

Planning & Zoning

*g*

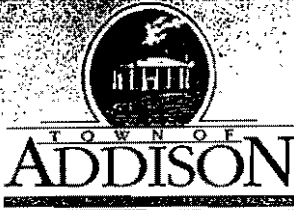
**Oxford**<sup>®</sup>

ESSELTE

NO. 753 1/3

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**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

**PLAN REVIEW**

**FOR**

**4200 WESTGROVE DRIVE**

**January 12, 1995**

**1. Site Plan**

- A. What is the plan for semi-truck deliveries?
- B. Increase the radii for the new entrances to 20 feet for single unit vehicles and 25 feet if driveways are intended to serve semi's.
- C. A five-foot sidewalk is required along Westgrove Drive
- D. Handicap ramps are required on all approaches where sidewalks intersect.

**2. Utilities**

- A. Provide a water and wastewater service plan.
- B. Identify water meter locations for domestic, fire, and irrigation meters.

**3. Erosion Control/Restoration Plan**

- A. Provide an erosion control plan and a restoration plan for all areas disturbed by construction.

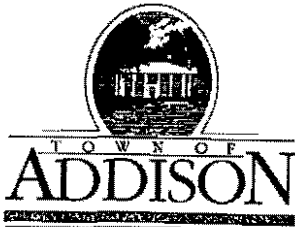
**4. Grading**

- A. Provide a grading plan

**5. Drainage**

- A. Grade site to collect stormwater prior to reaching street, add inlet(s) or flume as required to collect water.

**6. Resubmittal of affected sheets is required.**



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

**MEMORANDUM**

December 7, 1994

**TO:** Ron Whitehead  
City Manager

**FROM:** John Baumgartner *JB*  
Public Works Director

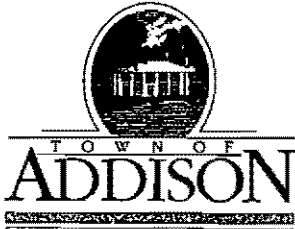
**RE:** Venice Beach Grill

The Public Works Department has reviewed the proposed site plan and has the following comments:

1. Drainage design shall conform to Town of Addison requirements. Unless the applicant is willing to upgrade the capacity in the Midway Road system, storm water runoff will be limited to the existing runoff rate. Storm water detention is required. This may require the applicant to reconfigure their site plan.
2. The existing pavement failures in the driveway and parking areas shall be repaired.

Please call me if you have nay questions or need additional information.

JB/st



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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16801 Westgrove

December 6, 1994

**MEMORANDUM**

**To: Carmen Moran**  
**Director of Developmental Services**

**From: John Baumgartner** *JB*  
**Director of Public Works**

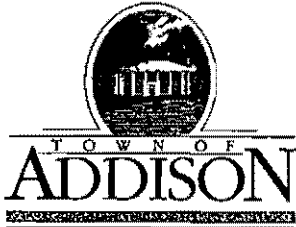
**Re: Marriott Residence Inn - Case 878-Z-1**  
**Final Plat Tract A of Quorum Addition.**

The Public Works Department has reviewed the referenced site plan/plat and has the following comments:

1. A five-foot sidewalk is required along Quorum Drive.
2. The drainage design/construction shall conform to the Town of Addison standards. This may require stormwater detention depending on the capacity of the downstream improvements.
3. The northern drive shall be relocated to the center on the median opening and a nonexclusive access easement shall be provided to allow joint use of the property with the unplatted remainder to the north.
4. An avigation easement is required.
5. Certification from an acoustical expert is required prior to construction and upon completion to verify the design and construction provide for a noise level reduction of 30dB.

If you have any questions or need additional information please call me.

JRB/gd



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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16801 Westgrove

December 6, 1994

**MEMORANDUM**

**To: Carmen Moran**  
**Director of Developmental Services**

**From: John Baumgartner** *JRB*  
**Director of Public Works**

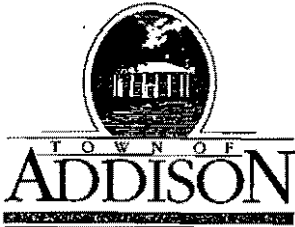
**Re: Trinity Christian Academy - Final Plat**

The Public Works Department has reviewed the referenced plat and has the following comments:

1. A five-foot sidewalk is required along Addison Road at the time of development.
2. Drainage design/construction shall conform to the Town of Addison standards.  
Detention may be required.
3. Water and sewer design shall conform to Town of Addison standards. Additional utility easements may be required at the time of development.

Please call me if you have any questions or need additional information.

JRB/gd



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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December 6, 1994

**MEMORANDUM**

**To: Carmen Moran**  
**Director of Developmental Services**

**From: John Baumgartner** *JAB*  
**Director of Public Works**

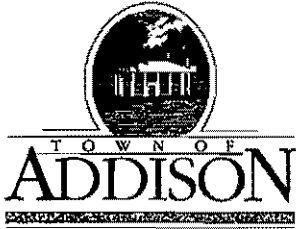
**Re: Beltway-Addison Road Addition**

The Public Works Department has reviewed the referenced plat and has the following comments:

1. The water, sewer and drainage must be extended at the time of development to service the undeveloped remainder. These extensions shall conform to the master utility and drainage plans.
2. Additional utility and drainage easements are required.
3. A 5-foot sidewalk is required along Addison Road.
4. Drainage design/construction shall conform to Town of Addison standards.
5. A nonexclusive access agreement shall be provided between the Addison Road-Quorum Addition (Outback Steakhouse) and the proposed lot.

Please call me if you have any questions or need additional information.

JRB/gd



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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16801 Westgrove

December 6, 1994

**M E M O R A N D U M**

**To:** Carmen Moran  
Director of Developmental Services

**From:** John Baumgartner *JRB*  
Director of Public Works

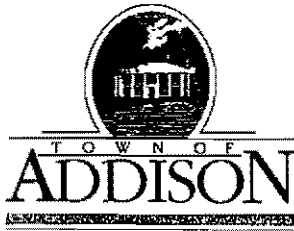
**Re:** Summerfield-Arapaho/Addison Addition

The Public Works Department has reviewed the referenced plat and has the following comments:

1. The water, sewer and drainage must be extended at the time of development to service the undeveloped remainder. These extensions shall conform to the master utility and drainage plans.
2. Additional utility and drainage easements are required.
3. An avigation easement is required.
4. Certification from an acoustical expert is required prior to construction and upon completion to verify the design and construction provides to noise level reduction of 30 db.
5. Drainage design/construction shall conform to Town of Addison standards.

Please call me if you have any questions or need additional information.

JRB/gd



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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16801 Westgrove

October 12, 1994

**MEMORANDUM**

**To: Carmen Moran**  
**Director of Developmental Services**

**From: John R. Baumgartner** *JRB*  
**Director of Public Works**

**Re: Replat Block 3, Belt Line/Marsh Business Park**

The Public Works Department has reviewed the referenced plat and has the following comments:

1. The previous right-of-way dedication for the Business/Belt Line Intersection should be accurately reflected on the plat.
2. The additional right-of-way dedication for the required turn lane should be shown in addition to the previous dedication.
3. A 5-foot sidewalk is required along Business, Commercial and Realty at the time of development.
4. A ten foot sanitary sewer easement is required along the new north right-of-way of Belt Line Road.
5. Sufficient utility and access easement are require to provide utilities and access to tracts A,B and C. This includes access across the flag portion of lot D.
6. Two driveways are permitted from Belt Line Road with the proper deceleration lane and spacing.
7. Additional utility easements will be required when lot 'D' is developed.
8. Water is required to be extended to and across lots A, B, and C as they are developed.
9. A drainage study is required prior to development to verify storm sewer availability in the existing systems.

Please call me if you have any questions or need additional information.

JRB/gmk





**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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16801 Westgrove

September 14, 1994

**TO:** Carmen Moran  
Director of Developmental Services

**FROM:** John Baumgartner *JB*  
Public Works Director/City Engineer

**RE:** Triangle Bowl Case - 1197-Z

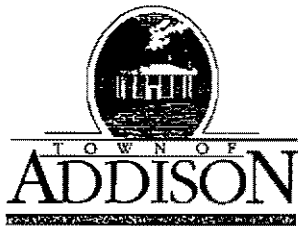
The Public Works Department has reviewed the referenced site plan and has the following comments:

1. A 5-foot sidewalk is required along Business Avenue, Realty Road, and Commercial Drive.
2. Storm water detention may be required.
3. All public infrastructure shall conform to Addison standards.

Please call me if you have any questions or need additional information.

JB/st

*9/12*  
*Faxed to*  
*Carmen.*  
*(Originals sent*  
*thru enter-office*  
*mail)*



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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16801 Westgrove

September 14, 1994

**TO:** Carmen Moran  
Director of Developmental Services

**FROM:** John Baumgartner *JB*  
Public Works Director/City Engineer

**RE:** McDonald's - Case 1196-SUP

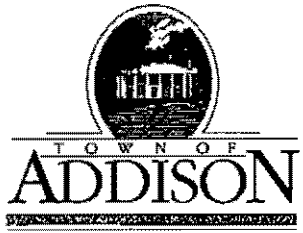
The Public Works Department has reviewed the proposed site plan and has the following comments:

1. The right turn/deceleration lane shall be extended to provide 150 feet of storage and a 100-foot transition west of the proposed driveway.
2. A 10-foot sanitary sewer easement is required south and east of the right-of-way easement for Belt Line Road and Marsh Lane.
3. The utilities and drainage shall conform to Addison standards.
4. The proposed driveway shall align with the revised median opening on Belt Line Road.

Please call me if you have any questions or need additional information.

JB/st

Jacob 7/18



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

July 18, 1994

**MEMORANDUM**

**To:** Carmen Moran  
 Director of Developmental Services

**From:** John Baumgartner *JRB*  
 Director of Public Works

**Re:** Summerfield Suites - Final Plat/Site Plan

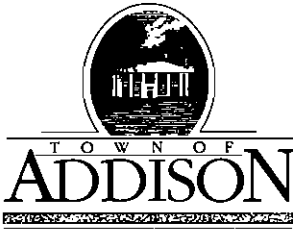
The Public Works Department has reviewed the referenced plat and site plan and has the following comments:

1. A right-of-way dedication of 10 feet along Quorum Drive is required.
2. A sanitary sewer study is required prior to issuance of a building permit.
3. An avigation easement is required.
4. Certification by an acoustical expert that a noise level reduction of 30 dB is provided with the proposed construction is required prior to issuance of the building permit.
5. Certification by an acoustical expert that a noise level reduction of 30 dB was achieved with the construction is required prior to occupancy.
6. The owner shall provide a revised utility, drainage, and access plan for the entire site.
7. Additional utility, drainage and access easements may be necessary.
8. Detention may be required.
9. The driveway throat length for the northwest driveway is insufficient. The vehicular parking located in the visibility triangle shall be relocated.
10. The 25 foot common access drive shall be dedicated as a nonexclusive ingress/egress easement by plat.
11. Verify sufficient vehicular stack is available in the left turn bay on Quorum Drive. Modify the median opening as required.

Please call me if you have any questions or need additional information.

JRB/gmk

Filed  
7/18/94



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

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16801 Westgrove

July 18, 1994

**MEMORANDUM**

**To:** Carmen Moran  
Director of Developmental Services

**From:** John Baumgartner *JRB*  
Director of Public Works

**Re:** Super 8 Motel - Site Plans

The Public Works Department has reviewed the referenced site plan and has the following comments:

1. A nonexclusive ingress/egress easement shall be provided to allow access to/from the Belt Line Road restaurants.
2. Detention is required.
3. The existing firehydrant and water meters at the southwest corner may require relocation because of the configuration of the proposed driveway.

Please call me if you have any questions or need additional information.

JRB/gmk



**PUBLIC WORKS DEPARTMENT**

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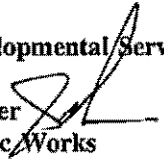
(214) 450-2871

16801 Westgrove

May 16, 1994

**MEMORANDUM**

**TO:** Carmen Moran  
Director of Developmental Services

**FROM:** John Baumgartner   
Director of Public Works

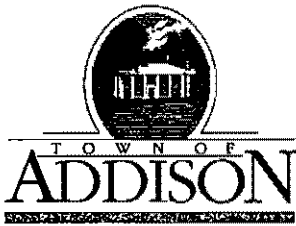
**RE:** Replat Lot No. 1 - Strassbourg Estates

The Public Works Department has reviewed the reference plat and recommends it forward for approval subject to the following conditions:

1. The masonry wall proposed to contain the fill section be extended along the north property line to prevent erosion of the neighboring lot.
2. The cut/fill in the flood plain reclamation area be balanced.
3. The maximum dropoff between terraces not exceed 6 feet in height.
4. The formal wall plans be prepared and seal by a professional engineer.
5. The reclamation does not create erosion or drainage problems for the adjacent property.
6. Prior to occupancy of the proposed home, a professional engineer certifies the reclamation is in accordance with the plans.

Please call me if you have any questions or need additional information.

JRB/gmk



**PUBLIC WORKS DEPARTMENT**

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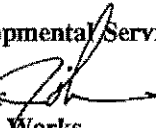
(214) 450-2871

16801 Westgrove

May 16, 1994

**MEMORANDUM**

**To:** Carmen Moran  
Director of Developmental Services

**From:** John Baumgartner   
Director of Public Works

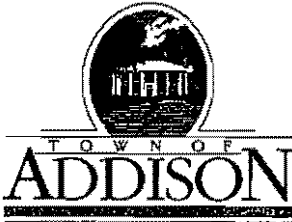
**Re:** Case # 1161-Z-1 - Multifamily

The Public Works Department has reviewed the referenced case and recommend it forward for approval subject to the following conditions:

1. Dedication of 5 feet of right-of-way along Westgrove Road is required.
2. Dedication of 12 feet of right-of-way along Addison Road is required.
3. A 5 foot sidewalk is required along Westgrove Road and Addison Road.
4. The developer shall demonstrate the adequate drainage facilities exist downstream or provide stormwater detention onsite.
5. The developer shall demonstrate that the sewer system has adequate capacity and/or upgrade the system to provide capacity.
6. Perimeter fencing shall be place to provide adequate visibility for vehicles entering or leaving the property.
7. The water system shall be looped from Westgrove Road to Addison Road.
8. The applicant shall demonstrate that the proper site distance exist to the park parking lot or provide an entrance to the park with proper site visibility.
9. Electrical service shall be underground. All transformers, switch gear, etc. shall be located inside the community fencing.

Please call me if you have any questions or need additional information.

JRB/gmk



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

**CONSTRUCTION PLAN REVIEW**

**STORAGE USA**

**May 2, 1994**

*FRB*

The Public Works Department has reviewed the referenced submittal and has the following comments.

1. Plat
  - A. Plat should reflect 12 feet of additional right-of-way for the future widening of Addison Road.
  - B. Plat should be signed and submitted for recording.
  - C. Cross access easement to lot 2 should be provided.
2. Dimensional Control Plan
  - A. Widen curb return radius to 20 feet.
  - B. Addison Road right-of-way dedication required.
3. Grading and Drainage Plan
  - A. Provide sealed detention calculations and include inflow/outflow hydragraphs, and stage/storage/discharge curve.
  - B. Provide Grate/inlet details.
  - C. If the storm sewer line is the detention control structure, add an access manhole at station 2+35.
  - D. Revise grading plan to provide for standard driveway with elevation at the new eastern right-of-way 6 inches higher than the gutter.
4. Utility Plan
  - A. Extend wastewater line to locate manhole at the east edge of the new Addison Road right-of-way.
  - B. Note on plans that the Addison Road manhole shall be installed with open cut, but the 8-inch line shall be by bore.

- C. Provide 10-foot water line easement just east of new right-of-way for possible extension of water service to lot 2.
  - D. Provide bollard/fire hydrant details.
  - E. Add three bollards to the southeast hydrant.
  - F. Provide dimensions between the bollards, building and fire hydrant.
  - G. Locate water line a minimum of 4 feet from the eastern property line.
5. Drainage Profiles and Utility Easements
- A. Review storm sewer layout and provide for scour velocity (3 Fps) where possible.
6. See plans for clarification and additional comments.
7. Re-submittal required.



TOWN OF  
**ADDISON**

**PUBLIC WORKS**

To: Bob Needham

From: John Baumgartner, P.E.

Company: Needham, Wright, Haskey  
Engineers

Director

Phone: 214/450-2886

FAX #: 357-2985

FAX: 214/931-6643

Date: 5-2-94

16801 Westgrove

P.O. Box 144

Addison, TX 75001

# of pages (including cover): 3

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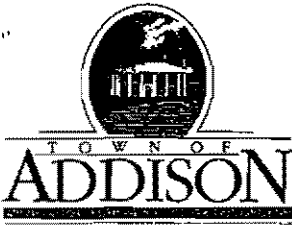
Comments: 357-2981

TRANSACTION REPORT

MAY- 2-94 MON 7:53

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**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

**ENGINEERING SITE PLAN REVIEW**

**BOSTON CHICKEN**

**April 29, 1994**

The Public Works Department has reviewed the referenced construction plans and has the following comments.

1. Recorded copy of the plat is required.
2. Extended deceleration lane should be shown of the site plan, grading plan and landscape plan.
3. If it is proposed that the Town of Addison construct the extended deceleration lane, then a financial commitment to cover the cost associated with adding this to our project is required. These costs will include engineering and construction.
4. All existing facilities affected by the construction shall be adjusted to grade.
5. The hydraulic grade line on the storm sewer shall be revised to reflect existing conditions. This may require over-sizing the system to provide reasonable service to the northeastern tract.
6. Revise grades from the Marsh Lane entrance to reflect the grades on Addison's proposed improvements. Maximum slope within the right of way easement is 3%. Maximum grade within 25 feet of the easement line is 8%. Provide spot elevation to reflect these slopes.
7. Provide an erosion control plan and a restoration plan for areas disturbed by construction but not scheduled for landscaping. Plan should include a stabilized construction entrance.
8. All meters shall be tapped off the fire hydrant lead and located in a protected area on site.
9. Easement and the required fire loop should be extended to serve the adjacent northern tract.

10. Detector check assembly to be located in a vault with spring-assisted Bilco type doors.
11. Complete plans for fire hydrant loop and provide easements as required. It may be beneficial to relocate meters.
12. Sewer service shall come from the northern manhole with a clean-out located at the eastern right-of-way line (see plans sheet ME-1). Service shall be bored to the manhole.
13. Roof drainage shall be picked up with a direct storm sewer connection.
14. Re-submittal of the plat, grading/drainage, SP-1 and ME-1 sheets is required. Engineering plans should be sealed and signed.

TOWN OF  
**ADDISON**

**PUBLIC WORKS**

To: Jim Koch

From: John Baumgartner, P.E.  
Director

Company: Pacheco-Koch

Phone: 214/450-2886

FAX #: ~~696-9076~~ 235-9644

FAX: 214/931-6643

Date: 5-2-94

16801 Westgrove

P.O. Box 144

Addison, TX 75001

# of pages (including cover): 3

Original in mail    Per your request    FYI    Call me

Comments: copy to Dickson, Edson, McMahon

**ADDISON**

**PUBLIC WORKS**

To: Dave Reidmeir

From: John Baumgartner, P.E.  
Director

Company: Dickson, Edson, McMahon

Phone: 214/450-2886

FAX #: 696-9076

FAX: 214/931-6643

Date: 5-2-94

16801 Westgrove

P.O. Box 144

Addison, TX 75001

# of pages (including cover): \_\_\_\_\_

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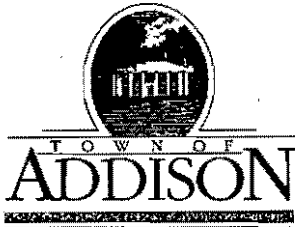
Comments: Copy to Jim Koch

TRANSACTION REPORT

MAY- 2-94 MON 7:50

SEND

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**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

April 20, 1994

**M E M O R A N D U M**

To: Carmen Moran  
Director of Developmental Services

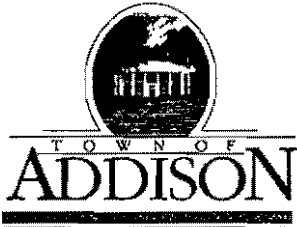
From: John Baumgartner *JRB*  
Director of Public Works

Re: Venice Beach Grill - Site Plan

The Public Works Department has reviewed the referenced site plan and would like to note that the existing fire hydrant on the northwest corner of the building may need to be relocated by the developer when the parking lot/fire lanes are reconfigured.

Final determination is dependent upon completion of detailed engineering plans. Please call me at 450-2871 if you have any questions or need additional information.

JRB/gmk



**PUBLIC WORKS DEPARTMENT**

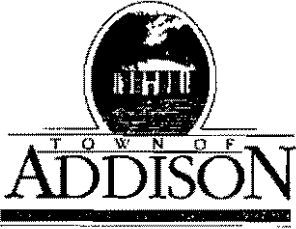
Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

**CONSTRUCTION PLAN REVIEW  
CELESTIAL PLACE  
FEBRUARY 28, 1994**

1. All plans required the seal of a Texas Registered Engineer prior to resubmittal.
2. Attached for incorporation into the plans are Addison's standard notes and details.
3. **Plat**
  - A. Submit copy of the plat for review of easements.
4. **Paving**
  - A. Sidewalk is required along Celestial Drive.
  - B. Show exact location of existing road hump.
  - C. Provide detailed specifications for fill areas.
  - D. Provide spot elevations for cul-de-sac.
  - E. Maximum roadway cross slope is 3%.
  - F. Detail location of expansion joints.
5. **Drainage**
  - A. Provide a lot grading plan.
  - B. Provide roadway and inlet drainage calculations.
  - C. Add the stormsewer manholes noted on the plans.
  - D. Show sanitary sewer crossing (including services) in profile.
  - E. Verify offsite drainage areas. Provide management for areas draining through the lots to the road.
  - F. Revise alignment of line 'B'.
  - G. Provide specifications for fill areas.
6. **Water and Sewer**
  - A. Review standard notes and revise your notes as required.
  - B. Profile 8" water line and show all sanitary sewer (including services) and storm sewer crossing.
  - C. Review water line as noted.
  - D. Lower sanitary sewer as noted.
  - E. Line 'A' shall be SDR26.
  - F. All water services shall be 1" minimum.
  - G. Provide landscape water services.



**PUBLIC WORKS DEPARTMENT**

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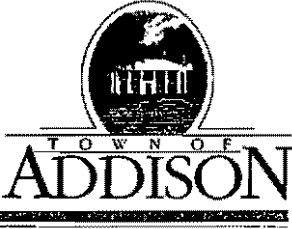
(214) 450-2871

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Page Two  
Celestial Place Plan Review

7. Erosion Control/Restoration Plan
  - A. Construction entrances are required.
  - B. Provide a traffic management plan to minimize disturbance.
  - C. Provide restoration plans/notes.
  - D. Detail landscaping plans are required for Montfort, Celestial and island.
8. See plans for miscellaneous notes.
9. Resubmittal is required.

Sent to Palmer  
2/28/94



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

February 25, 1994

Mr. Frank J. Mastrocola  
4130 Proton Drive  
Addison, Texas 75244

Re: 140 Unit Development on Proton Drive - Les Lacs Mirada -  
Phase II

Dear Mr. Mastrocola:

The Town of Addison currently has sufficient water and sewer capacity to service the referenced development.

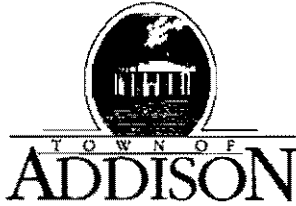
We are looking forward to your development of the referenced property. Please call me if you have any questions or need additional information.

Sincerely,

John R. Baumgartner, P.E.  
Director of Public Works

JRB/gmk





**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

January 31, 1994

MEMORANDUM

To: Carmen Moran  
Director of Developmental Services

From: John R. Baumgartner *JRB*  
Director of Public Works

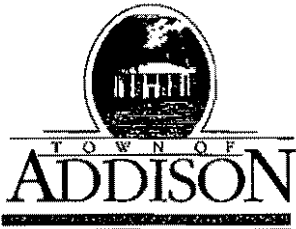
Re: Replat of Addison Town Center Subdivision

The Public Works Department has reviewed the referenced plat and recommends approval, subject to the following conditions:

1. A 25-foot corner clip on the southwest corner be dedicated to the Town of Addison for the proposed Business/Belt Line intersection improvements.
2. The developer agreement be completed to facilitate the installation and payment of the Business/Belt Line intersection improvements.
3. Sufficient easements be provided for the public infrastructure.

Please call me if you have any questions or need additional information.

JRB/gmk



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16901 Westgrove

January 25, 1994

MEMORANDUM

To: Carmen Moran  
Director of Developmental Services

From: John R. Baumgartner *JRB*  
Director of Public Works

Re: Final Plat Lot 1, Block 1  
Quorum West

The Public Works Department has reviewed the referenced plat for compliance with applicable codes and ordinances and has the following comments:

1. A nonexclusive ingress/egress easement should be added to provide access to the median opening for the lot to the south.
2. An avigation easement is required.
3. A 5-foot sidewalk is required along Landmark Blvd.
4. The drainage design/construction shall conform to the Town of Addison standards.
5. Certification from an acoustical expert is required prior to construction and upon completion verify the design and construction provides the required noise reduction.

Please call me if you have any questions or need additional information.

JRB/gm

SAMPLE  
TOWN OF ADDISON AVIGATION EASEMENT

WHEREAS, \_\_\_\_\_,  
hereinafter called "Grantor", is the owner of that certain parcel of land situated in  
the Town of Addison, County of Dallas, State of Texas, to wit:

hereinafter called "Grantor's Property", and outlined on the attached map.

NOW, THEREFORE, for consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration paid by the Grantee, hereinafter named, to the Grantor, the receipt and sufficiency of which is hereby specifically acknowledged, the Grantor, its successors and assigns, subject to the provisions herein contained, hereby grants, bargains, sells and conveys unto the Town of Addison, State of Texas, its successors and assigns, the Grantee, for use and benefit of the public, a perpetual easement and right-of-way over that portion of the Grantor's land described above, in the vicinity of Addison Airport, for the purpose of the passage of all aircraft ("aircraft" being defined for the purpose of this instrument as any device now known or hereafter invented, used or designated for navigation of, or flight in the air) by whomsoever owned and operated in the air space to an infinite height above the surface of the Grantor's property, together with the right to cause in said air space noise, vibration and all other effects that may be caused by the operation of aircraft landing at or taking off from, or operated at, or on Addison Airport located in Dallas County, Texas; Grantor hereby waives, remises and releases any right or cause of action which Grantor has now, or which Grantor may have in the future against the Grantee, its successors and assigns, or Addison Airport, due to such noise, vibration, and other effects that may be caused by the operation of aircraft landing and taking off from, or operating at or on Addison Airport; the Grantor further grants that upon side property (A) no use shall be permitted that causes a discharge into the air of fumes, smoke or dust which will obstruct visibility and adversely affect the operation of aircraft or cause any interference with navigational facilities necessary to aircraft operation and (B) no development or construction shall be permitted which will interfere in any way with the safe operation of aircraft in the air space over the land described herein or at or on the Addison Airport.

To have and to hold said easement and right-of-way and all rights appertaining hereto unto the Grantee, its successors and assigns, until the Addison Airport shall be abandoned and shall cease to be used for airport purposes. It is specifically

understood and agreed that this easement, its covenants and agreements shall run with the land, which is described herein. The Grantor, on behalf of itself, its successors and assigns, further acknowledges that the easements herein granted contemplate and include all existing and future operations at Addison Airport, acknowledging that future aircraft numbers and types will most likely increase and noise patterns may also increase, in that the rights, obligations and covenants herein set forth shall not terminate or vary in the event of changes in the flight volume or noise, traffic patterns, runway lengths or locations or characteristics or type or category of aircraft using the Addison Airport, Town of Addison, Texas.

\_\_\_\_\_  
Owner

ACKNOWLEDGEMENT

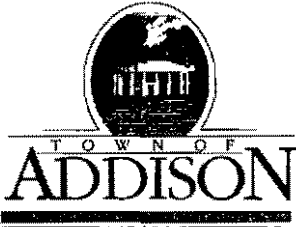
STATE OF TEXAS     )  
                          )  ss.  
COUNTY OF DALLAS )

The foregoing instrument was acknowledged before me by \_\_\_\_\_  
\_\_\_\_\_ this \_\_\_\_\_  
day of \_\_\_\_\_.

Witness My Hand and Official Seal.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

January 25, 1994

**MEMORANDUM**

To: Carman Moran  
Director of Developmental Services

From: John R. Baumgartner *JRB*  
Director of Public Works

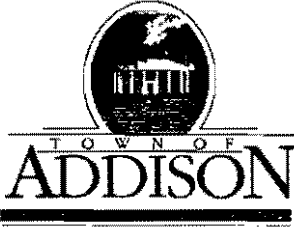
Re: Development Site Plan for the northeast corner  
of Marsh and Belt Line

Public Works has reviewed the referenced site plan for conformance with applicable codes/standards and has the following comments:

1. A 5-foot sidewalk is required along Belt Line and Business.
2. The eastern and new western drives on Belt Line should be eliminated.
3. Drainage and public infrastructure shall conform to Addison standards.
4. The northern drive shall be a nonexclusive ingress/egress easement providing joint access to the property located north of the proposed center.
5. An agreement is required regarding the proposal signal/intersection improvements at Business and Belt Line. This agreement should cover the dedication of right-of-way and the apportionment of the cost.
6. Right-of-way is required for the proposed Marsh/Belt Line intersection improvements.

Please call me if you have any questions or need additional information.

JRB/gm



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

December 6, 1993

MEMORANDUM

To: Carmen Moran  
Director of Developmental Services

From: John Baumgartner *JRB*  
Director of Public Works

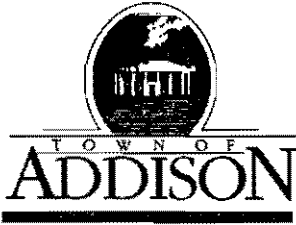
Re: Sambuca's Restaurant - Case #1164-Z

The Public Works Department has reviewed the referenced site plan and has the following comments:

1. There is a drainage concern along the western boundary of the property. The developer needs to demonstrate that there is sufficient conveyance capacity for unrestricted flow. If additional drainage capacity is required, then an easement and improvements are required. This may impact the site layout.
2. The finished floor elevation of the building should be protected from the 100 year flood, based on the existing flow restrictions.
3. The driveway spacing does not meet the criteria established in the Addison transportation plan and one of them should be closed and the other widened to 30 feet.

Please call me if you have any questions or need additional information. Thank you.

JRB/gmk



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

December 6, 1993

MEMORANDUM

To: Carmen Moran  
Director of Developmental Services

From: John Baumgartner *JRB*  
Director of Public Works

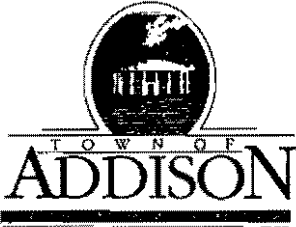
Re: Celestial Place - Case 1155-Z

The Public Works Department has reviewed the referenced plan for conformance with applicable codes and standards and has the following comments:

1. The applicant should provide an as-built survey prepared by a licensed surveyor to locate the existing roadway in relation to the proposed screening wall. Sufficient sight distance (325 ft) should be provided for vehicles leaving the development. This may require relocation of the screen walls and redesign of the entryway landscaping.
2. If this community is gated as proposed, sufficient area should be provided for vehicles to turn around prior (north) to the secured entrance.
3. If the streets are private, the lots should extend to the center of the street with a nonexclusive ingress/egress, utility and drainage easement dedicated to the park.
4. All roadway, drainage, and utility design/construction shall meet Addison's standards.
5. The water line should be looped through the subdivision and northern Montfort to Celestial.
6. Until a resolution of the Dallas/Addison city limit question, an agreement is necessary for providing water and sewer service.
7. Landscaping and maintenance of the common areas along Montfort and Celestial should be provided.

Please call me if you have any questions or need additional information.

JRB/gmk



**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

December 1, 1993

MEMORANDUM

To: Carmen Moran  
Director of Developmental Services

From: John Baumgartner *JRB*  
Director of Public Works

Re: Pecan Square - Case #1163-Z PE

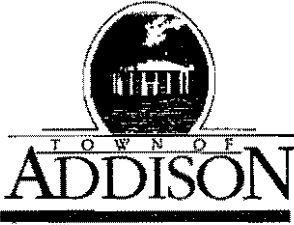
The Public Works Department has reviewed the referenced site plan and has the following comments:

1. Perimeter fence should be located so that it does not affect the visibility of vehicles accessing the property.
2. If this development is intended to have secured access then additional information is required to determine the appropriate location/configuration of the gates.
3. All drainage shall comply with Addison's standards. Detention may be required.
4. All public water and sewer facilities shall comply with Addison's standards.

Please call me if you have any questions or need additional information. Thank you.

JRB/gm





**PUBLIC WORKS DEPARTMENT**

Post Office Box 144 Addison, Texas 75001

(214) 450-2871

16801 Westgrove

December 6, 1993

MEMORANDUM

To: Carmen Moran *JEB*  
Director of Developmental Services

From: John Baumgartner  
Director of Public Works

Re: Grand Addison III - Plat

The Public Works Department reviewed the referenced plat for conformance with applicable codes and ordinances and has the following comments:

1. A five foot sidewalk should be required along Les Lacs Avenue as part of the subdivision infrastructure.
2. Masonary screen walls are required along Marsh Lane, Les Lacs Avenue and on the western edge of lot 16 and 17 block 2.
3. The name of the western and northern sections of Brookwood Lane should be changed.
4. Two eyebrow cul-de-sacs should be added to Brookwood Lane where it changes direction.
5. All of the flag lots should be connected to the right-of-way. The plat should be clarified to reflect this.
6. A 10 foot utility, drainage and access easement is required on all of the cul-de-sacs.
7. All lots should be graded to drain directly to public right-of-way.
8. Four foot sidewalks are required as the homes are constructed along Beau Park and Brookwood Lanes.
9. The 15' storm sewer easement should be dedicated to the Town for park, drainage and utility purposes.
10. The proposed greenbelt along the southern and western edges of the property should be dedicated to the Town for park drainage and utility purposes.

Carmen Moran  
Page Two  
December 6, 1993

11. Additional easements are required for utilities and drainage. These will be identified with the completion of the construction plans.
12. The construction of the subdivision infrastructure shall conform to Addison's standards.
13. The surveyor's certificate should be revised to reflect it is inaccordance to the Town of Addison's requirements.

Please call me if you have any questions or need additional information. Thank you.

JRB/gmk

File  
PI



**Beltway**  
Development Company

October 22, 1992

VIA FAX

~~Ms. Carman Moran  
City Secretary  
Town of Addison  
P.O. Box 144  
Addison, Texas 75001~~

Dear Carman:

Thanks for meeting with us regarding the Quorum development and the new restaurant to be located on Quorum Drive. It is my understanding that John Baumgartner will study the Quorum Drive and Addison Road proposals. If possible, please furnish any traffic engineering that is available on Quorum which indicates that a six lane divided road is justified. Hopefully, a solution for Addison Road will help solve that problem.

Also, I would like to meet with Ron Whitehead prior to the city council meeting to discuss the overall development as well as Quorum Drive and Addison Road. The information on the charter will be distributed to the board of directors of the Addison Business Association. Thank you for making the information available.

Sincerely yours,

Daryl N. Snadon  
President

DNS/jl

cc: Mayor Lynn Spruill  
Ron Whitehead  
John Baumgartner

# COWLES & THOMPSON

A PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

901 MAIN STREET, SUITE 4000  
DALLAS, TEXAS 75202-3793

TELEPHONE (214) 570-1100

FAX (214) 598-0310

CHARLES SORRELLS  
(1925-1982)

307 W WASHINGTON, SUITE 100  
PO BOX 1127  
SHERMAN, TEXAS 75091-1127  
TELEPHONE (903) 993-8999

100 WEST ADAMS AVENUE, SUITE 321  
PO BOX 785  
TEMPLE, TEXAS 76503-0785  
TELEPHONE (817) 771-2800

ONE AMERICAN CENTER, SUITE 777  
909 E S E LOOP 323  
TYLER, TEXAS 75701-9684  
TELEPHONE (903) 581-5588

KENNETH C. DIPPEL  
OF COUNSEL  
(214) 570-1158

October 14, 1992

Ms. Carmen Moran  
City Secretary  
Town of Addison  
P.O. Box 144  
Addison, Texas 75001

Re: Les Lacs Mirada Condominiums

Dear Carmen:

You have asked me to review the question of whether or not the current owners of the land within the subdivision containing the Les Lacs Mirada Condominiums must comply with the current plat, site plan and zoning requirements. It is my opinion that the landowners must comply with those requirements.

In preparing this opinion, I have relied upon the following facts:

1. The Condominiums were built as Phase I of an 11-acre development. This 11-acre tract of land was, and remains, subject to a single plat, site plan and planned development zoning ordinance.

2. Most of the parking required for the Condominiums was constructed in accordance with the site plan and other City requirements. There is some question as to whether or not there needs to be additional parking provided for the site.

3. Due to financial difficulties, the original owner of the 11-acre tract lost the land, and over a period of time, the property was divided into two parts and sold by metes and bounds. The current owner of the Condominiums and most of the parking area is Mr. Mastercola; the current owner of the remainder of the tract, including approximately 15 of the Condominium parking spaces, is Dr. Neil Schachar.

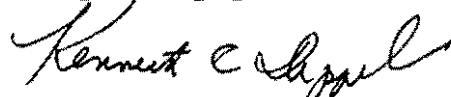
4. A dispute has arisen between Mr. Mastercola and Dr. Schachar as to whether or not Dr. Schachar must allow parking for the Condominiums to remain on his property.

Land within an already platted subdivision may be conveyed by metes and bounds, but that conveyance does not result in the vacation of the current plat or the replatting of the land. Tex. Atty Gen. Op. No. MW-269 (1980). Rather, vacating a plat and filing a new plat or replatting a parcel of land can only be accomplished by compliance with State law and City regulations. Such a conveyance also does not relieve the land from the requirements and burdens placed upon it by the plat, site plan and zoning ordinance. Therefore, the land now owned by Dr. Schachar, although it includes only 15 of the Condominium parking spaces, must continue to be used in accordance with the plat, site plan and zoning ordinance. The actual utilization of those 15 parking spaces (e.g. whether or not Dr. Schachar could charge a reasonable fee for their use) is a matter which the two landowners should work out between themselves.

Finally, I would note that the City Charter requires that any person who divides land into two or more parts for the purpose of laying out a subdivision must comply with the platting requirements of State law. In this case, there has been a division of land by metes and bounds without such compliance, and therefore it seems that the parties are in violation of the Charter. Rather than the City seeking and initiating compliance now, however, the platting requirement could be enforced at a later time (e.g., at the time either party requests a building permit).

Should you have any questions or desire any additional information, please let me know.

Very truly yours,

  
Kenneth C. Dippel

/kcd

cc: Mr. Ron Whitehead ✓  
Mr. John Baumgartner



Post Office Bo

John,  
I sent this to Ken on  
friday. If I am not  
here, you may have to  
deal with Dr. Schachar.

October 9, 1992

Dr. Neil Schachar  
P.O. Box 796728  
Dallas, Texas 75379

RE: Parking at Les Lacs Mirada Condominiums

Dear Dr. Schachar:

You asked me to determine whether the Les Lacs Mirada condominium complex did or did not have enough parking on-site to meet its parking requirement. I asked the owner for a tally of how many units of each type were on the property, and the average square footage of those units.

The parking requirement, as per Ordinance 622, is as follows:

Section 13. Parking, Garages, Carports

Adequate parking space shall be provided to meet the requirements of the residents and their guests. One (1) parking space shall be provided for each 500 square feet of air-conditioned space with a minimum of two (2) spaces per dwelling unit. A minimum of 1/2 parking space shall be provided per unit as guest parking. No unit shall be constructed with less than one (1) covered enclosed parking space. Tandem parking will be acceptable. Guest parking may be averaged throughout the development, but must be in proximity to the unit served.

According to the owners of the condominiums, there are on-site:

TYPE	#UNITS	SQ.FTG.	SPACES
REQUIRED			
1 bedroom	10	940*	20**
2 bedroom	31	1,150	71
3 bedroom	3	1,473	9
Visitor spaces	44x.5		22

Total Required:

122

\* Average square footage

\*\* Fall under 2 spaces per unit minimum

Letter to Dr. Schachar  
October 9, 1992

Page 2

By my count, the property has 97 parking spaces on site, which is 25 spaces short of the required amount. I believe Mr. Hicks has also calculated the required parking, and his count may be different from mine.

As I stated to Mr. Charles Hicks in a letter of September 22, 1992 (attached), this property was not replatted in accordance with the city's platting requirement when it was subdivided and purchased by you and the owner of the condominiums. Therefore it is the staff's opinion that this is still one tract of land, and required parking cannot be eliminated from either the Les Lacs Mirada tract, or the tract which you presently own and are contemplating selling to Mr. Hicks.

Due to the unusual nature of this problem, I have asked Ken Dippel, our City Attorney, for an opinion on whether or not the parking which is located on your property can be eliminated. I may be on maternity leave by the time I get a response from Mr. Dippel. However, John Baumgartner (450-2886) will fill in for me, and he will advise you of the Attorney's opinion.

Sincerely



Carmen Moran  
Director of Development Services



Post Office Box 144 Addison, Texas 75001

5300 Belt Line Road

(214) 450-7017

September 22, 1992

Mr. Charles Hicks  
Investex Development  
8214 Westchester Suite 500  
Dallas, Texas 75225

Dear Mr. Hicks:

Last week John Baumgartner and I discussed with you the fact that some of the required parking for Phase I the Les Lacs Mirada condominiums is currently located on property that you are considering purchasing.

Let me explain how this happened. At one time, the property on which the Les Lacs Mirada condominiums is located, and the surrounding property, were one 11-acre tract. A proposal for development of the Les Lacs Mirada condominiums on the entire tract was submitted to the Council, and approved. The developer built a portion of the development, Phase I, and built all the parking required. After that point, the developer went under, and the property was foreclosed on by separate lenders.

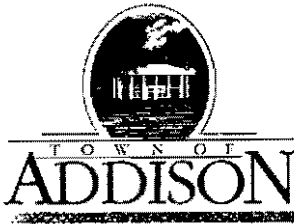
The property was subsequently subdivided and sold off to separate purchasers. The subdivision of the property was done through a metes and bounds description, not through a subdivision replat, as it should have been. When the property was improperly subdivided, a portion of the required parking for Phase I was separated from the Les Lacs Mirada condominiums, and went to a different purchaser.

Had this subdivision of land been processed through the city as a replat of an existing subdivision, the problem might have been foreseen at that time and addressed through a differently configured subdivision. As far as the city is concerned, this newly created tract is an illegal subdivision of property. The entire property is encumbered through an approved site plan, and the parking for Phase I must continue to be provided as shown on the originally approved plan.

Sincerely

Carmen Moran  
Director of Development Services





CITY ENGINEER'S OFFICE

Post Office Box 144 Addison, Texas 75001

(214) 450-2886

16801 Westgrove

M E M O R A N D U M

June 17, 1992

To: Carmen Moran, City Secretary

From: John Baumgartner, City Engineer *JB*

RE: Belt Line Centre - Final Plat  
Shoney's - Site Plan

The Engineering Department has reviewed the referenced plat and site plan for compliance with the applicable portions of Addison's code and has the following comments.

Belt Line Centre Plat

1. Prior to proceeding through the platting process, the developer should provide engineered plans for the subdivision's drainage, water, and wastewater systems.

These improvements may be required prior to the development of this subdivision and may require additional utility drainage easements.

2. A 12 feet of right-of-way is required from lot 3 for a deceleration lane. This lane should be constructed by the developer in conjunction with the development of the first lot.
3. The access easement should be identified as a non-exclusive ingress/egress easement. Maintenance of this driveway is the responsibility of the land owner.
4. The 20-foot drainage easement on the north side of the plat should be identified as a drainage/utility easement.
5. Detention of storm water run-off may be required. This will be determined at the time of site development.

Shoney's - Site Plan

1. Access to this site should be limited to the private drive between lots 1 and 3. If desired for site circulation, a cross access agreement should be negotiated with Mercado Juarez to share their driveway.
2. The subdivision improvements (drainage, water, wastewater and the deceleration lane) should be completed prior to completion of this site development.
3. The developer will be required to detain and/or make improvements to the storm drain system to convey the flow from the 100 year storm. This may necessitate a revision to the site plan.
4. The deceleration lane impacts this site plan and will necessitate as revised site plan.

I have attached marked up plans to help clarify these comments. Please call me if you have any questions or need additional information.

/rb

cc: Don Preece, Director of Utilities  
Robin Jones, Director of Streets



May 26, 1992

**Mr. John Baumgartner**  
**City Engineer**  
**Town of Addison**  
**P.O. Box 144**  
**Addison, TX 75001**

**SUBJECT: WATERFORD COURT**

**Dear Mr. Baumgartner:**

**The developer of the subject project has requested permission to construct a left turn storage lane on southbound Marsh Lane at the median opening at Tanglewood Drive.**

**The City Staff of Farmers Branch has no objection to the concept of construction of the left turn lane at the median opening at Tanglewood Drive. Final approval of the concept and permission to construct the left turn lane will be subject to the following:**


- ▶ Approval of construction plans that conform to Farmers Branch design standards and which address the left turn lane and modification to the existing landscaping and irrigation system.**
- ▶ City Council approval of an acceptable agreement that establishes performance standards, performance bond, one-year maintenance bond, and indemnity to Farmers Branch during construction.**

**Certainly the option for sanitary sewer service will have to be identified as a prerequisite to approval of the agreement. (Please refer to your letter of April 30, 1992 outlining options.)**

**Mr. John Baumgartner**  
**May 26, 1992**  
**Page 2**

**If you have any questions, please call.**

**Sincerely,**

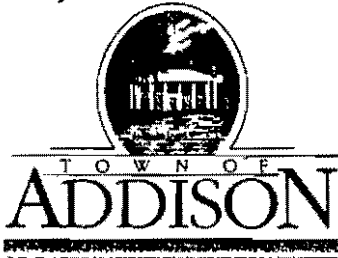
A handwritten signature in black ink, appearing to be 'JVM', followed by a horizontal line and a period.

**Jerome V. Murawski, Jr., P.E.**  
**City Engineer**

**JVM/en**

**Attachment: Letter of April 30, 1992**

**cc: Dennis C. Freeman, P.E. - The Nelson Corporation**



CITY MANAGER'S OFFICE

Post Office Box 144 Addison, Texas 75001

(214) 450-7027

5300 Belt Line Road

April 30, 1992

Mr. Jerry Murawski, P.E.  
City Engineer  
City of Farmers Branch  
City Hall Plaza  
P. O. Box 819010  
Farmers Branch, Texas 75381-9010

RECEIVED  
MAY 04 1992  
ENGINEERING DEPT.

Re: Waterford Court

Dear Jerry:

The Town of Addison recently requested a developer to obtain Farmers Branch's permission to construct a left turn lane located on southbound Marsh Lane prior to approving the zoning for a proposed project.

The primary reason for this request, is that Farmers Branch controls southbound Marsh Lane and that the proposed improvements are located primarily in Farmers Branch.

It is my understanding that prior to granting your approval for the proposed median modifications, you wanted to know how the project will be sewerred.

In response to this inquiry regarding sewer service, please consider the following:

- Project Location: East of Marsh Lane approximately 500 feet south of Beltway Drive.
- Project: Approximately 200 city houses
- Estimated Population: 350 people
- Estimated Sewer Flow: 35,000 gpd average  
87,500 gpd peak
- Sewer Basin: Rawhide Creek at Marsh Lane
- Preferred Option: Connect into the proposed lift station/micro tunnel connecting Addison to the Addison/Farmers Branch sewer tunnel.

Mr. Jerry Muraswki, P.E.  
April 30, 1992  
Page 2

- 2nd Option:** As an interim measure, construct a temporary lift station at Surveyor Drive to divert existing flow in the Rawhide Creek Basin to Dallas. It is anticipated that this flow will be replaced by new development in the Les Lacs area at a rate not to exceed previous commitments made by Addison. This lift station is currently under design by Carter and Burgess.
- 3rd Option:** As an interim measure, allow the developer to construct an on-site treatment system or develop a storage/trucking plan.

The option that is chosen is dependent upon the following elements that are not entirely controlled by Addison:

1. the developers timing of the project,
2. the timing of the Addison/Farmers Branch sewer tunnel,
3. the timing of the interim lift station at Belt Line and Surveyor, and
4. Farmers Branch's acquiescence to an interim plan, if necessary.

Regardless of which alternative is actually implemented; Addison remains dedicated to the commitments that have been made regarding the discharge of sewer to the Farmers Branch system.

I trust that this adequately addresses your concerns regarding sewer service for this project, during the zoning process.

If you have any questions or need additional information, please call me.

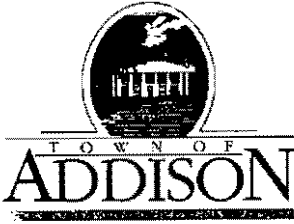
Very truly yours,

TOWN OF ADDISON



John R. Baumgartner  
City Engineer

mc



**CITY ENGINEER'S OFFICE**

Post Office Box 144 Addison, Texas 75001

(214) 450-2886

16801 Westgrove

May 13, 1992

Ms. Jill Stark  
General Mills Restaurants  
P. O. Box 593330  
Orlando, FL 32859

Re: General Mills Restaurants - Southeast corner of Belt Line Road  
and Marsh Lane

Dear Ms. Stark:

On December 14, 1991, the City Council authorized staff to pursue the development of a sewer lift station to provide additional sewage capacity to Farmers Branch drainage basin. It is anticipated that this lift will be completed by January 1, 1993. Upon completion, sewer service will be available on a first come first serve basis. To obtain a reservation for a 12 month period, a project must be platted and have an approved site plan, if required.

Consequently, the Town of Addison is not prepared to take action on your proposed developers agreement since construction of your project is not anticipated to start until 1993, the property does not have the required zoning and it is not platted.

Initial funding for the lift station project will come from the Town of Addison's Water/Sewer Fund. The Town is anticipating that an impact fee will be assessed each development as they utilize the system.

If General Mills modifies their schedule and demonstrates an immediate need for sewer service prior to the formal development of the impact fee; the Town is willing to consider your developer's agreement that will bind General Mills' participation in the lift station through assessment of the proposed impact fee. This would allow General Mills to connect to the existing sewer system, prior to completion of the proposed lift station and impact fee analysis.

General Mills  
Page 2

In the event that sewer capacity is not yet available when General Mills is ready to open, the Town is willing to consider any temporary private disposal method that the landowner/developer determines is feasible and reliable. Any plan is subject to prior approval by the Town, but could include a storage/trucking plan with disposal in a designated manhole in Addison.

Please call me if you have any questions or need additional information.

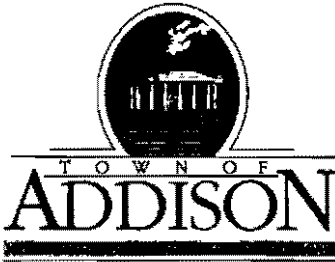
Sincerely,



John Baumgartner, P.E.  
City Engineer

JRB/rb





CITY MANAGER'S OFFICE

(214) 450-7027

Post Office Box 144 Addison, Texas 75001

5300 Belt Line Road

April 30, 1992

Mr. Jerry Murawski, P.E.  
City Engineer  
City of Farmers Branch  
City Hall Plaza  
P. O. Box 819010  
Farmers Branch, Texas 75381-9010

Re: Waterford Court

Dear Jerry:

The Town of Addison recently requested a developer to obtain Farmers Branch's permission to construct a left turn lane located on southbound Marsh Lane prior to approving the zoning for a proposed project.

The primary reason for this request, is that Farmers Branch controls southbound Marsh Lane and that the proposed improvements are located primarily in Farmers Branch.

It is my understanding that prior to granting your approval for the proposed median modifications, you wanted to know how the project will be sewerred.

In response to this inquiry regarding sewer service, please consider the following:

**Project Location:** East of Marsh Lane approximately 500 feet south of Beltway Drive.

**Project:** Approximately 200 city houses

**Estimated Population:** 350 people

**Estimated Sewer Flow:** 35,000 gpd average  
87,500 gpd peak

**Sewer Basin:** Rawhide Creek at Marsh Lane

**Preferred Option:** Connect into the proposed lift station/micro tunnel connecting Addison to the Addison/Farmers Branch sewer tunnel.

Mr. Jerry Muraswki, P.E.  
April 30, 1992  
Page 2

**2nd Option:** As an interim measure, construct a temporary lift station at Surveyor Drive to divert existing flow in the Rawhide Creek Basin to Dallas. It is anticipated that this flow will be replaced by new development in the Les Lacs area at a rate not to exceed previous commitments made by Addison. This lift station is currently under design by Carter and Burgess.

**3rd Option:** As an interim measure, allow the developer to construct an on-site treatment system or develop a storage/trucking plan.

The option that is chosen is dependent upon the following elements that are not entirely controlled by Addison:

1. the developers timing of the project,
2. the timing of the Addison/Farmers Branch sewer tunnel,
3. the timing of the interim lift station at Belt Line and Surveyor, and
4. Farmers Branch's acquiescence to an interim plan, if necessary.

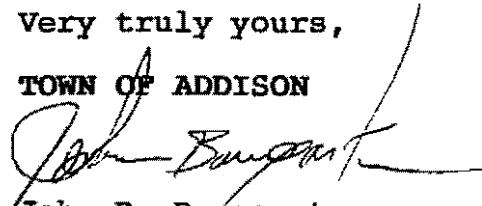
Regardless of which alternative is actually implemented; Addison remains dedicated to the commitments that have been made regarding the discharge of sewer to the Farmers Branch system.

I trust that this adequately addresses your concerns regarding sewer service for this project, during the zoning process.

If you have any questions or need additional information, please call me.

Very truly yours,

TOWN OF ADDISON



John R. Baumgartner  
City Engineer

mc

Home Interiors®  
& Gifts, inc. 

February 6, 1992

FEB 07 1992

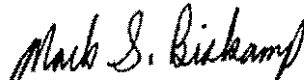
Mr. Frank Babb  
Carter-Crowley Properties, Inc.  
The Meridian-LBJ  
2711 LBJ Freeway, Suite 570  
Dallas, Texas 75234

Re: Agreement between Dewey Foster and Jim Fox and  
Carter-Crowley Properties, Inc.

Dear Frank:

Enclosed is a fully executed, original of the captioned  
agreement.

Very truly yours,



Mark S. Biskamp  
Vice President/General Counsel

MSB:cla  
Enclosure  
ltr3262

January 7, 1992

Mr. Dewey W. Foster  
Foster-Edwards Aircraft Company, Inc.  
P.O. Box 574  
Addison, Texas 75001-0574

Dear Mr. Foster:

Carter-Crowley Properties, Inc. (formerly Service Industries Property Management, Inc.) ("Carter-Crowley") owns the 2.9433 acre tract of land described on Exhibit A attached hereto and incorporated herein ("Carter-Crowley Tract") and the .0944 acre tract of land described on Exhibit B attached hereto and incorporated herein ("Easement Tract"). Dewey W. Foster and Jim L. Fox doing business as Airport Land Development Company (collectively, "Owners") own the 1.861 and 1.110 acre tracts of land described on Exhibit C attached hereto and incorporated herein (collectively, "Airport Land Development Company Tracts"), which are adjacent to the Carter-Crowley Tract.

The City of Addison ("City") is requiring as a condition of approval of a replat of the Carter-Crowley Tract and the granting of a building permit to Carter-Crowley that Carter-Crowley grant a sewer easement for the benefit of the Airport Land Development Company Tracts through the middle of the Carter-Crowley Tract to the Airport Land Development Company Tracts (the "Replat Condition"). Carter-Crowley considers the Replat Condition to be detrimental to Carter-Crowley's development plans and has asked the City to waive the Replat Condition. The City has informed Carter-Crowley that the City will waive the Replat Condition if Carter-Crowley and Owners can agree on another location for such sewer easement.

Carter-Crowley agrees to grant a nonexclusive sewer easement along the Easement Tract for the benefit of the Airport Land Development Company Tracts, such easement to be in form and substance satisfactory to Carter-Crowley and Owners. In the event of development of the Airport Land Development Company Tracts, Owners agree to pay for the cost of the construction of the sewer along the Easement Tract for the benefit of the Airport Land Development Company Tracts.

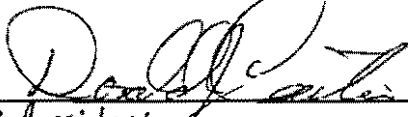
The agreement of Carter-Crowley herein to grant a sewer easement along the Easement Tract is conditioned upon and subject to the City's approval of the replat of the Carter-Crowley Tract and all building permits for construction on the Carter-Crowley Tract without the Replat Condition.

Mr. Dewey W. Foster  
January 7, 1992  
Page 2

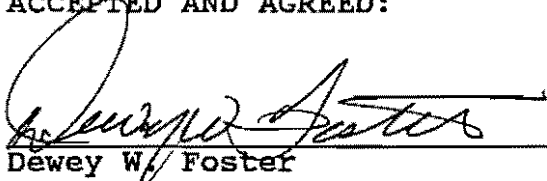
If the foregoing meets with the approval of the Owners, please evidence the agreement of the Owners by executing the signature blank below.

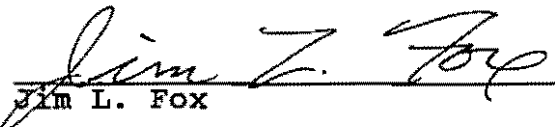
Very truly yours,

CARTER-CROWLEY PROPERTIES, INC.

By:   
Its: President

ACCEPTED AND AGREED:

  
Dewey W. Foster

  
Jim L. Fox

Attachments  
AGT11227

EXHIBIT A

(Carter-Crowley Tract)

BEING a tract of land in the William Lomax Survey, Abstract Number 792, situated in the City of Addison, Dallas County, Texas, and also being a part of that certain 10.16 acre tract conveyed to Charles S. McKamy by deed filed May 18, 1972, and being more particularly described as follows:

BEGINNING at an "X" found in concrete in the West right-of-way line of Addison Road (60.0 feet wide), said point being 1591.40 feet Southerly from the intersection of said West right-of-way line of Addison Road with the South right-of-way line of Keller Springs (60.0 feet wide);

THENCE South 0 degrees 09 minutes 53 seconds East along said West right-of-way line of Addison Road, 45.0 feet;

THENCE South 89 degrees 54 minutes 40 seconds West, 825.26 feet to an iron rod set for corner;

THENCE North 0 degrees 05 minutes 20 seconds West, 45.0 feet to an iron pipe found for corner;

THENCE North 46 degrees 34 minutes 30 seconds West, at 78.17 feet to an iron pipe found and continuing a total distance of 286.51 feet to an iron rod found on the boundary of Addison Airport;

THENCE North 43 degrees 21 minutes East along said boundary of Addison Airport, 226.28 feet to a nail found for corner;

THENCE South 46 degrees 33 minutes East, 211.85 feet to an iron rod found for corner;

THENCE South 45 degrees 44 minutes 05 seconds East, 308.47 feet to an iron pin found for corner;

THENCE North 89 degrees 54 minutes 40 seconds East, 503.17 feet to the PLACE OF BEGINNING, and containing 2.9433 acres of land.

EXHIBIT B

(Easement Tract)

BEING a tract of land situated in the William Lomax Survey, Abstract No. 792, Dallas County, Texas and being the same tract of land conveyed to Henry Stuart by deed recorded in Volume 83130, Page 4723 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod at the northeast corner of said Stuart tract, said iron rod also being the southeast corner of Personal Way Aviation Addition, an addition to the Town of Flower Mound, as recorded in Volume 90241, Page 2840, Deed Records of Dallas County, Texas, said iron rod also being in the west line of Addison Road (a 60' R.O.W.);

THENCE South 00 deg. 09 min. 53 sec. East along the west line of Addison Road a distance of 5.00 feet to an iron rod for corner;

THENCE South 89 deg. 54 min. 40 sec. West a distance of 820.20 feet to an iron pipe for corner;

THENCE North 45 deg. 28 min. 05 sec. West a distance of 7.12 feet to an "x" cut in concrete for corner; said "x" cut also being the southwest corner of said Personal Way Aviation Addition;

THENCE North 89 deg. 54 min. 40 sec. East along the south line of said Personal Way Aviation Addition a distance of 825.26 feet to the POINT OF BEGINNING and containing 4113.6 square feet or 0.0944 acres of land.

EXHIBIT C

(Airport Land Development Company Tracts)

TRACT 1

Being a tract of land situated in the William Lomax Survey, Abstract 792, Dallas County, Texas, and located on Addison Airport, Addison, Texas, and being more fully described as follows:

BEGINNING at a point for corner lying south 54 degrees 0 minutes 16 seconds west, 125.52 feet from an iron pin found for the northeast corner of a tract of land conveyed to O. J. Broughton and E. E. Ericson by deed recorded in Volume 4350, Page 491, Deed Records of Dallas County, Texas;

THENCE south 43 degrees 16 minutes west, 65.0 feet;

THENCE south 01 degree 44 minutes east, 70.71 feet;

THENCE south 43 degrees 16 minutes west, 153.60 feet;

THENCE south 69 degrees 17 minutes west, 30.00 feet;

THENCE north 20 degrees 43 minutes west, 149.48 feet;

THENCE north 43 degrees 16 minutes east, 230.00 feet;

THENCE south 46 degrees 44 minutes east, 300.00 feet to the PLACE OF BEGINNING and containing 1.861 acres of land, more or less.

TRACT II

Being a tract of land situated in the William Lomax Survey, Abstract 792, Dallas County, Texas, and located on Addison Municipal Airport, Addison, Texas and being more fully described as follows:

BEGINNING at an iron pin found for the northwest corner of a tract of land conveyed to O. J. Broughton and E. E. Ericson by deed recorded in Volume 4350, Page 491, Deed Records of Dallas County:

THENCE South 54 degrees 00 minutes 57 seconds West 125.79 feet;

THENCE North 46 degrees 44 minutes West 300.00 feet;

THENCE North 43 degrees 16 minutes East 156.51 feet;

THENCE South 46 degrees 44 minutes East 285.51 feet;

THENCE South 0 degrees 05 minutes 20 seconds West 45.00 feet;



THENCE South 45 degrees 49 minutes 56 seconds East 7.16 feet to the PLACE OF BEGINNING and containing 1.110 acres of land, more or less.

AGT41227

USE

NUMBER OF REQUIRED SPACES

Commercial Uses

Hotels/motels

1.1 space for each bedroom, plus requirements for related commercial uses, plus 1 space for each 50 sf. of gfa. of main assembly room, plus 2 spaces for manager's unit. For facilities visible from any freeway, on-site parking for "big rigs" shall be determined at project review.

Lube-n-tune

1 space per bay, plus 1 space for each employee, plus 2 space queueing lanes for each bay.

Multi-tenant auto-related facilities

1 space for each 200 sf. of gfa., plus 1 space for each employee.

Offices, general:

gfa. up to 2000 sf.  
2001 to 7500 sf.  
7501 to 40000 sf.  
40001 and greater

1 space for each 200 sf.  
1 space for each 250 sf.  
1 space for each 300 sf.  
1 space for each 350 sf.

Office, medical/dental

10 spaces for first 2000 sf., plus 1 space for each additional 175 sf. over 2000 sf.

Office, conversions from single family

Determined at project review  
MC 818 1-7-92

Restaurants, cafes, bars and other eating and drinking establishments (gfa. includes outdoor seating/eating area)

1 space for each 35 sf. of public seating area, plus 1 space for each 200 sf. of all other gross floor area, with a minimum of 10 spaces.

Restaurants, with drive-up or drive-thru facilities (including outdoor seating areas)

1 space for each 100 sf. of gfa. plus one lane for each drive-up window with stacking space for 6 vehicles before the menu board.

Delicatessen/donut shop

1 space for each 100 sf. of gfa.

Retail commercial

1 space for each 250 sf. of gfa.

# Redd-Young

Engineering & Surveying, Inc.

Mr. John Baumgartner  
City Engineer's Office  
P.O. Box 144  
Addison, Texas 75001

Re: LOEWEN ADDITION - Final Plat

Dear Mr. Baumgartner,

In response to your letter to Ms. Carmen Moran that addresses four issues that were of concern to staff:

1. We have provided information about the private street easement and understand that you now have an opinion from the City attorney.
2. North Lake Drive has been noted on the plan as a private drive as required.
3. I am enclosing a drawing with a solution to handle the storm water that comes onto the Loewen's property. We would like to have permission to do some grading within the area on the park property (as shown on topo plan).
4. I have also enclosed a survey with the certification showing that the property is not within the floodplain as shown on the latest FEMA map.

We have also shown the Texas Utilities easement as required by this utility company.

With this information we would like to receive a recommendation of approval from the Staff for the Planning and Zoning meeting of November 21st.

If there is any additional information that I can provide please contact me.

Sincerely,



Charles R. Redd

N  
W  
L

EDHAM WRIGHT LACKEY  
ENGINEERS INC.

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December 6, 1991  
Job No. 90-425

Mr. John Baumgarten, P.E.  
Town of Addison  
P. O. Box 144  
Addison, TX 75001

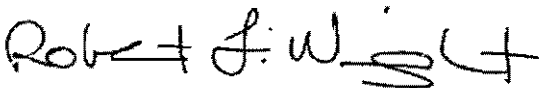
Re: Personal Way Aviation  
Sanitary Sewer Service

Dear John:

In accordance with a request from Frank Babb of Service Industries Property Management, Inc., we have reviewed the sanitary sewer elevations in Addison Road to determine the feasibility of providing sanitary sewer service to the vacant tract of land located west of the Personal Way Aviation site. The attached sketch shows the location of the existing and proposed utilities on the site as well as the possible location of a future sanitary sewer service. As indicated on the plans, there is adequate space and elevation difference to provide this sewer service.

If you have any questions or require any additional information, please do not hesitate to call.

Sincerely,

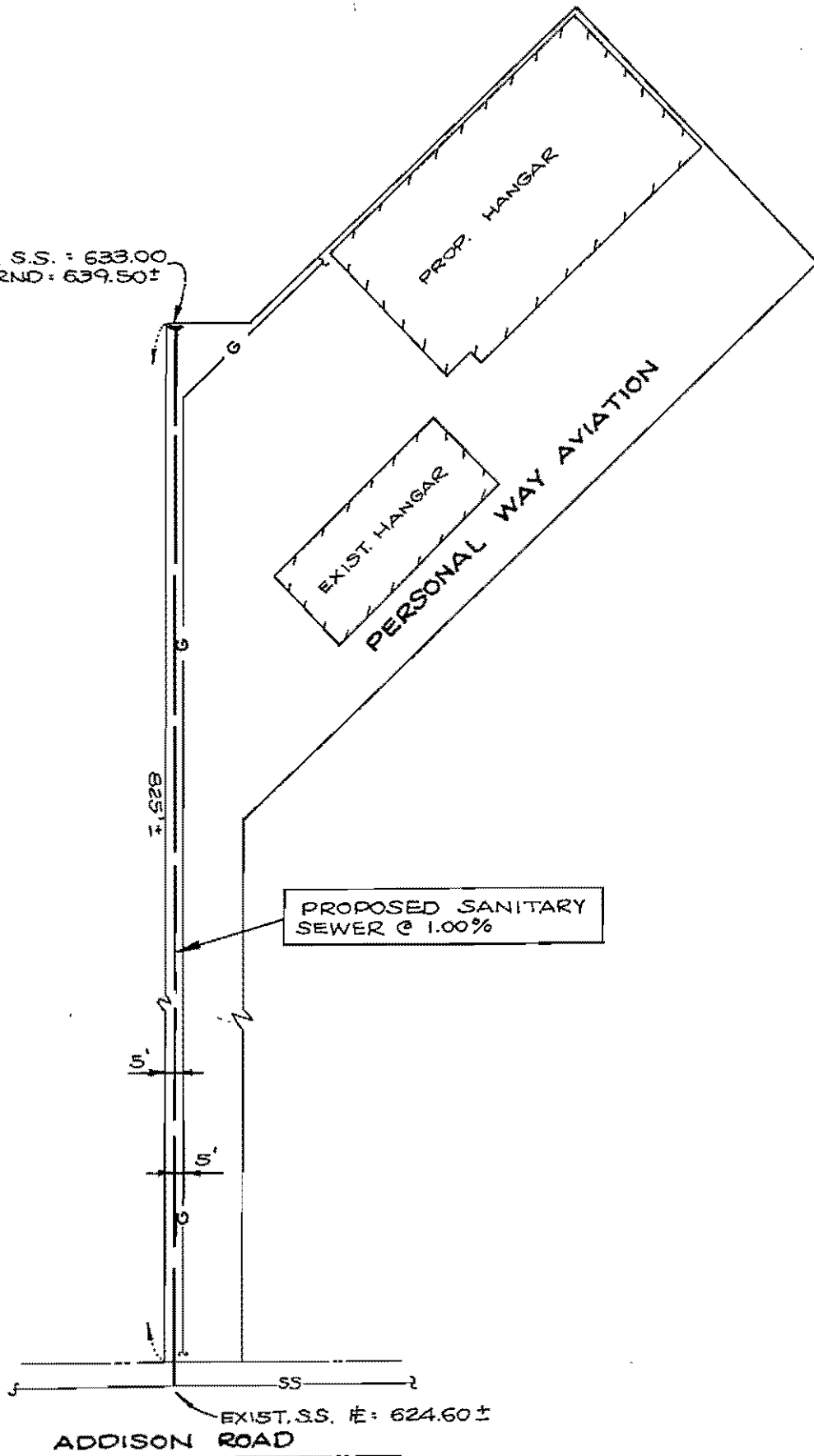


Robert L. Wright, P.E.  
Senior Vice President

RLW:ec

Copy to: Frank Babb

# S.S. = 633.00  
GRND = 639.50±



NEEDHAM · WRIGHT · LASKEY ENGINEERS INC. · DALLAS, TEXAS

SHEET NO.

PROPOSED SANITARY SEWER LINE

PROJECT NO. 90-425

DATE 12-6-91



U.S. Department  
of Transportation  
**Federal Aviation  
Administration**

Southwest Region  
Arkansas, Louisiana,  
New Mexico, Oklahoma,  
Texas

NOV 13 91  
CITY MANAGER  
Fort Worth, Texas 76193-0000.

AERONAUTICAL STUDY NO. 89-ASW-2076-OE

Notice of Extension

Determination of No Hazard to Air Navigation

A Determination of No Hazard to Air Navigation was issued by the Federal Aviation Administration (FAA) on May 7, 1990 relative to the following construction proposal:

Proponent:	HMBH ARCHITECTS 15303 Dallas Parkway Suite 300 LB 30 Dallas, Texas 75248	Height :	347 feet above ground level (AGL)  967 feet above mean sea level (AMSL)
Structure:	2 Office Buildings	Latitude :	32°55'48"
Location :	Farmers Branch, Texas	Longitude:	96°49'22"

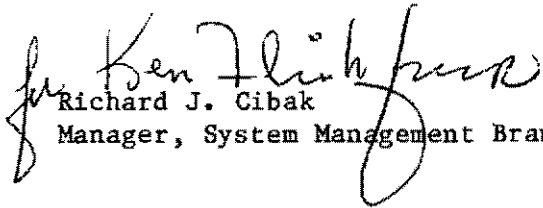
The proponent has requested an extension of the effective period of the determination. The FAA has reviewed the aeronautical study and current aeronautical operations in the area of the proposed structure and finds that no significant aeronautical changes have occurred which would change the basis upon which the determination was made.

Therefore, pursuant to the authority delegated to me, the effective period of the Determination of No Hazard to Air Navigation, issued in this matter on May 7, 1990, is hereby extended and will expire on July 25, 1993, unless otherwise extended, revised, or terminated.

This determination is subject to review by the Administrator if a petition is filed on or before December 13, 1991. If no petition is filed, the determination becomes final January 22, 1992. If a petition is filed, further notice will be given and the determination will not become final pending disposition of the petition. Petitions for discretionary review must be filed in triplicate with the Manager, Flight Information and Obstructions Branch, ATP-240, Federal Aviation Administration, Washington, D.C. 20591, and must contain a full statement of the basis upon which they are made.

This extension does not include temporary construction equipment such as cranes, derricks, etc., which may be used during the actual construction phase of this proposal. Such equipment which has a height greater than the proposed structure and a height which would exceed the notice standards of Part 77 of the Federal Aviation Regulations (FAR) requires separate notice.

This determination, issued in accordance with FAR Part 77, concerns the effect of this proposal on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of any compliance responsibilities relating to any law, ordinance, or regulation of any Federal, state, or local governmental body.

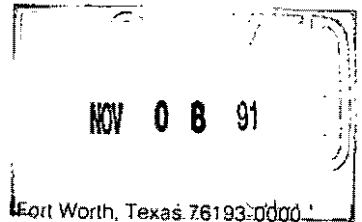
for Ken Flink  
Richard J. Cibak  
Manager, System Management Branch

Issued On: November 13, 1991



U.S. Department  
of Transportation  
**Federal Aviation  
Administration**

Southwest Region  
Arkansas, Louisiana,  
New Mexico, Oklahoma,  
Texas



NOTICE OF THE PROPOSED ALTERATION OF A PUBLIC-USE AIRPORT

ADDISON, TEXAS

91-ASW-0354-NRA

The Federal Aviation Administration has received notice of the proposed alteration to an airport layout plan (ALP). Details are listed below:

<u>Name</u> :	Addison Airport	<u>Proponent</u> :	City of Addison P.O. Box 144 Addison, Texas 75001
<u>Location</u> :	Addison, Texas	<u>Latitude</u> :	32°58'06"
<u>Elevation</u> :	643 feet above mean sea level (AMSL)	<u>Longitude</u> :	96°50'10"

Layout : The airport consists of a single 7,199-foot X 100-foot Runway 15/33 and associated taxiways. It is proposed to add a parallel 7,199-foot X 50-foot taxiway on the west side of the runway. The installation of a glide slope indicator and runway end identifier lights (REIL) for Runway 33 is also proposed. In conjunction with this, it is proposed to displace the threshold of Runway 33 an additional 300 feet. Additionally, it is proposed to replace the Runway 15 visual approach slope indicator lights (VASI) with pulsating approach path indicator lights (PAPI).

Interested persons are invited to submit written data concerning any comments or recommendations relative to the effect this proposal will have on the use of airspace by aircraft. Such communications should be submitted to the Airspace Specialist, System Management Branch, Federal Aviation Administration, Fort Worth, Texas 76193-0530.

All communications received not later than December 11, 1991 will be considered before final action is taken.

*Ken Fleischfresser*  
Kenneth L. Fleischfresser  
Airspace Specialist  
System Management Branch

Attachment

Issued in Fort Worth, Texas  
on November 11, 1991



FR TERMINAL AREA CHART  
DALLAS-FT WORTH

515  
GARZA-LITTLE ELM  
RESERVOIR

50

80  
30

AIR PARK DALLAS  
695 °L 31 122.9

DALLAS LOVE  
ARSA

BLACK MARK  
635 - 23

HILLIARD (Pvt)  
635 - 19

838  
(293)

ADDISON AIRPORT  
ADDISON, TEXAS

80  
SFC

20

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30

CARROLLTON  
80  
30

FARMERS  
BRANCH



15

DALLAS RCO  
FORT WORTH

DALLAS-FT WORTH  
117.0 Ch 117-DFW

45  
SFC

GRAND PRAIRIE

NAS DALLAS  
HENSLY

80  
30

Attachment



MEMORANDUM

DUNAWAY ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS

TO: File  
Job No. 9102804

DATE: October 18, 1991

VIA: Jim Dunaway  
Tom Huffhines

FROM: Tom Galbreath

RE: Sam's Addison - Sewer Capacity

\*\*\*\*\*

On Monday, October 18, 1991, Tom Huffhines and I met with John Baumgartner, Addison's City Engineer, to discuss sewer availability for the Sam's development. I had received a call from Kirk Williams the previous Friday and Kirk indicated Carmen Moran had called him and said Addison was now out of sewer reservations. I told Kirk I felt like Dunaway Associates, Inc. (DAI) needed to sit down with the City Engineer and review the numbers. I then contacted Mark Freeman and he agreed we should meet with the City.

We began our meeting with John Baumgartner by reviewing estimated existing reserves and amounts allocated to date.

Addison estimates they have 67 million gallons per year remaining to allocate. They are presently monitoring flow rates of the applicable trunk line to see if the 67 million is high, low, or correct. They are awaiting a heavy rain so that infiltration of storm water can be accounted for. John felt like they should know if the 67 million gallons per year is accurate in about a month.

As of October 2, 1991, Addison has allocated 49.5 million of the 67 million remaining. Allocation takes place as City Council approves projects. Therefore, going into the October 8th Council there was ±17.5 million remaining to be allocated.

The following are the projects approved on October 8th and their estimated sewer requirements.

Ryan Steak House	4 Million Gallons/Year
Waterford Park II	
117 Lot Single-Family Dev.	12.8 Million Gallons/Year
Villas of Le Lox	
180 Unit Multi-Family	11.5 Million Gallons/Year
180 Unit Multi-Family	11.5 Million Gallons/Year
*225 Unit Multi-Family	<u>14.4 Million Gallons/Year</u>
	±54.2 Million Gallons/Year

\* City is possibly purchasing this tract as park land. If so, it would be pulled out of allocation.

RECEIVED  
10-22-91

Memo to File  
Job No. 9102804  
October 18, 1991  
Page 2

These three projects added together total 54.2 million gallons per year.

Adding the previous allocation of 49.5 million to the October 8th allocation of 54.2 million places the allocations at 103.7 million gallons per year or 89.3 million gallons per year if the 225 units in Le Lox is purchased by the City. Under either scenario the City is 22 - 36 million gallons over their reserve capacity.

Build out on the projects range from 6 months for Ryan Steak House; 42 months for Waterford Park II; and 36 months for the Villas of Le Lox. In the event these or previous allocations do not get built out then their reservations go to the next project in line.

I asked John why he did not anticipate a problem with sewer back in August when we first met with him. John said at that time he had no idea Villas of Le Lox would be approved which is the project consuming the most sewer.

We next discussed options the City is pursuing. John indicated there was a project known as the "tunnelling project" that is jointly being considered by Addison and Farmers Branch. The project would resolve the sewer problem. It involves developing another sewer main from an existing trunk main close to Brook Haven College. The project is a 15 month design task and optimistically a 24 month construction period, or 3½ years. Funding of the project has not yet been approved by either Addison or Farmers Branch.

John indicated that Sam's would likely be permitted to tie onto Addison's sewer until the build-out of the projects with sewer allocation prior to Sam's caused a problem. When or if Sam's had to pull off the Addison sewer then a interim sewer disposal means would have to be achieved by Sam's. This would more than likely require a holding tank or tanks that would be pumped most probably daily.

Based on sewer data provided by Sam's (3,000 gallons/day) I contacted a sewage disposal company and they estimated the cost for daily pumping and transporting to range from \$110,000.00 to \$230,000.00 annually depending on where the sewage is dumped.

John also indicated that subject to City Council's approval and adequate tax revenues generated by Sam's, the City might absorb the pumping and disposal cost for the holding tanks on the Sam's site.

Memo to File  
Job No. 9102804  
October 18, 1991  
Page 3

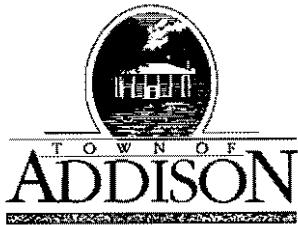
John however was very clear that prior to any building permits Sam's would be required to sign an agreement stating that Sam's understood they could be pulled off the Addison sewer system and be required to go to alternative method of disposal (storage tanks). An approved design of the storage system would be required before building permits but he did not think the City would require construction of the storage tanks until warranted.

In summary, present sewer allocations exceed sewer reserves. The precise reserve amount is presently being tested and we should know in about on month if there is actually more capacity or less. In the event projects allocated for sewer do not get built out in the allotted time the next project in line gets the allocated amount of the project which fell out.

Both Addison and Farmers Branch are working together on a project to resolve the sewer problem. However, the project is at best 3½ years off and is yet to be funded by either city. Sam's would be able to tie into the Addison sewer system until projects allocated before them exceeded the present capacity at which time they would have to pull off.

TSG/bn  
TSG\10-18-91.M1

cc: Mark Freeman  
Kirk Williams  
Tom Hudson  
John Baumgartner



CITY ENGINEER'S OFFICE

Post Office Box 144 Addison, Texas 75001

(214) 450-2886

16801 Westgrove

M E M O R A N D U M

September 19, 1991

To: Carmen Moran, City Secretary

From: John R. Baumgartner, City Engineer *JRB*  
*9-19-91*

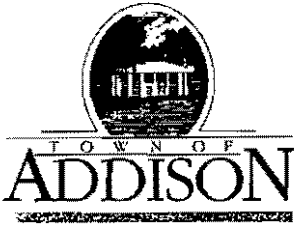
RE: Case 1081-2 Pace Club-K Mart

The Engineering Department has reviewed the referenced site plan and has the following comments/recommendations.

1. The proposed buildings need to be located so the Town can access and maintain the existing water, wastewater and storm drainage facilities. This may require relocating the building or the utilities.
2. Right-of-way is required to expand both the Marsh Lane/Belt Line and the Commercial/Belt Line intersections.
3. Detention may be required. A final determination will be based on the detailed drainage calculations and the capacity of the existing system.

If you have any questions or need additional information, please call me.

JRB/rp



**CITY ENGINEER'S OFFICE**

Post Office Box 144 Addison, Texas 75001

(214) 450-2886

16801 Westgrove

**M E M O R A N D U M**

June 7, 1991

To: Carmen Moran, City Secretary

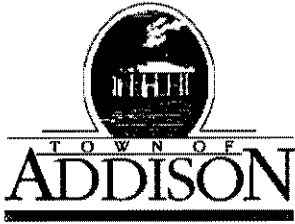
From: John Baumgartner, City Engineer *JRB*  
Robin Jones, Director of Streets

RE: Preliminary Plat for Les Lacs II

The Street and Engineering Departments have attempted to work with the applicant concerning the referenced plat. At this time we cannot recommend this plat for approval because of the concern regarding the spacing of the intersection of Canot Lane and Lakecrest Court. Proton Drive has poor geometrics and the Town has received complaints from the residences using Canot Lane for ingress and egress to the existing subdivision.

We have asked our Traffic Engineer, Barton-Aschman Associates, Inc. to review the intersection layout and anticipate their response by the Council meeting on June 11.

JRB/rp



Post Office Box 144 Addison, Texas 75001

5300 Belt Line Road

(214) 450-7017

*Cohn, F.I.  
Do the plat  
conditions meet  
right? C*

**OFFICIAL ACTIONS OF THE PLANNING AND  
ZONING COMMISSION**

May 23, 1991  
6:30 p.m.  
5300 Belt Line Road

Present: Andy Anderson, Frank Crowder, Mark Dominic, Ann  
Sudduth, Don Suggs, Steve Tune

Absent: none, one seat vacant

Approval of the Minutes of the February 28, 1991, March 5, 1991,  
March 20, 1991, March 21, 1991, March 28, 1991, and April 16,  
1991 meetings.

Commissioner Tune moved to approve all minutes as written. C  
Anderson seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune  
Voting Nay: none  
Absent: none, one seat vacant.

1. FINAL PLAT/Beltwood North - Airport Addition Replat.  
Requesting approval of a replat for 17.76 acres in an  
"I-1" (Industrial) district. Located on the east side  
of Midway Road, north of Kellway Circle and south of the  
Addison-Carrollton City Limit Line.

Commissioner Tune moved to recommend approval of this plat  
subject to the following conditions:

-the required construction plans and schedule to  
provide sewer service to all lots. These plans have  
not been submitted,

-drainage information (calculations) to verify that the  
drainage easement is adequately sized to convey the  
fully developed flow. In addition, a drainage easement  
is required along the east boundary of this property  
adjacent to Addison Airport.

Commissioner Sudduth seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune  
Voting Nay: none  
Absent: none, one seat vacant.

3. Case 1065-Z/Town of Addison. Requesting approval of amendments to Article VI-a (R-16 Single Family Dwelling Regulations) of Ordinance #66, the Addison Zoning Ordinance, to create a sub-article for Winnwood and Celestial Roads.

Chairman Suggs opened the meeting as a public hearing. The following people spoke in favor of the standards proposed by the residents who had signed the petition:

Frank Tilley	Winnwood Road
Lou Navias	Winnwood Road
Fred Delin	Celestial Road
Stewart Beatty	Winnwood Road

Mr. Preston Skaggs and Mr. Jeff Noble, who own property on Winnwood, spoke against the standards proposed by the residents.

Dr. Lou Foxx stated that he favored a 50-foot setback along the west side of Winnwood rather than the 75-foot setback proposed by the residents.

Mr. Lou Delaga, of Rosewood Homes, stated that he felt that more houses should be developed in the neighborhood because more houses would help property values.

Chairman Suggs closed the meeting as a public hearing.

Commissioner Crowder moved to recommend approval of all the standards proposed by the residents, which were:

	Present Zoning	Suggested Zoning
Front Yard	35 feet	Winnwood, east side - 50 ft Winnwood, west side - 75 ft
Side Yard	10 ft. min or 10%	10 ft. or 10% of lot width, whichever is greater
Rear Yard	20 ft. min or 20%	20 ft. or 20% of lot width, whichever is greater



Area of Lot	16,000 sq.ft. min	27,500 sq.ft. min.
Width of Lot	100 ft. min.	100 ft. min.
Min Lot Depth	110 ft. min.	130 ft. min.
Min Area of Dwelling	1000 sq.ft.	4000 sq.ft.
Height	2 1/2 story	2 1/2 story
Construction	80% masonry	80% masonry
Other	no provision	Side or rear facing garages only

Commissioner Anderson seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune  
Voting Nay: none  
Absent: none, one seat vacant.

2. PRELIMINARY PLAT/Waterview Estates. Requesting preliminary plat approval for an 11-acre tract of 49 single-family lots in an "MXR" district. Located at the intersection of Proton Drive and Les Lacs Drive.

Chairman Suggs opened the meeting as a public hearing. There were no questions or comments. Chairman Suggs closed the meeting as a public hearing.

Commissioner Anderson moved to recommend approval of the plat for Waterview Estates subject to the following conditions:

-the applicant change the label for the TU Electric easement from "35' greenbelt and utility easement to be dedicated to the city of Addison" to "35' greenbelt easement for park purposes to the Town of Addison,"

-the corner clip between the TU easement and the southern greenbelt dedication be widened to at least twenty feet wide at its narrowest point,

-the greenbelt dedication along the southern property line be widened to thirty-five feet, or the applicant obtain an easement from the DISD for use of its property as a greenbelt and jogging trail along this boundary,

- details regarding Proton Drive and Les Lacs Avenue as a public way be worked out prior to final platting,
- driveway access to Proton Drive and Les Lacs Avenue be prohibited,
- the minimum centerline radius (see attached details) of the knuckles (eyebrow cul-de-sac) should be 50 feet,
- the sidewalks along Proton Drive and Les Lacs Avenue be constructed prior to the issuance of Certificates of Occupancy for those homes adjacent to those streets,
- the roads from Waterview Estates align with the roads from Les Lacs II,
- the development shall provide a minimum of eight-inch water lines and Mueller fire hydrants (three hydrants) as required by the water utilities department specifications,
- load information be furnished to TU Electric so that easements can be requested.

Commissioner Sudduth seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune  
Voting Nay: none  
Absent: none, one seat vacant.

3. PRELIMINARY PLAT/Les Lacs I Requesting preliminary plat approval for an 8.48 acre tract of 40 single-family lots in an "MXR" district. Located south of Proton Drive, approximately 360 feet east of the intersection of Proton Drive and Les Lacs Avenue.

Chairman Suggs opened the meeting as a public hearing. There were no questions or comments. Chairman Suggs closed the meeting as a public hearing.

Commissioner Tune moved to recommend approval of the preliminary plat for Les Lacs I subject to the following conditions:

- the applicant change the label for the TU Electric easement from "35' greenbelt and utility easement to be dedicated to the city of Addison" to "35' greenbelt easement for park purposes to the Town of Addison,"
- details regarding Proton Drive and Les Lacs Avenue as

- a public way be worked out prior to final platting,
- driveway access to Proton Drive is prohibited,
- the minimum centerline radius (see attached details) of the knuckles (eyebrow cul-de-sac) should be 50 feet,
- the sidewalks along Proton Drive be constructed prior to the issuance of Certificates of Occupancy for those homes against Proton Drive,
- lots 7 and 8 Block "B" should have their corners clipped to accommodate a 25 foot radius,
- the development shall provide a minimum of eight-inch water lines and Mueller fire hydrants (three hydrants) as required by the water utilities department specifications,
- load information be furnished to TU Electric so that easements can be requested.

Commissioner Dominic seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune  
Voting Nay: none  
Absent: none, one seat vacant.

4. PRELIMINARY PLAT/LES LACS II. Requesting preliminary plat approval for an 13.63 acre tract of 57 single-family lots in an "MXR" district. Located at the southwest corner of the intersection of Beltway Drive and Proton Drive.

Chairman Suggs opened the meeting as a public hearing. There were no questions or comments. Chairman Suggs closed the meeting as a public hearing.

Commissioner Sudduth moved to recommend approval of the preliminary plat for Les Lacs II subject to the following conditions:

- all design issues mentioned by John Baumgartner be addressed in a revised preliminary plat which can be submitted to staff prior to the Council meeting on June 11, 1991,
- details regarding Proton Drive and Les Lacs Avenue as a public way be worked out prior to final platting,

380-2605  
Craig  
Suggs

-driveway access to Proton Drive and Les Lacs Avenue is prohibited,

-the sidewalks along Proton Drive be constructed prior to the issuance of Certificates of Occupancy for the houses along Proton Drive,

-the roads from Waterview Estates align with the roads from Les Lacs II,

-all off-site easements require dedication with sketches and metes/bounds descriptions prior to final platting,

-load information be furnished to TU Electric so that easements can be requested,

-provide adequate diameter for culs-de-sac (to be determined by Fire Marshall) and stripe culs-de-sac as fire lanes to prohibit street parking and provide for fire apparatus access.

Commissioner Crowder seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune

Voting Nay: none

Absent: none, one seat vacant.

#### ZONING REQUESTS

1. Case 1063-SUP/Black-Eyed Pea. Requesting approval of a Special Use Permit for a restaurant and a Special Use Permit for on-premise consumption of alcohol in a restaurant in a "LR" (Local Retail) district. Located at 4500 Belt Line Road.

Chairman Suggs opened the meeting as a public hearing. There were no questions or comments. Chairman Suggs closed the meeting as a public hearing.

Commissioner Dominic moved to recommend approval of the request for a Special Use Permit for the Black-Eyed Pea subject to the conditions that:

-the landscape plan be revised to indicate at least 20% of the gross site as landscaped area. This could be accommodated with a hedge along the south property line,

- three trees shown to remain along the property line be removed,
- the right-of-way along Belt Line Road be bermed at a height of 2 1/2 feet to 3 feet to provide increased screening,
- the driveway on the west property line be revised to indicate an opening no wider than 40 feet,
- the curb inlet on the east side of the driveway which is proposed to be closed be moved to the Belt Line curb, and an additional curb inlet be added on the other side of the landscaping median to handle the runoff from the parking area to the south,
- a fire lane be provided in accordance with Addison's requirements for fire lanes.

Commissioner Sudduth seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune  
Voting Nay: none  
Absent: none, one seat vacant.

2. Case 1064-SUP/Bent Tree Child Care Center. Requesting approval of a Special Use Permit for a day-care facility in a "LR" (Local Retail) district. Located at 17101 Addison Road.

Chairman Suggs opened the meeting as a public hearing. Mr. Al Galvani, an adjoining property owner, spoke in favor of the request. Chairman Suggs closed the meeting as a public hearing.

Commissioner Dominic moved to recommend approval of the request for a child care center subject to the following conditions:

- the site landscaping and irrigation be renovated and additional plantings added. A plan for the additional landscaping should be submitted to the landscaping department prior to the case going before the City Council,
- the dumpster enclosure be repaired to include gates on the front, and
- the center comply to all state standards for day-care centers.

Commissioner Tune seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Suggs, Tune  
Voting Nay: none  
Absent: none, one seat vacant.

4. Case 1066-SUP/Turn Six Restaurant. Requesting an amendment to an existing Special Use Permit for a restaurant and a S.U.P. for on-premise consumption of alcohol in a restaurant. Located at 15375 Addison Road.

Chairman Suggs opened the meeting as a public hearing. Mr. Braum Franklin, Mr. Keith Fulton, Mr. Jay Snyder, and Mr. Pete Augustus spoke as the applicants and as representatives of the applicants.

The following people spoke against the proposed request and expressed opposition to a business, which they believed would operate as a bar, opening in their neighborhood:

Cliff Weinstein	Broadway property owner
Ellen Josh	Broadway business owner
Lowell Freeman	Broadway business owner
Dr. Richard and Montae Johnson	Addison Inkwell Antiques owners

Ms. Carol Kondos stated that she and her husband were the actual owners of 55% of the property, and that they would be partners with Mr. Augustus.

Chairman Suggs closed the meeting as a public hearing.

Commissioner Sudduth moved to recommend denial of the request. Commissioner Tune seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Tune  
Voting Nay: none  
Absent: none, one seat vacant

6. Case 1068-SUP/Fruit Stand. Requesting approval of a Special Use Permit for a plant nursery and fruit stand. Located at 15203 and 15205 Addison Road.

Chairman Suggs opened the meeting as a public hearing. There were no questions or comments. Chairman Suggs closed the meeting as a public hearing.

Commissioner Crowder moved to recommend approval of this request subject to the following conditions:

-the fruit stand should provide an impermeable surface for its drive and parking areas. Gravel is acceptable for the first year.

-the house should be able to provide running water for a hand sink and a full restroom. Portable toilets will not be permitted.

-the applicant must be able to provide sufficient equipment and facilities necessary for adequate food protection and general sanitation.

-the applicant shall use solid canopy tents as a shading structure for the produce. Black mesh or netting will not be permitted.

-the applicant should be aware that temporary signage is not allowed under the Addison sign ordinance, and that a permanent sign will be required.

Commissioner Anderson seconded. Motion carried.

Voting Aye: Anderson, Crowder, Dominic, Sudduth, Tune

Voting Nay: none

Absent: none, one seat vacant

5. Case 1067-Z/MXR Concept Plan. Requesting approval of concept plans for two tracts of land totaling 28.0 acres in an MXR district with a 12-unit per acre density, located south of Beltway Drive and bordered on the west by Les Lacs Avenue, and on the east by a lake, and two tracts totaling 24.5 acres in an MXR district with a 24-unit per acre density, located on the east side of Marsh Lane, just north of Loos Field and the Summer Place apartments.

Chairman Suggs opened the meeting as a public hearing. There were no questions or comments.

Commissioner Anderson moved to recommend approval of the proposed concept plans subject to the following condition:

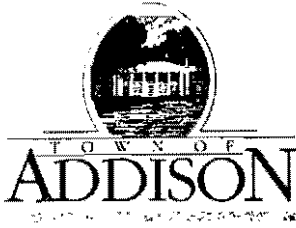
-the applicant revise the site plans for the 24-unit per acre product so that there are no 3-story units against the east property line which adjoins single-family lots.

Commissioner Sudduth seconded. Motion carried.

Voting Aye:    Anderson, Crowder, Dominic, Sudduth, Tune  
Voting Nay:    none  
Absent:        none, one seat vacant

There being no further business before the Commission, the meeting was adjourned.





CITY ENGINEER'S OFFICE

Post Office Box 144 Addison, Texas 75001

(214) 450-2886

16801 Westgrove

M E M O R A N D U M

May 13, 1991

To: Carmen Moran, City Secretary  
From: John Baumgartner, City Engineer *JRB 5-14-91*  
RE: Beltwood North Airport Addition Replat

The Engineering Department has reviewed the referenced plat for conformance with the applicable portion of Addison's subdivision ordinance and engineering standards.

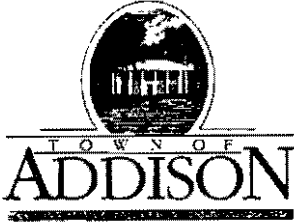
To obtain a positive recommendation, staff needs the following:

1. The required construction plans and schedule to provide sewer service to all lots. These plans have not been submitted.
2. Drainage information (calculations) to verify that the drainage easement is adequately sized to convey the fully developed flow. In addition, a drainage easement is required along the east boundary of Addison Airport.

The applicant should be advised that the required drainage improvements to convey stormwater through their property will be required prior to the issuance of any building permits.

If you have any questions or need additional information, please call me.

/rp



CITY ENGINEER'S OFFICE

Post Office Box 144 Addison, Texas 75001

(214) 450-2886

16801 Westgrove

M E M O R A N D U M

May 13, 1991

To: Carmen Moran, City Secretary

From: John Baumgartner, City Engineer *JRB 5-14-91*  
Robin Jones, Director of Streets *RJ*

RE: Les Lacs II - Preliminary Plat Review

The Engineering and Street Departments have reviewed the referenced plat for conformance with the applicable portions of Addison's subdivision ordinance and engineering standards. Because this plat is a "preliminary", we offer the following advisory comments:

1. The water and sewer must meet Addison standards. Recommend the engineer meet with the Utility and Engineering Departments before proceeding with the final design.
2. Detailed engineering calculations are required to evaluate the storm drainage system. This can be submitted with the construction plans at the time of final platting.
3. The lots should be graded to drain toward the street where possible.
4. Recommend that the developers get together and dedicate Proton Drive and Les Lacs Avenue to the Town in their entirety to resolve access, maintenance, and liability questions.

This will involve the developers bringing the streets into conformance with the Town's current standards. The following items should be addressed prior to final platting:

- A. Rehabilitation of the existing roadway including resealing the joints, repairing spalls, and repairing other damage.
- B. Installation of pavement markings (buttons) signage, and sidewalks.
- C. Providing an extended maintenance period to cover the time between acceptance of the subdivisions and construction of the homes. This is necessary because of questionable materials used when constructing this street as a private drive.
- D. Review the drainage to determine that it is in compliance with the Town's current standards.

To obtain a positive recommendation from staff, the following issues should be resolved:

- 1. This plat does not conform to the requirements of the Addison Subdivision Ordinance because the existing street/driveway from Waterford Addition is not shown. This roadway may affect the alignment of the proposed street necessitating redesign.
- 2. The minimum radius of the cul-de-sacs is proposed at 50 feet to the right-of-way and 40 feet to the curb. This requires the approval of the fire department.
- 3. The street centerline radius must match a 25 mph design speed for discontinuous residential street with a 50-foot minimum tangent between reverse curves.
- 4. The intersection of Waterview Court with Les Lacs Avenue should be squared up by using an offset cul-de-sac, if the existing roadway intersection is not between 80 and 100 degrees.

In addition, any approval of a preliminary plat should be contingent upon the following:

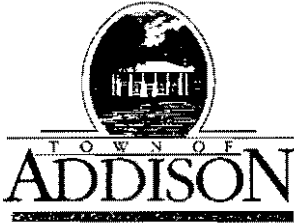
- 1. Details regarding Proton Drive and Les Lacs Avenue as a public way and be worked out prior to final platting.
- 2. Driveway access to Proton Drive and Les Lacs Avenue is prohibited.

Les Lacs II  
May 13, 1991  
Page 3

3. The sidewalks along Proton Drive and Les Lacs Avenue be constructed with the development of the subdivision infrastructure, prior to the issuance of building permits.
4. The roads from Waterview Estates align with the roads from Les Lacs II.
5. All off-site easements require dedication with sketches and metes/bounds description prior to final platting.

If you have any questions or need additional information, please call us.

/rp



CITY ENGINEER'S OFFICE

Post Office Box 144 Addison, Texas 75001

(214) 450-2886

16801 Westgrove

M E M O R A N D U M

May 13, 1991

To: Carmen Moran, City Secretary

From: John Baumgartner, City Engineer *QPB 5-14-91*  
Robin Jones, Director of Streets *RJ*

RE: Strand Texas Les Lacs - Concept Plan

The Street and Engineering Departments have reviewed the referenced concept plan and offer the following comments.

1. The street intersection and driveways, should be within 10 degrees of 90 degrees (radial).
2. Recommend that the developers get together and dedicate Proton Drive and Les Lacs Avenue to the Town in their entirety to resolve access, maintenance, and liability questions.

This will involve the developers bringing the streets into conformance with the Town's current standards. The following items should be addressed prior to final platting:

- A. Rehabilitation of the existing roadway including resealing the joints, repairing spalls, and repairing other damage.
- B. Installation of pavement markings (buttons) signage, and sidewalks.
- C. Providing an extended maintenance period to cover the time between acceptance of the subdivisions and construction of the homes. This is necessary because of questionable materials used when constructing this street as a private drive.
- D. Review the drainage to determine that it is in compliance with the Town's current standards.

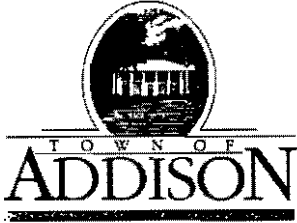
Les Lacs-Concept Plan  
May 13, 1991  
Page 2

3. The plan needs to show Marsh Lane in detail.
4. The dedication and construction of half a street does not seem practical. What are the details regarding the dedication and construction of the street between Marsh Lane and Les Lacs Avenue.
5. There is not adequate sewer capacity for all of the proposed development at this time.

Additional information is required to obtain an affirmative recommendation for this concept plan.

If you have any questions or need additional information, please call us.

/rp



CITY ENGINEER'S OFFICE

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(214) 450-2886

16801 Westgrove

M E M O R A N D U M

May 13, 1991

To: Carmen Moran, City Secretary

From: John Baumgartner, City Engineer *JRB*  
Robin Jones, Director of Streets *5-14-91*  
*RJ*

RE: Les Lacs I - Preliminary Plat Review

The Engineering and Street Departments have reviewed the referenced plat for conformance with the applicable portions of Addison's subdivision ordinance and engineering standards. Because this plat is a "preliminary", we offer the following advisory comments:

1. The street layout is generally acceptable.
2. The water and sewer must meet Addison standards. Recommend the engineer meet with the Utility and Engineering Departments before proceeding with the final design.
3. Detailed engineering calculations are required to evaluate the storm drainage system. This can be submitted with the construction plans at the time of final platting.
4. The lots should be graded to drain toward the street where possible.
5. Recommend that the developers get together and dedicate Proton Drive and Les Lacs Avenue to the Town in their entirety to resolve access, maintenance, and liability questions.

This will involve the developers bringing the streets into conformance with the Town's current standards. The following items should be addressed prior to final platting:

Les Lacs I  
May 13, 1991  
Page 2

- A. Rehabilitation of the existing roadway including resealing the joints, repairing spalls, and repairing other damage.
- B. Installation of pavement markings (buttons) signage, and sidewalks.
- C. Providing an extended maintenance period to cover the time between acceptance of the subdivisions and construction of the homes. This is necessary because of questionable materials used when constructing this street as a private drive.
- D. Review the drainage to determine that it is in compliance with the Town's current standards.

Recommend approval of the preliminary plat of Les Lacs I, contingent upon the following:

- 1. Details regarding Proton Drive as a public way be worked out prior to final platting.
- 2. Driveway access to Proton Drive is prohibited.
- 3. The minimum centerline radius (see attached details) of the knuckles (eyebrow cul-de-sacs) should be 50 feet.
- 4. The sidewalk along Proton Drive be constructed with the development of the subdivision infrastructure, prior to the issuance of building permits.
- 5. Lots 7 and 8 Block "B" should have their corners clipped to accommodate a 25 foot radius.

If you have any questions or need additional information, please call us.

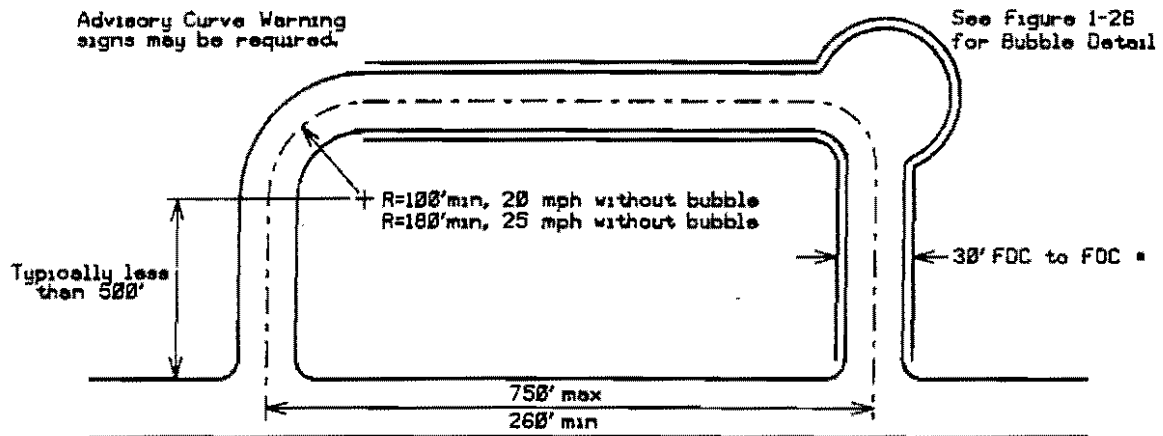
/rp

Attachments



Typical ADT Range, less than 1000  
 Design Speed, 20, 25 mph  
 General Length, less than 1500'  
 Angle of Intersecting Tangents, 80° - 100°  
 Minimum Centerline Radius, See Page 1-8  
 Minimum Tangent Length Between Horizontal Curves, 50'  
 Minimum Curb Basis, 10'  
 Zoning, SF-1 or SF-2 (Or comparable land use)

### TYPICAL PLAN VIEW



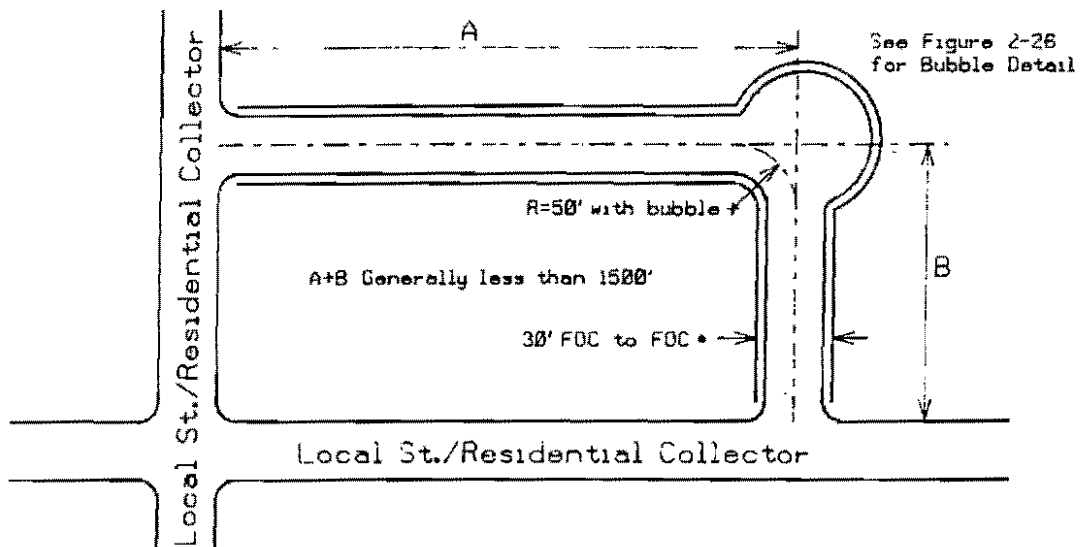
NOTE: Where SF-3 Thru SF-6 zoning is proposed, street width shall be a minimum of 36' FOC to FOC with minimum ROW of 56'.

Source: City of Austin Transportation and Public Services Department

**FIGURE 1-24 Design Criteria for Loop Streets**

Typical ADT Range, less than 1000  
 Design Speed, 25, 30 mph  
 General Length, Distance 'A+B' generally less than 1500'  
 Angle of Intersecting Tangents, 80° - 100°  
 Minimum Centerline Radius, See Page 1-8  
 Minimum Tangent Length Between Horizontal Curves, 50'  
 Minimum Curb Basis, 10'  
 Zoning, SF-1 or SF-2 (Or comparable land use)

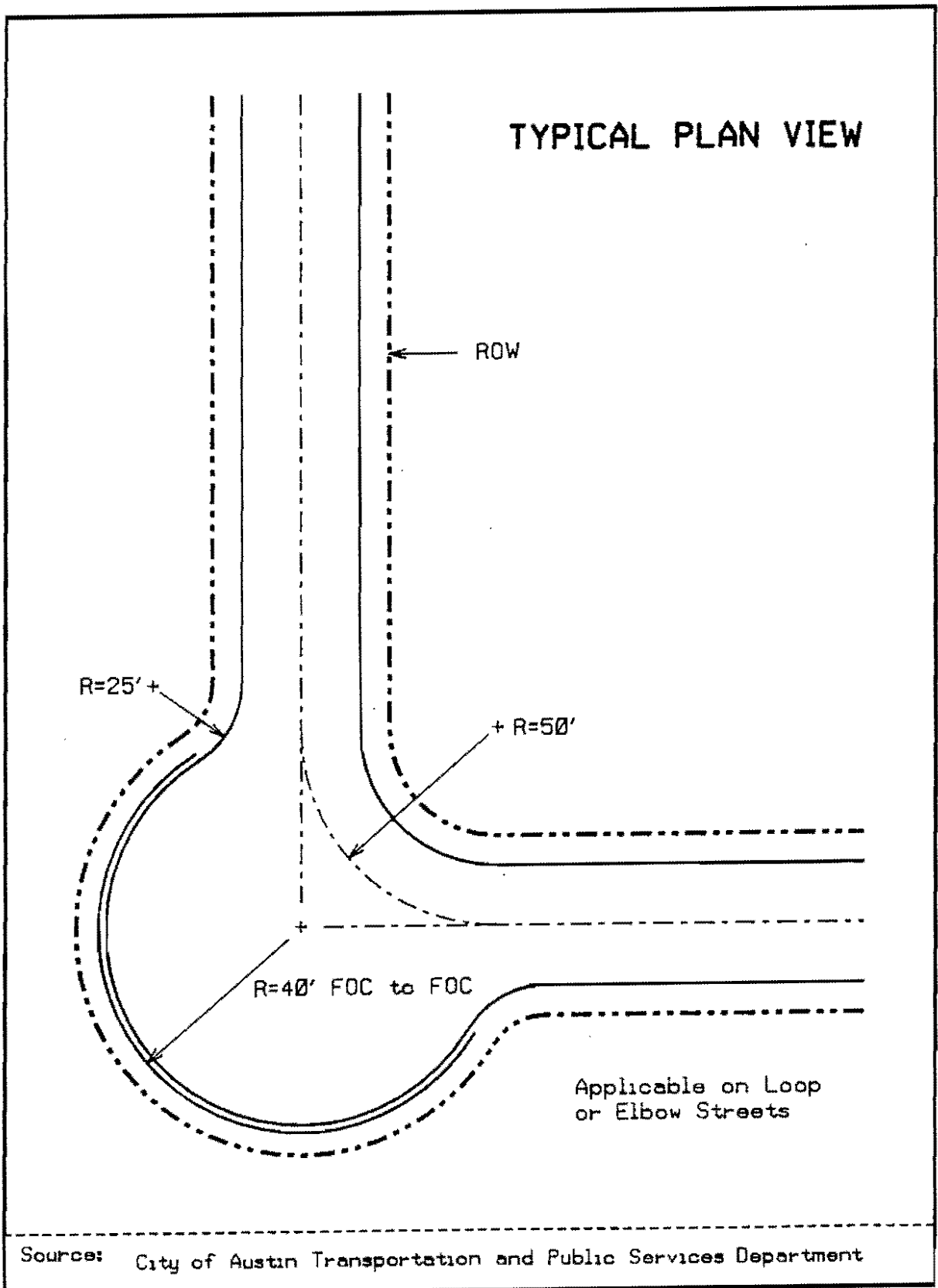
### TYPICAL PLAN VIEW



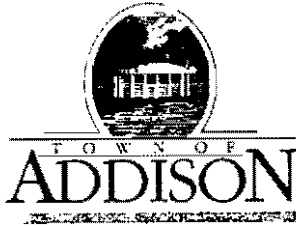
NOTE: Where SF-3 Thru SF-6 zoning is proposed, street width shall be a minimum of 36' FOC to FOC with minimum ADW of 56'.

Source: City of Austin Transportation and Public Services Department

**FIGURE 1-25 Design Criteria for Elbow Streets**



**FIGURE 1-26** Design Criteria for Corner Bubble



CITY ENGINEER'S OFFICE

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16801 Westgrove

M E M O R A N D U M

May 13, 1991

To: Carmen Moran, City Secretary

From: John Baumgartner, City Engineer  
Robin Jones, Director of Streets

*2 RB 5-14-91  
RJ*

RE: Waterview Estates - Preliminary Plat Review

The Engineering and Street Departments have reviewed the referenced plat for conformance with the applicable portions of Addison's subdivision ordinance and engineering standards. Because this plat is a "preliminary", we offer the following advisory comments:

1. The street layout is generally acceptable.
2. The water and sewer must meet Addison standards. Recommend the engineer meet with the Utility and Engineering Departments before proceeding with the final design.
3. Detailed engineering calculations are required to evaluate the storm drainage system. This can be submitted with the construction plans at the time of final platting.
4. The lots should be graded to drain toward the street where possible.
5. Recommend that the developers get together and dedicate Proton Drive and Les Lacs Avenue to the Town in their entirety to resolve access, maintenance, and liability questions.

This will involve the developers bringing the streets into conformance with the Town's current standards. The following items should be addressed prior to final platting:

Waterview Estates

May 13, 1991

Page 2

- A. Rehabilitation of the existing roadway including resealing the joints, repairing spalls, and repairing other damage.
- B. Installation of pavement markings (buttons) signage, and sidewalks.
- C. Providing an extended maintenance period to cover the time between acceptance of the subdivisions and construction of the homes. This is necessary because of questionable materials used when constructing this street as a private drive.
- D. Review the drainage to determine that it is in compliance with the Town's current standards.

Recommend approval of the preliminary plat of Waterview Estates, contingent upon the following:

- 1. Details regarding Proton Drive and Les Lacs Avenue as a public way and be worked out prior to final platting.
- 2. Driveway access to Proton Drive and Les Lacs Avenue is prohibited.
- 3. The minimum centerline radius (see attached details) of the knuckles (eyebrow cul-de-sacs) should be 50 feet.
- 4. The sidewalks along Proton Drive and Les Lacs Avenue be constructed with the development of the subdivision infrastructure, prior to the issuance of building permits.
- 5. The roads from Waterview Estates align with the roads from Les Lacs II.

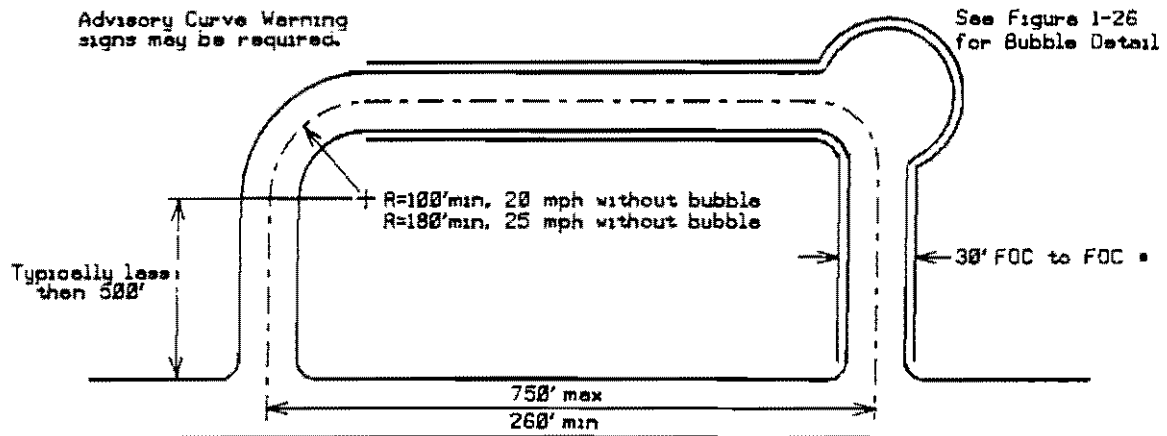
If you have any questions or need additional information, please call us.

/rp

Attachments

Typical ADT Range, less than 1000  
 Design Speed, 20, 25 mph  
 General Length, less than 1500'  
 Angle of Intersecting Tangents, 80° - 100°  
 Minimum Centerline Radius, See Page 1-8  
 Minimum Tangent Length Between Horizontal Curves, 50'  
 Minimum Curb Basis, 10'  
 Zoning, SF-1 or SF-2 (Or comparable land use)

## TYPICAL PLAN VIEW



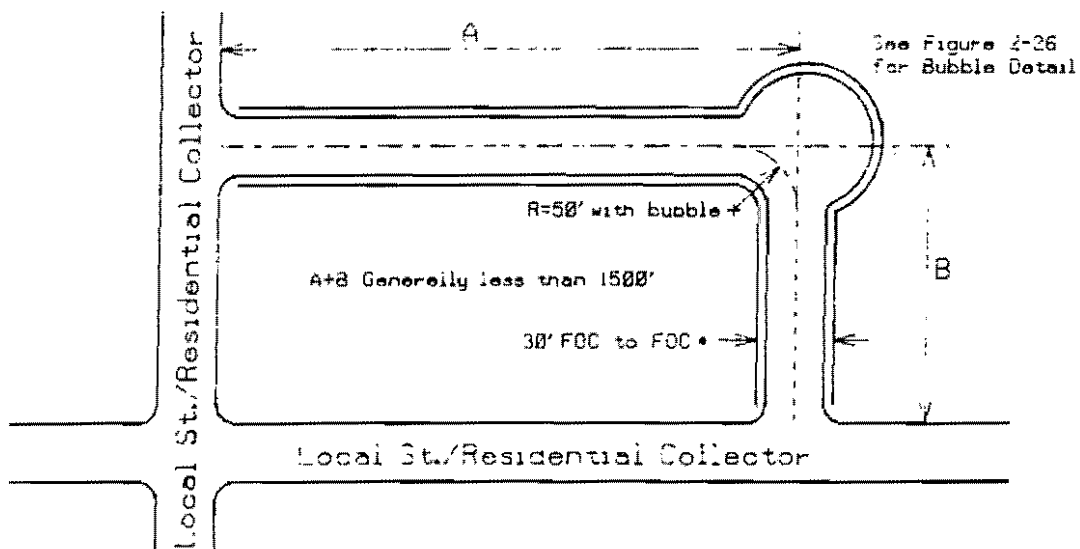
NOTE: Where SF-3 Thru SF-6 zoning is proposed, street width shall be a minimum of 36' FOC to FOC with minimum ROW of 56'.

Source: City of Austin Transportation and Public Services Department

**FIGURE 1-24** Design Criteria for Loop Streets

Typical ADT Range, less than 1000  
 Design Speed, 25, 30 mph  
 General Length, Distance 'A+B' generally less than 1500'  
 Angle of Intersecting Tangents, 80° - 100°  
 Minimum Centerline Radius, See Page 1-8  
 Minimum Tangent Length Between Horizontal Curves, 50'  
 Minimum Curb Basis, 10'  
 Zoning, SF-1 or SF-2 (Or comparable land use)

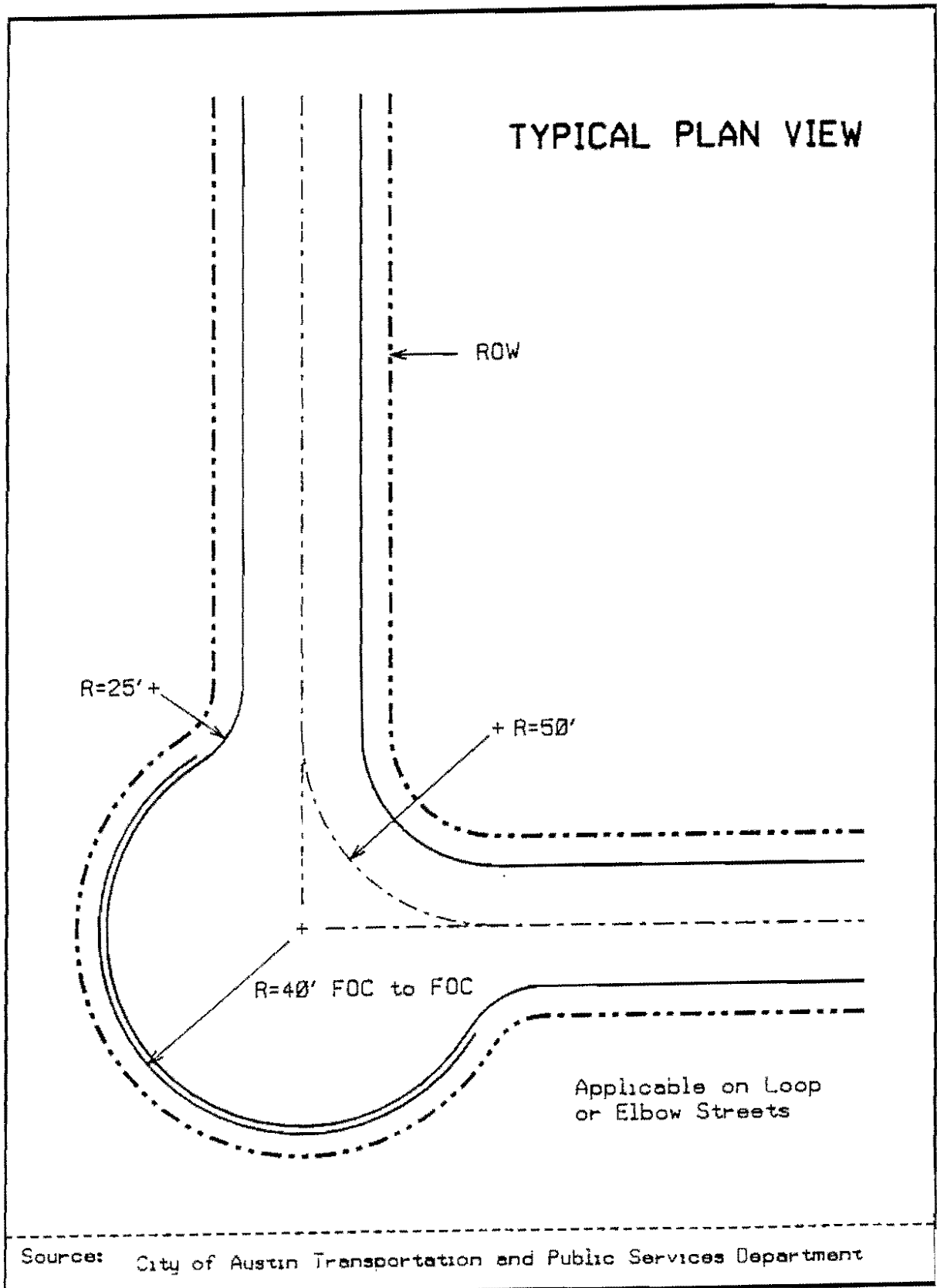
### TYPICAL PLAN VIEW



NOTE: Where SF-3 Thru SF-6 zoning is proposed, street width shall be a minimum of 36' FOC to FOC with minimum ROW of 56'.

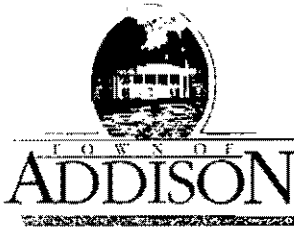
Source: City of Austin Transportation and Public Services Department

**FIGURE 1-25 Design Criteria for Elbow Streets**



**FIGURE 1-26** Design Criteria for Corner Bubble





STREET DEPARTMENT

Post Office Box 144 Addison, Texas 75001

(214) 450-2841

16801 Westgrove

M E M O R A N D U M

May 13, 1991

TO: Carmen Moran  
FROM: Robin Jones  
SUBJECT: CASE 1063-SUP/BLACK EYED PEA

Carmen, after reviewing the site plan for this restaurant I would offer the following comments:

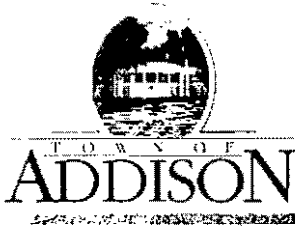
The proposed site plan shows the driveway on the west property line as a twenty-eight foot wide drive in a mutual access easement. The plan shows this driveway being widened to the east twelve feet and to the west eight feet for a total of forty-eight feet. I consider this excessive, and would recommend something in the thirty-five to forty foot range as maximum.

I see no problem with the proposed closing of the next driveway to the east, with the stipulation that the curb inlet on the east side of that driveway be moved onto Belt Line Road. Moving this inlet will handle the Belt Line Road runoff, but an area inlet should also be added directly south to handle the runoff from the parking area to the south.

This site currently has a five foot sidewalk on Belt Line Road.

RDJ/ra

cc: John Baumgartner



STREET DEPARTMENT

(214) 450-2841

Post Office Box 144 Addison, Texas 75001

16801 Westgrove

M E M O R A N D U M

May 13, 1991

TO: Carmen Moran

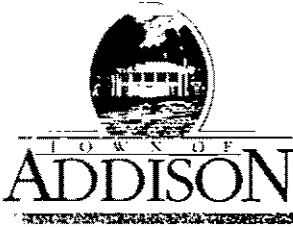
FROM: Robin Jones

SUBJECT: CASE 1064-SUP/BENT TREE CHILD CARE CENTER

Carmen, after reviewing the site plan submitted with this request, the only comment that I would make is that a five foot sidewalk will be required in the Addison Road right-of-way the entire length of this site.

RDJ/ra

cc: John Baumgartner



STREET DEPARTMENT

Post Office Box 144 Addison, Texas 75001

(214) 450-2841

16801 Westgrove

M E M O R A N D U M

May 13, 1991

TO: Carmen Moran  
FROM: Robin Jones  
SUBJECT: CASE 1066-SUP/TURN SIX RESTAURANT

Carmen, I have reviewed the plans submitted with this request and offer the following comments:

This restaurant currently has two driveways on Lindberg Drive and one driveway on Addison Road. The west driveway on Lindberg Drive has been closed with parking lot bumpers laid across it and a dirt berm piled behind the bumpers. This is an eyesore, and should be corrected by removing the bumpers and berm, and closing the driveway with a new curb and gutter.

The east driveway was too narrow when it was originally constructed, and though it has since been widened, it still is not up to city standards. It should be a minimum of twenty-four feet wide with a minimum ten foot radius at the curb.

There is an existing sidewalk on Addison Road, but a five foot sidewalk must be constructed along Lindberg Drive the entire length of this site.

RDJ/ra

cc: John Baumgartner