5.7
R-1881-F	D	0.3	5.9
R-1881-G	Q	0.3	5.8
R-1881-H	Q	0.3	6.0
R-1881-J	Q	0.3	6.3

CATALOG NUMBER	GRATE TYPE	SQ. FT. OPEN	WEIR PERIMETER LINEAL FEET
R-1881-K	Q	0.4	6.8
R-1881-L	Q	0.5	7.8
R-1881-M	Q	0.9	8.3
R-1881-N	Q	0.9	8.3
R-2014	C	1.1	6.0
R-2014	E	1.3	6.0
R-2015	D	0.9	6.0
R-2015	C	1.1	6.0
R-2015	G	1.2	6.0
R-2030	D	1.1	6.0
R-2030	C	1.1	6.0
R-2031	D	1.1	6.0
R-2031	E	1.1	6.0
R-2040	D	0.9	6.0
R-2040	C	1.1	6.0
R-2040	E	1.1	6.0
R-2040	F	0.7	6.0
R-2050	D	0.9	6.0
R-2050	C	1.1	6.0
R-2050	E	1.1	6.0
R-2050	F	0.7	6.0
R-2060	A	1.1	6.0
R-2060	B	1.2	6.0
R-2060	C	1.1	6.0
R-2060	E	1.1	6.0
R-2070	D	0.9	6.0
R-2070	B	1.2	6.0
R-2070	E	1.1	6.0
R-2077	B	1.2	6.0
R-2077	C	1.1	6.0
R-2077	D	1.0	6.0
R-2077	E	1.1	6.0
R-2077	F	0.6	6.0
R-2080	D	1.0	5.9
R-2080	C	1.2	5.9
R-2090	A	1.1	5.8
R-2090	B	1.2	5.8
R-2090	C	1.2	5.8
R-2090	D	1.0	5.8
R-2090	E	1.1	5.8
R-2090	G	1.0	5.8
R-2100	A	1.1	5.8
R-2100	C	1.1	5.8
R-2100	E	1.1	5.8
R-2100	F	0.6	5.8
R-2110	A	1.1	5.8
R-2110	E	1.1	5.8
R-2112	A	1.1	5.8
R-2112	B	1.2	5.8
R-2112	C	1.1	5.8
R-2112	E	1.1	5.8
R-2112	F	0.6	5.8
R-2112	G	0.6	5.8
R-2120	A	1.1	5.8
R-2120	C	1.1	5.8
R-2120	F	0.6	5.8
R-2120	G	1.1	5.9
R-2120	G	1.1	5.9
R-2250	G	3.0	9.9
R-2251	G	2.9	9.4

CATALOG NUMBER	GRATE TYPE	SQ. FT. OPEN	WEIR PERIMETER LINEAL FEET
R-2255	C	1.4	8.4
R-2255	G	1.9	8.4
R-2270	G	1.9	8.4
R-2276	G	1.9	8.4
R-2290	K	1.2	7.8
R-2290-A	K	1.2	7.6
R-2290-B	K	1.0	7.5
R-2293	G	1.6	7.2
R-2296	B	1.2	6.7
R-2296	F	1.2	6.7
R-2297	B	1.2	6.7
R-2297	F	1.2	6.7
R-2298	B	1.2	6.7
R-2298	F	1.2	6.7
R-2298	E	1.2	6.7
R-2299	F	1.2	6.7
R-2300	G	1.2	6.8
R-2300	C	1.8	6.8
R-2370	B	1.2	6.8
R-2370	F	1.3	6.8
R-2370	A	1.1	6.8
R-2370	G	1.2	6.8
R-2371	G	1.2	6.7
R-2390	G	1.4	6.7
R-2390	C	1.6	6.7
R-2392	C	1.4	6.7
R-2392	D	1.4	6.7
R-2394	G	1.2	6.8
R-2395-1	G	1.6	6.6
R-2398	G	1.4	6.7
R-2401	G	1.4	6.8
R-2401	C	1.6	6.8
R-2401-A	G	1.2	6.5
R-2401-B	E	0.9	6.2
R-2402	G	0.7	6.5
R-2402	C	1.1	6.5
R-2404	G	1.1	6.7
R-2405	A	1.0	6.5
R-2405	C	1.6	6.5
R-2410	K	0.9	6.1
R-2411-A	G	0.7	6.5
R-2412-A	G	1.0	6.2
R-2412-A1	E	1.0	6.3
R-2412-A2	G	0.7	6.5
R-2412-A3	C	1.1	6.3
R-2412-A3	E	1.0	6.3
R-2412-A4	C	1.0	6.3
R-2412-AS	K	0.8	6.3
R-2412-AB	G	1.1	6.3
R-2414	D	1.0	6.1
R-2418	G	1.0	6.2
R-2418-A	K	1.0	6.3
R-2420-A	A	1.0	6.4
R-2420-B	G	1.1	5.9
R-2421-A	A	1.0	8.1
R-2422-A	K	1.0	6.2
R-2422-C	G	1.0	6.2
R-2423	G	1.0	6.2
R-2424-A	G	0.9	5.9
R-2427	D	0.9	6.0

CATALOG NUMBER	GRATE TYPE	SQ. FT. OPEN	WEIR PERIMETER LINEAL FEET
R-2427-A	G	1.0	6.2
R-2428	D	1.0	6.0
R-2428	C	1.1	6.0
R-2428	F	0.6	6.0
R-2429	D	1.0	5.9
R-2429	E	1.3	5.9
R-2429	G	1.2	5.9
R-2435	G	0.9	5.8
R-2437	D	1.0	5.9
R-2437	E	1.3	5.9
R-2437-B	G	0.9	5.8
R-2438	D	1.0	5.9
R-2438	E	1.3	5.9
R-2453	K	0.8	6.2
R-2461-A	A	1.1	5.8
R-2461-A	B	1.2	5.8
R-2461-A	C	1.1	5.8
R-2464	D	1.0	6.0
R-2466-A	B	1.2	5.8
R-2466-A	E	1.1	5.8
R-2467	C	1.1	5.9
R-2467	D	0.9	6.9
R-2471	D	0.9	5.9
R-2471-B	D	0.9	5.9
R-2474	A	1.1	5.7
R-2474	G	1.2	5.7
R-2475	A	1.1	5.8
R-2481	A	1.1	5.7
R-2494	G	0.8	5.1
R-2496	G	0.6	4.7
R-2498	G	0.4	4.1
R-2498-A	G	0.4	4.1
R-2498-B	G	0.4	4.1
R-2499	G	0.2	3.1
R-2500	G	0.9	6.2
R-2501	G	1.1	6.8
R-2502	D	0.9	6.0
R-2502	G	1.3	6.0
R-2504	G	1.3	6.0
R-2504	D	0.9	6.0
R-2510	C	1.3	5.8
R-2510-1	G	0.4	4.1
R-2510-2	G	1.6	7.2
R-2510-A	C	1.1	5.8
R-2525-A	E	0.2	3.1
R-2525-C	G	0.4	4.1
R-2525-D	G	0.4	4.1
R-2525-E	E	0.6	4.7
R-2525-F	G	0.8	5.4
R-2525-G	G	0.8	5.1
R-2533	A	1.1	5.8
R-2534	C	0.9	6.0
R-2538	C	1.1	5.8
R-2535-A	C	1.1	5.8
R-2540	D	1.1	5.9
R-2540-A	D	1.1	5.9
R-2545	K	0.4	4.7
R-2548	K	0.4	3.5
R-2548	V	0.8	6.7
R-2549	D	0.9	6.0

* NOTE: On catalog #'s R-4990-AA thru R-4999-L9, SQ.FT. OPEN and WEIR PERIMETER are per lineal foot.
 Type K indicates "Special" grate style and is not among standard types illustrated.
 Type M indicates roll-type or mountable curb.



2 PRECAST CONCRETE AREA DRAIN (TYPE A)

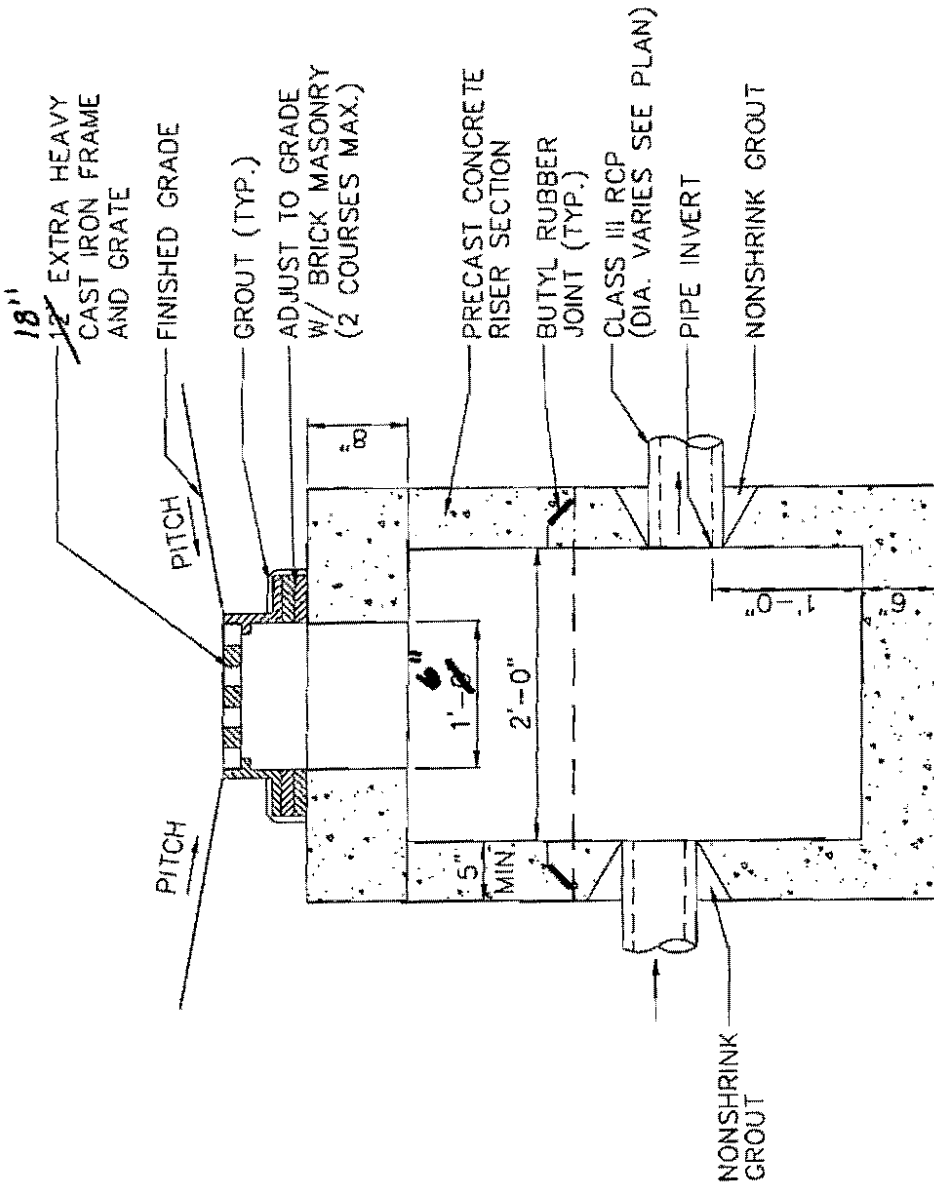
SCALE: NTS REF. DNO. 08-7

Revised Area Drain Inlet Opening (Type A)
Addison Arts & Events District

SASAKI ASSOCIATES INC. 1/23/03

SK-3

AREADRN-TYPEA



AREADRN-TYPEA

3 PRECAST CONCRETE AREA DRAIN (TYPE B)

SCALE: NTS REF. DWG. C8-7

Revised Area Drain Inlet Opening (Type B)
Addison Arts & Events District

SASAKI ASSOCIATES INC. 1/23/03

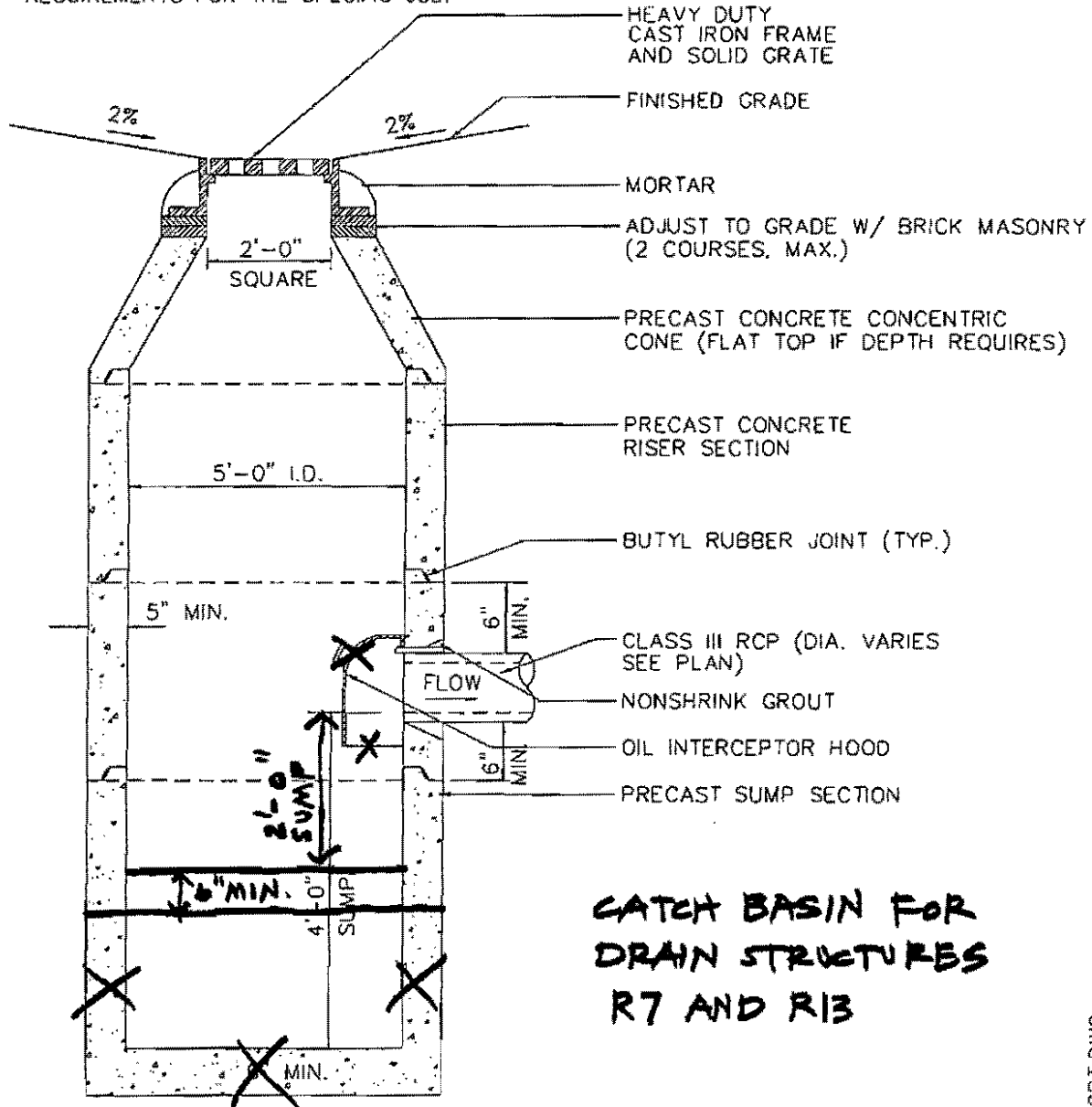
SK-4

NOTES:

THE FLOOR EXCAVATION FOR CATCH BASIN, AREA DRAIN & DMH MUST PROVIDE A FIRM, LEVEL BED FOR THE BASE SECTION TO REST UPON.

A MINIMUM OF 6 INCHES OF 1" DIAMETER (MAXIMUM) ROCK OR GRAVEL SHALL BE USED TO PREPARE THE BEDDING TO FINAL GRADE OR LIEU OF THIS. AT LEAST 6 INCHES OF 2-SACK CEMENT STABILIZED SAND SHALL BE USED TO PREPARE THE BEDDING TO GRADE. CEMENT STABILIZED-SAND SHALL BE ALLOWED TO SET BY KEEPING HOLE PUMPED DRY.

AFTER CASIN HAS BEEN INSTALLED ON THE PREPARE BEDDING, THE BACKFILL MATERIAL, WHICH IS FREE FLOWING AND CLEAR OF ROCKS, IN EXCESS OF 4" DIAMETER AND OTHER LUMPS WHICH WOULD PROHIBIT PROPER COMPACTION, SHALL BE COMMENCED IN LIFTS OF NO MORE THAN 18". THE MATERIAL USED FOR BACKFILL SHOULD BE A TYPE SUITABLE TO OBTAIN THE DENSITY REQUIREMENTS FOR THE SPECIFIC JOB.



CATCH BASIN FOR DRAIN STRUCTURES R7 AND R13

4 PRECAST CONCRETE CATCH BASIN WITH OIL/ GAS TRAP

SCALE: NTS

REF. DWG. CB-7

Revised Catch Basin for Drain Structures R7 & R13
Addison Arts & Events District
SASAKI ASSOCIATES INC.

1/23/03

SK-5

PCC-CBT.DWG

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Monday, January 27, 2003 2:35 PM
To: Steve Chutchian
Cc: Carmen Moran
Subject: Pavilion testing services

Steve,

For the construction of the Pavilion building, the testing lab will work for the Town. Will you please get proposals for testing services from the firm's you prefer and let me know who we want to use? The requirements are shown in the plans and specs.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

To: Michael Murphy
Subject: FW: Fountain vault shower

FYI

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 24, 2003 4:12 PM
To: Slade Strickland
Cc: Carmen Moran; Steve Chutchian; Dave Clough; Craig Gaussiran
Subject: Fountain vault shower

Slade,

The architect has determined through a consultant that OSHA does not require a shower in the fountain vault to deal with chemical spills. They do require an eye wash station and we have one. We do not need a letter from the Town on this issue.

However, we will have to create some kind of containment area under the chemical dispersing equipment in case of a spill. After Abstract provides shop drawings of the equipment layout and piping in the vault, Sasaki will design a curb area to contain any spills.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

To: Jim Pierce
Subject: RE: French drain connection to sanitary

Jim - I am not comfortable sending anything of this nature to Jim D. until you and I have discussed it first. Thanks.

Steve C.

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 24, 2003 4:04 PM
To: Steve Chutchian
Subject: French drain connection to sanitary

Steve,

The mechanical engineer would like something from the Town indicating they are aware of the connection of the fountain vault french drain to the sanitary sewer. Will you please send me an email indicating your awareness of that connection so I can forward it on?

Thanks,

Jim

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Friday, January 24, 2003 4:41 PM
To: Carmen Moran; Steve Chutchian; Craig Gaussiran
Subject: Oncor Status

I talked this afternoon to Oncor to get an update from them on their progress on both the gas and electric work at the Arts District site.

They hope to have the gas crew on the job early next week to do the termination of that line.

The change over of the power to the new service should be complete by the end of next week if the weather holds. They will then remove their lines from the poles and allow AT&T and SBC to get in and do their work.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

From: Carmen Moran
Sent: Friday, January 24, 2003 4:35 PM
To: Steve Chutchian
Subject: FW: Roadway Lighting

Steve,

I talked to Jim about this. I don't think we will have to change the fixture, we can just add the same shoe-box fixtures on a 30-foot pole that we have used on Arapaho Phases I and II. Jim is going to go drive those areas and shoot photos of the two types of fixtures and email them to Dave. We should have it resolved by Monday. Jim may contact you next week to get the specs for the fixtures we used on Arapaho.

Carmen

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 24, 2003 4:17 PM
To: Carmen Moran
Cc: Steve Chutchian; Dave Clough
Subject: Roadway Lighting

Carmen,

Sasaki's lighting consultant has determined we will not be able achieve our desired roadway light levels using the fixture currently called for along the perimeter streets. We will have to change fixtures and use taller poles.

They will select a fixture and get the necessary information to us to price the change. It will also include lights on the south side of Festival Way.

I have given the contractor a "heads up" about the pending change, but they are going to need information soon to include these new fixtures in their order.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

January 17, 2003

Jim Duffy
JFD Group
3887 Ridgelake Court
Addison, TX 75001

re: Addison Arts & Events District – Construction Administration
SA #14516.05

Dear Jim:

I'm writing in response to questions and requests from the contractor that you have forwarded to me recently.

Regarding the letter from Abstract Construction, dated 1/13/03 (attached), requesting approval for field painting the Pergola steel structure, we do not approve the requested change. The structure has been designed to be shop fabricated in sections and shipped to the job site for erection. Fabrication is specified to include shop priming and painting of the steel. In our opinion and experience, the quality of finish we expect is much better achieved in controlled conditions, particularly with the painting system specified. The steel sections should be wrapped and protected during shipping and installation and making the bolted connections at each column should cause little to no damage to the steel. The paint color will be black, so any touch-up painting in the field should be easy to match. Also, the column connections will not be very visible from the ground.

The perimeter foundation drain for the fountain vault should be installed as shown on the Drawings. As you and I have discussed, we would like to avoid installing this drain line under the foundation walls for the Water Garden lower channel. The 4" sanitary drain pipe from the fountain vault sump pump (detail 1/M1-1) should be connected to the solid pipe portion of the foundation drain, not to the sanitary sewer pipe in the Bowl area as indicated on Drawing M1-1. Please see attached sketch SK-2.

Please let me know if there are further questions regarding these issues.

Sincerely,



David Clough
Senior Associate

Enc: 1/13/03 Letter from Abstract Construction, SK-2

Cc: Carmen Moran, Keith Gassman, Cathy Baker, Ting Chang

dec:\g:\14516.00\proj\mgmt\letters\1-jd17jan03.doc

Sasaki Associates Inc.
64 Pleasant Street
Watertown Massachusetts
02472 USA
t 617 926 3300
f 617 924 2748
w www.sasaki.com



January 13, 2003

Mr. Jim Duffy
JFD Group
3887 Ridgelaque Court
Addison, Texas 75001

Dear Jim:

In regards to the shop painting of the pergola structure for the Addison Arts & Events District.

We are requesting reconsideration of shop painting the pergola structure. As you well know there will be sections left unpainted for the welded connections. Once those areas are welded then they will be field painted along with any scars that occurred during erection. We are concerned that these areas will stand out more then the areas previously painted, due to changes in the humidity levels and drying times. Thus resulting in a possible repaint of the entire structure to acquire uniformity, and the structure ultimately being field painted. We feel that in order to get the desired look and uniformity, field painting would be the most acceptable process, thus eliminating any "patch work" look. We would be willing to offer a credit to the project if field painting would be accepted.

Thank you, for your time and consideration of this matter.

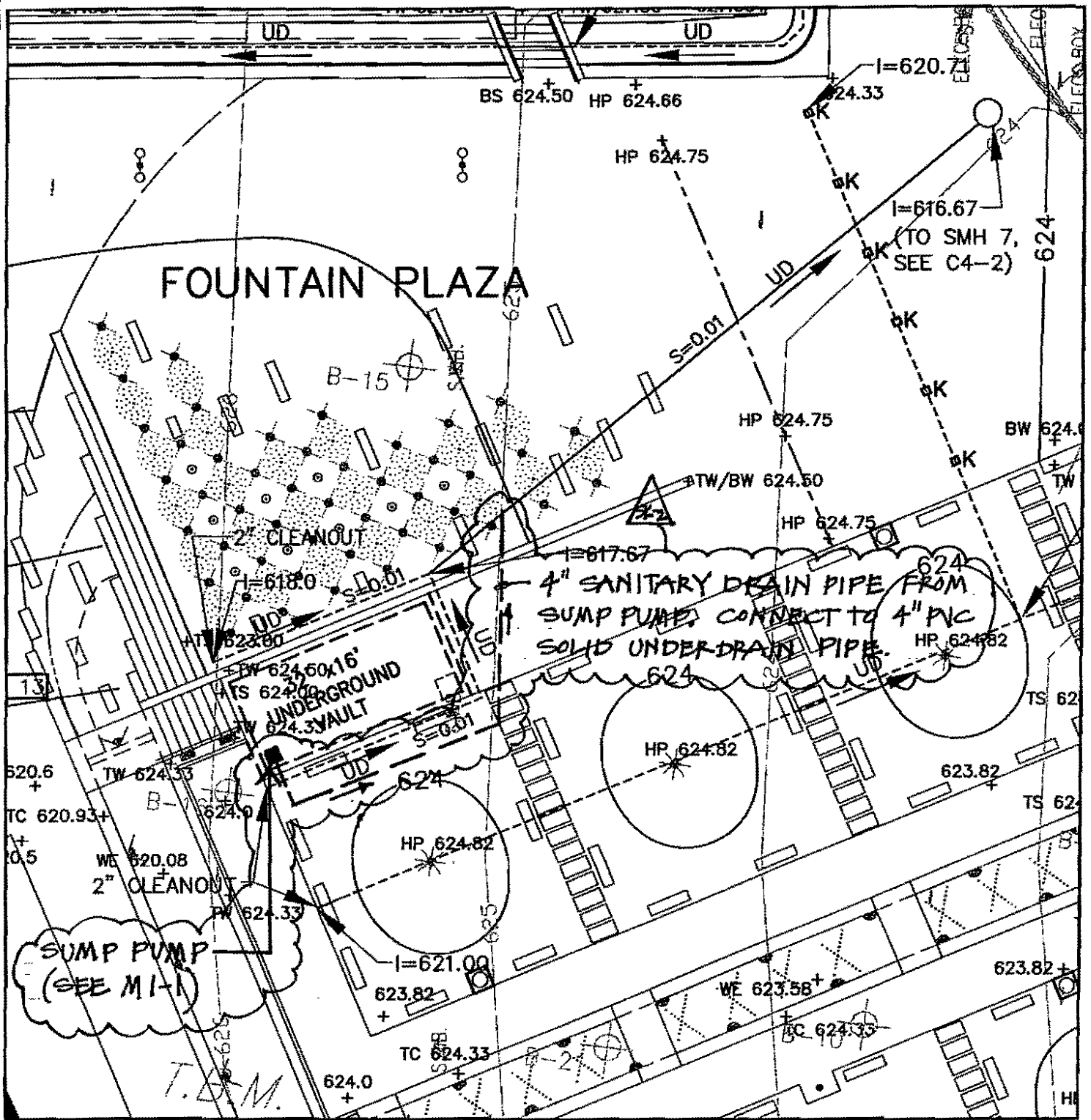
Sincerely,



Craig A. Gaussiran

Project Manager

File-Correspondence with the City



Project Title

Addison Arts and Events District

Project Number

14516.05

Drawn By

dc

Drawing Title

SUMP PUMP PIPING PLAN

Ref. Dwg No. C3-2

Scale

1"=20'

Date

17 January 2003

Drawing Number

SK-2



64 Pleasant St. Watertown, MA 02472 617 926 3300

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 3

Page No.: 1

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
01 - Field Progress Report						
2		Open	01/15/03			
	1) Sub-grade at garden area.					
	2) Concrete formwork to start by end of week 1-20-03.					
	3) Oncore is to cap the gas line in 1 week and will energize the new line and start removing poles in a week and a half (1 1/2).					
06 - Cost Issues						
2		Open	01/06/03		Abstract Construction	
	Bulletin #1					
3		Open	01/06/03		Abstract Construction	
	Exploratory excavation of propane tank on the South side of the property and septic tank on the North side of the property.					
4		Open	01/07/03		Town of Addison	
	Drawings for Pavilion to be out on January 24th and bids February 11th.					
07 - RFI's and Architect's Supplemental Instructions						
1		Open	01/06/03			
	RFI log is attached for review.					
08 - Submittals						
1		Open	01/06/03			
	Submittal Log attached for review.					
10 - Safety						
1		Open	01/06/03			
11 - Payment Requests						
1		Closed	01/06/03			01/07/03
	December draw has been submitted.					
12 - Miscellaneous Issues						
1		Open	01/06/03			
	Fountain vault will not have an emergency shower. Ron Lee with the Town of Addison is to do a letter to the Architect advising him of this decision to eliminate the shower.					

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 3

Page No.: 2

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
2		Open	01/06/03			
	Oncore's subcontractor damaged a portion of the silt fence material. Jim Duffy has contacted them and advised them of the situation.					
3		Open	01/15/03			
	Two light poles and bases are in the paver area. Waiting direction.					
14 - New Business						
2		Closed	01/07/03			01/15/03
	Jim Duffy is to be copied on all Testing reports, he will distribute to the City.					
3		Closed	01/07/03			01/15/03
	Oncore density of backfill has failed.					

STATUS

A - AWAITING RESPONSE
R - RESPONSE RECEIVED

RFI LISTING

Project: 2068 - Addison Arts & Events District

Date: 1/22/03

Page No: 1

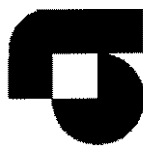
RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent		Date Due	Date Returned	Status	Days Late	Reference Remarks
			Sent To						
001	Cal Har	Request for CAD disk for Site Utilities	12/17/02	JFD Group	12/17/02	12/19/02	R	2	
02605									
002	Strand & Associates, LLC.	Exposed Aggregate	12/18/02	JFD Group	12/20/02	12/19/02	R		
03000									
003		Bituminous Pavers	01/06/03	JFD Group	01/06/03	01/07/03	R	1	
004		Concrete Sealer	01/06/03	JFD Group	01/06/03	01/06/03	R		
07100									
005	CalHar Construction, Inc.	Clarification of Manhole Covers	01/10/03	JFD Group	01/13/03		A	9	
02605									
006	CalHar Construction, Inc.	Field layout verification	01/14/03	JFD Group	01/17/03		A	5	
007	CalHar Construction, Inc.	Post Hydrant Product Data for Approval	01/17/03	JFD Group	01/17/03	01/17/03	R		
02645									
008	CalHar Construction, Inc.	Request for Area Drain Casting Clarification	01/17/03	Town of Addison c/o JFD Group	01/17/03		A	5	
02605									
009	CalHar Construction, Inc.	Request for Oil/Trap Catch Basin & Retention Manhole Casting Clarification	01/17/03	JFD Group	01/17/03	01/20/03	R	3	
02605									
010	CalHar Construction, Inc.	Onsite crushed limestone in lieu of Select	01/20/03	JFD Group	01/20/03	01/20/03	R		
02220									
011	Riddle Electric Company	Light pole banners	01/20/03	JFD Group	01/23/03		R		
16501									



AP - Approved or Reviewed
 AN - Approved as Noted
 NS - Not Submitted

NR - No Response Required
 RR - Revise and Resubmit
 SU - Submitted to A/E

**SUBMITTAL LISTING
 BY SPEC SECTION**



Abstract
 Date: 01/22/03
 Page: 3

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02785-005	02785-1.04										NS	

Test Report

02786 SLATE PAVING TILE

02786-001	02786-1.04										NS	
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Manufacturer's Product Data

02786-002	02786-1.04										NS	
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Samples

02810 IRRIGATION SYSTEM

02810-001	02810-										NS	
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02815 FOUNTAINS

02815-001	02815-	Greenscape Pump Service, Inc.	01/03/03	01/03/03	01/06/03	01/13/03	01/10/03	01/10/03	03/20/03	69	RR	4
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01/03/03 Product Data

02815-002	02815-	Georgia Fountain Company, Inc.	01/06/03	01/06/03	01/06/03	01/12/03	01/10/03	01/10/03			AP	4
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01/06/03 Fountain Shop Drawings

02815-001A	02815-	Greenscape Pump Service, Inc.	01/16/03	01/16/03	01/16/03	01/23/03	01/20/03	01/20/03	03/20/03	59	SU	4
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01/03/03 Product Data - Exhaust Fan Resubmittal

02816 DRINKING FOUNTAINS

02816-001	02816-1.04										NS	
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Shop Drawings

02824 ORNAMENTAL METAL FENCE AND GATE

02824-001	02824-1.04										NS	
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Shop drawings

02824	02824-1.04										NS	
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02824-002	02824-1.04										NS	
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Samples

AP - Approved or Reviewed
 AN - Approved as Noted
 NS - Not Submitted

NR - No Response Required
 RR - Revise and Resubmit
 SU - Submitted to A/E

SUBMITTAL LISTING
BY SPEC SECTION

Abstract
 Date: 01/22/03
 Page: 4

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
02838 STONE WALL												
02838-001	02838-										NS	
02870 SITE FURNISHINGS												
02870-001	02870 - 1.04										NS	
Shop Drawings												
03100 CONCRETE FORMS AND ACCESSORIES												
03100-001	03100 - 1.04										NS	
Samples												
03100-002	03100 - 1.04										NS	
Product Data												
03200 CONCRETE REINFORCEMENT												
03200-001	03200 - 1.05										NS	
Shop drawings												
03200-002	03200 - 1.05										NS	
Certified Copy of Mill Test of reinforcing steel												
03300 CAST IN PLACE CONCRETE												
03300-001	03300 - 1.04	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03	01/20/03	01/20/03			RR	6
01/14/03 Mix Designs												
03300-002	03300 - 1.04										NS	
Manufacturer's Product Data												
03300-003	03300 - 1.04										NS	
Schedule for Execution of Concrete Work												
03300-004	03300 - 1.04										NS	
Shop Drawings of Structural Concrete items												

AP - Approved or Reviewed
 AN - Approved as Noted
 NS - Not Submitted

NR - No Response Required
 RR - Revise and Resubmit
 SU - Submitted to A/E

**SUBMITTAL LISTING
 BY SPEC SECTION**



Abstract
 Date: 01/22/03
 Page: 5

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
03450 ARCHITECTURAL PRECAST CONCRETE												
03450-001	03450 - 1.04										NS	
Product Data												
03450-002	03450 - 1.04										NS	
Shop Drawings												
03450-003	03450 - 1.04										NS	
Calculations												
03450-004	03450 - 1.04										NS	
Initial Selection Samples												
03450-005	03450 - 1.04										NS	
Verification Samples												
03450-006	03450 - 1.04										NS	
Test Reports												
04200 BRICK MASONRY												
04200-001	04200 - 1.06										NS	
Samples												
04200-002	04200 - 1.06										NS	
Product Data												
04270 GLASS UNIT MASONRY												
04270-001	04270 - 1.04										NS	
Product Data												
04270-02	04270 - 1.04										NS	
Samples												
04430 QUARRIED STONE												
04430-001	04430 - 1.05										NS	
Samples												



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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
05700 ORNAMENTAL METAL												
05700-001	05700 - 1.06										NS	
Product Data												
05700-002	05700 - 1.06										NS	
Shop Drawings												
05700-003	05700 - 1.06										NS	
Field Measurements												
05700-004	05700 - 1.06										NS	
calculations												
05700-005	05700 - 1.06										NS	
Verification Samples												
07110 BITUMINOUS DAMPROOFING												
07110-001	07110 - 1.04										NS	
Product Data												
07110-002	07110 - 1.04										NS	
Certification												
07135 SHEET MEMBRANE WATERPROOFING												
07135-001	07135 - 1.04										NS	
Product Data												
07135-002	07135 - 1.04										NS	
Samples												
07135-003	07135 - 1.04										NS	
Manufacturer's Review												
07135-004	07135 - 1.04										NS	
substrate acceptability												
07135-005	07135 - 1.04										NS	
Statement of Supervision												



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07135-006	07135-1.04										NS	

Certification

07900 JOINT SEALERS

07900-001	07900-1.04										NS	
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Product Data

07900-002	07900-1.04										NS	
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Initial Selection Samples

07900-003	07900-1.04										NS	
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Test Reports

08110 STEEL DOORS AND FRAMES

08110-001	08110-1.05										NS	
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Shop Drawings

08110-002	08110-1.05										NS	
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Product Data

09900 PAINTING

09900-001	09900-1.04										NS	
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Product Data

09900-002	09900-1.04										NS	
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Initial Color Selection Samples

09900-003	09900-1.04										NS	
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Verification Samples

10210 METAL WALL LOUVERS

12010-001	10210-1.04										NS	
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Shop Drawings

12010-002	10210-1.04										NS	
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Manufacturer's Literature

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15010 GENERAL REQUIREMENTS FOR MECHANICAL												
15010-001	15010-1.5										NS	
Product Data												
15010-002	15010-1.5										NS	
Manufacturer's Specifications												
15010-003	15010-1.5										NS	
Manufacturer's Specifications												
16010 GENERAL REQUIREMENTS FOR ELECTRICAL WORK												
16010-001	16010-1.06										NS	
Service Entrance Equipment												
16010-002	16010-1.06										NS	
Panel Boards												
16010-003	16010-1.06										NS	
Raceways												
16010-004	16010-1.06										NS	
Wiring												
16010-005	16010-1.06										NS	
Wiring Devices												
16010-006	16010-1.06										NS	
Disconnect Switches												
16010-007	16010-1.06										NS	
Camlocks												
16010-008	16010-1.06										NS	
Lighting Controls												
16010-009	16010-1.06										NS	
Fuses												

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Project: 2068 - Addison Arts & Events District

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16010-010	16010-1.06										NS	
Transformers												
16010-011	16010-1.06										NS	
Terminal Blocks												
16010-012	16010-1.06										NS	
Cabinets												
16010-013	16010-1.06										NS	
Lighting Fixtures												
16010-014	16010-1.06										NS	
Boxes												

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Thursday, January 16, 2003 5:29 PM
To: Craig Gaussiran
Cc: Carmen Moran; Steve Chutchian; Dave Clough; Slade Strickland
Subject: Misc. Items

Craig,

1.) The offer of a credit in your letters of January 13 & 14, 2003, to substitute field painting of the pergola structure in lieu of shop painting is not accepted. Please proceed to shop paint per the specifications.

2.) As regards the connection of the french drain at the fountain vault to the sanitary line, as indicated earlier, please proceed to install as shown in the drawings. Additionally, we will soon be issuing a modification to take the vault sump to that same line in lieu of the connection currently shown on the drawings.

If you have any questions, please contact me.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Saturday, January 03, 1970 3:52 AM
To: Craig Gaussiran
Cc: Dave Clough; Steve Chutchian; Carmen Moran
Subject: water line relocation--Arts & Events District

Craig,

The field request to relocate the 12" water line in Festival Way +/- two feet to the north of the location shown in the plans is approved. The plan location is diagrammatic and allows for adjustments to avoid potential conflicts with other elements.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Abstract Construction Company
11157 Ables Lane
Dallas, TX 75229
(Phone) 469-385-9723
(Fax) 469-385-9753



OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Minutes of Meeting No. 2

January 15, 2003, Wednesday

1:30 PM

Meeting Location: Addison Arts and Events District Jobsite
15440 Addison Road

Page: Cover Sheet
Project No.: G02068E
Project: Addison Arts & Events District

Here Y/N	Initials	Attendee Name	Company Represented
Y	CAG	Craig Gaussiran	Abstract Construction Company
Y		Garth Rogers	Abstract Construction Company
Y		Jim Duffy	JFD Group
Y		Slade Strickland	Town of Addison
Y		Luke Jalbert	Town of Addison
Y		Steve Chutchian	Town of Addison
Y		Ron Lee	Town of Addison
Y		Dave Wilde	Town of Addison
Y		Carmen Moran	Town of Addison

The attached minutes reflect the author's interpretation of what was discussed, determined or occurred at the above referenced meeting. If any attendee feels there has been a discrepancy or error in documenting the discussions, please notify the author in writing with in 5 days of receipt of these minutes. Otherwise these minutes will be deemed to be accurate and accepted as written by all parties in attendance.

The Next meeting will be held at the following location, date and time:

Location: Addison Arts and Events District Jobsite
15440 Addison Road

Date: Wednesday, January 22, 2003
Time: 1:30 PM

Prepared By: Abstract Construction Company

Signed: _____

Craig A. Gaussiran

Dated: _____

1-15-03

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 2

Page No.: 1

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
01 - Field Progress Report						
1		Open	01/06/03		Abstract Construction	
	1) Earthwork in progress.					
	2) Utility work started January 2. Domestic water outside of property line.					
	3) Demolition of the two structures are completed.					
03 - Schedule						
1		Closed	01/06/03		Abstract Construction	01/07/03
	Schedule is completed and attached for review.					
06 - Cost Issues						
1		Closed	01/06/03		Abstract Construction	01/10/03
	Excavate and place in an appropriate container 7 Oak trees and transport to the Addison Service Center.					
2		Open	01/06/03		Abstract Construction	
	Bulletin #1					
3		Open	01/06/03		Abstract Construction	
	Exploratory excavation of propane tank on the South side of the property and septic tank on the North side of the property.					
4		Open	01/07/03		Town of Addison	
	Drawings for Pavillion to be out on January 24th and bids February 7 th 11 th .					
07 - RFI's and Architect's Supplemental Instructions						
1		Open	01/06/03			
	RFI log is attached for review.					
08 - Submittals						
1		Open	01/06/03			
	Submittal Log attached for review.					
10 - Safety						
1		Open	01/06/03			
11 - Payment Requests						
1		Closed	01/06/03			01/07/03
	December draw has been submitted.					

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 2

Page No.: 2

Project: G02068E - Addison Arts & Events District

Item No.	Description	Status	Opened	Due	Action Required By	Closed
12 - Miscellaneous Issues						
1		Open	01/06/03			
14 - New Business						
1		Open	01/07/03			
	Direction for construction items are to come through Jim Duffy.					
2		Open	01/07/03			
	Jim Duffy is to be copied on all Testing reports, he will distribute to the City.					
3		Open	01/07/03			
	Oncore density of backfill has failed.					

STATUS

A - AWAITING RESPONSE
R - RESPONSE RECEIVED

RFI LISTING



Project: 2068 - Addison Arts & Events District

Date: 1/15/03

Page No: 1

RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent Sent To	Date Due	Date Returned	Status	Days Late	Reference Remarks	
JFD Group									
001	Cal Har	Request for CAD disk for Site Utilities	12/17/02 JFD Group	12/17/02	12/19/02	R	2		
02605									
002	Strand & Associates, LLC.	Exposed Aggregate	12/18/02 JFD Group	12/20/02	12/19/02	R			
03000									
003		Bituminous Pavers	01/06/03 JFD Group	01/06/03	01/07/03	R	1		
004		Concrete Sealer	01/06/03 JFD Group	01/06/03	01/06/03	R			
07100									
Town of Addison c/o JFD Group									
005	CalHar Construction, Inc.	Clarification of Manhole Covers	01/10/03	01/13/03		R*	2		
02605			Town of Addison c/o JFD Group						
006	CalHar Construction, Inc.	Field layout verification	01/14/03	01/17/03		A			
			Town of Addison c/o JFD Group						



Abstract

Date: 01/15/03

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02375 DRILLED CONCRETE PIER												
02375-001	02375 - 1.04	Concrete Design Mix									NS	
02375-002	02375 - 1.04	Concrete Design Mix									NS	
Record Drawings of Drilled Shaft Foundation Work												
02605 UTILITY STRUCTURES												
02605-001	02605 -	CalHar Construction, Inc.	01/09/03	01/09/03	01/09/03	01/14/03					SU	6
	01/09/03	Utility Material Submittal										
02736 STONE DUST SURFACING												
02736-001	02736 - 1.04										NS	
02736-002	02736 - 1.04										NS	
Samples												
Product Data												
02750 PORTLAND CEMENT CONCRETE PAVING												
02750-001	02750 - 1.06	Sirand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03					SU	1
	01/14/03	Design Concrete Mixture										
02752 EXPOSED AGGREGATE CONCRETE PAVEMENT												
02752-001	02752 - 1.07	Sirand & Associates, LLC.	01/15/03	01/15/03	01/15/03	01/20/03					SU	0
	01/15/03	Gray Aggregate Sample										
02752-001	02752 - 1.07	Sirand & Associates, LLC.	01/15/03	01/15/03	01/15/03	01/20/03					SU	0
	01/15/03	Tan Aggregate Sample										
02752-002	02752 - 1.07	Sirand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03					SU	1
	01/14/03	Mix Design										
02752-003	02752 - 1.07										NS	
Shop Drawing												

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02772 CONCRETE CURB AND GUTTER												
02772-001	02772-1.06	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03					SU	1
01/14/03 Mix Designs												
02772-002	02772-1.06										NS	
Manufacturer's Product Data												
02772-003	02772-1.06										NS	
Shop Drawings												
02784 STONE PAVERS												
02784-001	02784-1.04										NS	
Samples												
02784-002	02784-1.04										NS	
Manufacturer's Product Data												
02784-003	02784-1.04										NS	
Shop Drawings												
02784-004	02784-1.04										NS	
Contractors Review												
02784-005	02784-1.04										NS	
Test Reports												
02785 GRANITE PAVERS												
02785-001	02785-1.04										NS	
Samples												
02785-002	02785-1.04										NS	
Manufacturer's Product Data												
02785-003	02785-1.04										NS	
Shop Drawings												
02785-004	02785-1.04										NS	
Contractors Review												

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02870 SITE FURNISHINGS												
02870-001	02870 - 1.04										NS	

Shop Drawings

03100 CONCRETE FORMS AND ACCESSORIES												
03100-001	03100 - 1.04										NS	

Samples

03100-002	03100 - 1.04										NS	
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Product Data

03200 CONCRETE REINFORCEMENT												
03200-001	03200 - 1.05										NS	

Shop drawings

03200-002	03200 - 1.05										NS	
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Certified Copy of Mill Test of reinforcing steel

03300 CAST IN PLACE CONCRETE												
03300-001	03300 - 1.04	Strand & Associates, LLC.	01/14/03	01/14/03	01/14/03	01/19/03					SU	1

01/14/03 Mix Designs

03300-002	03300 - 1.04										NS	
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Manufacturer's Product Data

03300-003	03300 - 1.04										NS	
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Schedule for Execution of Concrete Work

03300-004	03300 - 1.04										NS	
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Shop Drawings of Structural Concrete items

03450 ARCHITECTURAL PRECAST CONCRETE												
03450-001	03450 - 1.04										NS	

Product Data



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03450-002	03450 - 1.04										NS	
Shop Drawings												
03450-003	03450 - 1.04										NS	
Calculations												
03450-004	03450 - 1.04										NS	
Initial Selection Samples												
03450-005	03450 - 1.04										NS	
Verification Samples												
03450-006	03450 - 1.04										NS	
Test Reports												
04200 BRICK MASONRY												
04200-001	04200 - 1.06										NS	
Samples												
04200-002	04200 - 1.06										NS	
Product Data												
04270 GLASS UNIT MASONRY												
04270-001	04270 - 1.04										NS	
Product Data												
04270-02	04270 - 1.04										NS	
Samples												
04430 QUARRIED STONE												
04430-001	04430 - 1.05										NS	
Samples												
04430-002	04430 - 1.05										NS	
manufacturer's Product Data												
04430-003	04430 - 1.05										NS	
Shop Drawings												

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04430-004	04430 - 1.05										NS	
Test Reports												
04430-005	04430 - 1.05										NS	
Contractors Review												
05120 STRUCTURAL STEEL												
05120-001	05120 - 1.04										NS	
Product Data												
05120-002	05120 - 1.04										NS	
Shop Drawings												
05500 METAL FABRICATIONS												
05500-001	05500 - 1.04										NS	
Shop Drawings												
05500-002	05500 - 1.04										NS	
Product Data												
05500-003	05500 - 1.04										NS	
Calculations												
05500-004	05500 - 1.04										NS	
Welders Certification												
05530 METAL GRATING												
05530-001	05530 - 1.04										NS	
Product Data												
05530-002	05530 - 1.04										NS	
Shop Drawings												
05700 ORNAMENTAL METAL												
05700-001	05700 - 1.06										NS	
Product Data												



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05700-002	05700 - 1.06										NS	
Shop Drawings												
05700-003	05700 - 1.06										NS	
Field Measurements												
05700-004	05700 - 1.06										NS	
calculations												
05700-005	05700 - 1.06										NS	
Verification Samples												
07110 BITUMINOUS DAMPROOFING												
07110-001	07110 - 1.04										NS	
Product Data												
07110-002	07110 - 1.04										NS	
Certification												
07135 SHEET MEMBRANE WATERPROOFING												
07135-001	07135 - 1.04										NS	
Product Data												
07135-002	07135 - 1.04										NS	
Samples												
07135-003	07135 - 1.04										NS	
Manufacturer's Review												
07135-004	07135 - 1.04										NS	
substrate acceptability												
07135-005	07135 - 1.04										NS	
Statement of Supervision												
07135-006	07135 - 1.04										NS	
Certification												



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07900 JOINT SEALERS												
07900-001	07900 - 1.04										NS	
Product Data												
07900-002	07900 - 1.04										NS	
Initial Selection Samples												
07900-003	07900 - 1.04										NS	
Test Reports												
08110 STEEL DOORS AND FRAMES												
08110-001	08110 - 1.05										NS	
Shop Drawings												
08110-002	08110 - 1.05										NS	
Product Data												
09900 PAINTING												
09900-001	09900 - 1.04										NS	
Product Data												
09900-002	09900 - 1.04										NS	
Initial Color Selection Samples												
09900-003	09900 - 1.04										NS	
Verification Samples												
10210 METAL WALL LOUVERS												
10210-001	10210 - 1.04										NS	
Shop Drawings												
10210-002	10210 - 1.04										NS	
Manufacturer's Literature												

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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
15010 GENERAL REQUIREMENTS FOR MECHANICAL												
15010-001	15010-1.5										NS	
Product Data												
15010-002	15010-1.5										NS	
Manufacturer's Specifications												
15010-003	15010-1.5										NS	
Manufacturer's Specifications												
16010 GENERAL REQUIREMENTS FOR ELECTRICAL WORK												
16010-001	16010-1.06										NS	
Service Entrance Equipment												
16010-002	16010-1.06										NS	
Panel Boards												
16010-003	16010-1.06										NS	
Raceways												
16010-004	16010-1.06										NS	
Wiring												
16010-005	16010-1.06										NS	
Wiring Devices												
16010-006	16010-1.06										NS	
Disconnect Switches												
16010-007	16010-1.06										NS	
Carnlocks												
16010-008	16010-1.06										NS	
Lighting Controls												
16010-009	16010-1.06										NS	
Fuses												



SUBMITTAL LISTING
BY SPEC SECTION

AP - Approved or Reviewed
AN - Approved as Noted
NS - Not Submitted

NR - No Response Required
RR - Revise and Resubmit
SU - Submitted to A/E

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
16010-010	16010-1.06										NS	
Transformers												
16010-011	16010-1.06										NS	
Terminal Blocks												
16010-012	16010-1.06										NS	
Cabinets												
16010-013	16010-1.06										NS	
Lighting Fixtures												
16010-014	16010-1.06										NS	
Boxes												

Steve Chutchian

To: Jim Duffy
Subject: RE: Fountain Vault Drain

Jim - I believe the contractor needs your direction to proceed forward with the construction of the drain into the sanitary system, in accordance with the plans and specifications. Regarding the elimination of the drain entirely, the Town would need a response from the Engineer stating that the drain is not a necessary component around the fountain. We look forward to hearing from you and/or the Engineer. Thanks.

Steve Chutchian

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 10, 2003 10:00 AM
To: schutchian@ci.addison.tx.us
Cc: mmurphy@ci.addison.tx.us; jpierce@ci.addison.tx.us;
ljalbert@ci.addison.tx.us; dwilde@ci.addison.tx.us; Les Folse; Carmen Moran
Subject: Re: Fountain Vault Drain

Steve,

I talked Wednesday to the contractor, Luke and Les Folse on this issue.

There are provisions in the international plumbing code to accommodate combining storm and sanitary systems. Therefore, it may be there is not necessarily a violation of the plumbing code. Clearly, the Town would prefer not to place ground water in the sanitary system.

The design engineers had not intended to use a french drain at the fountain vault because the soil borings indicated no evidence of groundwater and any groundwater which developed would most likely migrate to a lower point in the limestone formation, which is further to the south, according to those borings.

Jim Pierce asked for the engineers to do a flotation analysis on the vault, which was done. The calculations determined that, in a fully saturated situation (groundwater up to the top of the vault), it would move. In that situation, the upward force is 400k lbs., vs. 300k lbs. weight of the vault.

To cover that unlikely circumstance, we had two apparent choices. First was to thicken the slab to add weight to the structure. It was calculated the slab would have to be 2.5 feet thick. The other option was a french drain to collect any water which might appear. Placing a french drain at the bottom of the wall put it well below the flow line of the available storm drain. The other option was to place the drain line about half way up the wall.

Because of the cost of increasing the slab versus the cost of providing the french drain, it was decided to utilize the french drain system half way up the wall. I believe both you and Jim Pierce were involved in that decision.

Then came the dilemma about where to take any water which might enter the drain line. We have a slight uphill run to the storm to the west, 617.67 to 617.75. We could create a foot of fall to the sanitary to the east, 617.67 to 616.67. The other complication with taking the line west

is the fountain structure itself. With the bottom of the footings below the flow line to the storm, if we go in that direction we are forced to take the line under the fountain structure and through footings or walls below grade. There seemed to be no economical way to avoid that conflict.

While everyone preferred to use the storm sewer to dispose of any groundwater from the french drain, avoiding infiltration into the sanitary, it was decided the only practical solution was to take it to the more accessible sanitary line. The discussion at the time was that the potential infiltration from this source was insignificant. I believe you and Jim were also involved in that discussion.

I want to emphasize that this was not a decision made exclusively by the design engineers. This was a feature added to the project at the initiation of Jim Pierce. Public Works personnel were consulted and involved all the way through the design process. It is my recollection that Public Works agreed to the final solution.

In my opinion, the contractor has his direction and written authorization to proceed. He has a set of plans and specifications calling for the connection to sanitary. He has a contract approved by the City Council and signed by the City Manager obligating him to build according to those plans and specifications. They need no further direction from me.

As to revisions in the design, I recommend a simple change. We can eliminate the french drain completely and avoid the problem. In my opinion, we are installing something to protect against an unlikely event. The Town could save the cost of installation and eliminate the cost of potentially processing any infiltrated groundwater.

If the Town's desires a change, I need direction as to how to proceed.

On Thursday, January 9, 2003, at 10:04 AM, schutchian@ci.addison.tx.us wrote:

> Jim - the contractor approached Luke Jalbert on Wednesday, the 8th. of
> January, regarding the proposed french drain that flows from the
> Fountain
> Vault. He stated that he was not comfortable with installing it
> according
> to plans because it violates Town Ordinance and Plumbing Code
> requirements.
> The Contractor's statement is upheld in Section 1101.3 of the Plumbing
> Code
> and Section 82-169 of the Town's Code of Ordinances.
>
> During final design review of the project, Jim Pierce stated opposition
> to
> placing stormwater from the vicinity of the Fountain Vault into the
> nearby
> sanitary sewer system. At that time, our staff studied an alternative
> that
> would direct the stormwater in the drain to flow under the fountain and
> into
> a storm sewer manhole. According to proposed plan elevations, it
> appeared
> that this alternative would drain properly. There would have been a
> moderate increase in the number of feet of drain to be constructed.
> However, the Consulting Engineer did not want to run the drain under the
> fountain. Consequently, the plans were completed with the drain flowing
> into the sanitary sewer line.
>

> At this point, it is suggested that you talk with the contractor and/or
> Engineer and reach a viable disposition of the matter. It may require a
> letter from you stating that the Town waives the ordinance
> requirements. In
> addition, the letter may also need City Manager and/or Council
> approval. If
> a re-design is involved, please forward the revisions to Dave Wilde and
> to
> our staff for record purposes. If you have any questions, please let me
> know. Thanks.

>
>
> Steve Chutchian

>
>
Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

To: Jim Duffy
Subject: RE: Lighting levels on Addison Circle Drive and Festival Way

Jim - Slade will give the following information to Carmen this morning at their staff meeting:

Recommended illumination in ft.-candles:

Street 1.0 max; 0.5 min.
Pedestrian 1.0 max; 0.5 min.

David Meyers, with Huitt-Zollars stated that previous design levels around Addison Circle were at the 1.0 ft.-candle level.

If you have any questions, please let me know. Thanks.

Steve C.

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 10, 2003 10:07 AM
To: Steve Chutchian
Cc: Carmen Moran
Subject: Lighting levels on Addison Circle Drive and Festival Way

Steve,

Carmen talked to me this morning concerning the question of roadway lighting levels on Addison Circle Drive and Festival Way. We made at least the decision to add lighting on the south side of Festival Way because it is not currently included.

When I talked with the architect to get their input, they requested direction about what level of roadway lighting the Town wants to have on those two streets. Once we have a desired light level, they will have their lighting consultant evaluate the current lighting against those standards and develop a design change for Festival Way and any needed changes for Addison Circle Drive.

Please let me know as soon as possible what level of lighting the Town wants to achieve.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

**Addison Arts and Events District
 BID NO 02-47**

DUE: November 5, 2002

2:00 PM

BIDDER	SIGNED	Bid Bond	a1	a2	a3	Standard Bid	calendar days	(B)calendar Days x 3000	Total (A+B)
Rebcon, Inc.	Y	Y	Y	Y	Y	6,884,000.00	270	810,000.00	7,694,000.00
American Civil Constructors	Y	Y	Y	Y	Y	6,847,580.00	270	810,000.00	7,657,580.00
Abstract Construction Co	Y	Y	Y	Y	Y	5,088,755.00	273	10,000.00	5,098,755.00
Ratcliff Constructors LP	Y	Y	Y	Y	Y	5,266,000.00	270	810,000.00	6,076,000.00
Tri Dal Ltd	Y	Y	Y	Y	Y	5,948,000.00	300	900,000.00	6,848,000.00
Joe Funk	Y	Y	Y	Y	Y	5,493,000.00	270	810,000.00	6,303,000.00
AUI	Y	Y	Y	Y	Y	5,713,000.00	257	771,000.00	6,484,000.00
Adolfson & Peterson	Y	Y	Y	Y	Y	6,347,000.00	280	0.00	6,347,000.00
Hisaw & Assts	Y	Y	Y	Y	Y	5,389,000.00	285	855,000.00	6,244,000.00
Cadence McShane	Y	Y	Y	Y	Y	5,450,000.00	230	690,000.00	6,140,000.00
WBKibler Construction Co	Y	Y	Y	Y	Y	5,718,805.00	210	630,000.00	6,348,805.00

Minok Suh

Minok Suh, Purchasing Coordinator

Corey Gayden

Corey Gayden, Witness

Steve Chutchian

To: Carmen Moran
Subject: RE: Lighting levels on Addison Circle Drive and Festival Way

I believe we are meeting at 1:30 today.

Steve C.

-----Original Message-----

From: Carmen Moran
Sent: Friday, January 10, 2003 5:36 PM
To: Steve Chutchian
Subject: FW: Lighting levels on Addison Circle Drive and Festival Way

Steve,

I want to be sure we have covered our bases on this. Can you let us know as soon as you show the plan to Huitt-Zollars?

CM

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 10, 2003 10:07 AM
To: Steve Chutchian
Cc: Carmen Moran
Subject: Lighting levels on Addison Circle Drive and Festival Way

Steve,

Carmen talked to me this morning concerning the question of roadway lighting levels on Addison Circle Drive and Festival Way. We made at least the decision to add lighting on the south side of Festival Way because it is not currently included.

When I talked with the architect to get their input, they requested direction about what level of roadway lighting the Town wants to have on those two streets. Once we have a desired light level, they will have their lighting consultant evaluate the current lighting against those standards and develop a design change for Festival Way and any needed changes for Addison Circle Drive.

Please let me know as soon as possible what level of lighting the Town wants to achieve.

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 cell

Steve Chutchian

To: jfdgroup@flash.net
Cc: Michael Murphy; Jim Pierce; Luke Jalbert; Dave Wilde
Subject: Fountain Vault Drain

Jim - the contractor approached Luke Jalbert on Wednesday, the 8th. of January, regarding the proposed french drain that flows from the Fountain Vault. He stated that he was not comfortable with installing it according to plans because it violates Town Ordinance and Plumbing Code requirements. The Contractor's statement is upheld in Section 1101.3 of the Plumbing Code and Section 82-169 of the Town's Code of Ordinances.

During final design review of the project, Jim Pierce stated opposition to placing stormwater from the vicinity of the Fountain Vault into the nearby sanitary sewer system. At that time, our staff studied an alternative that would direct the stormwater in the drain to flow under the fountain and into a storm sewer manhole. According to proposed plan elevations, it appeared that this alternative would drain properly. There would have been a moderate increase in the number of feet of drain to be constructed. However, the Consulting Engineer did not want to run the drain under the fountain. Consequently, the plans were completed with the drain flowing into the sanitary sewer line.

At this point, it is suggested that you talk with the contractor and/or Engineer and reach a viable disposition of the matter. It may require a letter from you stating that the Town waives the ordinance requirements. In addition, the letter may also need City Manager and/or Council approval. If a re-design is involved, please forward the revisions to Dave Wilde and to our staff for record purposes. If you have any questions, please let me know. Thanks.

Steve Chutchian

PLUMBING
CODE

CHAPTER 11 STORM DRAINAGE

SECTION 1101 GENERAL

1101.1 Scope. The provisions of this chapter shall govern the materials, design, construction and installation of storm drainage.

1101.2 Where required. All roofs, paved areas, yards, courts and courtyards shall drain into a separate storm sewer system, or a combined sewer system, or to an approved place of disposal. For one- and two-family dwellings, and where approved, storm water is permitted to discharge onto flat areas, such as streets or lawns, provided that the storm water flows away from the building.

1101.3 Prohibited drainage. Storm water shall not be drained into sewers intended for sewage only.

1101.4 Tests. The conductors and the building storm drain shall be tested in accordance with Section 312.

1101.5 Continuous flow. The size of a drainage pipe shall not be reduced in the direction of flow.

1101.6 Fittings and connections. All connections and changes in direction of the storm drainage system shall be made with approved drainage-type fittings in accordance with Table 706.3. The fittings shall not obstruct or retard flow in the system.

1101.7 Roof design. Roofs shall be designed for the maximum possible depth of water that will pond thereon as determined by the relative levels of roof deck and overflow weirs, scuppers, edges or serviceable drains in combination with the deflected structural elements. In determining the maximum possible depth of water, all primary roof drainage means shall be assumed to be blocked.

1101.8 Cleanouts required. Cleanouts shall be installed in the storm drainage system and shall comply with the provisions of this code for sanitary drainage pipe cleanouts.

1101.9 Backwater valves. Backwater valves installed in a storm drainage system shall conform to Section 715.

SECTION 1102 MATERIALS

1102.1 General. The materials and methods utilized for the construction and installation of storm drainage systems shall comply with this section and the applicable provisions of Chapter 7.

1102.2 Inside storm drainage conductors. Inside storm drainage conductors installed above ground shall conform to one of the standards listed in Table 702.1.

1102.3 Underground building storm drain pipe. Underground building storm drain pipe shall conform to one of the standards listed in Table 702.2.

1102.4 Building storm sewer pipe. Building storm sewer pipe shall conform to one of the standards listed in Table 1102.4.

TABLE 1102.4
BUILDING STORM SEWER PIPE

MATERIAL	STANDARD
Acrylonitrile butadiene styrene (ABS) plastic pipe	ASTM D 2661; ASTM D 2751; ASTM F 628
Asbestos-cement pipe	ASTM C 428
Cast-iron pipe	ASTM A 74; ASTM A 888; CISPI 301
Concrete pipe	ASTM C 14; ASTM C 76; CSA A257.1; CSA CAN/CSA A257.2
Copper or copper-alloy tubing (Type K, L, M or DWV)	ASTM B 75; ASTM B 88; ASTM B 251; ASTM B 306
Polyvinyl chloride (PVC) plastic pipe (Type DWV, SDR26, SDR35, SDR41, PS50 or PS100)	ASTM D 2665; ASTM D 3034; ASTM F 891; CSA-B182.2; CSA CAN/CSA-B182.4
Vitrified clay pipe	ASTM C 4; ASTM C 700
Stainless steel drainage systems, Type 316L	ASME/ANSI A112.3.1

1102.5 Subsoil drain pipe. Subsoil drains shall be open-jointed, horizontally split or perforated pipe conforming to one of the standards listed in Table 1102.5.

TABLE 1102.5
SUBSOIL DRAIN PIPE

MATERIAL	STANDARD
Asbestos-cement pipe	ASTM C 508
Cast-iron pipe	ASTM A 74; ASTM A 888; CISPI 301
Polyethylene (PE) plastic pipe	ASTM F 405
Polyvinyl chloride (PVC) plastic pipe (type sewer pipe, PS25, PS50 or PS100)	ASTM D 2729; ASTM F 891; CSA-B182.2; CSA CAN/CSA-B182.4
Vitrified clay pipe	ASTM C 4; ASTM C 700
Stainless steel drainage systems, Type 316L	ASME/ANSI A112.3.1

1102.6 Roof drains. Roof drains shall conform to ASME A112.21.2 or ASME A112.3.1.

1102.7 Fittings. Pipe fittings shall be approved for installation with the piping material installed, and shall conform to the respective pipe standards or one of the standards listed in Table 1102.7. The fittings shall not have ledges, shoulders or reductions capable of retarding or obstructing flow in the piping. Threaded drainage pipe fittings shall be of the recessed drainage type.

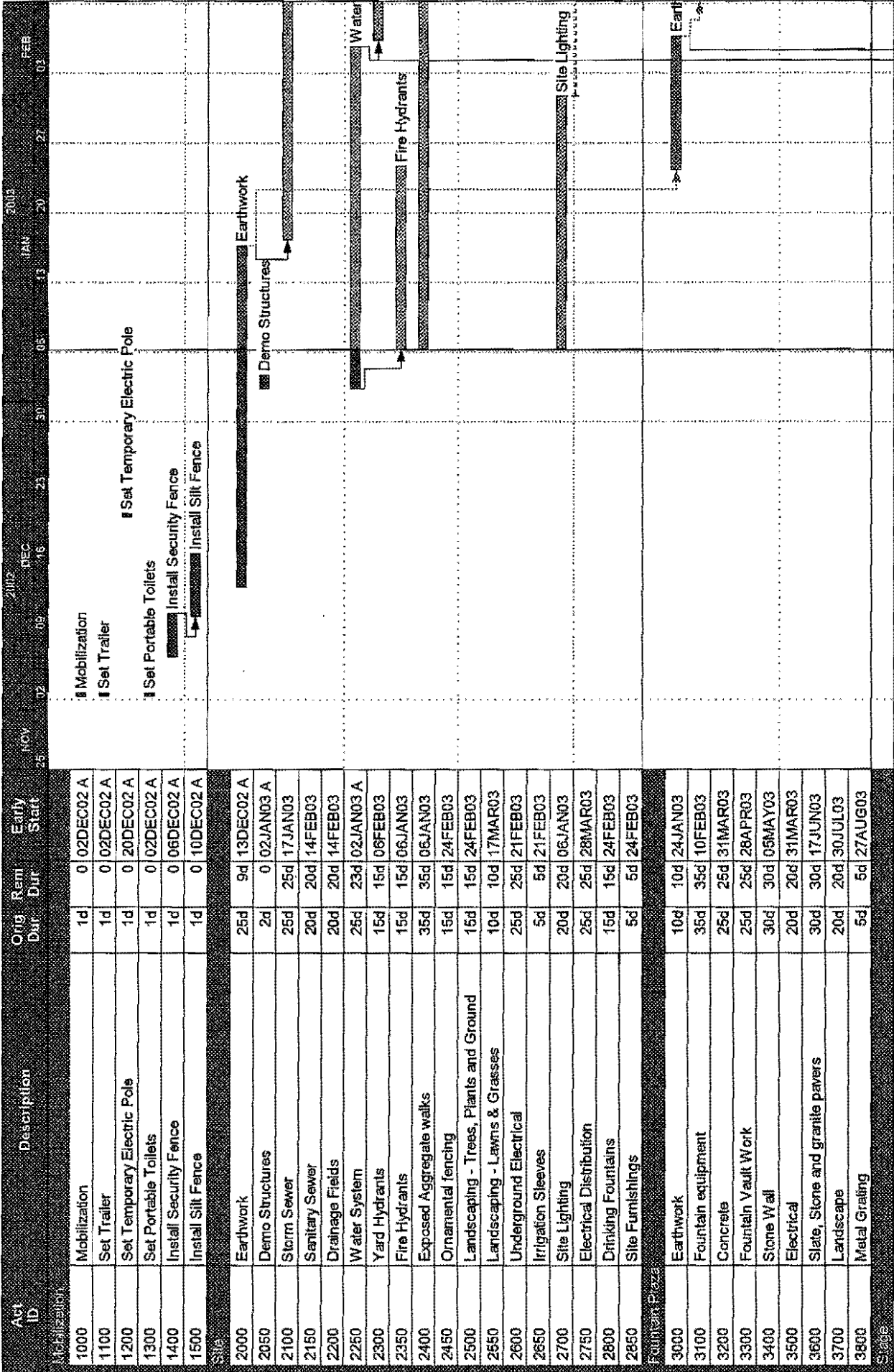
OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Meeting No.: 4

Page No.: 1

Project: G02068E - Addison Arts & Events District

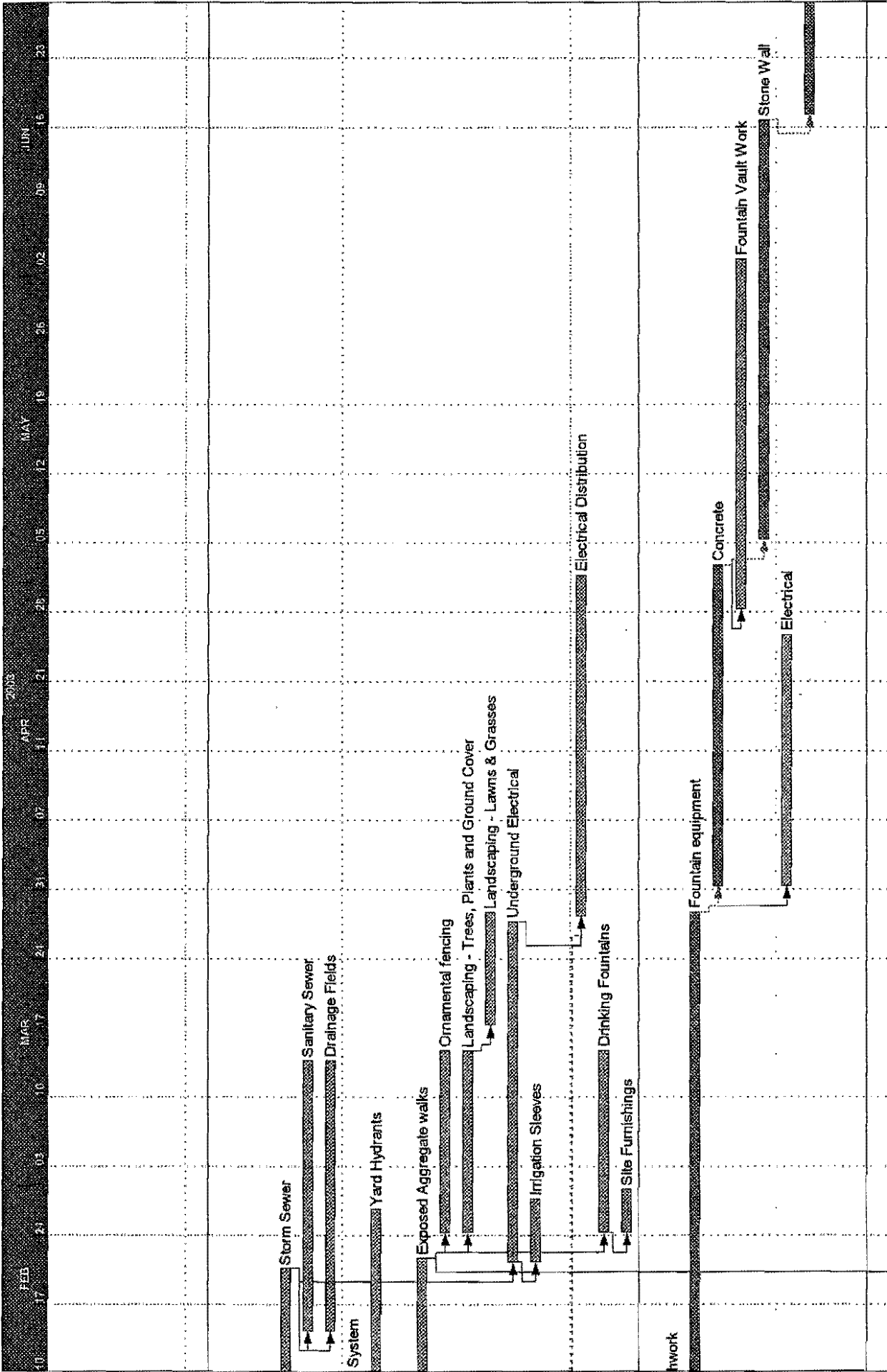
Item No.	Description	Status	Opened	Due	Action Required By	Closed
01 - Field Progress Report						
1		Open	01/06/03		Abstract Construction	
	1) Earthwork in progress. 2) Utility work started January 2. Domestic water outside of property line. 3) Demolition of the two structures are completed.					
03 - Schedule						
1		Open	01/06/03		Abstract Construction	
	Schedule is completed and attached for review.					
06 - Cost Issues						
1		Open	01/06/03		Abstract Construction	
	Excavate and place in an appropriate container 7 Oak trees and transport to the Addison lift station.					
2		Open	01/06/03		Abstract Construction	
	Bulletin #1					
3		Open	01/06/03		Abstract Construction	
	Exploratory excavation of propane tank on the South side of the property and septic tank on the North side of the property.					
07 - RFI's and Architect's Supplemental Instructions						
1		Open	01/06/03			
	RFI log is attached for review.					
08 - Submittals						
1		Open	01/06/03			
	Submittal Log attached for review.					
10 - Safety						
1		Open	01/06/03			
11 - Payment Requests						
1		Open	01/06/03			
	December draw has been submitted.					
12 - Miscellaneous Issues						
1		Open	01/06/03			



**Abstract Construction Company
Addison Arts & Events District**

Start date	02DEC02
Finish date	04SEP03
Data date	06JAN03
Run date	07JAN03
Page number	1A

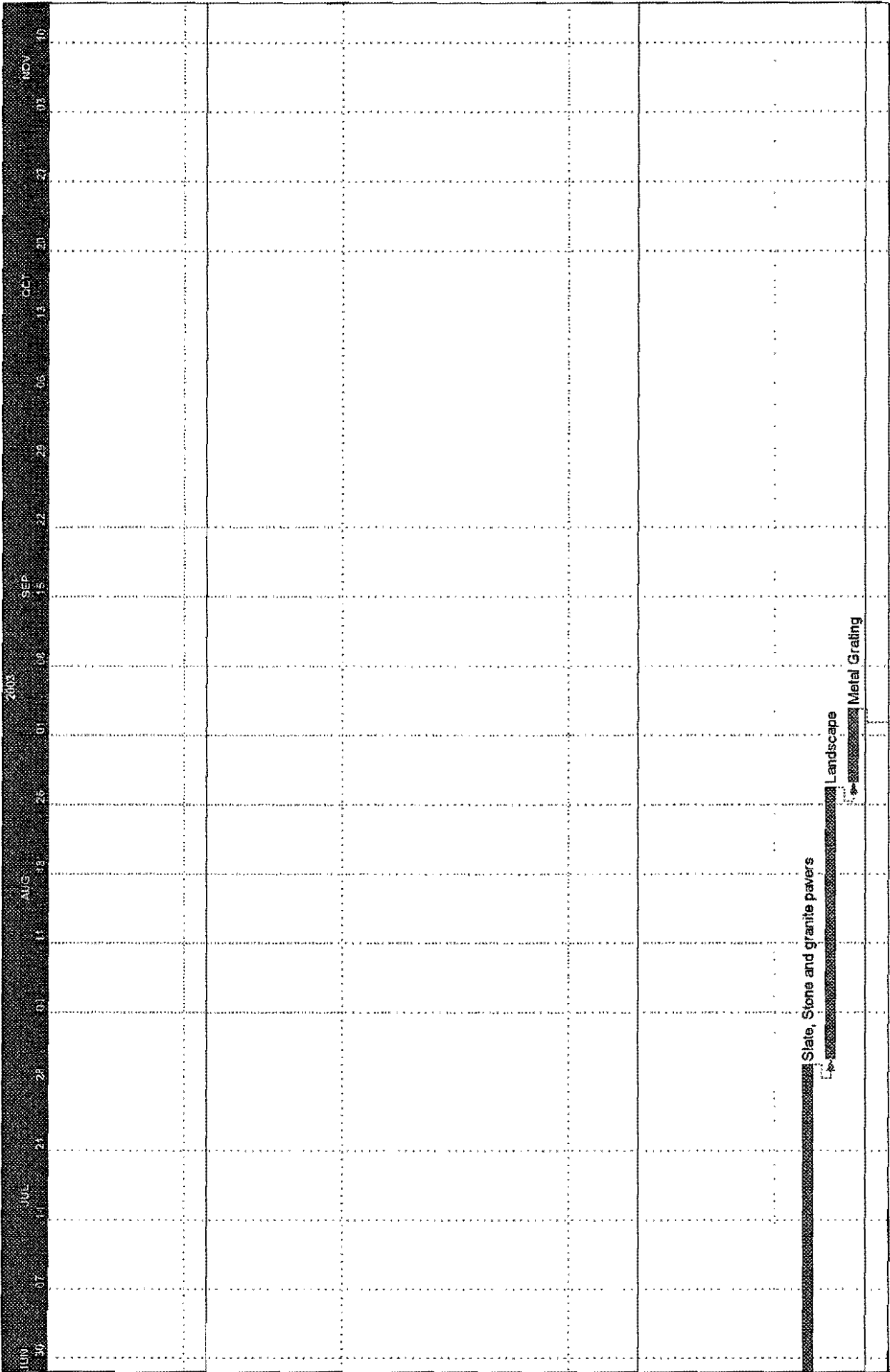
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Start date	02DEC02
Finish date	04SEP03
Data date	06JAN03
Run date	07JAN03
Page number	1B
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Abstract Construction Company
Addison Arts & Events District

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 Progress bar
 Critical bar
 Summary bar
 Start milestone point
 Finish milestone point

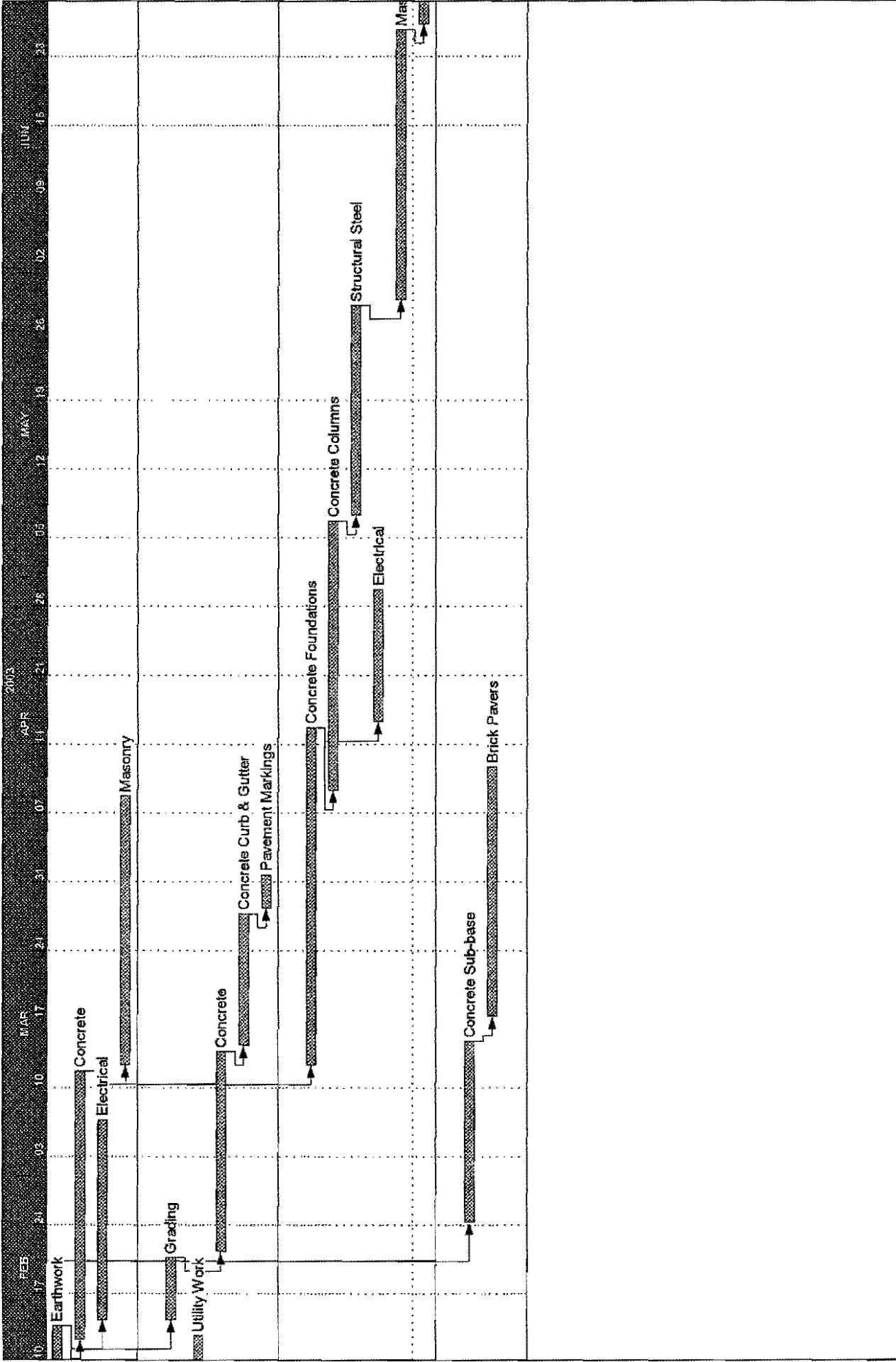


Start date 02DEC02
 Finish date 04SEP03
 Data date 06JAN03
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 Page number 1C

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Abstract Construction Company
 Addison Arts & Events District

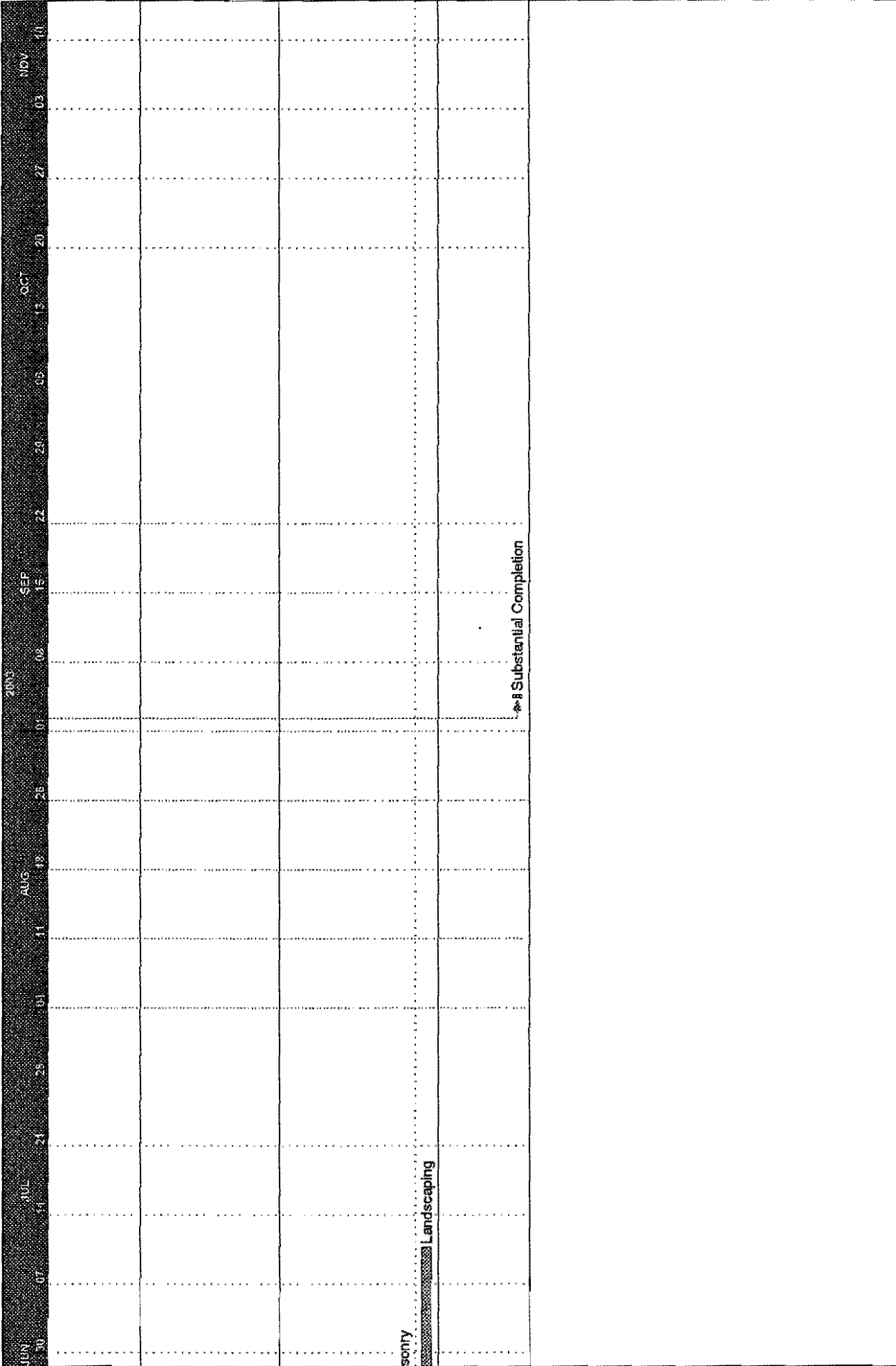
Legend:
 Early bar
 Progress bar
 Critical bar
 Summary bar
 Start milestone point
 Finish milestone point



Start date	02DEC02
Finish date	04SEP03
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Page number	2B
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Abstract Construction Company Addison Arts & Events District

Early bar
 Progress bar
 Critical bar
 Summary bar
 Start milestone point
 Finish milestone point



Start date	02DEC02
Finish date	04SEP03
Data date	06JAN03
Run date	07JAN03
Page number	2C
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**Abstract Construction Company
Addison Arts & Events District**

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

STATUS

A - AWAITING RESPONSE
R - RESPONSE RECEIVED

RFI LISTING



Project: 2068 - Addison Arts & Events District

Date: 1/6/03 Page No: 1

RFI No. Spec Sec	Originating Contractor / Vendor	RFI Subject	Date Sent		Date Due	Date Returned	Status	Days Late	Reference Remarks
			Sent To						
JFD Group									
001	Cal Har	Request for CAD disk for Site Utilities	12/17/02		12/17/02	12/18/02	R	1	
02605			JFD Group						
02	Strand & Associates, LLC.	Exposed Aggregate	12/18/02		12/20/02		A	17	
03000			JFD Group						
03		Bituminous Pavers	01/06/03		01/06/03		A	0	
			JFD Group						
04		Concrete Sealer	01/06/03		01/06/03		A	0	
07100			JFD Group						



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SUBMITTAL LISTING
BY SPEC SECTION

Abstract

Date: 01/06/03

Page: 4

Project: 2068 - Addison Arts & Events District

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02870 SITE FURNISHINGS												
02870-001	02870-1.04										NS	
Shop Drawings												

03100 CONCRETE FORMS AND ACCESSORIES												
03100-001	03100-1.04										NS	
Samples												
03100-002	03100-1.04										NS	
Product Data												

03200 CONCRETE REINFORCEMENT												
03200-001	03200-1.05										NS	
Shop drawings												
03200-002	03200-1.05										NS	
Certified Copy of Mill Test of reinforcing steel												

03300 CAST IN PLACE CONCRETE												
03300-001	03300-1.04										NS	
Samples												
03300-002	03300-1.04										NS	
Manufacturer's Product Data												
03300-003	03300-1.04										NS	
Schedule for Execution of Concrete Work												
03300-004	03300-1.04										NS	
Shop Drawings of Structural Concrete Items												

03450 ARCHITECTURAL PRECAST CONCRETE												
03450-001	03450-1.04										NS	
Product Data												



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03450-002	03450 - 1.04										NS	
Shop Drawings												
03450-003	03450 - 1.04										NS	
Calculations												
03450-004	03450 - 1.04										NS	
Initial Selection Samples												
03450-005	03450 - 1.04										NS	
Verification Samples												
03450-006	03450 - 1.04										NS	
Test Reports												
04200 BRICK MASONRY												
04200-001	04200 - 1.06										NS	
Samples												
04200-002	04200 - 1.06										NS	
Product Data												
04270 GLASS UNIT MASONRY												
04270-001	04270 - 1.04										NS	
Product Data												
04270-02	04270 - 1.04										NS	
Samples												
04430 QUARRIED STONE												
04430-001	04430 - 1.05										NS	
Samples												
04430-002	04430 - 1.05										NS	
manufacturer's Product Data												
04430-003	04430 - 1.05										NS	
Shop Drawings												



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SUBMITTAL LISTING
BY SPEC SECTION

Abstract

Date: 01/06/03

Page: 6

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
04430-004	04430-1.05										NS	

Test Reports

04430-005	04430-1.05										NS	
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Contractors Review

05120 STRUCTURAL STEEL

05120-001	05120-1.04										NS	
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Product Data

05120-002	05120-1.04										NS	
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Shop Drawings

05500 METAL FABRICATIONS

05500-001	05500-1.04										NS	
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Shop Drawings

05500-002	05500-1.04										NS	
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Product Data

05500-003	05500-1.04										NS	
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Calculations

05500-004	05500-1.04										NS	
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Welders Certification

05530 METAL GRATING

05530-001	05530-1.04										NS	
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Product Data

05530-002	05530-1.04										NS	
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Shop Drawings

05700 ORNAMENTAL METAL

05700-001	05700-1.06										NS	
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Product Data



Abstract

Date: 01/06/03

Page: 7

SUBMITTAL LISTING
BY SPEC SECTION

NR - No Response Required
RR - Revise and Resubmit
SU - Submitted to A/E

AP - Approved or Reviewed
AN - Approved as Noted
NS - Not Submitted

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
05700-002	05700-1.06										NS	
Shop Drawings												
05700-003	05700-1.06										NS	
Field Measurements												
05700-004	05700-1.06										NS	
calculations												
05700-005	05700-1.06										NS	
Verification Samples												
07110 BITUMINOUS DAMPROOFING												
07110-001	07110-1.04										NS	
Product Data												
07110-002	07110-1.04										NS	
Certification												
07135 SHEET MEMBRANE WATERPROOFING												
07135-001	07135-1.04										NS	
Product Data												
07135-002	07135-1.04										NS	
Samples												
07135-003	07135-1.04										NS	
Manufacturer's Review												
07135-004	07135-1.04										NS	
substrate acceptability												
07135-005	07135-1.04										NS	
Statement of Supervision												
07135-006	07135-1.04										NS	
Certification												



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BY SPEC SECTION**

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Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date from A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
07900 JOINT SEALERS													
07900-001	07900 - 1.04											NS	
Product Data													
07900-002	07900 - 1.04											NS	
Initial Selection Samples													
07900-003	07900 - 1.04											NS	
Test Reports													
08110 STEEL DOORS AND FRAMES													
08110-001	08110 - 1.05											NS	
Shop Drawings													
08110-002	08110 - 1.05											NS	
Product Data													
09900 PAINTING													
09900-001	09900 - 1.04											NS	
Product Data													
09900-002	09900 - 1.04											NS	
Initial Color Selection Samples													
09900-003	09900 - 1.04											NS	
Verification Samples													
10210 METAL WALL LOUVERS													
12010-001	10210 - 1.04											NS	
Shop Drawings													
12010-002	10210 - 1.04											NS	
Manufacturer's Literature													



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**SUBMITTAL LISTING
 BY SPEC SECTION**

Abstract

Date: 01/06/03

Page: 9

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Sub-contractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
15010 GENERAL REQUIREMENTS FOR MECHANICAL												
15010-001	15010-1.5										NS	
Product Data												
15010-002	15010-1.5										NS	
Manufacturer's Specifications												
15010-003	15010-1.5										NS	
Manufacturer's Specifications												
16010 GENERAL REQUIREMENTS FOR ELECTRICAL WORK												
16010-001	16010-1.06										NS	
Service Entrance Equipment												
16010-002	16010-1.06										NS	
Panel Boards												
16010-003	16010-1.06										NS	
Raceways												
16010-004	16010-1.06										NS	
Wiring												
16010-005	16010-1.06										NS	
Wiring Devices												
16010-006	16010-1.06										NS	
Disconnect Switches												
16010-007	16010-1.06										NS	
Camlocks												
16010-008	16010-1.06										NS	
Lighting Controls												
16010-009	16010-1.06										NS	
Fuses												

AP - Approved or Reviewed
 AN - Approved as Noted
 NS - Not Submitted

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SUBMITTAL LISTING
BY SPEC SECTION



Abstract

Date: 01/06/03

Page: 10

Project: 2068 - Addison Arts & Events District

Submittal Number	Spec Section	Subcontractor / Vendor Description	Date Req'd Sub	Date Rec'd Sub	Date to A/E	Date Due from A/E	Date A/E Returned	Date To Sub/Vend	Delivery Date	Fab Days Allowed	Status	A/E Rev
16010-010	16010-1.06										NS	
Transformers												
16010-011	16010-1.06										NS	
Terminal Blocks												
16010-012	16010-1.06										NS	
Cabinets												
16010-013	16010-1.06										NS	
Lighting Fixtures												
16010-014	16010-1.06										NS	
Boxes												

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Sunday, January 05, 2003 3:13 PM
To: Tom Dohearty
Cc: Carmen Moran; Slade Strickland; Steve Chutchian
Subject: 95% Project Manual review



95% Pavilion spec
review.doc



wage rates.doc

Tom,

Attached is my review of the 95% Project Manual document. I have also attached the section on Prevailing Wage Rates for your use. I will be discussing the contract and related documents with the Town and the City Attorney this coming week and will get those to you ASAP.

Let us know if you have questions or comments.

--
Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 mobile

PREVAILING WAGE RATES

GENERAL DECISION TX010045 03/02/2001 TX45

Date: March 2, 2001

General Decision Number TX010045

Superseded General Decision No. TX000045

State: TEXAS

Construction Type:

HEAVY

HIGHWAY

County(ies):

COLLIN	GRAYSON	ROCKWALL
DALLAS	JOHNSON	TARRANT
DENTON	KAUFMAN	WICHITA
ELLIS	PARKER	

HEAVY AND HIGHWAY CONSTRUCTION PROJECTS IN WICHITA COUNTY ONLY.

HIGHWAY CONSTRUCTION PROJECTS ONLY FOR REMAINING COUNTIES

Modification Number

0

Publication Date

03/02/2001

COUNTY(ies):

COLLIN	GRAYSON	ROCKWALL
DALLAS	JOHNSON	TARRANT
DENTON	KAUFMAN	WICHITA
ELLIS	PARKER	

SUTX2043A 03/26/1998

<u>Rates</u>	<u>Fringes</u>
AIR TOOL OPERATOR	\$ 9.00
ASPHALT RAKER	9.55
ASPHALT SHOVELER	8.80
BATCHING PLANT WEIGHER	11.51
CARPENTER	10.30

CONCRETE FINISHER-PAVING	10.50
CONCRETE FINISHER-STRUCTURES	9.83
CONCRETE RUBBER	8.84
ELECTRICIAN	15.37
FLAGGER	7.55
FORM BUILDER-STRUCTURES	9.82
FORM LINER-PAVING & CURB	9.00
FORM SETTER-PAVING & CURB	9.24
FORM SETTER-STRUCTURES	9.09
LABORER-COMMON	7.32
LABORER-UTILITY	8.94
MECHANIC	12.68
OILER	10.17
SERVICER	9.41
PAINTER-STRUCTURES	11.00
PIPE LAYER	8.98
BLASTER	11.50
ASPHALT DISTRIBUTOR OPERATOR	10.29
ASPHALT PAVING MACHINE	10.30
BROOM OR SWEEPER OPERATOR	8.72
BULLDOZER	10.74
CONCRETE CURING MACHINE	9.25
CONCRETE FINISHING MACHINE	11.13
CONCRETE PAVING JOINT MACHINE	10.42
CONCRETE PAVING JOINT SEALER	9.00
CONCRETE PAVING SAW	10.39
CONCRETE PAVING SPREADER	10.50
SLIPFORM MACHINE OPERATOR	9.92
CRANE, CLAMSHELL, BACKHOE, DERRICK, DRAGLINE, SHOVEL	11.04
FOUNDATION DRILL OPERATOR CRAWLER MOUNTED	10.00
FOUNDATION DRILL OPERATOR TRUCK MOUNTED	11.83
FRONT END LOADER	9.96
MILLING MACHINE OPERATOR	8.62
MIXER	10.30
MOTOR GRADER OPERATOR FINE GRADE	11.97
MOTOR GRADE OPERATOR	10.96
PAVEMENT MARKING MACHINE	7.32
ROLLER, STEEL WHEEL PLANT-MIX PAVEMENTS	9.06
ROLLER, STEEL WHEEL OTHER FLATWHEEL OR TAMPING	8.59

ROLLER, PNEUMATIC, SELF-PROPELLED	8.48
SCRAPER	9.63
TRACTOR-CRAWLER TYPE	10.58
TRACTOR-PNEUMATIC	9.15
TRAVELING MIXER	8.83
WAGON-DRILL, BORING MACHINE	12.00
REINFORCING STEEL SETTER PAVING	13.21
REINFORCING STEEL SETTER STRUCTURES	13.31
STEEL WORKER-STRUCTURAL	14.80
SPREADER BOX OPERATOR	10.00
WORK ZONE BARRICADE	7.32
TRUCK DRIVER-SINGLE AXLE LIGHT	8.97
TRUCK DRIVER-SINGLE AXLE HEAVY	9.02
TRUCK DRIVER-TANDEM AXLE SEMI TRAILER	8.77
TRUCK DRIVER-LOWBOY/FLOAT	10.44
TRUCK DRIVER-TRANSIT MIX	9.47
TRUCK DRIVER-WINCH	9.00
VIBRATOR OPERATOR-HAND TYPE	7.32
WELDER	11.57

Unlisted classifications needed for work not included within the scope of the classifications listed may be added after award only as provided in the labor standards contract clauses (29 CFR 5.5(a)(1)(v)).

 In the listing above, the "SU" designation means that rates listed under that identifier do not reflect collectively bargained wage and fringe benefit rates. Other designations indicate unions whose rates have been determined to be prevailing.

WAGE DETERMINATION APPEALS PROCESS

1.) Has there been an initial decision in the matter? This can be:

- an existing published wage determination
- a survey underlying a wage determination
- a Wage and Hour Division letter setting forth a position on a wage determination matter
- a conformance (additional classification and rate) ruling

On survey related matters, initial contact, including requests for summaries of surveys, should be with the Wage and Hour Regional Office for the area in which the survey was conducted because those Regional Offices have responsibility for the Davis-Bacon survey program. If the response from this initial contact is not satisfactory, then the process described in 2.) and 3.) should be followed.

With regard to any other matter not yet ripe for the formal process described here, initial contact should be with the Branch of Construction Wage Determinations. Write to:

Branch of Construction Wage Determinations
Wage and Hour Division
U. S. Department of Labor
200 Constitution Avenue, N. W.
Washington, D. C. 20210

2.) If the answer to the question in 1.) is yes, then an interested party (those affected by the action) can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Write to:

Wage and Hour Administrator
U.S. Department of Labor
200 Constitution Avenue, N. W.
Washington, D. C. 20210

The request should be accompanied by a full statement of the interested party's position and by any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3.) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board
U. S. Department of Labor
200 Constitution Avenue, N. W.
Washington, D. C. 20210

4.) All decisions by the Administrative Review Board are final.

END OF GENERAL DECISION

Addison Arts & Events District Pavilion Project Manual Review 95% Design Submittal

Table of Contents:

Invitation to Bid, the Agreement, General Conditions and Supplementary Conditions will be sent to you soon.

Prevailing Wage Rates is being sent with this document.

08710, Door Hardware is not included in the Project Manual.

10520 and 10801 are listed with different titles than the sections themselves.

No Division 15 sections and no Division 16 technical sections are included. These must be included and reviewed before the bid documents are issued.

List of Drawings:

We need to include a list of drawings.

00300: 1.1 B. 1. Addendum No. 1 is dated October 9, 2002. Add addendum #3 dated October 31, 2002.

1.1 B. 2. Modify to read "... may be reviewed at the **field** office of..."; xxxx Addison Road; "phone 972.998.5078". (Street number to follow.)

01100: 1.1 A. 1 Street address number is 4970.

1.1 A. 2. 5300 Belt Line Road is actually a Dallas street address. Let's use P.O. Box 9010, Addison, TX 75001-9010.

1.2 A. 1. Contract has been awarded to Abstract Construction.

01140: 1.2 A. 1. staging area is ...south off the "Addison Arts & Events District" site, in coordination with Abstract Construction staging.

01210: It seems we can eliminate this section. We do not want a contingency allowance. Testing and inspection will be under the general contract—this needs to be addressed in numerous locations in the specs.

01250: 1.1 B., based on above, this line can be deleted.

01270: If electrical unit prices called out in 16010 are actually going to be used, they should be listed in this section. If not, they should be eliminated from 16010.

01290: 1.3 E. modify to require one original and five copies.

01310: 1.4 A. typo before word "Project".

01320: 2.3 We do not want a Gantt chart schedule. We want a CPM based schedule.

2.4 A. Add item #9, Visitors

3.1 A. Section 01310 correctly says progress meetings are to be held weekly. This section properly says schedules are to be updated monthly. But, this section says to issue updated schedule three days before each regularly scheduled progress meeting and to revise after each meeting. Need to reword to clarify.

01400: 1.6 A. Owner will not be providing testing agency, contractor will.

01500: 1.3 C. Temporary electric power service will be provided and paid for by contractor.

3.3 C. where are project identification and other signs sizes indicated?

02466: 1.1 A. references "dry-installed" piers, but section calls for casing piers. Is "dry-installed" correct?

1.4 B. 1. Delete reference to "Owner's" testing and inspecting agency.

3.1 C. Delete reference to "Owner's" testing and inspecting agency.

3.1 F. Delete reference to "Owner's" testing and inspecting agency.

3.2 C. Delete reference to "Owner's" testing and inspecting agency.

3.3 A. Change "Owner" to "Contractor".

3.3 B. Delete reference to "Owner's" testing and inspecting agency.

3.3 C. Delete reference to "Owner's" testing and inspecting agency.

03300: 3.6 A. Change "Owner" to "Contractor".

04810: 1.6 D. Drawings do not show "... sample panel where indicated on Drawings,..."

3.10 A. Drawings do not show where to “Install control and expansion joints in unit masonry...”.

3.11 A. Drawings do not indicate where to install steel lintels.

3.13 A. Change “Owner” to “Contractor”.

3.13 A 1. Change “Owner” to “Contractor”.

05120: 2.2 C. & D. grade for anchor rods is not noted on drawings.

2.8 A. Change “Owner” to “Contractor”.

3.3 A. Change “Owner” to “Contractor”.

07511: 3.7 Add provision for Owner to engage independent roofing consultant to inspect roofing during and following installation.

3.9 A. 2. Change Town’s address to P.O. Box 9010, Addison, TX 75001-9010.

08411: 1.1 A. 1. a. Details referenced are not in drawings.

08800: 1.4 H. Glass type GL-1 is not used in drawings.

11400: 1.03 B. Corner guards are not addressed in Division 09.

1.03 C. Conduit referenced is not specified in Division 16.

2.02 A. Be sure items identified in note do in fact get addressed in Division 15.

4.06 Item No. 4 is for future and should be shown as NIC.

4.06 Item No. 8 should include the Roll-in Rack.

06010: 3.3 B. If we are using these, they should be in the proposal form.

JAMES F. DUFFY

TRANSMITTAL

3887 RIDGELAKE CT.
ADDISON, TX 75001

PHONE: 972.241.2816
FAX: 972.406.1146
EMAIL: JFDGROUP@FLASH.NET

TO:	CRAIG GAUSSIRAN STEVE CHUTCHIAN	FROM:	JIM DUFFY
	CARMEN MORAN SLADE STRICKLAND		
PROJECT:	AAED	DATE:	12/31/02

FYI REQUESTED REVIEW / COMMENT FOR APPROVAL OTHER

COMMENTS:

1 EA BULLETIN #1, DATED 12/30/02
DRAWINGS REVISED BY BULLETIN #1—C1-1, C2-2, C2-4, C3-2, C4-1, C4-2, C4-3, C5-1, C5-2,
C5-3, C5-4, C5-5, C5-6, C8-5, C8-9, L1-1, L1-2, L2-1
5 EA. DRAWING SETS TO ABSTRACT, 1 EA. SET TO ALL OTHER RECIPIENTS.

CRAIG: WE WILL BE RECEIVING ELECTRICAL MODIFICATIONS RELATED TO THE PAVING CHANGE
IN THE BOWL AREA. ALL THE ENGINEERS ARE ON VACATION SO THEY CAN'T START ON IT UNTIL
NEXT WEEK.

DOCUMENT 00951

BULLETIN NO. 1

DATE: December 30, 2002

TO: ABSTRACT CONSTRUCTION
11157 Ables Lane
Dallas, Texas 75229
Tel.: 469-385-9700
Fax: 469-385-9753

Att: Craig Gaussiran, Project Manager

FROM: SASAKI ASSOCIATES, INC.
64 Pleasant Street
Watertown, Massachusetts 02172

PROJECT: ADDISON ARTS & EVENTS DISTRICT
Addison, Texas

This Bulletin consists of three (3) pages plus attached revised drawings.

Description: This Bulletin includes the following:

1. Replace most ground-mounted yard hydrants with post-mounted fixtures in adjusted locations.
2. Remove, salvage and reuse existing fire hydrant at Addison Road/Clara Street intersection.
3. Eliminate proposed fire hydrant at corner of Quorum Drive and Festival Way.
4. Add exposed aggregate paved area adjacent to walk at The Bowl.
5. Eliminate portion of Lady Bank's Rose planting along fence at Festival Way.
6. Revise limit of work at Pavilion to exclude paving within Pavilion courtyard space.

SPECIFICATIONS

DIVISION 2 – SITE CONSTRUCTION

Section 02510 – Water System

1. Page 02510-8, Paragraph 2.13, change "GROUND HYDRANT" to "YARD HYDRANT".
2. Page 02510-8, Subparagraph 2.13.A., change "Ground hydrant" to "Yard Hydrant Type B"
3. Page 02510-8, Paragraph 2.13, add the following subparagraph:

"B. Yard Hydrant Type A shall be Freeze Flow Sanitary Yard Hydrant with screw handle and two foot bury depth, manufactured by Hoepfner Products, Gilroy, CA 95020.

Section 02750 – Portland Cement Concrete Pavement

1. Page 02750-5, Paragraph 2.02, delete subparagraph B.

Section 02752 – Exposed Aggregate Concrete Pavement

1. Page 02752-4, Paragraph 2.02, delete subparagraph B.
2. Page 02752-5, Paragraph 2.05 C., change "Catens" to "Cactus". Subparagraph 2.05 C. 1., add "AB" after "Sienna".

DRAWINGS**CIVIL****Drawing C1-1 – Site Preparation/Demolition/Erosion Control Plan**

1. Add note to remove, salvage and reuse existing fire hydrant at Addison Road and Clara Street, and abandon connection to water main in Addison Road.

Drawing C2-2 – Materials Plan

1. Add exposed aggregate paving at The Bowl.
2. Revise Limit of Work at Pavilion building.

Drawing C2-4 – Layout Plan

1. Add exposed aggregate paving at The Bowl.
2. Revise Limit of Work at Pavilion building.

Drawing C3-2 – Grading & Drainage Plan

1. Add exposed aggregate paving at The Bowl.
2. Revise Limit of Work at Pavilion building.

Drawing C4-1 – Utilities Plan

1. Revise Legend to indicate Yard Hydrant Types A & B, add detail reference.
2. Revise Yard Hydrant locations along southerly edge of Festival Way, north side of fence along Festival Way, and at Pergola and change all to Type A fixtures.

Drawing C4-2 – Utilities Plan

1. Revise Legend to indicate Yard Hydrant Types A & B, add detail reference.
2. Revise Yard Hydrant locations along southerly edge of Festival Way and north side of fence along Festival Way and change all to Type A fixtures.
3. Add exposed aggregate paving at The Bowl.
4. Revise Limit of Work at Pavilion building.
5. Delete proposed fire hydrant at corner of Festival Way and Quorum Drive.

Drawing C4-3 – Utilities Plan

1. Revise Legend to indicate Yard Hydrant Types A & B, add detail reference.
2. Revise Yard Hydrant locations along southerly edge of Festival Way and change all to Type A fixtures.

Drawing C5-1 – Materials Plan Detail

1. Revise Limit of Work at Pavilion building.

Drawing C5-2 – Materials Plan Detail

1. Add exposed aggregate paving at The Bowl.

Drawing C5-3 – Paving and Layout Plan Detail

1. Revise Limit of Work at Pavilion building.

Drawing C5-4 – Paving and Layout Plan Detail

1. Add exposed aggregate paving at The Bowl.

Drawing C5-5 – Grading Plan Detail

1. Revise Limit of Work at Pavilion building.

Drawing C5-6 – Grading Plan Detail

1. Add exposed aggregate paving at The Bowl, add spot grades.

Drawing C8-5 -- Site Details Water

1. Add Detail 2 for "Yard Hydrant Type A Section".
2. Revise title of Detail 1 to "Yard Hydrant Type B Section".

Drawing C8-9 -- Layout Coordinate System Reference Plan

1. Revise coordinates to reflect changes in Yard Hydrant locations.

LANDSCAPE

Drawing L1-1 -- Planting Plan

1. Delete some Lady Bank's Roses at fence along Festival Way.

Drawing L1-2 -- Planting Plan

1. Delete some Lady Bank's Roses at fence along Festival Way.
2. Add exposed aggregate paving at The Bowl.
3. Revise Limit of Work at Pavilion building.

Drawing L2-1 -- Planting Details and Plant List

1. Revise quantity of Lady Bank's Rose in Plant List.

END OF BULLETIN

Steve Chutchian

To: jfdgroup@flash.net
Cc: Michael Murphy; Dave Wilde; Luke Jalbert
Subject: 8" water line on Julian St.

Jim - the contractor attempted to lay out the alignment of the proposed 8" water main, by coordinates, on Julian St., between Festival Way and Broadway. The plans call for the line to be laid on the east side of the existing street. However, the coordinates that are shown on the plans place the line on the west side. It also creates direct interference with an existing sanitary sewer line, fire hydrant, and open ditch, and places the new fire hydrant in the middle of Julian St.

Our staff determined that the the existing line on Broadway can be extended straight to a point east of the existing asphalt pavement on Julian. At that location, a bend can be placed in the line, and it can be extended north to the proposed 12" line in Festival Way. This revision will also allow us to avoid conflict with two storm sewer laterals in Festival Way. In order to verify the placement of the proposed line in the street right-of-way, it will be necessary for the contractor to establish the east right-of-way line in Julian (west property line of block 3). Plan quantities should generally not be affected.

The contractor would like to begin this work on Thursday, Jan. 2nd. With you concurrence, we will direct the contractor to proceed accordingly. Thanks.

Steve C.

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Tuesday, December 24, 2002 12:44 PM
To: Craig Gaussiran
Cc: Carmen Moran; Slade Strickland; Steve Chutchian
Subject: Progress schedule

Craig,

I have reviewed the proposed format for your Addison Arts & Events District progress schedule. The format is acceptable. I do have some thoughts on the content I would like to see addressed. The following are my thoughts. After you have completed the schedule and you and I have an agreement, I will be submitting the final to Carmen, Slade and Steve for review and any final comments before implementation.

1. I suggest you incorporate the stage area as a subcategory with the related activities, i.e. earthwork, concrete, electrical, etc.
2. Under site, I suggest the following additions and changes:
 - a.) Break out the drainage fields under Storm Sewer as a separate activity.
 - b.) Add the water system, drinking fountains, and yard and fire hydrants as separate activities.
 - c.) Add site furnishings.
 - d.) Add underground electrical and electrical distribution as separate activities, specifically including the electrical distribution panels at the pergola, bowl and Pavilion.
3. Under Pergola add concrete work (columns, foundations, etc.)
4. Under road, add the curb & gutter as a separate activity based on our meeting yesterday.
5. Under Fountain Plaza add the following:
 - a.) Slate, stone and granite pavers.
 - b.) Add the stone wall.
 - c.) Add the metal grating
 - d.) Add electrical
 - e.) Add the fountain vault work.

Please let me know when you have a final schedule for review.

--

Jim Duffy

3887 Ridgeland Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 mobile

Steve Chutchian

To: Jim Duffy
Subject: RE: Fire Hydrant

Jim - at Clara St. & Addison Rd., it would be better to get the existing hydrant off the existing 24" line. The hydrant can be removed, with the valve shut off and the line capped. The existing hydrant can then be utilized as part of the proposed fire hydrant assembly at Festival Way & Addison Rd.

At the Quorum Drive location, we checked the condition of the existing fire hydrant that is tapped into the existing 24" line. It appears to be in good shape and does not need to be removed. The location of the proposed hydrant assembly north of the existing assembly is not needed and can be removed from the project.

It is suggested that the Town receive a credit for materials and labor for each location.

Steve C.

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Wednesday, December 18, 2002 5:36 PM
To: Steve Chutchian
Subject: FW: Fire Hydrant

Steve,

Will you give me your input on this question?

Thanks,
Jim

From: dclough@sasaki.com
Date: Wed, 18 Dec 2002 15:40:24 -0500
To: jfdgroup@flash.net
Subject: Fire Hydrant

Jim,

Should the existing fire hydrant at Clara Street and Addison Rd. be removed and salvaged, or should it be reused? Maybe someone has to take a look at it to see what condition it's in.

Also, in finding that one, I noticed that there is an existing fire hydrant on the west side of Quorum Drive, about 15 to 20' south of where we are proposing a new one at Quorum/Festival Way. Ting is out on vacation, so I don't know whether it was intended to replace that hydrant with a new one or if it was just an oversight.

We don't need 2 at that corner. So, the Town might want to take a look at that one too and decide if it should be replaced (salvage or reuse?), or if we just eliminate the proposed new hydrant.

Please let me know what we should do. Thanks.

12/19/2002



December 17, 2002

City of Addison
 Engineering Dept.
 Attn: Dave Wilde

Site Utilities Sub-Contractor: CalHar Construction, Inc.
 General Contractor: Abstract Construction Services, Inc.
 Civil Engineer: Sasaki Interdisciplinary Design

Project: Addison Arts & Events District
 Location:

Site Utilities : Water/Sanitary Sewer/Storm Sewer for the Town of Addison Arts & Events District:

ITEM	DESCRIPTION	QTY	UNIT	UNIT PRICE	TOTAL
WATER					
1	12" Ultra Blue (C909)	1176	LF	\$ 20.00	\$ 23,520.00
2	8" Ultra Blue (C909)	2607	LF	\$ 16.00	\$ 41,712.00
3	6" Ultra Blue (C909)	52	LF	\$ 15.00	\$ 780.00
4	4" Ultra Blue (C909)	120	LF	\$ 15.00	\$ 1,800.00
5	6" Ultra Blue (C909) Fire Hydrant Lead	161	LF	\$ 15.00	\$ 2,415.00
6	12" Gate Valve	3	EA	\$ 1,140.00	\$ 3,420.00
7	8" Gate Valve	17	EA	\$ 700.00	\$ 11,900.00
8	6" Gate Valve	7	EA	\$ 535.00	\$ 3,745.00
9	8" Meter/Vault	2	EA	\$ 19,600.00	\$ 39,200.00
10	8" Backflow/Vault	2	EA	\$ 8,065.00	\$ 16,130.00
11	2" Copper Line	270	LF	\$ 17.00	\$ 4,590.00
12	3/4" Copper Line	631	LF	\$ 16.00	\$ 10,096.00
13	1/2" Copper Line	365	LF	\$ 15.00	\$ 5,475.00
14	3/4" Yard Hydrant	25	EA	\$ 180.00	\$ 4,500.00
15	24x12 Tapping Sleeve & Valve (On RCCP)	2	EA	\$ 4,600.00	\$ 9,200.00
16	Cased Bore for 12" Line	65	LF	\$ 185.00	\$ 12,025.00
17	Cut/Connect to Existing 8" Line	1	EA	\$ 400.00	\$ 400.00
18	Connect to Existing 2" Valve	1	EA	\$ 200.00	\$ 200.00
19	Standard Fire Hydrant	6	EA	\$ 1,285.00	\$ 7,710.00
20	Remove/Replace Quorum Drive Pavement	10	SY	\$ 55.00	\$ 550.00
21	Remove/Replace Asphalt Pavement	225	SY	\$ 55.00	\$ 12,375.00
22	Remove/Replace Addison Road Pavement	10	SY	\$ 55.00	\$ 550.00
23	Fittings	28	EA	\$ 325.00	\$ 9,100.00
23	Trench Safety	1	LS	\$ 175.00	\$ 175.00
				TOTAL	\$ 221,568.00
SANITARY SEWER					
1	8" SDR 35	1093	LF	\$ 16.50	\$ 18,034.50
2	6" SDR 35	517	LF	\$ 15.50	\$ 8,013.50
3	4" SDR 35	15	LF	\$ 15.00	\$ 225.00
4	4" Cleanout	11	EA	\$ 165.00	\$ 1,815.00
5	4' Diam. Manhole (5' - 15' Deep)	7	EA	\$ 2,300.00	\$ 16,100.00
6	Connect to Existing Manhole (11' - 15' Deep)	2	EA	\$ 615.00	\$ 1,230.00
7	Drop Connection (7' Deep)	1	EA	\$ 900.00	\$ 900.00
8	Raise Existing Manhole (1' Depth)	1	EA	\$ 275.00	\$ 275.00
9	Remove/Replace Addison Circle Drive Pavement	20	SY	\$ 55.00	\$ 1,100.00
10	Remove/Replace Brick Paved Sidewalk	150	SF	\$ 7.00	\$ 1,050.00
23	Trench Safety	1	LS	\$ 175.00	\$ 175.00
				TOTAL	\$ 48,918.00



STORM SEWER

1	36" RCP CL III	153	LF	\$	60.00	\$	9,180.00
2	24" RCP CL III	387	LF	\$	39.00	\$	15,093.00
3	21" RCP CL III	171	LF	\$	36.00	\$	6,156.00
4	18" RCP CL III	1018	LF	\$	32.00	\$	32,576.00
5	15" RCP CL III	1009	LF	\$	30.00	\$	30,270.00
6	8" Trench Drain	6	LF	\$	250.00	\$	1,500.00
7	8" HDPE	24	LF	\$	16.00	\$	384.00
8	4" Sch. 40 Kiosk Utility Box Drain Line (See Note #17)	20	LF	\$	16.00	\$	320.00
9	4" Solid Underdrain (See Note #24)	1140	LF	\$	11.85	\$	13,509.00
10	4" Perforated Underdrain (See Note #24)	1198	LF	\$	17.35	\$	20,785.30
11	2" Underdrain Cleanout	12	EA	\$	75.00	\$	900.00
12	7' Diam. Manhole (9' Deep)	1	EA	\$	4,650.00	\$	4,650.00
13	5' Diam. Manhole (4' - 9' Deep)	10	EA	\$	2,300.00	\$	23,000.00
14	3x3 Type "A" Manhole (6' Deep)	1	EA	\$	2,725.00	\$	2,725.00
15	1.5x1 Kiosk Utility Box (1' Deep)	1	EA	\$	900.00	\$	900.00
16	Precast 6' Curb Inlet (4' Deep)	8	EA	\$	1,725.00	\$	13,800.00
17	Precast 2X2 Area Drain (3'-6' Deep)	18	EA	\$	1,060.00	\$	19,080.00
18	Retention Field #1 (See Note #16)	1	EA	\$	29,500.00	\$	29,500.00
19	Retention Field #2 (See Note #15)	1	LS	\$	41,500.00	\$	41,500.00
20	Retention Field #3 (See Note #18)	1	LS	\$	24,500.00	\$	24,500.00
21	Connect to Existing RCP in Addison Circle Drive	1	EA	\$	600.00	\$	600.00
22	Connect to Existing RCP in Addison Road	1	EA	\$	600.00	\$	600.00
23	Connect to Existing Inlet	2	EA	\$	425.00	\$	850.00
24	Connect to Existing RCP	2	EA	\$	425.00	\$	850.00
25	Remove/Replace Addison Road Pavement	10	SY	\$	55.00	\$	550.00
26	Remove/Replace Addison Circle Drive Pavement	15	SY	\$	55.00	\$	825.00
28	Trench Safety	1	LS		150.00	\$	150.00
					TOTAL	\$	294,753.30

TOTAL WORK LOCATED IN THE CITY OF ADDITION PUBLIC ROW: \$ 565,239.30

NOTES:

- 1 1YR/10% Maintenance Bond to be provided to the City of Addison upon completion of the above work.

Steve Chutchian

From: Jim Duffy [jfdgroup@flash.net]
Sent: Thursday, December 12, 2002 10:56 AM
To: Craig Gaussiran
Cc: Carmen Moran; Steve Chutchian
Subject: Project signs



WATERGAR.tif

Craig,

in response to your fax of 12/10/02 regarding the project sign design approval, please consider the design approved, with the addition of the contractor name and estimated completion date.

Attached is the electronic file of the image to be used on the sign.

Located one sign along and facing Addison Road, roughly midway between Addison Circle Drive and Clara Street.

Locate one sign on Addison Circle Drive, across from and facing the Addison Conference Centre.

Locate one along and facing Quorum, roughly midway between Addison Circle Drive and the new Festival Way.

--

Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 mobile

Steve Chutchian

From: Dave Wilde
Sent: Wednesday, December 04, 2002 11:55 AM
To: Carmen Moran
Cc: Steve Chutchian
Subject: RE: Oncor utility relocation

I would think that Oncor can do whatever we ask them to do. Obviously they will expect to be paid for this work and materials. I don't know if they (or their sub) would do the concrete pier (light base foundation) or if our contractor would be required to do that. We would most likely need to identify the exact location we prefer, so a little guidance there would be helpful. Possibly the NW corner could work, pending identification of ROW and existing utilities. If anyone wants to meet me out there, just let me know.

Dave Wilde
Public Works Inspector
Town of Addison
PH: 972-450-2847

-----Original Message-----

From: Carmen Moran
Sent: Wednesday, December 04, 2002 11:36 AM
To: Dave Wilde
Subject: FW: Oncor utility relocation

Dave,

Can we get a standard street light pole for this light?

CM

-----Original Message-----

From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Wednesday, December 04, 2002 10:38 AM
To: Carmen Moran
Cc: Craig Gaussiran
Subject: Oncor utility relocation

Carmen,

I talked this morning to Kemp Spears, Oncor's project manager for the Arts & Events District project. He tells me the work order for our new electric service and relocation is in their construction department awaiting a schedule. They have the necessary permits and he will let me know when work is scheduled to begin.

He mentioned that Dave Wilde had identified a street light on Broadway at Julian which was also fed by the existing overhead lines and needed to be maintained. Oncor is trying to figure out a way to feed it and also suggested perhaps a standard street light pole to replace the wooden pole currently in use. I guess Dave will continue to coordinate that work with them.

He also confirmed they will cap and abandon the gas lines currently running down Julian and Clara.

--
Jim Duffy

3887 Ridgelake Ct.
Addison, TX 75001

972.241.2816
972.406.1146 fax
972.998.5078 mobile

Re: Dispute among Town of Addison, Abstract Construction Company,
Strand & Associates, et al.

AGREEMENT OF PARTIES

1. Within the next thirty (30) days, the Parties will work to develop a scope of work to repair Festival Way. The scope of work from Surety shall include engineered construction drawings of the scope of work subject to approval by Addison. Paragraphs 2 – 10 are contingent upon developing an agreed-upon scope of work.

2. Within five (5) business days, Addison shall have the right to approve any subcontractor chosen by Abstract/Strand's Surety to perform the scope of work.

3. All terms and conditions of the Contract between Addison and Abstract for construction of the Addison Arts & Events District shall apply to the scope of work for repair of Festival Way.

4. Abstract shall have all appropriate field engineers or other qualified persons present during all pours to confirm the proper elevations are being maintained during concrete placement. Addison must be provided with the contract required testing and inspection reports necessary for the street construction, including the subgrade.

5. No concrete is to be poured unless a representative of Addison is present to observe and, if necessary, point out corrective actions to be taken. The Addison Public Works Department should be contacted in advance to schedule the attendance of the appropriate Addison representative.

6. The scope of work shall be completed between July 4 – September 1, 2005.

7. By March 21, 2005, Addison shall provide a punch list to Abstract related to the Addison Arts & Events District. Upon completion of the punch list, Addison shall release \$100,000.00 of monies held. Upon completion of the work described by the scope of work in Paragraph 1, Addison shall release all remaining monies held.

8. Either Strand Surety or the agreed-upon subcontractor shall provide a one (1) year guarantee on the work performed under the scope of work and a one (1) year maintenance bond.

9. The Parties agree to a completion of the work described by

10. Abstract and/or Strand \$25,000.00 to Addison.

*NANCY has the
③ letters from
Apr. & May 2005
re Repair of
Festival way*

Events of September 18th, 2003

1. Experienced heavy rainfall in afternoon (approx. 1"-2"/hour).
2. Received call from Barbara K about 4:20 pm she said they were experiencing substantial flooding inside of restaurant tent just west of stage, received same call from Slade S a few minutes later.
3. 4:25 pm I directed Utility Crew and Engineer to take large pump to site and remove water from tent area.
4. 4:30 pm I received call from Chris to come out to site to see if we could determine problem for future reference.
5. Had water evacuated from site by 5:30 pm, kept Utility Crew on sight until last rainfall threat passed.
6. Walked site next day to determine what caused drainage system overload.

What we saw when we arrived on site:

1. Area around drain inside of tent completely submerged (approx. 24"-30").
2. Were able to immediately determine that we could drop a submersible pump into manhole just outside tent to clear water from inside.
3. Once we turned pump on -- inside drain evacuated water within a couple of minutes, which would tend to support idea there was some type of blockage.

Some Ideas:

1. Place vault and sump pump near entrance manholes to each drainage field to pump water directly to street drainage system.
2. Put concrete aprons around each area drain and re-grade to funnel water into area.
3. Completely re-grade area above fountains to properly direct water to area drains.
4. Consider future placement of restaurant tent outside area drains.

1. TALK TO ROBIN ABOUT LIGHT POLE NEAR JEWELRY STORE.
2. HAVE MEMO FROM GASMEI TO COMPLETELY REPLACE FESTIVAL WAY.
3. WORK WILL NOT START UNTIL JAN. 19TH
4. QUESTION FOR CARMEN "WHAT HAPPENED TO A FB CONTRACT?"
5. REGRADING WILL NOT HAPPEN UNTIL LANDSCAPE CONTRACTOR IS FINISHED.
6. DRAINAGE NEAR FOUNTAIN WILL CHANGE - CONTRACTOR WILL ADD A SWELL TO AREA IN PLACE OF CURRENT MOUND.

OWNER/ARCHITECT/CONTRACTOR PROGRESS MEETING

Minutes of Meeting No. 11

April 16, 2003, Wednesday

1:30 PM

Meeting Location: Addison Arts and Events District Jobsite
15440 Addison Road

Page: Cover Sheet
Project No.: G02068E
Project: Addison Arts & Events District

Here Y/N	Initials	Attendee Name	Company Represented
Y	CAG	Craig Gaussiran	Abstract Construction Company
Y		Garth Rogers	Abstract Construction Company
Y		Jim Duffy	JFD Group
Y		Slade Strickland	Town of Addison
N		Luke Jalbert	Town of Addison
Y		Steve Chutchian	Town of Addison
N		Ron Lee	Town of Addison
Y		Dave Wilde	Town of Addison
Y		Carmen Moran	Town of Addison
N		Jim Pierce	Town of Addison

The attached minutes reflect the author's interpretation of what was discussed, determined or occurred at the above referenced meeting. If any attendee feels there has been a discrepancy or error in documenting the discussions, please notify the author in writing with in 5 days of receipt of these minutes. Otherwise these minutes will be deemed to be accurate and accepted as written by all parties in attendance.

The Next meeting will be held at the following location, date and time:

Location: Addison Arts and Events District Jobsite
15440 Addison Road

Date: Wednesday, April 30, 2003
Time: 1:30 PM

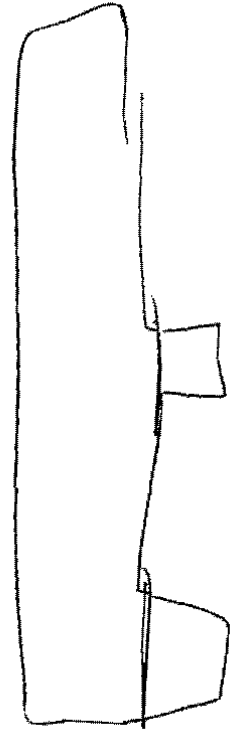
Prepared By: Abstract Construction Company

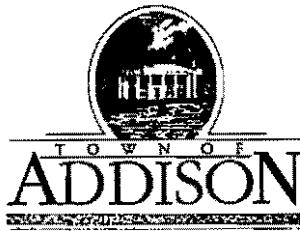
Signed: **Craig A. Gaussiran**

Craig A. Gaussiran

Dated: 04/16/03

CHECK w/ APB ON
REUSE PRCEL 2 LEAK





OFFICE OF THE CITY MANAGER
Post Office Box 9010 Addison, Texas 75001-9010

(972) 450-7000 • FAX (972) 450-7043
5300 Belt Line Road

STEVE
FOR YOUR
RECORDS.
Mike

Mike, FYI

March 17, 2003

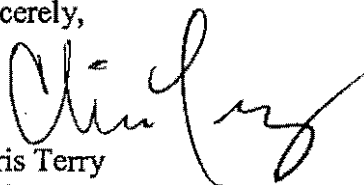
Dear Addison Circle Business:

I wanted to notify you of an upcoming temporary change in parking availability as a result of the Addison Arts & Events District construction. Beginning late this week, we will begin staging construction materials for *The Pavilion* building located near the intersection of Addison Circle Drive and Witt Place. *The Pavilion* will be an outdoor catering service and special event building with kitchen and restroom facilities to serve the Arts & Events District.

To stage the construction of the building, the Town's contractor will be fencing off approximately six parallel parking spaces along the sidewalk and near the corner of Quorum Drive and Addison Circle Drive moving west to the intersection of Witt Place. These parking spaces are all on the south side of Addison Circle Drive. We anticipate these parking spaces will be needed throughout the construction period that should conclude in September.

We apologize for any inconvenience this may cause. We are excited about the opportunities the opening of the new Arts & Events District will bring to the community in the near future. The Town is working now to bring new events and activities to the area that we hope will benefit your business. Should you have any questions regarding the construction process, feel free to contact either Jim Duffy, Construction Project Manager at 972/241-2816 or me at 972/450-7010.

Sincerely,


Chris Terry
Assistant City Manager

Mike -
FYI,
Chris

- cc: Ron Whitehead, City Manager
- Carmen Moran, Development Services Director
- Mike Murphy, Public Works Director
- Jim Duffy, Construction Project Manager



Steve Chutchian

To: Jim Duffy
Subject: RE: French drain connection to sanitary

Jim:

The Town of Addison Public Works Department is aware that the Engineer, Sasaki & Associates, designed a french drain to drain from the proposed fountain vault to a nearby sanitary sewer system, as part of the Arts & Events District improvements. Our staff has stated on several occasions that we oppose this connection (connecting storm water to a sanitary sewer is not allowed by ordinance), and have offered several alternatives to you for draining this sub-surface stormwater. These alternatives suggested have been:

- a. Thickening up the vault floor to increase weight
- b. Extending footings to pick up additional weight from soils
- c. Drain the vault french drain to a storm sewer

We would also like to offer another alternative, which includes a drawing that we will submit to you at the weekly meeting today. This alternative allows the french drain to drain to the sump within the vault. The water could then be pumped to the storm sewer. Any of these alternatives would satisfy Public Works. The Contractor may have other acceptable ideas we have not thought of to date. Should you have any questions, please let us know.

Steve Chutchian
Jim Pierce

-----Original Message-----

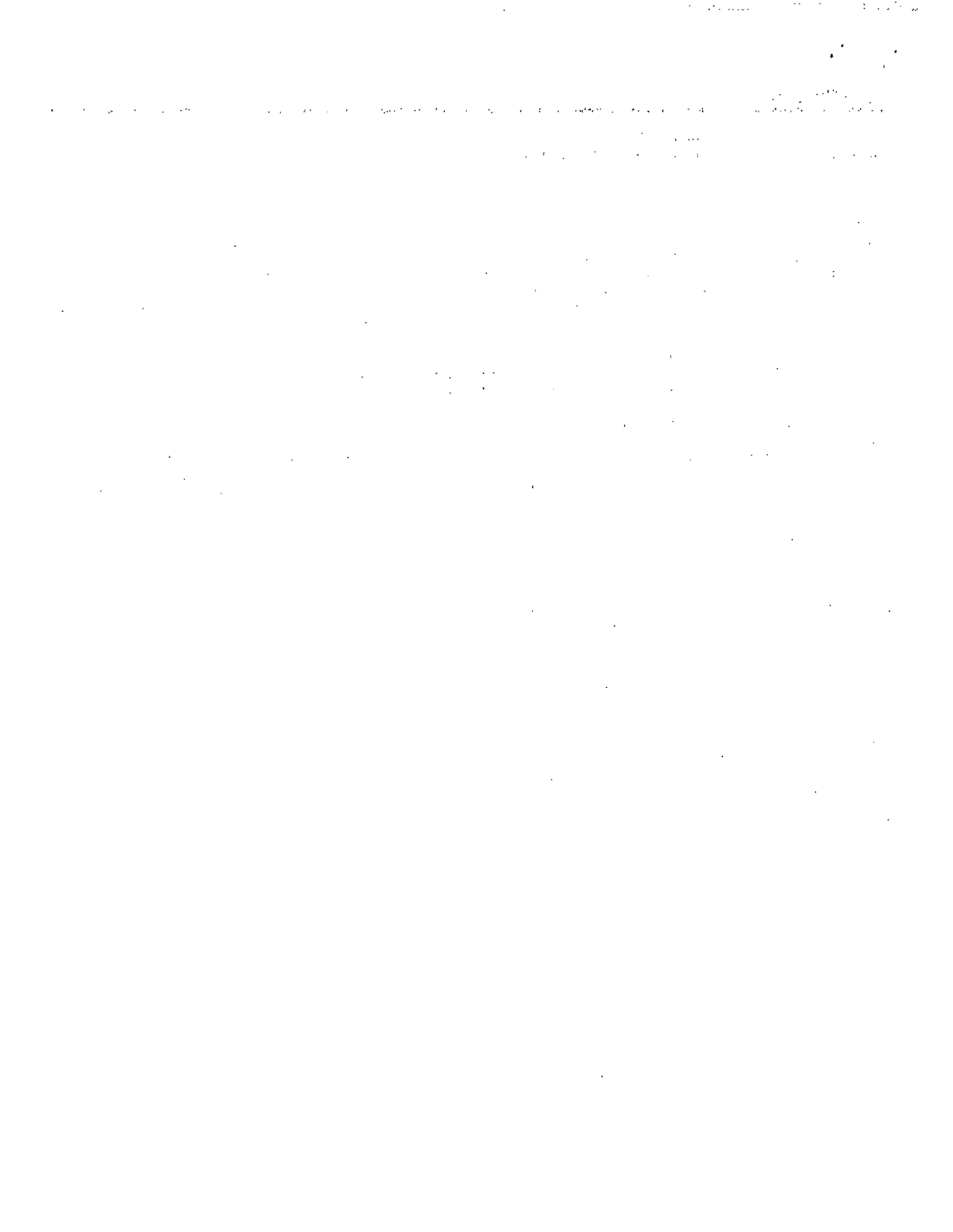
From: Jim Duffy [mailto:jfdgroup@flash.net]
Sent: Friday, January 24, 2003 4:04 PM
To: Steve Chutchian
Subject: French drain connection to sanitary

Steve,

The mechanical engineer would like something from the Town indicating they are aware of the connection of the fountain vault french drain to the sanitary sewer. Will you please send me an email indicating your awareness of that connection so I can forward it on?

Thanks,

Jim



DRAFT

E-MAIL RESPONSE TO JIM DUFFY:

(connecting storm water to a sanitary sewer is not allowed by ordinance)

JIM -

THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT IS AWARE THAT THE ENGINEER, SASAKI ASSOCIATES, DESIGNED ~~A~~ ^A FRENCH DRAIN ^{TO DRAIN} FROM THE PROPOSED FOUNTAIN VAULT TO A NEARBY SANITARY SEWER SYSTEM, AS PART OF THE ARTS & EVENTS ~~DISTRICT~~ ^{DISTRICT} IMPROVEMENTS. OUR STAFF HAS STATED ON SEVERAL OCCASIONS THAT WE ~~OPPOSE~~ ^{OPPOSE} THIS CONNECTION, AND HAVE OFFERED SEVERAL ALTERNATIVES ^{FOR DRAINING} ~~FOR~~ THIS SUB-SURFACE STORM WATER.

CONTA

Alternatives suggested have been:

- Thickening up the vault floor to increase weight
- Extending footings to pick up additional weight from soils
- Drain the vault french drain to a storm sewer.

We would also like to offer another alternative as shown on the attached sketch - this alternate allows the french drain to drain to the sump within the vault, the resulting water could then be pumped to the storm sewer.

... Either one of these alternatives would
... satisfy Public Works. The contractor
... may have other acceptable ideas we have
... not thought of.

... Please advise if you have any questions

... YKT

OWNER'S CERTIFICATE

BEING a part of land located in the G.W. Fisher Survey, Abstract No. 482 of Dallas County, Texas, and being access property conveyed to the Town of Addison by deeds on file in the Deed Records of Dallas County, Texas, said tract being more particularly described as follows:

ACCOMPANIED at a point for a corner, said point being the intersection of the south right-of-way line of 90.00 foot wide right-of-way and the east right-of-way line of Addison Road as 90.00 foot wide right-of-way.

THENCE S 87°48'12" E, a distance of 668.56 feet along said south right-of-way line of Addison Circle to a point for a corner.

THENCE S 0°20'30" W, a distance of 15.00 feet along said south right-of-way line of Addison Circle to a point for a corner.

THENCE S 87°48'12" E, a distance of 208.14 feet along said south right-of-way line of Addison Circle (an 90.00 foot wide right-of-way) to a point of curvature.

THENCE along a curve (C-1) to the right with a radius of 775.03 feet and a chord bearing of S 87°59'21" E, an arc distance of 91.86 feet along said south right-of-way line of Addison Circle to a point of tangency.

THENCE S 87°48'12" E, a distance of 71.97 feet along said south right-of-way line of Addison Circle to a point for a corner at the intersection of the west right-of-way line of Quorum Drive (as it exists with right-of-way) and said south right-of-way line of Addison Circle (an 150.00 wide right-of-way) to a point of curvature.

THENCE along a curve (C-2) to the left with a radius of 130.00 feet and a chord bearing of S 34°50'21" E, an arc distance of 103.38 feet to a point for a corner.

THENCE S 0°20'30" W, a distance of 148.15 feet along said west right-of-way line of Quorum Drive (a 100-foot wide right-of-way) to a point of curvature.

THENCE along a curve (C-3) to the left with a radius of 1485.39 feet with a chord bearing of S 07°34'11" W, an arc distance of 178.19 feet to a point of tangency.

THENCE S 07°02'00" W, a distance of 138.90 feet along said west right-of-way line of Quorum Drive to a point for a corner at the intersection of the north right-of-way line of The Dallas Area Rapid Transit (DART) 100-foot wide right-of-way and said east right-of-way of Quorum Drive.

THENCE S 88°58'00" W, a distance of 670.88 feet along said north right-of-way line of DART to a point for a corner.

THENCE S 87°28'48" W, a distance of 762.62 feet along said north right-of-way line of Broadway Street to a point for a corner at the intersection of the north right-of-way line of Addison Road as 150.00 foot wide right-of-way to a point for a corner.

THENCE S 89°38'48" W, a distance of 90.00 feet to a point for a corner.

THENCE N167°48'12" W, a distance of 210.00 feet to a point for a corner.

THENCE N107°42'20" W, a distance of 851.58 feet along said east right-of-way line of said Addison Road as 150.00 foot wide right-of-way to a point for a corner.

THENCE N107°48'48" W, a distance of 865.00 feet along said east right-of-way line of said Addison Road to the point of Beginning, said tract of land containing 795,382 square feet (18.30 acres) of land.

That The Town of Addison ("Owner") does hereby adopt this plat designating the hereinabove property as Addison Arts and Events District, an addition to the Town of Addison, Texas, and, subject to the covenants, restrictions and reservations stated hereinafter. Owner dedicates to the public Use below the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown herein is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be encased by ordinance, all of lines and shall be maintained by the individual owners of the lots or lots that are abutted by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided however, it is understood that in the event it becomes necessary for the City to channelize or consider reeking any type of drainage structures in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, all growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to eliminate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be fully defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels, and the Owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be built to a minimum elevation as shown on the plat. The maximum floor elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire line easements is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, maintaining and adding to or removing all or parts of its respective system without the necessity of any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or originally performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easements as shown, provided, however, that Owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, conduits, the hydraulic water service and sewer services from the man to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all existing ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

TOWN OF ADDISON

BY:

TITLE:

Witness my hand at _____ Texas this _____ day of _____, 2002.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

Block 1 use shall be limited to public green space. Such use shall be limited to public open space, public health and recreational facility, tennis court, public school, conference center, theater center, and special events facility.

KNOW ALL MEN BY THESE PRESENTS:

I, Ronald V. Conway, a registered Professional Land Surveyor, hereby certify that the foregoing plat was compiled from an accurate survey made on-the-ground, under my personal supervision.

For: Blinhoff, Hendricks & Conway, L.L.P.

Ronald V. Conway

Ronald V. Conway
Registered Professional Land Surveyor
Registration No. 2349

CERTIFICATION OF APPROVAL

Approved this _____ day of _____, 2002, by the Town Council of Addison, Texas.

Mayor _____

Secretary _____

This plat is approved subject to all existing ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

REPLAT

OF JULIAN ADDITION,
LOTS 13-26, BLOCK A, LOTS 1-10, BLOCK B,
LOTS 1-5, BLOCK C, LOTS 1-4, BLOCK D,
ADDITION CIRCLE PHASE I ADDITION,
LOT 1, BLOCK A; AND ADDITION CIRCLE PHASE II
ADDITION, LOT _____,
AS

ADDITION ARTS AND EVENTS DISTRICT

BLOCKS 1-4

IN

THE TOWN OF ADDISON, DALLAS CO., TEXAS

G.W. FISHER SURVEY
ABSTRACT NO. 482

BIRKHOFF, HENDRICKS & CONWAY, L.L.P.

CONSULTING ENGINEERS
7902 STEINLEAVE AVE., SUITE 200
DALLAS, TEXAS 75247
972-343-7000

POINT OF BEGINNING

S 89°49'12" E - 668.55'

ADDISON CIRCLE

S 00°01'39" W
15.00'

S 89°49'12" E - 209.14'

C-1 S 82°48'23" E
71.87'

60'
R.O.W.

ADDISON ROAD

N 00°36'46" E - 665.99'

N 89°49'12" E - 100.00'

N 02°40'25" W
81.53'

BLOCK 1
9.79 AC.

ADDISON ARTS AND EVENTS DISTRICT
18.26 Ac.

G.W. FISHER SURVEY
ABSTRACT No. 482

S 89°49'12" E - 1000.24'

80' STREET BEAR-UP-NAV

N 89°49'12" E - 1000.24'

S 89°49'12" E - 616.00'

BLOCK 2
2.47 AC.

S 89°49'12" E - 404.20'

S 89°49'12" E - 200.00'

N 89°49'12" E - 1000.24'

S 89°49'12" E - 616.00'

BLOCK 3
3.29 AC.

S 89°49'12" E - 616.00'

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S 89°49'12" E - 616.00'

BLOCK 4
0.23 AC.

N 89°49'12" W - 210.00'

N 00°30'51" E - 100.00'

S 89°49'12" W - 90.00'

S 89°49'12" W - 90.00'

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S 89°49'12" W - 90.00'

BROADWAY STREET

DALLAS AREA RAPID TRANSIT



BASE OF SPACING:
SPACING IS A 30'x40' W ALONG THE
NORTH R.O.W. LINE OF BELLEVUE
STREET (ADDISON BLOCK) AS RECORDED
IN PLAT BOOK PAGE 108 OF THE
DEED RECORDS OF DALLAS COUNTY, TEXAS.

REPLAT
OF JULLIAN ADDITION,
LOTS 13-26, BLOCK A, LOTS 1-10, BLOCK B,
LOTS 1-8, BLOCK C, LOTS 1-4, BLOCK D;
ADDISON CIRCLE PHASE I ADDITION,
LOT 1, BLOCK A; AND ADDISON CIRCLE PHASE II
ADDITION, LOT 3, BLOCK F
AS

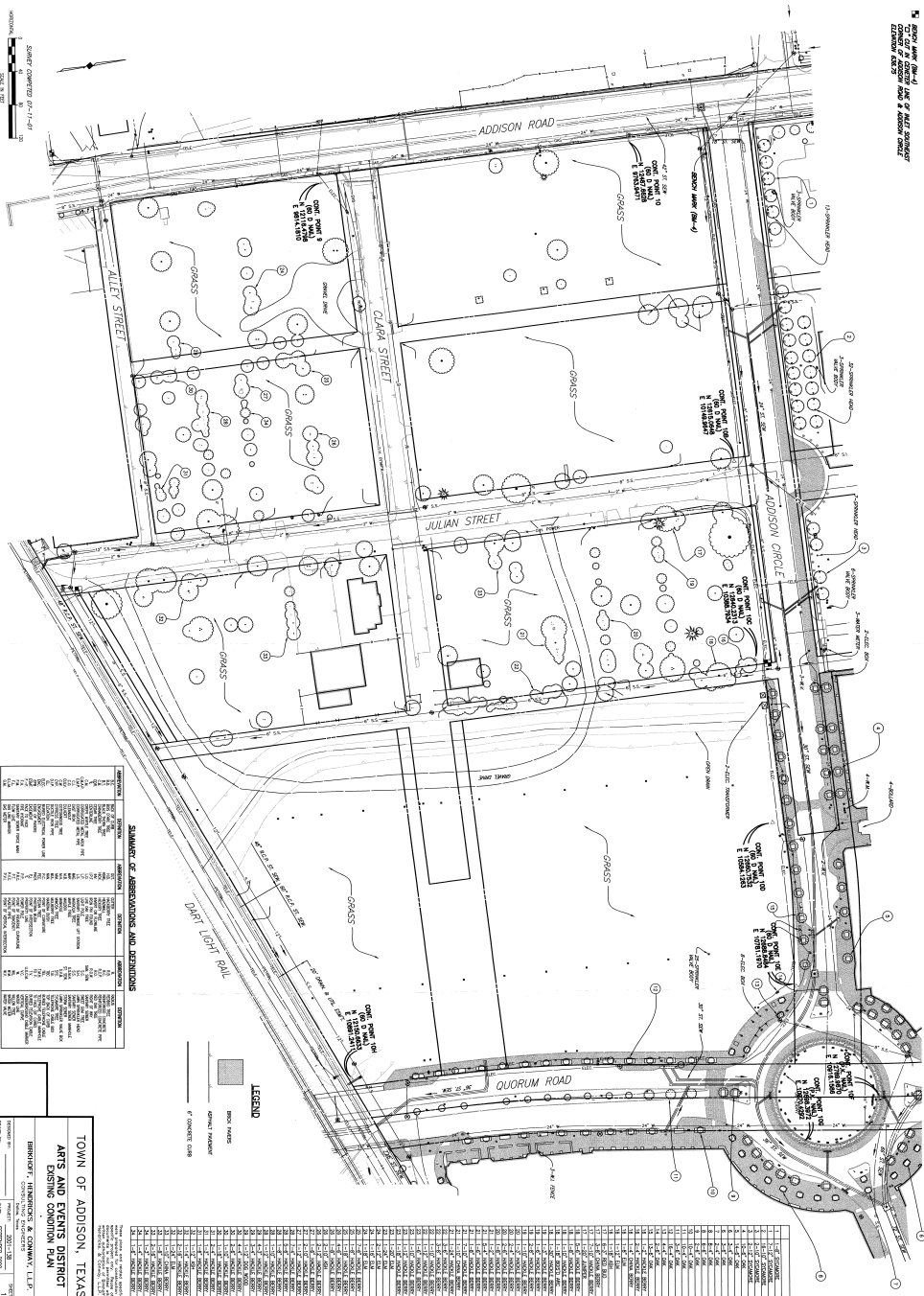
ADDISON ARTS AND EVENTS DISTRICT
BLOCKS 1-4

IN
THE TOWN OF ADDISON, DALLAS CO., TEXAS
G.W. FISHER SURVEY
ABSTRACT NO. 482

BIRKHOFF, HENDRICKS & CONWAY, L.L.P.
CONSULTING ENGINEERS
7900 ORINAVILLE AVE., SUITE 200
DALLAS, TEXAS 75201
214-481-7900

C-1	A = 0700'23"	C-2	A = 82°32'11"
B = 15.00'	B = 15.00'	T = 86.16'	T = 86.16'
T = 86.16'	T = 86.16'	L = 100.00'	L = 100.00'
CB = 5.86730' E	CB = 5.86730' E	CB = 5.86730' E	CB = 5.86730' E
C-3	A = 0700'23"	C-4	A = 82°32'11"
B = 15.00'	B = 15.00'	T = 86.16'	T = 86.16'
T = 86.16'	T = 86.16'	L = 100.00'	L = 100.00'
CB = 5.86731" W	CB = 5.86731" W	CB = 5.86730' W	CB = 5.86730' W
C-5	A = 82°32'11"	C-6	A = 82°32'11"
B = 15.00'	B = 15.00'	T = 86.16'	T = 86.16'
T = 86.16'	T = 86.16'	L = 100.00'	L = 100.00'
CB = 5.86730' W	CB = 5.86730' W	CB = 5.86730' W	CB = 5.86730' W
C-7	A = 82°32'11"	C-8	A = 82°32'11"
B = 15.00'	B = 15.00'	T = 86.16'	T = 86.16'
T = 86.16'	T = 86.16'	L = 100.00'	L = 100.00'
CB = 5.86730' W	CB = 5.86730' W	CB = 5.86730' W	CB = 5.86730' W

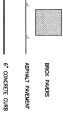
REVIEW DATE: 06/11/2010
 PROJECT NO: 10011101
 SHEET NO: 01-11-01
 TOWN OF ADDISON, TEXAS
 ARTS AND EVENTS DISTRICT
 EXISTING CONDITION PLAN



SUMMARY OF OBSERVATIONS AND DIMENSIONS

NO.	DESCRIPTION	DATE	BY	CHKD.
1	EXISTING 12\"/>			

LEGEND



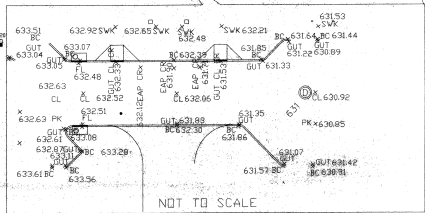
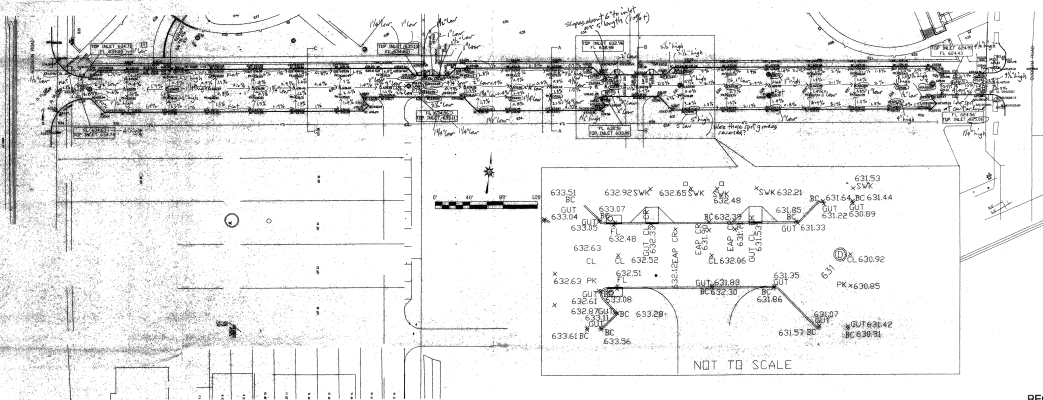
TOWN OF ADDISON, TEXAS
ARTS AND EVENTS DISTRICT
EXISTING CONDITION PLAN

BRIDGEMAN, HENNINGSEN & COMPANY, L.P.
 ENGINEERS, ARCHITECTS & PLANNERS
 10000 WEST LOOP SOUTH, SUITE 1000
 DALLAS, TEXAS 75243
 PHONE: (214) 343-3333
 FAX: (214) 343-3334
 WWW: WWW.BHACONLINE.COM

NO.	DESCRIPTION	DATE	BY	CHKD.
1	EXISTING 12\"/>			

LEGEND

- 1. - BENCH MARK
- 2. - ELEVATION
- 3. - POINT OF INTERSECTION
- 4. - CENTERLINE OF ROAD
- 5. - CENTERLINE OF DRAINAGE
- 6. - CENTERLINE OF UTILITY
- 7. - CENTERLINE OF FENCE
- 8. - CENTERLINE OF CURB
- 9. - CENTERLINE OF SIDEWALK
- 10. - CENTERLINE OF DRIVEWAY
- 11. - CENTERLINE OF ALLEY
- 12. - CENTERLINE OF RAILROAD
- 13. - CENTERLINE OF AIRWAY
- 14. - CENTERLINE OF CANAL
- 15. - CENTERLINE OF DITCH
- 16. - CENTERLINE OF TRENCH
- 17. - CENTERLINE OF TIE
- 18. - CENTERLINE OF POST
- 19. - CENTERLINE OF SIGN
- 20. - CENTERLINE OF LIGHT
- 21. - CENTERLINE OF TELEPHONE
- 22. - CENTERLINE OF CABLE
- 23. - CENTERLINE OF POWER
- 24. - CENTERLINE OF GAS
- 25. - CENTERLINE OF WATER
- 26. - CENTERLINE OF SEWER
- 27. - CENTERLINE OF RAIN
- 28. - CENTERLINE OF STORM
- 29. - CENTERLINE OF SANITARY
- 30. - CENTERLINE OF VENT
- 31. - CENTERLINE OF EXHAUST
- 32. - CENTERLINE OF FURNACE
- 33. - CENTERLINE OF BOILER
- 34. - CENTERLINE OF HEATING
- 35. - CENTERLINE OF COOLING
- 36. - CENTERLINE OF AIR
- 37. - CENTERLINE OF WATER
- 38. - CENTERLINE OF GAS
- 39. - CENTERLINE OF OIL
- 40. - CENTERLINE OF FUEL
- 41. - CENTERLINE OF LIQUID
- 42. - CENTERLINE OF SOLID
- 43. - CENTERLINE OF GASEOUS
- 44. - CENTERLINE OF PLASMA
- 45. - CENTERLINE OF RADIATION
- 46. - CENTERLINE OF SOUND
- 47. - CENTERLINE OF VIBRATION
- 48. - CENTERLINE OF ELECTROMAGNETIC
- 49. - CENTERLINE OF GRAVITATIONAL
- 50. - CENTERLINE OF NUCLEAR



NOT TO SCALE

REVISION DATES	

PREPARED FOR
AMERICAN OVERSEAS
11577 ALLEN LANE
DALLAS, TX 75249
(409) 385-9710

RECEIVED
NOV 16 2003

SASAKI ASSOCIATES @ADIN ANALYSIS
11/16/03

**GRADE EXHIBIT
FOR FESTIVAL WAY**

CITY OF ADDISON
DALLAS COUNTY, TEXAS

Date of Survey 10/20/2003 Checked by LCP SHEET 1 OF 1
Job Number: 010201 Drawn by: SMC

BS Benchmark Group
of Texas, Inc.

850 East Arapaho Road Richardson, Texas 75080
(972) 460-5070 FAX 972-460-5040

LAND SUBDIVISION