



***Precise Land Surveying, Inc.***

---

4915 Gus Thomasson Rd.  
Mesquite, Texas 75150

**Don Patterson**  
email-charis1@msn.com

Mobile: 972-754-3537

Office: 972-681-7072  
Fax: 972-279-1508

**A LIST OF PREVIOUS PRECISE PROJECTS**  
**INCLUDE THE FOLLOWING:**

- 900 Acre Boundary Survey, Rowlett, Texas
- 300 Acre Boundary Survey, Mesquite, Texas
- 300 Acre Boundary & Topography Survey, Rockwall Co.
- 100 Acre Boundary Survey, Collin County, Texas
- 200 Acre Boundary Survey, Dallas, Texas
- 112 Acre Boundary Survey, Rockwall Co., Texas
- 300 Acre Boundary Survey, Kaufman, Texas
- 333 Acre Boundary Survey, Rockwall, Texas
- 105 Acre Boundary Survey, Grand Prairie, Texas
- 265 Acre Boundary Survey, Rockwall, Texas
- 280 Lot Subdivision-Staked Lots – Indian Creek, Carrollton, Texas
- 303 Lot Subdivision-Staked Lots – Plano, Texas
- 150 Lot Subdivision-Staked Lots – Plano, Texas
- 140 Lot Subdivision-Staked Lots – Country Brook, Garland, Texas
- 105 Lot Subdivision-Staked Lots – Sachse, Texas
- 300 Lot Subdivision-Staked Lots – Grand Prairie, Texas
- 80 Lot Subdivision-Staked Lots – Garland Springpark, Garland, Texas
- 265 Lot Subdivision-Staked Lots – Cedar Hill, Texas
- 320 Unit Apartment “Construction” Survey – Frisco, Texas
- 140 Unit Apartment “As-Built” Survey, Dallas, Texas
- 100 Unit Apartment “As-Built” Survey, Dallas, Texas
- 35 Acre ALTA Survey – Outlet Malls of America, Plano, Texas
- 75 Acre Topographic Survey, Richland, Texas
- 125 Acre Topographic Survey, Irving, Texas
- 2 Mile Topographic and Design Survey, Rowlett, Texas
- 5,000 Linear Feet of Route Surveys for Water Line, Rockwall, Texas
- 3,200 Linear Feet of Route Surveys for Water Line, Rockwall, Texas
- 40,000 Linear Feet of Route Surveys for Sanitary Sewer, Tarrant County, Texas
- 3,500 Linear Feet of Route Surveys for Sanitary Sewer, Rockwall, Texas
- 10,000 Linear Feet of Route Surveys for water Line, McKinney, Texas
- 5,000 Linear Feet of Shoreline Layout for Easements Location, Rockwall, Texas
- 6 Miles of Route surveys for Telecommunications, Dallas, Texas
- 2.5 Miles of Route Surveys for Sanitary Sewer Locations
- Landfill – Carrollton, and Garland, Texas
- 300 Cellphone Surveys – Texas, Oklahoma and Arkansas
- 16,000 Feet of Gas Pipeline Surveys – Garland Landfill, Garland, Texas



*Precise Land Surveying, Inc.*

Provides

# GPS SERVICES

in a quick, accurate and  
cost effective manner.

Why go to the expense and hassle of buying or leasing equipment, software and training for your occasional GPS needs?

When all you have to do is pick up the telephone and call Greg Samples, at 972-681-2616.

We offer GPS service with HIGHLY trained GPS technicians.

Precise gives you the peace of mind that comes from dealing with a company insured to the highest standards.

**Precise Land Surveying, Inc.**

4915 Gus Thomasson Rd.

Mesquite, Texas 75150

Office: 972-681-2616

Fax: 972-686-4471

*Call for Quotes on other types of Surveying*



# *Precise Land Surveying, Inc.*

---

4915 Gus Thomasson Rd.  
Mesquite, Texas 75150  
972-681-7072  
Fax 972-279-1508

## **"I HAVE SOME IMPORTANT INFORMATION TO SHARE WITH YOU"**

Precise Land Surveying, Inc. is ready to help you with all your surveying needs. Our *field-to-finish* capability can provide the data you require in a quick, accurate and cost effective manner.

Precise will help you stay on time and under budget when dealing with the hassles of fighting the survey workload. When project demands call for expanded capability, call on Precise Land Surveying, Inc.

Precise's field crews are equipped with the latest total stations and data collectors, supported by an office staff including three (3) Registered Professional Land Surveyors. Whether you want G.P.S., topographic mapping, boundary surveys, A.L.T.A. or construction staking, we can supply the service you require.

Precise Land Surveying also gives you the peace of mind that comes from dealing with a company insured to the highest industry standards.

The next time you need assistance on any survey project, please don't hesitate to call Precise Land Surveying, Inc. at (972) 682-1095.

Sincerely,

Gary N. Vike  
President



# *Precise Land Surveying, Inc.*

---

4915 Gus Thomasson Rd.  
Mesquite, Texas 75150  
972-681-7072  
Fax 972-279-1508

## **The Professionals**

Precise is proud of their reputation for putting the customer first in every area of their operation. This attitude is one of the most important contributors to their success and to the success of the customers that they serve. Since the company was established in March 1993, the management at Precise has worked toward the goal of "Customer First" by building a team of top-notch professional people in every department of the company. They have over seventy men and women all dedicated to making the customer "**Number 1**".

The field crews are equipped with the latest in total stations and data collection equipment as well as mobile phones, modems, and fax machines to get the survey back to the technical department as quickly as possible. The C.A.D. department is totally automated to produce quality and accurate drawings.

Precise Land Surveying, Inc. offers a complete line of surveying services in all areas of land surveying, such as: boundary and topographic surveys, residential title surveys, as-built surveys, construction surveys, preparation of right-of-way documents, abstracting and research of property and tree surveys.

Precise has three R.P.L.S.'s on staff to supervise all work. Precise also gives you the *Peace of Mind* that comes from working with a company insured to the highest industry standards.

As you can see Precise Land Surveying, Inc. is the company to handle all your surveying needs. Call the PLS professionals at 972-681-7072.

Sincerely,

Gary N. Vike  
President

**SERVICES OFFERED**  
**By**  
**PRECISE LAND SURVEYING, INC.**

Boundary Surveys

GPS Surveys

Construction Staking – Commercial, Industrial, Residential & Highways

Deed Research

Builder Work, Lot Stake, Form, Final

Topographic Mapping Surveys

Site Plans

ALTA Surveys

Residential Mortgage Surveys

Roadway Surveys

Route Surveys

Control Surveys

↑  
TOP  
137/5C  
30M



*Precise Land Surveying, Inc.*

*LaserSlide™*

**DAL-TECH**  
**ENGINEERING, INC.**

CONSULTING CIVIL ENGINEERS / SURVEYORS  
CONSTRUCTION MANAGERS

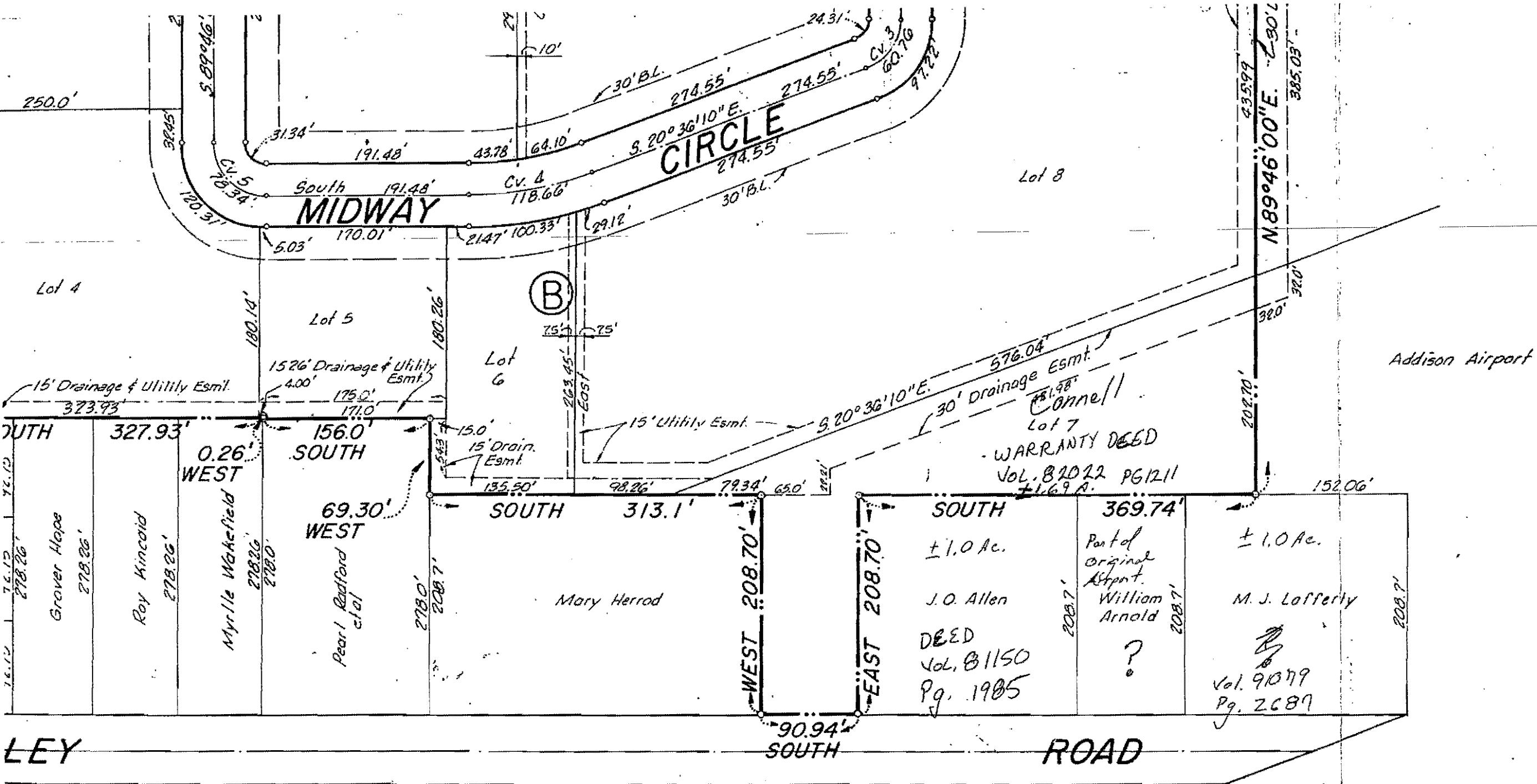
**MORI AKHAVAN, P.E.**

17311 DALLAS PKWY., SUITE 200  
DALLAS, TEXAS 75248

972-250-2727  
FAX 972-250-4774

[mori@dal-tech.com](mailto:mori@dal-tech.com)





Ludwig

T. A. W

STATE OF  
 COUNTY C

Before r  
 and Audi  
 that the

GIVEN UN

STATE OF  
 COUNTY C

Before r  
 and Firm  
 that the

GIVEN UN

STATE OF  
 COUNTY C

Before r  
 Presiden  
 acknowle

GIVEN UN

STATE OF  
 COUNTY OF

Before me  
 Houseman,  
 executed

GIVEN UN

CURVE DATA				
OUTER		INNER	E	OUTER
45° 16' 48"	4.	20° 36' 10"	20° 36' 10"	20° 36' 10"
273.00'		300.00'	330.00'	360.00'
113.86'		54.53'	59.98'	65.43'
215.75'		107.88'	118.66'	129.45'
44° 53' 18"	5.	89° 46' 09"	89° 46' 09"	89° 46' 09"
275.36'		20.00'	50.00'	80.00'
113.74'		19.92'	49.80'	79.68'
215.73'		31.34'	78.34'	125.34'
69° 37' 50"	Δ	23° 24' 39"	23° 24' 39"	23° 24' 39"

RECOMMENDED FOR APPROVAL: Recorded 10-16-78  
 City of Addison, Texas Mayor

Vol. 78201 Pg #0001, 1978

City Secretary

**FINAL PLAT**  
**BELTWOOD NORTH PHASE 2**  
**GEO. SYMS SURVEY. ABSTRACT 1344**

**FIELD NOTE DESCRIPTION  
SUB SURFACE AREA  
A PORTION OF ADDISON AIRPORT  
Wm. LOMAX SURVEY, ABSTRACT 792  
E. COOK SURVEY, ABSTRACT 326  
ADDISON, DALLAS COUNTY, TEXAS  
EXHIBIT 3**

Being 195,683 square feet or 4.492 acres out of a called 365.34 acre tract as conveyed to the City of Addison, by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm. Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas and being more particular described as follows: (Bearings based on USC&GS Station "ARP 1966", with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon", with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83)

**BEGINNING**, at a set 5/8" iron rod on the Easterly line of Dooley Road (width varies), said iron rod being S56°37'15"E, a distance of 64.79 feet from the Northerly cut-back corner at the northeast corner of the intersection of said Dooley Road with Keller Springs Road (50 feet wide);

**THENCE**, N00°43'52"W, departing the Easterly line of said Dooley Road, a distance of 18.61 feet to a point for corner;

**THENCE**, N89°16'08"E, a distance of 174.25 feet to a point for corner at the beginning of a tangent curve to the right, said curve having a radius of 1763.00 feet;

**THENCE**, continuing along said curve to the right, having a central angle of 05°47'20", a chord bearing of S87°50'12"E, a chord distance of 178.05 feet, and an arc distance of 178.13 feet to a point of tangency;

**THENCE**, S84°56'32"E, a distance of 1,301.25 feet to a point for corner;

**THENCE**, S05°03'28"W, a distance of 126.00 feet to a point for corner;

**THENCE**, N84°56'32" W, a distance of 1,301.25 feet to a point for corner at the beginning of a tangent curve to the left having a radius of 1,637.00 feet;

**THENCE**, continuing along said curve to the left, having a central angle of 05°47'20", a chord bearing of N87°50'12"W, a chord distance of 165.33 feet, and an arc distance of 165.40 feet to the point of tangency;

**THENCE**, S89°16'08"W, a distance of 48.34 feet to a point for corner on the Easterly line of Dooley Road;

**THENCE**, N00°12'22"W, continuing along said Easterly line 92.32 feet to a corner on the Northerly line of Dooley Road;

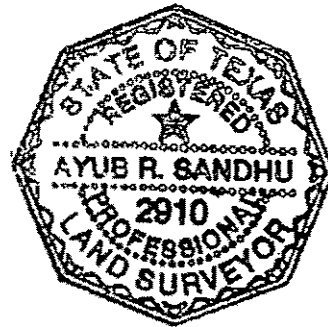
**THENCE**, S89°42'54"W, continuing along said Northerly line of Dooley Road, a distance of 105.72 feet to a point for corner;

THENCE, N56°37'15"W, continuing along the Northerly line of Dooley Road, a distance of 25.41 feet to the POINT OF BEGINNING, and containing 195,683 square feet or 4.492 acres in the metes and bounds recited.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

Ayub R. Sandhu  
Ayub R. Sandhu, P.E., R.P.L.S.  
Texas Surveyor Registration No. 2910

DATE: 9/10/96



Approval:  
Texas Turnpike Authority \_\_\_\_\_

**FIELD NOTE DESCRIPTION  
SURFACE RIGHT-OF WAY EASEMENT  
A PORTION OF ADDISON AIRPORT  
Wm. LOMAX SURVEY, ABSTRACT 792  
E. COOK SURVEY, ABSTRACT 326  
ADDISON, DALLAS COUNTY, TEXAS  
EXHIBIT 4**

Being 127,111 square feet or 2.918 acres out of a called 365.34 acre tract as conveyed to the City of Addison by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm. Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas and being more particularly described as follows: (Bearings based on USC&GS Station "ARP 1966" with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon" with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83);

**COMMENCING** at a found 5/8 inch iron rod at an eastern corner of said called 365.34 acre tract and on the Westerly line of Addison Road (width varies), said corner lying on the apparent North line of said E. Cook Survey, same being the apparent South line of the said Wm. Lomax Survey as called for in the said City of Addison deed, said corner also being at the beginning of a curve to the left, said curve having a radius of 746.30 feet, having a central angle of 00°07'43", a chord bearing of S24°44'05"E, a chord distance of 1.67 feet;

**THENCE**, along said curve to the left and said Westerly line of Addison Road, an arc distance of 1.67 feet to a set 5/8 inch iron rod, a point for corner, said corner being the **POINT OF BEGINNING**;

**THENCE**, continuing along said curve to the left and said Westerly line of Addison Road, in a Southerly direction, an arc distance of 22.90 feet to a set 5/8" iron rod, the point of tangency;

**THENCE**, S26°33'25"E, continuing along the Westerly line of said Addison Road, a distance of 34.05 feet to a set x-cut in concrete, a point for corner at the beginning of a tangent curve to the right having a radius of 686.30 feet;

**THENCE**, continuing along the Westerly line of said Addison Road, along said curve to the right having a central angle of 03°37'28", a chord bearing of S24°44'41"E, a chord distance of 43.41 feet, and an arc distance of 43.41 feet to a set 5/8" iron rod, a point for corner;

**THENCE**, S69°09'04"W, departing the Westerly line of said Addison Road, a distance of 108.70 feet to a found x-cut in concrete, a point for corner;

**THENCE**, S63°42'00"W, 87.24 feet to a set x-cut in concrete, a point for corner at the beginning of a non-tangent curve to the right, said curve having a radius of 610.17 feet;

**THENCE**, along said curve to the right, having a central angle of 03°02'43", a chord bearing of S78°51'24"W, a chord distance of 32.43 feet, and an arc distance of 32.43 feet to a set x-cut in concrete, a point for corner;

**THENCE**, S09°37'15"E, a distance of 4.50 to set x-cut in concrete, a point for corner at the beginning of a non-tangent curve to the right, said curve having a radius of 614.67 feet;

**THENCE**, continuing along said curve to the right, having a central angle 14°40'43", a chord bearing of

S87°43'07"W, a chord distance of 157.04 feet, and an arc distance of 157.47 feet to a set x-cut in concrete, at the point of tangency;

THENCE, N84°56'32"W, a distance of 60.20 feet to a set 5/8" iron rod, a point for corner;

THENCE, N05°03'28"E, a distance of 10.00 feet to a set 5/8" iron rod, a point for corner;

THENCE, N84°56'32"W, a distance of 126.00 feet to a set x-cut on concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 11.00 feet, to a set x-cut on concrete, a point for corner;

THENCE, N84°56'32"W, a distance of 274.00 feet to a set x-cut on concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 8.00 feet to a set x-cut on concrete, a point for corner;

THENCE, N84°56'32"W, a distance of 177.73 feet to a set x-cut in concrete, a point for corner;

THENCE, N05°03'28"E, a distance of 156.00 feet to a set x-cut in concrete, a point for corner;

THENCE, S84°56'32"E, a distance of 177.73 feet to set x-cut in concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 8.00 feet to set x-cut in concrete, a point for corner;

THENCE, S84°56'32"E, a distance of 274.00 feet to a set x-cut in concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 11.00 feet to a set x-cut in concrete, a point for corner;

THENCE, S84°56'32"E, a distance of 186.20 feet to a set x-cut in concrete, a point at the beginning of a tangent curve to the left having a radius of 486.67 feet;

THENCE, along said curve to the left, having a central angle of 02°42'31", a chord that bears S86°17'48"E, 23.01 feet, and an arc distance of 23.01 feet, to a set x-cut in concrete, a point for corner;

THENCE, S02°20'56"W, a distance of 4.50 feet to a set x-cut in concrete, a point for corner, the beginning of a non-tangent curve to the left having a radius of 491.17 feet;

THENCE, along said curve to the left, having a central angle of 14°04'12", a chord that bears N85°18'50"E, a chord distance of 120.31, and an arc length of 120.62 feet to a set x-cut in concrete, a point for corner;

THENCE, S11°43'16"E, a distance of 4.50 feet, to a set x-cut in concrete, a point for corner;

THENCE, N86°11'56"E, a distance of 54.34 feet, to a set 5/8 inch iron rod, a point for corner;

THENCE, N68°46'01"E, a distance of 124.95 feet, to a set 5/8 inch iron rod, a point for corner;

THENCE, N20°42'56"W, a distance of 8.82 feet, to a set 5/8 inch iron rod, a point for corner;

THENCE, N69°09'04"E, a distance of 2.15 feet to the POINT OF BEGINNING, and containing 127,111

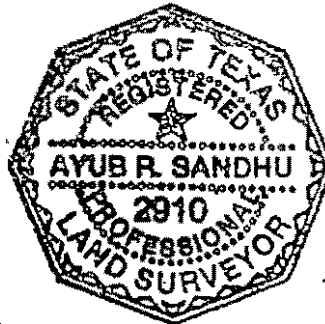
square feet or 2.918 acres in the metes and bounds recited.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

*Ayub R. Sandhu*

Ayub R. Sandhu, P.E., R.P.L.S.  
Texas Surveyor Registration No. 2910

DATE: 11/5/96



Approval:

Texas Turnpike Authority \_\_\_\_\_

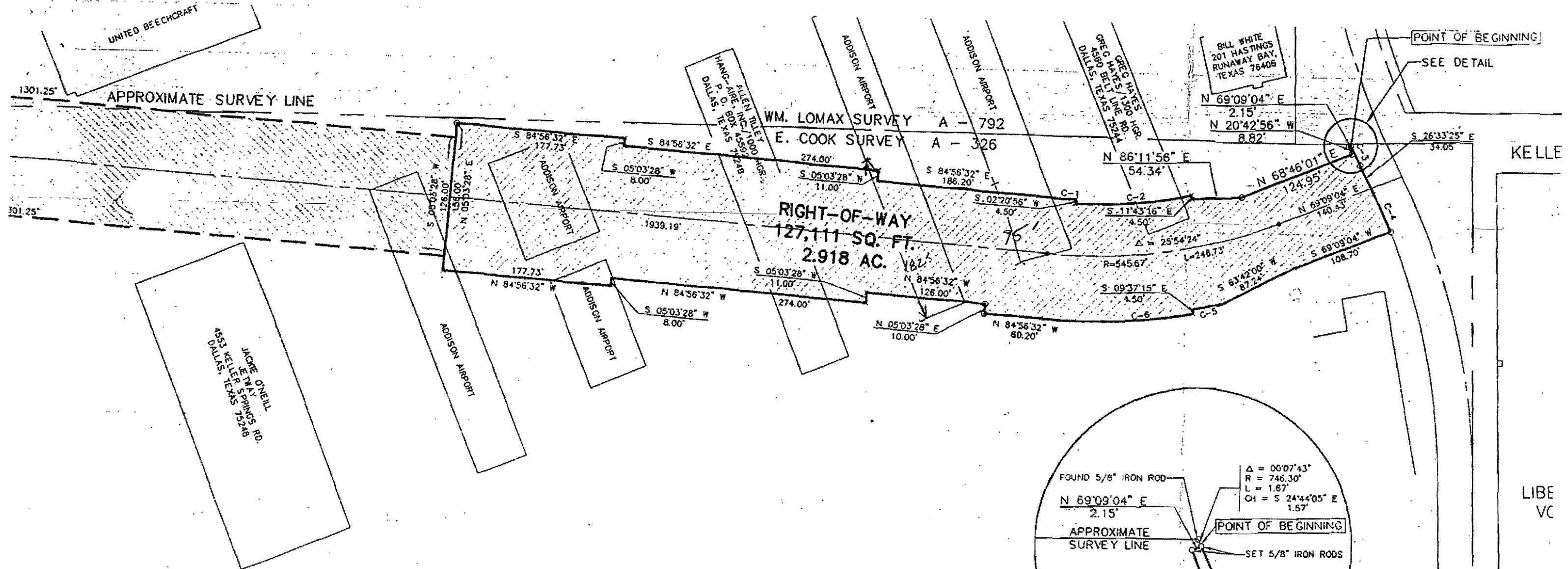
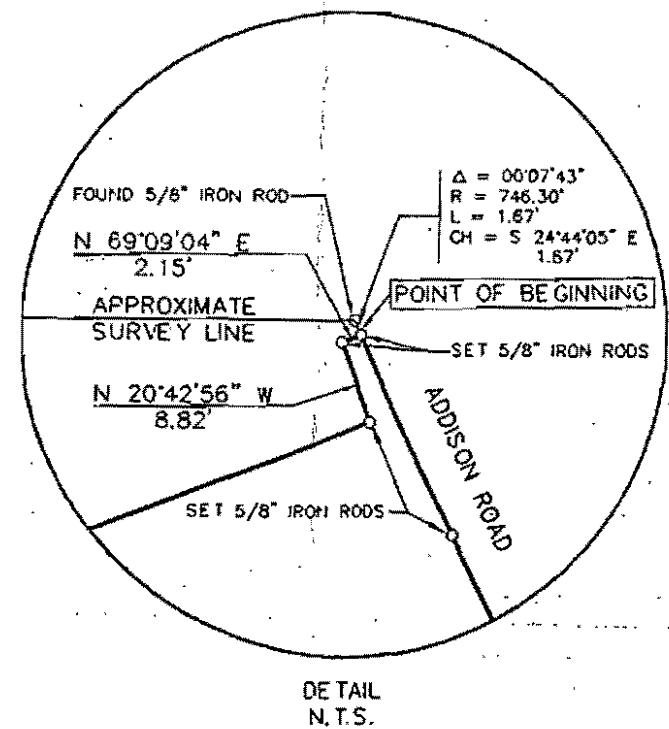


EXHIBIT 1  
 MAP SHOWING  
 RIGHT-OF-WAY PARCELS &  
 RIGHT-OF-WAY EASEMENTS  
 FOR  
 PROPOSED TUNNEL CONNECTOR  
 FOR KELLER SPRINGS ROAD  
 AT

ADDISON ROAD





ADDISON ROAD

LIBE VC





(CALLED 365.34 AC.)  
CITY OF ADDISON  
VOLUME 77010, PAGE 1391  
D.R.D.C.T.

 RIGHT-OF-WAY  
 PERMANENT SUB-SURFACE EASEMENT

ADDISON AIRPORT RUNWAY

DOULEY ROAD  
(60' WIDE)

UNITED BEECHCRAFT

APPROXIMATE SURVEY LINE

PERMANENT SUB-SURFACE EASEMENT

195,683 SQ. FT. OR 4.492 AC.

TORY BLOC.  
L 13-3  
SQ. FT.  
14 ACRES

Y ROAD  
(3' WIDE)

JACKIE DREW  
1453 KELLER BLVD  
DALLAS, TEXAS

N 00°43'51" W  
18.61'  
N 89°16'08" E  
174.25'  
P.O.B. PSSE  
25.41'  
N 56°37'15" W  
105.72'  
S 89°42'54" W

Δ=05°47'20"  
R=1783.00'  
L=178.13'  
CH= S 87°50'12" E  
178.05'

S 84°56'32" E

1301.25'

256.60'  
214.00'  
N 00°12'22" W  
92.32'  
S 57°10'10" E  
45.23'  
L1  
L2

R=1700.00'  
L=171.76'  
Δ=05°47'20"

S 84°56'32" E

1301.25'

S 89°16'08" W  
48.34'

Δ=05°47'20"  
R=1637.00'  
L=165.40'  
CH= N 87°50'12" W  
165.33'

N 84°56'32" W



**PUBLIC WORKS DEPARTMENT**

(972) 450-2871

Post Office Box 9010 Addison, Texas 75001-9010

16801 Westgrove

May 14, 1999

Mr. John Hill  
Cowles & Thompson  
901 Main St., Suite 4000  
Dallas, Texas 75202

Re: Addison Airport Property Map Exhibit "A"

Dear John:

Please find attached a copy of the following deeds that reflect the Town's ownership of the airport:

Parcel	Tract No.	Dallas County	Deed Records	Acreage
1	A-1, A-2, A-3, A-4	Vol. 77010	Pg. 1391	364.34
2	B-1	Vol. 91079	Pg. 2687	1.0
3	B-2	Vol. 81150	Pg. 1985	1.0
4	B-2	Vol. 82022	Pg. 1211	1.69
5	C	Vol. 98015	Pg. 2143	1.5
6	D	Vol. 97217	Pg. 1352	1.5
Total				<u>371.03</u>

I have also included a sketch for B-2 to help clarify the different smaller parcels and a metes & bounds description for the NTTA parcel. After you have had a chance to review the map and documents, please complete the attached land certification for Tx-DOT. If you have any questions or need additional information, please call me.

Sincerely,

John R. Baumgartner, P.E.  
Director of Public Works

cc: Ken Dippel (without attachments)  
Chris Terry (without attachments)

**ATTORNEY'S CERTIFICATE OF AIRPORT PROPERTY INTERESTS**

Re: Those certain tracts of land, including servient interests, described as:

**ADDISON AIRPORT**

and also described in the Exhibit A property map, dated May, 1999 by Barnard Dunkelberg & Company, attached hereto and made a part hereof for all purposes (hereinafter referred to as the "Airport")

I, John M. Hill, being currently licensed to practice law in the State of Texas, and being the Attorney acting for the Town of Addison, Texas (hereinafter referred to as "Sponsor") do certify that, to the best of my knowledge and belief, as of June 17, 1999, Sponsor held fee simple title and other good and sufficient title to Addison Airport, such as to qualify Sponsor and Airport under that Texas Department of Transportation Airport Project Participation Agreement now contemplated between Sponsor and the Texas Department of Transportation, a draft copy of said Agreement having been made available to me prior to execution of these presents.


I further certify that to the best of my knowledge and belief, such tracts are the same and identical property and airport the Sponsor will submit to the Texas Department of Transportation as part of said Agreement under the Texas Aviation Facilities Development Program, and the rules promulgated thereunder by the Texas Department of Transportation and the Federal Aviation Administration.

I further certify that Attachment A hereto, which is made a part hereof for all purposes, as of June 17, 1999, contains a list of all documents examined by me in connection herewith; and, furthermore, that said Attachment A contains a listing of any interests or matters which would adversely affect the use of said Airport, as contemplated by said Agreement, as an airport, such adverse interests including, but not be limited to, any easements on said tracts.

In witness hereof, I affix my signature this 17<sup>th</sup> day of June, 1999.

Complete with the following:

Exhibit A  
Attachment A



Attorney at Law  
State Bar Number 09644300  
John M. Hill  
901 Main Street, Suite 4000  
Dallas, Texas 75202

For Addison Airport  
Airport Sponsor

120 m... → 4/16/97 ✓ 97084  
(above/below) ↑ 02628

TEMPORARY EASEMENT

✓ 97084

↑ 02628

TOWN OF  
**ADDISON**

**PUBLIC WORKS**

To: John Hill

From: John Baumgartner

Company: Cowles & Thompson

Phone: 972/450-2871

FAX: 972/450-2837

FAX #: 214-672-2020

Date: May 10, 1999

16801 Westgrove  
P.O. Box 9010  
Addison, TX 75001-9010

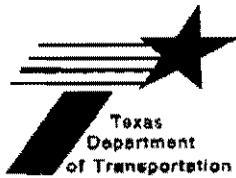
# of pages (including cover): 3

*John -  
What do you need from me to complete the  
attached certification?*

RECEIVED TIME MAY 10 11:21AM

PRINT TIME MAY 10 11:29AM

*[Faint handwritten notes and scribbles]*

**MEMORANDUM**

**TO: City of Addison  
Sponsor**

**DATE: February 10, 1999**

**FROM: Charlotte Bergfeld  
Property Agent**

**ORIGINATING OFFICE:  
Aviation Division**

**SUBJ: Addison Municipal Airport - Attorney's Certificate of Airport Property Interest**

The purpose of the attorney's certificate is to verify that the City owns the property in which TxDOT is giving a grant for design/construction of airport improvements.

The City's attorney will need to prepare an Attorney's Certificate to be submitted to this office by July 1999 (copy of sample format attached).

If any additional property has been purchased, please include the property in your certificate and provide a copy of the recorded deed or easement. Likewise, if any property has been sold or released from the airport you will need to provide a copy of your letter to the FAA requesting same, FAA letter of approval, and a copy of the recorded instrument.

You do not need to send an airport property map. We have the most current property map showing the individual tracts that comprise the airport property prepared by Barnard Dunkelberg & Co., dated November 1997.

If you have any questions, don't hesitate to call me at 1-800-687-4568.

Charlotte

RECOMMENDED FORMAT

**ATTORNEY'S CERTIFICATE OF AIRPORT PROPERTY INTERESTS**

Re: Those certain tracts of land, including servient interests, described as:

NAME OF AIRPORT

and also described in the Exhibit A property map, dated (DATE) by (NAME OF MAKER), attached hereto and made a part hereof for all purposes (hereinafter referred to as the Airport).

I, (NAME OF ATTORNEY), being currently licensed to practice law in the State of Texas, and being the Attorney acting for (NAME OF AIRPORT SPONSOR) (hereinafter referred to as "Sponsor") do certify that as of the (CURRENT DATE), Sponsor held fee simple title and other good and sufficient title to the tracts, such as to qualify sponsor and Airport under that Texas Department of Transportation Airport Project Participation Agreement now contemplated between Sponsor and the Texas Department of Transportation, a draft copy of said Agreement having been made available to me prior to execution of these presents.

I further certify that, to the best of my knowledge and belief, such tracts are the same and identical property and airport the Sponsor will submit to the Texas Department of Transportation as part of said Agreement under the Texas Aviation Facilities Development Program, and the rules promulgated thereunder by the Texas Department of Transportation and the Federal Aviation Administration.

I further certify that Attachment A to these presents, which is made a part hereof for all purposes, as of the (DATE), contains a list of all documents, including, but not limited to, deeds, avigation easements, clearance easements, utility easements, or abstracts examined by me in connection herewith; and, furthermore, that said Attachment A contains a listing of any interests or matters which would adversely affect the use of said airport, as contemplated by said Agreement, as an airport, such adverse interests including, but not be limited to, any easements on said tracts.

In witness hereof, I affix my signature this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

Complete with the following:

Exhibit A  
Attachment A

\_\_\_\_\_  
Attorney at Law  
State Bar Number \_\_\_\_\_  
Print Name \_\_\_\_\_  
Address \_\_\_\_\_  
\_\_\_\_\_

For \_\_\_\_\_  
Airport Sponsor

**ATTORNEY'S CERTIFICATE OF AIRPORT PROPERTY INTERESTS**

Re: Those certain tracts of land, including servient interests, described as:

**ADDISON AIRPORT**

and also described in the Exhibit A property map May 1999 by Barnard Dunkelberg & Company, attached hereto and made a part hereof for all purposes (hereinafter referred to as the Airport).

I, John Hill, being currently licensed to practice law in the State of Texas, and being the Attorney acting for Town of Addison (hereinafter referred to as "Sponsor") do certify that as of May XX, 1999, Sponsor held fee simple title and other good and sufficient title to the tracts, such as to qualify Sponsor and Airport under that Texas Department of Transportation Airport Project Participation Agreement now contemplated between Sponsor and the Texas Department of Transportation, a draft copy of said Agreement having been made available to me prior to execution of these presents.

I further certify that, to the best of my knowledge and belief, such tracts are the same and identical property and airport the Sponsor will submit to the Texas Department of Transportation as part of said Agreement under the Texas Aviation Facilities Development Program, and the rules promulgated thereunder by the Texas Department of Transportation and the Federal Aviation Administration.

I further certify that Attachment A to these presents, which is made a part hereof for all purposes, as of the (DATE), contains a list of all documents, including, but not limited to , deeds, avigation easements, clearance easements, or abstracts examined by me in connection herewith; and, furthermore, that said Attachment A contains a listing of any interests or matters which would adversely affect the use of said airport, as contemplated by said Agreement, as an airport, such adverse interests including, but not be limited to, any easements adversely affecting said tracts.

In witness hereof, I affix my signature this \_\_\_\_\_ day of \_\_\_\_\_, 1999.

Complete with the following:

Exhibit A  
Attachment A

\_\_\_\_\_  
Attorney at Law  
State Bar Number \_\_\_\_\_  
Print Name John Hill  
Address 901 Main Street Suite 4000  
Dallas, Texas 75202

For Town of Addison  
Airport Sponsor





**PUBLIC WORKS DEPARTMENT**

Post Office Box 9010 Addison, Texas 75001-9010

(972) 450-2871

16801 Westgrove

COPY

**MEMORANDUM**

January 8, 1999

To: Chris Terry  
Assistant to the City Manager

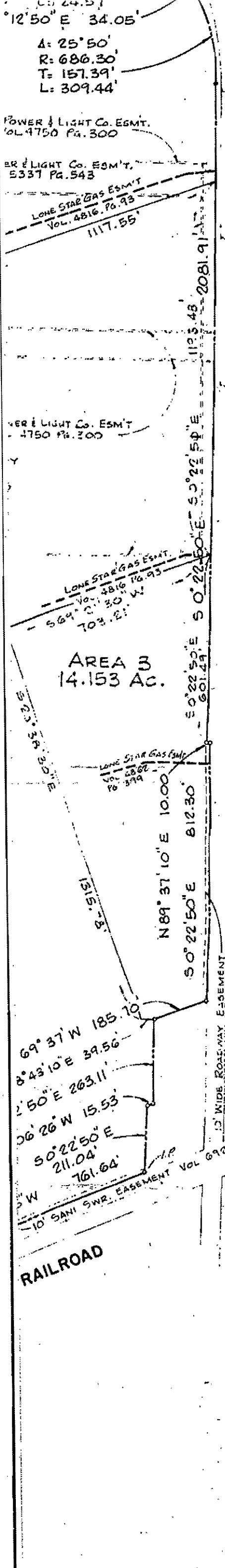
From: John R. Baumgartner, P.E.  
Director of Public Works

Re: Airport Property Map Exhibit A

I have enclosed for your records the latest copy of the referenced map. I have made notations in the land parcel data section for corrections to be included in the next updated version.

Please call me if you have any questions or need additional information.





CD 24.5  
 12°50' E 34.05'  
 A: 25°50'  
 R: 686.30  
 T: 157.39'  
 L: 309.44'

POWER & LIGHT CO. ESM'T.  
 VOL. 4750 Pg. 300

POWER & LIGHT CO. ESM'T.  
 5337 Pg. 543

LONE STAR GAS ESM'T.  
 Vol. 4816 Pg. 93  
 1117.55'

POWER & LIGHT CO. ESM'T.  
 4750 Pg. 300

LONE STAR GAS ESM'T.  
 Vol. 4816 Pg. 93  
 564° 21' 30" W  
 703.21'

LONE STAR GAS ESM'T.  
 Vol. 4816 Pg. 93  
 601.49'

10' SANIT. SWR. EASEMENT VOL. 6925 Pg. 166.1

RAILROAD

ROAD

ADDISON

10' WIDE ROADWAY EASEMENT

THENCE S. 0° 22' 50" E, a distance of 211.04 feet to an iron pin in the North right-of-way line of the St. Louis and Southwestern Railroad;

THENCE S. 66° 06' 26" W, a distance of 761.64 feet with the North line of said St. Louis and Southwestern Railroad to an iron pin and the most easterly corner of Addison Airport Industrial District;

THENCE N. 67° 01' 55" W, a distance of 273.80 feet to an iron pin in the easterly line of said Addison Airport Industrial District;

THENCE N. 20° 39' 35" W, a distance of 572.28 feet with the easterly line of said Addison Airport Industrial District to an iron pin;

THENCE S. 75° 48' 25" W, a distance of 448.95 feet to a point;

THENCE N. 89° 56' 35" W, a distance of 658.63 feet to a point;

THENCE N. 0° 03' 25" E, a distance of 160.0 feet to a point;

THENCE N. 89° 56' 35" W, a distance of 160.00 feet to a point in the East right-of-way line of Dooley Road;

THENCE N. 0° 03' 25" E, a distance of 10.00 feet with the East line of Dooley Road to a point;

THENCE S. 89° 56' 35" E, a distance of 797.46 feet to a point;

THENCE N. 75° 48' 25" E, a distance of 408.36 feet to an iron pin in the easterly line of said Addison Airport Industrial District;

THENCE N. 20° 39' 35" W, a distance of 2386.20 feet with the easterly line of said Addison Airport Industrial District to an iron pin for the northeast corner of Addison Airport Industrial District;

THENCE N. 20° 43' 53" W, a distance of 320.72 feet to an iron pin;

THENCE N. 89° 49' 30" E, a distance of 9.98 feet to an iron pin;

THENCE N. 20° 17' 10" W, a distance of 389.50 feet to an iron pin;

THENCE N. 89° 54' 10" W, a distance of 117.08 feet to an iron pin in the apparent East right-of-way line of said Dooley Road;

THENCE N. 0° 05' 50" E, a distance of 502.30 feet with the apparent East line of said Dooley Road to the place of beginning and containing 365.348 acres of land, more or less.

THE ABOVE METES AND BOUNDS DESCRIPTION CONTAINS A TRACT OF 1.0 ACRES THAT IS TO BE EXCLUDED, RESULTING IN A NET OF 364.348 ACRES OF LAND, MORE OR LESS.

The plat hereon is a true and accurate representation of the property as determined by actual survey, the lines and dimensions of said property being as indicated by the plat; all improvements being within the boundaries of the property.

Easements of record that could be located are shown. This plat is subject to any easements of record not shown.

29 December 1974  
 Date

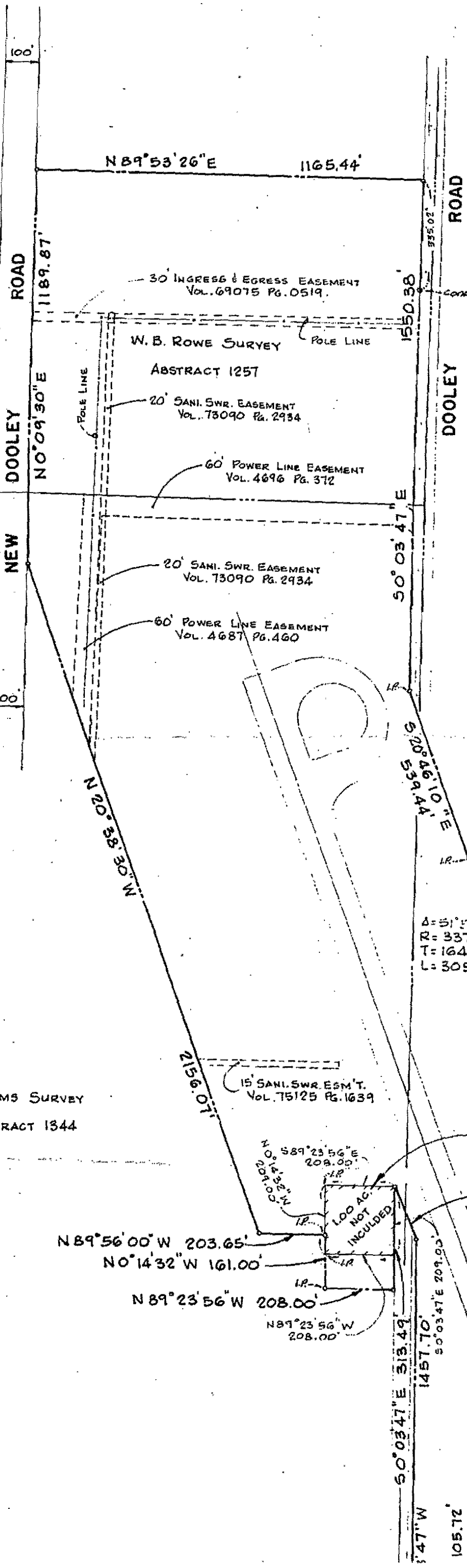
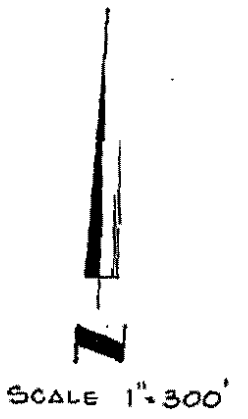
*W. J. Wischmeyer*  
 W. J. Wischmeyer  
 Registered Professional Engineer



EXHIBIT "A"  
 PROPERTY MAP  
 ADDISON MUNICIPAL AIRPORT  
 ADDISON, TEXAS

Riewe & Wischmeyer, Inc.  
 CONSULTING ENGINEERS  
 DALLAS, TEXAS

DECEMBER 1974



NB9°53'26"E 1165.44'

100'

DOOLEY ROAD

DOOLEY ROAD

NEW DOOLEY ROAD

50'

30' INGRESS & EGRESS EASEMENT  
Vol. 69075 Pg. 0519

W. B. ROWE SURVEY  
ABSTRACT 1257

20' SANI. SWR. EASEMENT  
Vol. 73090 Pg. 2934

60' POWER LINE EASEMENT  
Vol. 4696 Pg. 372

20' SANI. SWR. EASEMENT  
Vol. 73090 Pg. 2934

60' POWER LINE EASEMENT  
Vol. 4687 Pg. 460

1550.38'

50°03'47" E

N 20°38'30" W

S 20°46'10" E

Δ: 69°19'04"  
R: 337.18'  
T: 233.12'  
L: 407.93'

Δ: 51°55'01"  
R: 337.18'  
T: 164.15'  
L: 305.53'

KELLER SPF

Δ: 17°24'03"  
R: 337.18'  
T: 51.60'  
L: 102.40'

G. SYMS SURVEY  
ABSTRACT 1344

15' SANI. SWR. ESM'T.  
Vol. 75125 Pg. 1639

AREA 4  
1.000 AC.

N 20°38'30" W  
170.87'

364.348 A

NB9°56'00" W 203.65'

NO°14'32" W 161.00'

NB9°23'56" W 208.00'

NB9°23'56" W  
208.00'

50°03'47" E 313.49'

1457.70'

105.72'

W. LOMAX SURVEY  
ABSTRACT 794

S 46°44' E  
107.51'

SHEET 1

SHEET 1  
SHEET 4

N 89° 23' 56" W 208.00'

N 89° 23' 56" W 208.00'

50° 03' 47" E 313.49'

1457.70'

N 0° 03' 47" W 105.72'

N 89° 58' 54" W 105.72'

20° 35' 30" E

W. LOMAX SUR  
ABSTRACT 7

S 46° 44' E  
202.51'

S 20° 47' E  
350.8'

SHEET 1  
SHEET 2

KELLER SPRINGS RD.

SHEET 2  
SHEET 3

N 56° 19' 03" W  
90.20'

ABST.  
4897.

BEGIN DESCRIPTION

N 0° 05' 50" E  
502.30'

N 89° 54' 10" W  
117.08'

N 20° 17' 10" W  
389.50'

AREA 1  
250.000 AC.

SHEET 2  
SHEET 3

ROAD

N 89° 49' 30" E  
9.98'

N 20° 43' 53" W  
320.72'

N 20° 36' 35" W

N 20° 36' 35" W

D. MYERS SURVEY  
ABSTRACT 923

2386.20'

3123.55'

DOOLEY

N 0° 03' 25" E 10.00'

S 89° 56' 35" E 797.46'

N 75° 48' 25" E  
408.36'

AREA 3A

SHEET 2

N 89° 56' 35" W 10.00'

ABST. 792  
ABST. 326

N 0° 05' 50" E  
502.30'

N 89° 54' 10" W  
117.08'

N 20° 17' 10" W  
389.50'

AREA 1  
250.000 AC.

N 89° 49' 30" E  
9.98'

N 20° 45' 53" W  
320.72'

N 20° 39' 35" W

N 62° 39' 35" N

2389.20'

312.55'

S 89° 56' 35" E  
797.46'

N 75° 48' 25" E  
408.36'

AREA 3A  
4.238 AC.

N 89° 56' 35" W  
658.63'

S 75° 48' 25" W  
448.95'

N 20° 54' 28" W  
572.28'

N 0° 03' 25" E  
160.00'

N 67° 01' 55" W  
273.80'

S 66° 06' 26" W

S 69° 37' W  
185.79'

N 88° 45' 10" E  
39.56'

S 0° 22' 50" E  
263.11'

S 66° 06' 26" W  
15.53'

S 0° 22' 50" E  
211.04'

761.64'

RAILROAD

ST. LOUIS & SOUTHWESTERN

SHEET 3

N 69° 17' E  
30.0'

N 71° 12' 51" E

N 44° 44' 08" E

A: 1° 53' 11" R: 746.30'

T: 12.30' L: 24.57'

S 26° 12' 50" E 34.05'

A: 25° 50'

R: 686.30'

T: 157.39'

L: 309.44'

TEXAS POWER & LIGHT CO. ESMT.  
VOL. 4750 PG. 300

TEXAS POWER & LIGHT CO. ESMT.  
VOL. 5337 PG. 543

LONE STAR GAS ESMT.  
VOL. 4816 PG. 93

N 89° 21' 30" E

117.55'

TEXAS POWER & LIGHT CO. ESMT.  
VOL. 4750 PG. 300

E. COOK SURVEY  
ABSTRACT 326

LONE STAR GAS ESMT.  
VOL. 4816 PG. 93

S 64° 01' 50" W  
103.21'

AREA 3  
14.153 AC.

S 20° 58' 30" E

LONE STAR GAS ESMT.  
VOL. 4862 PG. 399

N 89° 37' 10" E  
10.00'

S 0° 22' 50" E  
812.30'

10' WIDE ROADWAY EASEMENT

ADDISON ROAD

THENCE S  
589° 37' 20" E  
58.08'

THENCE S

THENCE S  
right-of-

THENCE S  
St. Louis  
of Addis

THENCE N  
line of

THENCE N  
Addison

THENCE S.

THENCE N.

THENCE N.

THENCE N.  
of-way li

THENCE N.  
Road to a

THENCE S.

THENCE N.  
line of s

THENCE N.  
said Addi  
corner of

THENCE N.

THENCE N.

THENCE N.

THENCE N.  
East right

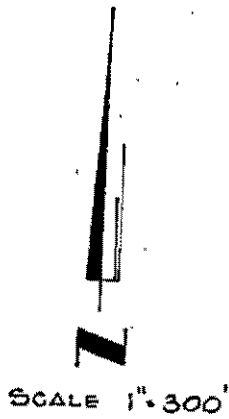
THENCE N.  
of said D  
land, more

THE ABOVE  
BE EXCLUDE

The plat h  
determined  
being as i  
of the pro

Easements  
to any eas

29 E

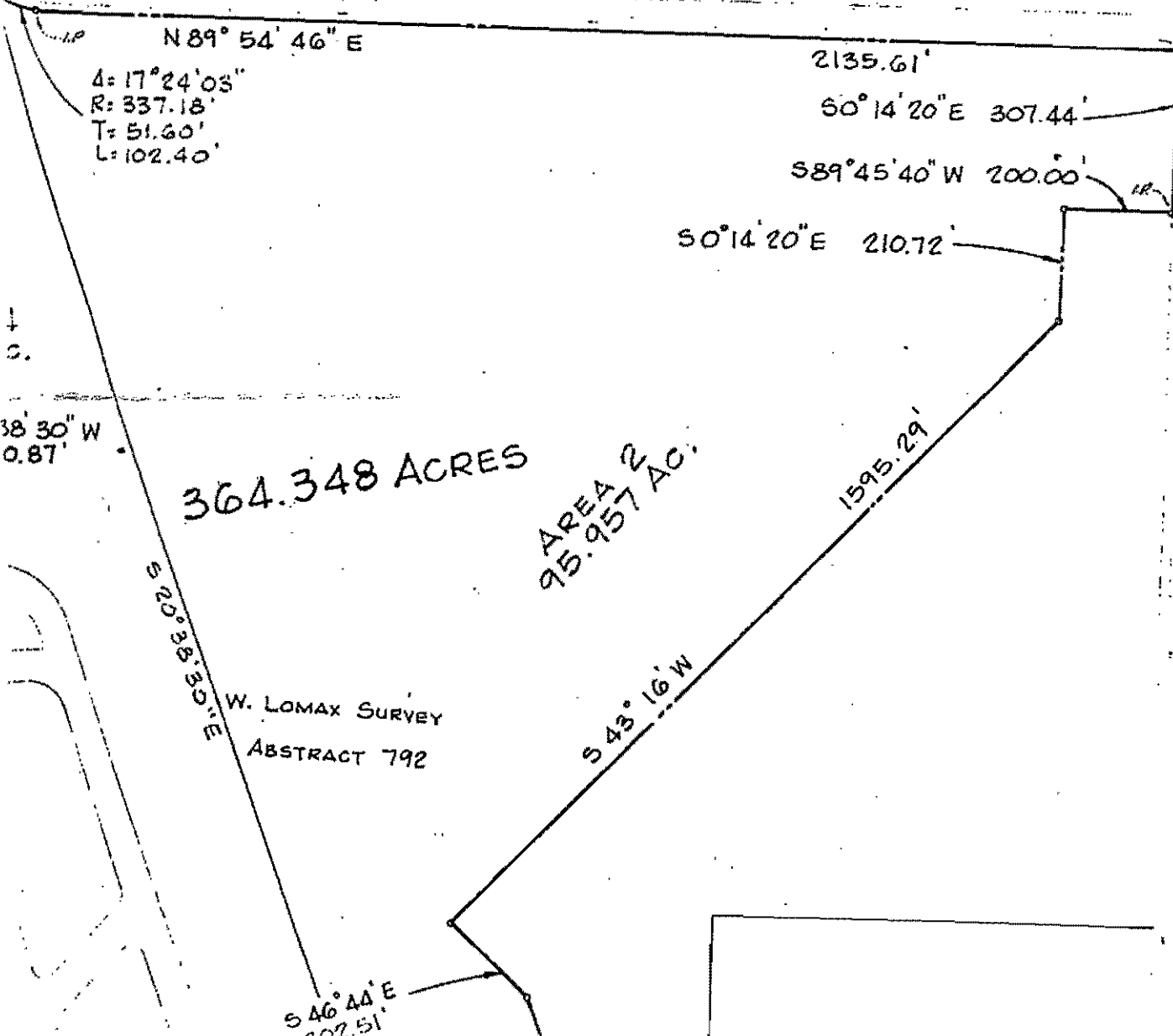


W. LOMAX SURVEY  
ABSTRACT 792

CARROLL ESTATES

Δ: 69° 19' 04"  
R: 337.18'  
T: 233.12'  
L: 407.93'

KELLER SPRINGS ROAD



BEING a tract of land  
Survey, Abstract 792,  
Survey, Abstract 1257  
Estates Addition, Dal

BEGINNING at a fence  
of-way line of Keller  
Road, a 60 foot stree  
thence N 0° 05' 50" E  
Survey, Abstract 326;

THENCE N. 89° 58' 54"  
Keller Springs Road to

THENCE N. 56° 19' 03"  
way to a point in the

THENCE N. 0° 03' 47" W  
Road to a point;

THENCE N. 20° 38' 30"  
line of said Dooley Ro.

THENCE S. 0° 03' 47" E.  
said Dooley Road to a

THENCE N. 89° 23' 56" W

THENCE N. 0° 14' 32" W.

THENCE N. 89° 56' 40" W

THENCE N. 20° 38' 30" W  
right-of-way line of No

THENCE N. 0° 09' 30" E.  
Dooley Road;

THENCE N. 89° 53' 26" E  
West line of Dooley Road

THENCE S. 0° 03' 47" E.  
passing a concrete monum

THENCE S. 20° 46' 10" E.  
Dooley Road to an iron

THENCE in a southeasterly  
having a central angle of  
407.93 feet to a point

THENCE N. 89° 54' 46" E.  
Keller Springs Road to a

THENCE S. 0° 14' 20" E.  
Addison Road to an iron

THENCE S. 89° 45' 40" W.

THENCE S. 0° 14' 20" E.

THENCE S. 43° 16' W. a di

THENCE S. 46° 44' E. a di

THENCE S. 20° 43' E. a di

THENCE N. 69° 17' E. a di

THENCE N. 71° 12' 51" E.

THENCE N. 44° 44' 08" E.  
Southwest corner of a tra  
by deed recorded in Volum

THENCE N. 89° 54' 40" E.  
Broughton tract to an iron

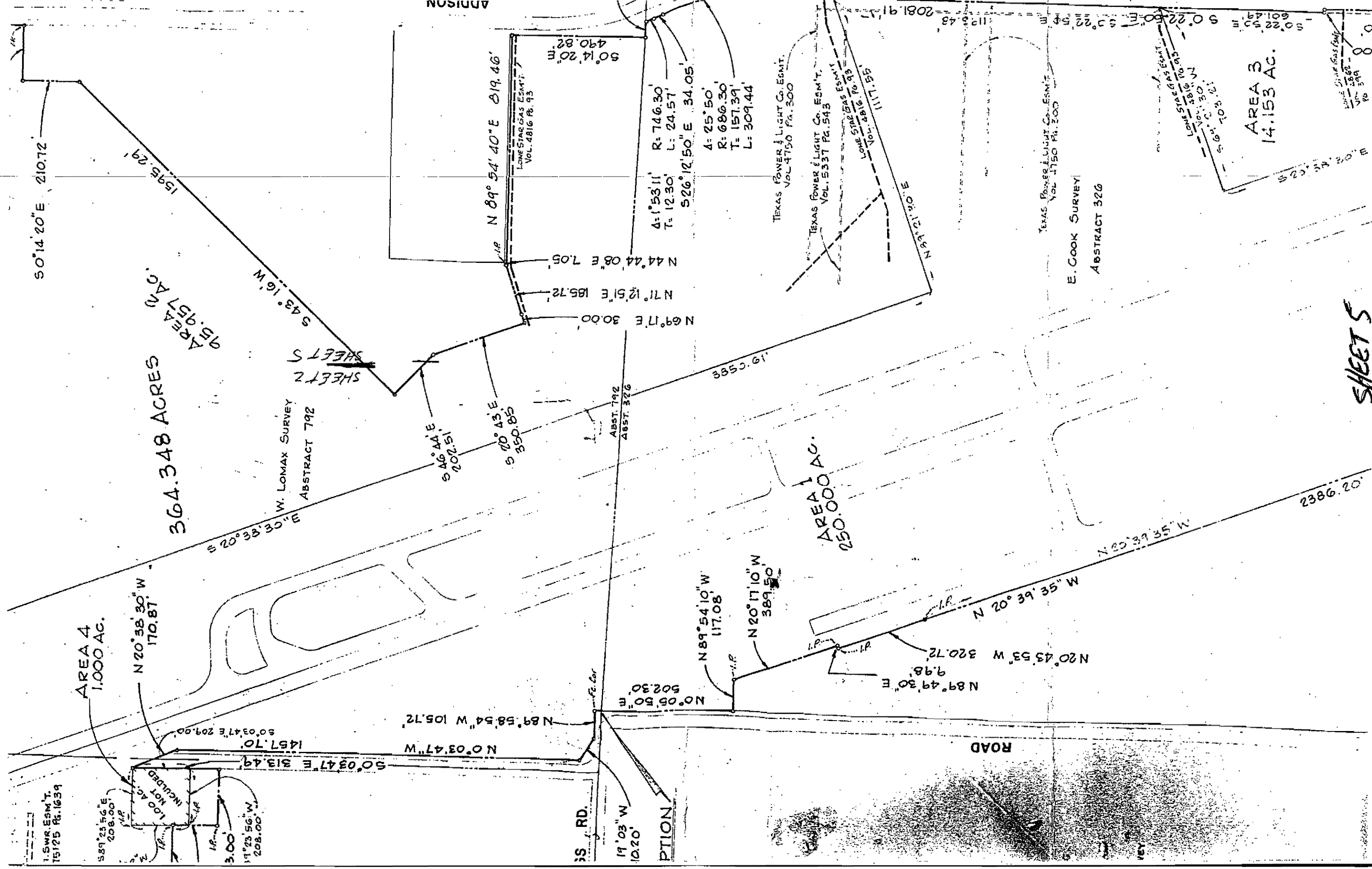
THENCE S. 0° 14' 20" E. a  
Addison Road to a point i  
Lomax Survey, Abstract 79

THENCE S. 89° 37' 20" E.  
a point in the West line  
the left;

THENCE Southerly with said  
central angle of 1° 53' ;  
feet;

THENCE S. 26° 12' 50" E.  
beginning of a curve to t

THENCE in a southeasterly  
Road having a central any  
of 309.44 feet;



1. SW. ESM'T.  
75125 P. 1639

589'23.56'E  
208.00'  
19'23'56"W  
208.00'

1.00 AC  
NOT INCLUDED

50°03'47"E 313.49'  
N 0°03'47"W  
1457.70'

AREA 4  
1.000 AC.

N 20°38'30"W  
170.87'

364.348 ACRES  
AREA 2

W. LOMAX SURVEY  
ABSTRACT 792

S 46°44'E  
202.51'

S 20°43'E  
350.85'

SS RD.

19'03" W  
1020'

PTION

N 89°54'10"W  
117.08'

N 20°17'10"W  
389.50'

AREA 4  
250.000 AC.

N 89°49'30"E  
9.98'

N 20°43'53"W  
320.72'

ROAD

N 55°56'35"W  
2386.20'

ABST. 792  
ABST. 326

N 69°17'E 30.00'

N 71°12'51"E 185.72'

N 44°44'08"E 7.05'

A: 1°53'11"  
T: 12.30'  
R: 746.30'  
L: 24.57'

526°12'50"E 34.05'  
A: 25°50'  
R: 686.30'  
T: 157.39'  
L: 309.44'

TEXAS POWER & LIGHT CO. ESM'T.  
VOL. 4750 P. 300

TEXAS POWER & LIGHT CO. ESM'T.  
VOL. 5337 P. 543

LONE STAR GAS ESM'T.  
VOL. 4816 P. 93

N 39°12'10"E

E. COOK SURVEY  
ABSTRACT 320

TEXAS POWER & LIGHT CO. ESM'T.  
VOL. 4750 P. 300

KEY

AREA 3  
14.153 AC.

SHEET 5

10  
399  
582  
Lone Star Gas Esm't.

S 20°54'20"E

S 0°22'50"E 601.49'  
S 0°22'50"E 50°22'50" E 1126.43'  
2081.91

ADDISON

N 89°54'40"E 219.46'

LONE STAR GAS ESM'T.  
VOL. 4816 P. 93

S 0°14'20"E  
490.82'



1105970

①

Tracts A-1, A-2, A-3, & A-4

650

WARRANTY DEED

**BLKED RECORD**

THE STATE OF TEXAS )  
COUNTY OF DALLAS )

KNOW ALL MEN BY THESE PRESENTS:

That Addison Airport, Inc. (herein called "Grantor"), a Texas corporation acting by and through its duly authorized officers, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable considerations to it in hand paid by the City of Addison, Texas (herein called "Grantee"), a municipal corporation, the receipt and sufficiency of which is hereby acknowledged, has granted, sold and conveyed, and by these presents does grant, sell and convey, unto Grantee, all that certain tract of land of 364.34 acres, more or less, out of the E. Cook Survey, Abstract 326, the William Lomax Survey, Abstract 792, the George Syms Survey, Abstract 1344, the William Rowe Survey, Abstract 1257, and part of Lot 1, and Lot 2 of Block "A" of Carroll Estate Addition, Dallas County, Texas (herein called the "Property"), and being more particularly described in Exhibit A attached hereto and incorporated herein for all purposes.

TO HAVE AND TO HOLD the Property, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, its successors and assigns forever and Grantor does hereby bind itself, its successors and assigns, to Warrant and Forever Defend, all and singular the said premises unto the said Grantee, its successors and assigns, against every person whomsoever lawfully claiming, or to claim the same, or any part thereof.

This conveyance and the warranty contained herein is made and accepted subject to (i) all valid and existing leases affecting the Property (ii) rights of other parties, if any, to



TRUE AND CORRECT  
COPY OF ORIGINAL  
FILED IN DALLAS  
COUNTY CLERK'S OFFICE

VOL PAGE

77010 1391

the common use of certain of the facilities located on the Property, which rights, singularly or in the aggregate, do not materially and adversely affect the use of the Property as an airport facility; and (iii) easements affecting the Property, which easements, singularly or in the aggregate, do not materially and adversely affect the use of the Property as an airport facility.

IN WITNESS WHEREOF, the Grantor has caused these presents to be signed by its duly authorized officers and to be sealed with its Seal this 30th day of December, 1976.

ATTEST:

Secretary

ADDISON AIRPORT, INC.

By: 

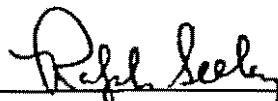
President

THE STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared HENRY STUART, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that the same was the act of the said ADDISON AIRPORT, INC., a corporation, and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 30th day of December, 1976.



Notary Public in and for  
Dallas County, Texas



TRUE AND CORRECT  
COPY OF ORIGINAL  
FILED IN DALLAS  
COUNTY CLERK'S OFFICE

NOTARY PUBLIC  
Dallas County, Texas  
Expires June 1, 1977

VOL PAGE

77010 1392

THE STATE OF TEXAS §  
COUNTY OF §

I HEREBY CERTIFY that the foregoing instrument of writing with its certificate of authentication, was filed for record in my office on the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 19\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and was duly recorded by me on the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 19\_\_\_\_ in Vol. \_\_\_\_\_, page \_\_\_\_\_, of the Records of said County.

WITNESS MY HAND and the Seal of the County Court of said County, at my office in \_\_\_\_\_ the day and year last above written.

\_\_\_\_\_  
County Clerk  
County, Texas

By: \_\_\_\_\_  
Deputy



TRUE AND CORRECT  
COPY OF ORIGINAL  
FILED IN DALLAS  
COUNTY CLERK'S OFFICE

VOL PAGE  
77010 1393

BEING a tract of land out of the R. Cook Survey, Abstract 326, the William Lomer Survey, Abstract 792, the George Syms Survey, Abstract 1344, the William Row's Survey, Abstract 1257, and part of Lot 1, and Lot 2 of Block "A" of Carroll Estates Addition, Dallas County, Texas, and being more fully described as follows:

BEGINNING at a fence post found for the apparent intersection of the North right-of-way line of Kaller Springs Road, a 50 foot street, and the East line of Dooley Road, a 60 foot street, said beginning point being S 89° 58' 54" E 30.00 feet, thence N 0° 05' 50" E 25.00 feet from the apparent northwest corner of the R. Cook Survey, Abstract 326;

THENCE N. 89° 58' 54" W. a distance of 105.72 feet with the North line of said Kaller Springs Road to an angle point in the right-of-way;

THENCE N. 56° 19' 03" W. a distance of 90.20 feet with said angle in the right-of-way to a point in the East right-of-way line of Dooley Road;

THENCE N. 0° 03' 47" W. a distance of 1457.70 feet with the East line of said Dooley Road to a point;

THENCE N. 20° 38' 30" W. a distance of 170.87 feet to the apparent West right-of-way line of said Dooley Road;

THENCE S. 0° 03' 47" E. a distance of 313.49 feet with the apparent West line of said Dooley Road to a point;

THENCE N. 89° 23' 54" W. a distance of 228.00 feet to an iron pin;

THENCE N. 0° 14' 32" W. a distance of 161.00 feet to an iron pin;

THENCE N. 39° 56' 40" W. a distance of 203.65 feet to a point;

THENCE N. 20° 38' 30" W. a distance of 2156.07 feet to a point in the apparent East right-of-way line of New Dooley Road, a 100 foot street;

THENCE N. 0° 09' 30" E. a distance of 1180.87 feet with the East line of said New Dooley Road;

THENCE N. 89° 53' 26" E. a distance of 1165.44 feet to a point in the apparent East line of Dooley Road;

THENCE S. 0° 03' 47" E. with the apparent West line of Dooley Road, at 335.02 feet passing a concrete monument for a total distance of 1550.38 feet to an iron pin;

THENCE S. 20° 46' 10" E. a distance of 539.44 feet with the West line of said Dooley Road to an iron pin for the beginning point of a curve to the left;

THENCE in a southeasterly direction with the curved West line of said Dooley Road having a central angle of 69° 14' 04", a radius of 337.18 feet, a distance of 407.93 feet to a point in the South right-of-way line of Kaller Springs Road;

THENCE N. 89° 54' 46" E. a distance of 2135.91 feet with the South line of said Kaller Springs Road to a point in the West right-of-way line of Addison Road;

THENCE S. 0° 14' 20" E. a distance of 307.44 feet with the West line of said Addison Road to an iron pin;

THENCE S. 89° 45' 40" W. a distance of 200.00 feet to a point;

THENCE S. 0° 14' 20" E. a distance of 210.72 feet to a point;

THENCE S. 43° 16' W. a distance of 1595.29 feet to an iron pin;

THENCE S. 46° 44' E. a distance of 202.51 feet to a point;

THENCE S. 20° 43' E. a distance of 350.85 feet to a point;

THENCE N. 69° 17' E. a distance of 30.00 feet to a point;

THENCE N. 71° 12' 51" E. a distance of 185.72 feet to a point;

THENCE N. 44° 44' 08" E. a distance of 7.05 feet to an iron pin found for the Southwest corner of a tract of land conveyed to O.J. Broughton and E.E. Ericson by deed recorded in Volume 4350, Page 491, Deed Records of Dallas County;

THENCE N. 89° 54' 40" E. a distance of 819.46 feet with the South line of the Broughton tract to an iron pin in the East line of said Addison Road;

EXHIBIT A



TRUE AND CORRECT  
COPY OF ORIGINAL  
FILED IN DALLAS  
COUNTY CLERK'S OFFICE

VOL PAGE  
77010 1394

THENCE S. 0° 14' 20" E. a distance of 490.81 feet with the West line of said Addison Road to a point in the apparent common survey line between the William Lomax Survey, Abstract 792, and the E. Cook Survey, Abstract 326;

THENCE S. 89° 37' 20" E. a distance of 58.08 feet with said common survey line to a point in the West line of said Addison Road and the beginning of a curve to the left;

THENCE Southerly with said curve, and the West line of Addison Road, having a central angle of 1° 53' 11", a radius of 746.30 feet, for a distance of 24.57 feet;

THENCE S. 26° 12' 50" E. 34.05 feet with the West line of Addison Road to the beginning of a curve to the right;

THENCE in a southeasterly direction with the curved West line of said Addison Road having a central angle of 25° 50', a radius of 686.30 feet for a distance of 309.44 feet;

THENCE S. 0° 22' 50" E. a distance of 2081.91 feet with the West line of said Addison Road to an angle point in the right-of-way;

THENCE N. 89° 37' 10" E. a distance of 10.00 feet with said angle in the right-of-way to a point in the West line of said Addison Road;

THENCE S. 0° 22' 50" E. a distance of 812.30 feet with the West line of Addison Road to a point;

THENCE S. 69° 37' W. a distance of 185.70 feet to a point;

THENCE S. 0° 22' 50" E. a distance of 263.11 feet to a point;

THENCE S. 66° 06' 26" W. a distance of 17.27 feet to a point;

THENCE S. 0° 22' 50" E. a distance of 211.04 feet to an iron pin in the North right-of-way line of the St. Louis and Southwestern Railroad;

THENCE S. 66° 06' 26" W. a distance of 759.70 feet with the North line of said St. Louis and Southwestern Railroad to an iron pin and the most easterly corner of Addison Airport Industrial District;

THENCE N. 67° 01' 55" W. a distance of 273.80 feet to an iron pin in the easterly line of said Addison Airport Industrial District;

THENCE N. 20° 39' 35" W. a distance of 572.28 feet with the easterly line of said Addison Airport Industrial District to an iron pin;

THENCE S. 75° 48' 25" W. a distance of 448.95 feet to a point;

THENCE N. 89° 56' 35" W. a distance of 658.63 feet to a point;

THENCE N. 0° 03' 25" E. a distance of 160.0 feet to a point;

THENCE N. 89° 56' 35" W. a distance of 160.00 feet to a point in the East right-of-way line of Dooley Road;

THENCE N. 0° 03' 25" E. a distance of 10.00 feet with the East line of Dooley Road to a point;

THENCE S. 89° 56' 35" E. a distance of 797.46 feet to a point;

THENCE N. 75° 48' 25" E. a distance of 408.36 feet to an iron pin in the easterly line of said Addison Airport Industrial District;

THENCE N. 20° 39' 35" W. a distance of 2386.20 feet with the easterly line of said Addison Airport Industrial District to an iron pin for the northeast corner of Addison Airport Industrial District;

THENCE S. 20° 43' 53" W. a distance of 320.72 feet to an iron pin;

THENCE N. 89° 49' 30" E. a distance of 9.98 feet to an iron pin;

THENCE N. 20° 17' 10" W. a distance of 389.50 feet to an iron pin;

THENCE N. 89° 54' 10" W. a distance of 117.03 feet to an iron pin in the apparent East right-of-way line of said Dooley Road;

THENCE S. 0° 05' 50" E. a distance of 502.30 feet with the apparent East line of said Dooley Road to the place of beginning and containing 365.340 acres of land, more or less, save and except the following 1 acre tract:



TRUE AND CORRECT  
COPY OF ORIGINAL  
FILED IN DALLAS  
COUNTY CLERK'S OFFICE

VOL PAGE

77010 1395

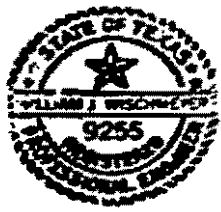
beginning at a fence post found for the apparent intersection of the North right-of-way  
 line of Keller Springs Road, a 50 foot street, and the East line of Dooley Road, a 40 foot  
 street, said point being S. 89° 35' 54" E. 30.00 feet, thence N. 0° 05' 50" E. 25.0 feet  
 from the apparent northwest corner of the E. Cook Survey, Abstract 325; thence N. 89° 35'  
 54" W. 105.72 feet with the apparent North line of Keller Springs Road; thence N. 94° 15'  
 03" W. 93.20 feet to a point in the East line of Dooley Road; thence N. 0° 03' 47" E.  
 1457.70 feet with the apparent East line of Dooley Road; thence N. 20° 38' 30" W. 178.00  
 feet to a point in the apparent West line of Dooley Road and the BEGINNING POINT of this  
 description;  
 thence S. 0° 03' 47" E. 209.0 feet with the West line of Dooley Road;  
 thence E. 89° 23' 56" W. 208.0 feet to an iron pin;  
 thence N. 0° 14' 32" W. 209.0 feet to an iron pin;  
 thence S. 89° 23' 56" E. 203.0 feet to the place of beginning and containing 1.0 acres  
 of land, more or less.

The plat hereon is a true and accurate representation of the property as determined by  
 actual survey, the lines and dimensions of said property being as indicated by the plat;  
 all improvements being within the boundaries of the property.

Easements of record that could be located are shown. This plat is subject to any  
 easements of record not shown.

5 JAN 1977  
 Date

*Wischmeyer*  
 W. J. Wischmeyer  
 Registered Professional Engineer



COUNTY CLERK'S OFFICE  
 PORTIONS OF THIS  
 DOCUMENT NOT  
 REPRODUCIBLE  
 WITH ACCURACY

EXHIBIT  
 PROPERTY MAP  
 ADDISON MUNICIPAL AIRPORT  
 ADDISON, TEXAS

SOURCE DESCRIPTION  
 ACRE EXCLUSION  
 ADDED.

TRUE AND CORRECT  
 COPY OF ORIGINAL  
 FILED IN DALLAS  
 COUNTY CLERK'S OFFICE

Riecke & Wischmeyer, Inc.  
 CONSULTING ENGINEERS  
 DALLAS TEXAS DECEMBER 1973

977 JAN 14 PM 12:43

*L. E. Muddock*  
FILED  
COUNTY CLERK  
DALLAS COUNTY

TRUE AND CORRECT  
COPY OF ORIGINAL  
FILED IN DALLAS  
COUNTY CLERK'S OFFICE

STATE OF TEXAS COUNTY OF DALLAS  
I hereby certify that this instrument was  
filed in the office of the County Clerk  
by me and that it is recorded in the correct  
and legal form of the County Clerk of Dallas  
County, Texas as required herein by law.



JAN 17 1977

*L. E. Muddock*

COUNTY CLERK, Dallas County, Texas

VOL PAGE  
77010 1397

659 51-04 6 5733 9 11-11-77

*for Benford*

JACKSON, WALKER, WINSTEAD, CANTWELL & MILLER  
ATTORNEYS AND COUNSELORS  
4300 FLOOR FIRST NATIONAL BANK BUILDING  
DALLAS, TEXAS 75202

Addison Airport  
Property

~~Attachment 2-b~~  
unrecorded copy  
A-1, A-2, A 3, & A-4

WARRANTY DEED

THE STATE OF TEXAS        )  
                                  )       KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF DALLAS        )

That Addison Airport, Inc. (herein called "Grantor"), a Texas corporation acting by and through its duly authorized officers, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable considerations to it in hand paid by the City of Addison, Texas (herein called "Grantee"), a municipal corporation, the receipt and sufficiency of which is hereby acknowledged, has granted, sold and conveyed, and by these presents does grant, sell and convey, unto Grantee, all that certain tract of land of 364.34 acres, more or less, out of the E. Cook Survey, Abstract 326, the William Lomax Survey, Abstract 792, the George Syms Survey, Abstract 1344, the William Rowe Survey, Abstract 1257, and part of Lot 1, and Lot 2 of Block "A" of Carroll Estates Addition, Dallas County, Texas (herein called the "Property"), and being more particularly described in Exhibit A attached hereto and incorporated herein for all purposes.

TO HAVE AND TO HOLD the Property, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, its successors and assigns forever and Grantor does hereby bind itself, its successors and assigns, to Warrant and Forever Defend, all and singular the said premises unto the said Grantee, its successors and assigns, against every person whomsoever lawfully claiming, or to claim the same, or any part thereof.

This conveyance and the warranty contained herein is made and accepted subject to (i) all valid and existing leases affecting the Property (ii) rights of other parties, if any, to



the common use of certain of the facilities located on the Property, which rights, singularly or in the aggregate, do not materially and adversely affect the use of the Property as an airport facility; and (iii) easements affecting the Property, which easements, singularly or in the aggregate, do not materially and adversely affect the use of the Property as an airport facility.

IN WITNESS WHEREOF, the Grantor has caused these presents to be signed by its duly authorized officers and to be sealed with its Seal this 30th day of December, 1976.

ATTEST:

\_\_\_\_\_  
Secretary

ADDISON AIRPORT, INC.

By: Henry Stuart  
President

THE STATE OF TEXAS §

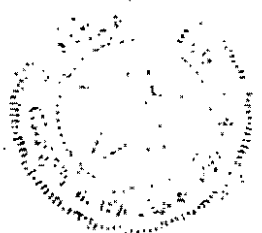
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared HENRY STUART, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that the same was the act of the said ADDISON AIRPORT, INC., a corporation, and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 30th day of December, 1976.

Ralph Seeley  
Notary Public in and for  
Dallas County, Texas

RALPH SEELEY, Notary Public  
In and for Dallas County, Texas  
My Commission Expires June 1, 1977



THE STATE OF TEXAS §

COUNTY OF §

I HEREBY CERTIFY that the foregoing instrument of writing with its certificate of authentication, was filed for record in my office on the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 19\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and was duly recorded by me on the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 19 \_\_\_\_\_ in Vol. \_\_\_\_\_, page \_\_\_\_\_, of the Records of said County.

WITNESS MY HAND and the Seal of the County Court of said County, at my office in \_\_\_\_\_ the day and year last above written.

\_\_\_\_\_  
County Clerk  
County, Texas

By: \_\_\_\_\_  
Deputy

## FIELD NOTES

BEING a tract of land out of the E. Cook Survey, Abstract 326, the William Lomax Survey, Abstract 792, the George Syms Survey, Abstract 1344, the William Rowe Survey, Abstract 1257, and part of Lot 1, and Lot 2 of Block "A" of Carroll Estates Addition, Dallas County, Texas, and being more fully described as follows:

BEGINNING at a fence post found for the apparent intersection of the North right-of-way line of Keller Springs Road, a 50 foot street, and the East line of Dooley Road, a 60 foot street, said beginning point being S 89° 58' 54" E 30.00 feet, thence N 0° 05' 50" E 25.00 feet from the apparent northwest corner of the E. Cook Survey, Abstract 326;

THENCE N. 89° 58' 54" W. a distance of 105.72 feet with the North line of said Keller Springs Road to an angle point in the right-of-way;

THENCE N. 56° 19' 03" W. a distance of 90.20 feet with said angle in the right-of-way to a point in the East right-of-way line of Dooley Road;

THENCE N. 0° 03' 47" W. a distance of 1457.70 feet with the East line of said Dooley Road to a point;

THENCE N. 20° 38' 30" W. a distance of 170.87 feet to the apparent West right-of-way line of said Dooley Road;

THENCE S. 0° 03' 47" E. a distance of 313.49 feet with the apparent West line of said Dooley Road to a point;

THENCE N. 89° 23' 56" W. a distance of 208.00 feet to an iron pin;

THENCE N. 0° 14' 32" W. a distance of 161.00 feet to an iron pin;

THENCE N. 89° 56' 40" W. a distance of 203.65 feet to a point;

THENCE N. 20° 38' 30" W. a distance of 2156.07 feet to a point in the apparent East right-of-way line of New Dooley Road, a 100 foot street;

THENCE N. 0° 09' 30" E. a distance of 1139.87 feet with the East line of said New Dooley Road;

THENCE N. 89° 53' 26" E. a distance of 1165.44 feet to a point in the apparent West line of Dooley Road;

THENCE S. 0° 03' 47" E. with the apparent West line of Dooley Road, at 335.02 feet passing a concrete monument for a total distance of 1350.38 feet to an iron pin;

THENCE S. 20° 46' 10" E. a distance of 539.44 feet with the West line of said Dooley Road to an iron pin for the beginning point of a curve to the left;

THENCE in a southeasterly direction with the curved West line of said Dooley Road having a central angle of 69° 14' 04", a radius of 337.18 feet, a distance of 407.93 feet to a point in the South right-of-way line of Keller Springs Road;

THENCE N. 89° 54' 46" E. a distance of 2133.01 feet with the South line of said Keller Springs Road to a point in the West right-of-way line of Addison Road;

THENCE S. 0° 14' 20" E. a distance of 307.44 feet with the West line of said Addison Road to an iron pin;

THENCE S. 39° 45' 40" W. a distance of 200.00 feet to a point;

THENCE S. 0° 14' 20" E. a distance of 210.72 feet to a point;

THENCE S. 43° 16' W. a distance of 1545.29 feet to an iron pin;

THENCE S. 46° 44' E. a distance of 202.51 feet to a point;

THENCE E. 20° 43' E. a distance of 350.85 feet to a point;

THENCE N. 69° 17' E. a distance of 30.00 feet to a point;

THENCE N. 71° 12' 51" E. a distance of 185.72 feet to a point;

THENCE N. 44° 44' 08" E. a distance of 7.05 feet to an iron pin found for the Southwest corner of a tract of land conveyed to O.J. Broughton and E.E. Ericson by deed recorded in Volume 4350, Page 491, Deed Records of Dallas County;

THENCE N. 89° 54' 40" E. a distance of 819.46 feet with the South line of the Broughton tract to an iron pin in the West line of said Addison Road;

THENCE S. 0° 14' 20" E. a distance of 490.82 feet with the West line of said Addison Road to a point in the apparent common survey line between the William Lomax Survey, Abstract 792, and the E. Cook Survey, Abstract 326;

THENCE S. 89° 37' 20" E. a distance of 58.08 feet with said common survey line to a point in the West line of said Addison Road and the beginning of a curve to the left;

THENCE Southerly with said curve, and the West line of Addison Road, having a central angle of 1° 53' 11", a radius of 746.30 feet, for a distance of 24.57 feet;

THENCE S. 26° 12' 50" E. 34.05 feet with the West line of Addison Road to the beginning of a curve to the right;

THENCE in a southeasterly direction with the curved West line of said Addison Road having a central angle of 25° 50', a radius of 686.30 feet for a distance of 309.44 feet;

THENCE S. 0° 22' 50" E. a distance of 2081.91 feet with the West line of said Addison Road to an angle point in the right-of-way;

THENCE N. 89° 37' 10" E. a distance of 10.00 feet with said angle in the right-of-way to a point in the West line of said Addison Road;

THENCE S. 0° 22' 50" E. a distance of 812.30 feet with the West line of Addison Road to a point;

THENCE S. 69° 37' W. a distance of 189.70 feet to a point;

THENCE S. 0° 22' 50" E. a distance of 263.11 feet to a point;

THENCE S. 66° 06' 26" W. a distance of 15.53 feet to a point;

THENCE S. 0° 22' 50" E. a distance of 211.04 feet to an iron pin in the North right-of-way line of the St. Louis and Southwestern Railroad;

THENCE S. 66° 06' 26" W. a distance of 761.64 feet with the North line of said St. Louis and Southwestern Railroad to an iron pin and the most easterly corner of Addison Airport Industrial District;

THENCE N. 67° 01' 55" W. a distance of 273.80 feet to an iron pin in the easterly line of said Addison Airport Industrial District;

THENCE N. 20° 39' 35" W. a distance of 572.28 feet with the easterly line of said Addison Airport Industrial District to an iron pin;

THENCE S. 75° 48' 25" W. a distance of 448.95 feet to a point;

THENCE N. 89° 56' 35" W. a distance of 658.63 feet to a point;

THENCE N. 0° 03' 25" E. a distance of 160.0 feet to a point;

THENCE N. 89° 56' 35" W. a distance of 160.00 feet to a point in the East right-of-way line of Dooley Road;

THENCE N. 0° 03' 25" E. a distance of 10.00 feet with the East line of Dooley Road to a point;

THENCE S. 89° 56' 35" E. a distance of 797.46 feet to a point;

THENCE N. 75° 48' 25" E. a distance of 408.36 feet to an iron pin in the easterly line of said Addison Airport Industrial District;

THENCE N. 20° 29' 35" W. a distance of 3386.20 feet with the easterly line of said Addison Airport Industrial District to an iron pin for the northeast corner of Addison Airport Industrial District;

THENCE N. 20° 43' 53" W. a distance of 320.72 feet to an iron pin;

THENCE N. 89° 49' 30" E. a distance of 9.98 feet to an iron pin;

THENCE N. 20° 17' 10" W. a distance of 389.50 feet to an iron pin;

THENCE N. 89° 54' 10" W. a distance of 117.08 feet to an iron pin in the apparent East right-of-way line of said Dooley Road;

THENCE N. 0° 05' 50" E. a distance of 502.30 feet with the apparent East line of said Dooley Road to the place of beginning and containing 365.348 acres of land, more or less.

THE ABOVE METES AND BOUNDS DESCRIPTION CONTAINS A TRACT OF 1.0 ACRES THAT IS TO BE EXCLUDED, RESULTING IN A NET OF 364.348 ACRES OF LAND, MORE OR LESS.

NO. 80 -1894-d

A

4360

2

9.00 DEC 1 04/23/79

THE CITY OF ADDISON

X  
X  
X  
X  
X

IN THE COUNTY COURT

VS.

AT LAW NO. 4 OF

W. H. LAFFITY

DALLAS COUNTY, TEXAS

JUDGMENT

On this the 9<sup>th</sup> day of May, 1980, came on to be heard and considered the above entitled and numbered cause in which the CITY OF ADDISON, represented by Robert L. McCallum, is Plaintiff, and W. H. LAFFITY, and wife, MARY JO LAFFITY and Citizens Bank Richardson, represented by their attorney, Eddie Vassallo, are Defendants and the State of Texas is the Intervening Plaintiff. The parties of record announced that a compromise and settlement of the above entitled and numbered cause had been reached between the Plaintiff and Defendants. The Defendants had filed Objections to the Special Commissioners Award in the amount of Seventy Eight Thousand One Hundred Fifty and no/100 (\$78,150.00) Dollars. The Plaintiff, CITY OF ADDISON, after due consideration, now desires to pay the Defendants, W. H. LAFFITY, and wife, MARY JO LAFFITY and Citizens Bank Richardson, desire to accept the total sum of Seventy Nine Thousand and no/100 (\$79,000.00) Dollars as being the fair cash market value of the property described herein and the improvements thereon, which has been acquired by the Plaintiff and further that said Defendants desire to accept said amount as full compensation for any claims arising by reason of the condemnation of the hereinafter described property, including funds which may be due or otherwise payable under the Uniform Relocation Assistance and Real Properties Acquisition Policy Act of 1970, including all applicable regulations. Both Defendants and Plaintiff now pray the Honorable Court make this compromise and settlement the Judgment of the Court.

WHEREFORE, PREMISES CONSIDERED, in accordance with the agreement of the parties the Court does find as follows:

I.

That this is a condemnation suit filed by the CITY OF ADDISON against the below named Defendants to condemn the hereinafter described land and all improvements located thereon, owned by the Defendants for the maintenance and operation of an airport and Plaintiff is entitled to condemn the same.

II.

That the Defendants named in the original condemnation action are as follows: W. H. LAFFITY, and wife, MARY JO LAFFITY and CITIZENS BANK RICHARDSON.

III.

That the total amount of compensation to which the Defendants, W. H. LAFFITY and wife MARY JO LAFFITY and CITIZENS BANK RICHARDSON, are entitled to be paid by virtue of the condemnation of the below described land and all improvements located thereon, is Seventy Nine Thousand and no/100 (\$79,000.00) Dollars, which sum includes an amount for reasonable moving expenses.

IV.

That Defendants, W. H. LAFFITY and wife, MARY JO LAFFITY and CITIZENS BANK RICHARDSON, are entitled to recover from Plaintiff, the CITY OF ADDISON, the total amount of Seventy Nine Thousand and no/100 (\$79,000.00) Dollars.

V.

That the Plaintiff, CITY OF ADDISON, is entitled to recover from the Defendants the fee simple title as hereinafter set out to the land described below and all improvements located thereon, and are entitled to a Writ of Possession for the same.

IT IS THEREFORE ORDERED, ADJUDGED AND DECREED by the Court that the Plaintiff, CITY OF ADDISON, do have and recover of and from all of the above named Defendants the fee simple title to the following described property and all improvements located thereon:

All that certain tract or parcel of land situated in Dallas County, Texas, and being out of and a part of the George Syms Survey, Abst. No. 1344, and a part of the tract conveyed to Beatrice Wells by Theresa Davison by Deed recorded in Vol. 2176, Page 481, of the Deed Records of Dallas County, Texas, beginning at a point in the west line of the Dooley Public Road at the northeast corner of the Columbus Allen one-half acre tract; Thence, west along the north line of said Allen tract 208.7 feet to the northwest corner of same; Thence, north 208.7 feet to stake for corner; Thence, east 208.7 feet to corner in the west line of said Dooley Road; Thence, south along the west line of said road 208.7 ft. to the place of beginning, containing one acre of land, and being the same property conveyed by O. G. Hudson to Mary Jo Laffity by deed dated October 14, 1953, and recorded in Vol. 4174, Page 602 of the Deed Records of Dallas County, Texas.

and that the fee simple title is hereby decreed to and vested in the Plaintiff, CITY OF ADDISON.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the Defendants, W. H. LAFFITY and wife, MARY JO LAFFITY and CITIZENS BANK RICHARDSON, are entitled to be paid as compensation for this condemnation action the sum of Seventy Nine Thousand and no/100 (\$79,000.00) Dollars.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the Defendants are entitled to the amount of Seventy Nine Thousand and no/100 (\$79,000.00) Dollars due thereon to Eddie Vassallo, the attorney for said Defendants, and at that time the Plaintiff shall stand released and discharged from their constitutional obligation to pay such compensation for the taking of the above described property for public use.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that Defendants W. H. LAFFITY, and wife, MARY JO LAFFITY and CITIZENS BANK RICHARDSON,



be allowed to withdraw such Seventy Nine Thousand and no/100 (\$79,000.00) Dollars from the Registry of the Court without further notice.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that Intervening Plaintiff's action be dismissed with prejudice since its claim has been fully satisfied.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED by the Court that all costs of this proceeding be and they are hereby taxed against Plaintiff, which costs shall be paid to the County Clerk of Dallas County, Texas.

SIGNED this the 9<sup>th</sup> day of May, 1980.

*Robert E. Day*  
JUDGE, County Court at Law No. 4  
Dallas County, Texas

APPROVED AS TO FORM:

*Robert L. McCallum*  
ROBERT L. McCALLUM  
Attorney for Plaintiff

*Eddie Vassallo*  
EDDIE VASSALLO  
Attorney for Defendants

*W. H. Laffity*  
W. H. LAFFITY  
Defendant

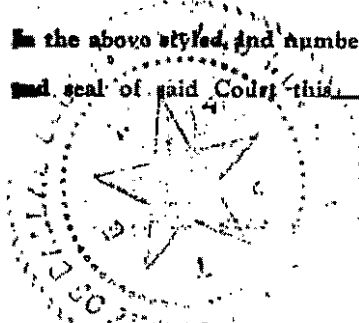
*Mary Jo Laffity*  
MARY JO LAFFITY,  
Defendant

THE STATE OF TEXAS, } I. L. E. MURDOCH, Clerk of the County Court of Dallas County at Law,  
County of Dallas

No. 4, Dallas County, Texas; do hereby certify that the foregoing is a true and correct copy of JUDGMENT, in cause NO. cc-80-1894-d, The City Of Addison VS. W. H. Laffity. Entered in Volume 66, Pages 507-510, Minutes of County Court at Law NO. 4, Dallas County, Texas.

In the above styled, and numbered cause, as the same now appears on file in my office. Witness my hand and seal of said Court this 25th day of March, A. D. 1982.

L. E. MURDOCH, County Clerk  
By *Carolyn Graves*, Deputy  
Carolyn Graves



RETURN TO:

ROBERT L. McCALLUM  
ATTORNEY AT LAW  
1560 Bell Line Road Suite 320  
Dallas, Texas 75244

Tract 8-2

DEED RECORD

Deed

STATE OF TEXAS }  
COUNTY OF DALLAS }

KNOW ALL MEN BY THESE PRESENTS:

A 5999 0 7.00 DEED  
2 08 1981

THAT BOBBIE L. ODOM, Individually and as Independent Executrix of the Estate of J. O. ALLEN, Deceased; MILDRED NOBEL, Individually and as Independent Executrix of the Estate of J. O. ALLEN, Deceased, herein known as Grantors,

of Dallas County, Texas, in consideration of the sum of TEN AND NO/100-----DOLLARS (\$ 10.00 ),

and other good and valuable consideration-----  
to said grantors in hand paid by the grantee hereinafter named, the receipt of which is hereby acknowledged, have GRANTED, SOLD and CONVEYED and by these presents do GRANT, SELL and CONVEY unto the City of Addison, a municipal corporation, its successors and assigns, herein known as Grantees,

of Dallas County, Texas, all that certain property situated in Dallas

County, Texas, described as follows, to-wit:

BEING a tract of land out of the George Syms Survey, Abstract No. 1344, and being more particularly described by metes and bounds as follows:

BEGINNING at a point on the West line of Dooley Road, said point being 1145.9 ft. North of the North line of Keller Springs Road;

THENCE West 208.7 ft. to a point for corner;

THENCE North parallel to Dooley Road a distance of 208.7 ft.;

THENCE East a distance of 208.7 ft. to a point for corner; said point being on the West line of Dooley Road;

THENCE South a distance of 208.7 ft. to the PLACE OF BEGINNING;

TOGETHER with any rights which Grantors may have aquired in a tract of land lying east of the above described property in Dooley Road.

The above described property is subject to the exceptions, conditions and reservations contained in Exhibit "A" attached hereto and incorporated herein.

TO HAVE AND TO HOLD the said premises, together with all rights, hereditaments and appurtenances thereto belonging, unto the said grantee above named, its successors heirs and assigns forever. And

we do hereby bind ourselves and our heirs, executors and administrators to WARRANT AND FOREVER DEFEND the title to said property unto the said grantee above named, its successors heirs and assigns, against every person whomsoever lawfully claiming or to claim the same, or any part thereof.

EXECUTED this 25th day of June, 1981

81150 1981

Bobbie L. Odom  
BOBBIE L. ODOM, Individually and as Independent Executrix of the Estate of J. O. Allen, Deceased.

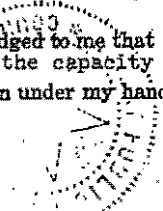
Mildred Nobel  
MILDRED NOBEL, Individually and as Independent Executrix of the Estate of J. O. Allen, Deceased.

STATE OF TEXAS

COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared BOBBIE L. ODOM, Individually and as Independent Executrix of the Estate of J. O. Allen, Deceased, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office, this 25th day of June, 1981.



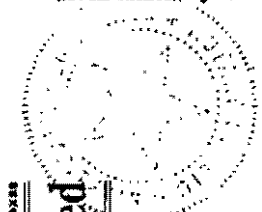
Notary Public Gayle Hannah Dallas County, Texas.

STATE OF TEXAS

COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared MILDRED NOBEL, Individually and as Independent Executrix of the Estate of J. O. Allen, Deceased, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office, this 25th day of June, 1981.



Notary Public Gayle Hannah Dallas County, Texas.

Fred E. Hunter, Galveston, Texas

General Warranty Deed

TO

Return to

701 1A

81190 1936

CHICAGO TITLE INSURANCE COMPANY SUITE 215 DALLAS FEDERAL BLDG. 14341 COFF RD. DALLAS, TEXAS 75240

EXHIBIT "A"

1. Avigation Easement dated March 30, 1974, filed April 9, 1974, and recorded in Volume 74070, Page 1794, Deed Records, Dallas County, Texas, executed by J. O. Allen to Addison Airport, Inc., and City of Carrollton.
2. Easement and right-of-way dated December 18, 1945, filed August 21, 1946, and recorded in Volume 2702, Page 259, Deed Records, Dallas County, Texas, from J. O. Allen to Texas Power & Light Co., for electric transmission.
3. Easement and right-of-way dated November 24, 1937, filed December 10, 1937, and recorded in Volume 2047, Page 328, Deed Records, Dallas County Texas, from Beatrice Wells, et al, to Texas Power & Light Co. for electric transmission.

VOL PA

81150 1987

AND FOREVER DEFEND the title to said property unto the said grantee above named, its successors ~~heirs~~ and assigns, against every person whomsoever lawfully claiming or to claim the same, or any part thereof.

EXECUTED this 25th day of June, 1981

VOL PA  
81150 1987

Bobbie L. Odom  
BOBBIE L. ODOM, Individually and as  
Independent Executrix of the Estate  
of J. O. Allen, Deceased.

Mildred Nobel  
MILDRED NOBEL, Individually and as  
Independent Executrix of the Estate  
of J. O. Allen, Deceased.

NOTICE

Prepared by the State Bar of Texas for use by Lawyers only. Reviewed 1-1-76. To select the proper form, fill in blank spaces, strike out form provisions or insert special terms constitutes the practice of law. No "standard form" can meet all requirements.

82-8

ATTACHMENT 4  
Tract B-2

WARRANTY DEED A

3641

5.00 DEED  
G 2-02/02/82

THE STATE OF TEXAS  
COUNTY OF DALLAS

} KNOW ALL MEN BY THESE PRESENTS:

That BELTWOOD NORTH JOINT VENTURE (FKA Connell-Dooley Road Joint Venture) A Joint Venture composed of George T. Connell, Houseman Properties, A Partnership, Walter M. Spradley and Germany Investments, A Partnership, herein known as Grantors of the County of Dallas and State of Texas for and in

consideration of the sum of TEN AND NO/100ths-----  
-----(\$10.00)DOLLARS

and other valuable consideration to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged,

RECORDED IN VOLUME 82022 PAGE 1211

have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto THE CITY OF ADDISON, whose address is P. O. Box 144, Addison, Texas 75014, herein known as Grantee

of the County of Dallas and State of Texas, all of

the following described real property in Dallas County, Texas, to-wit:

BEING LOT 7 in BLOCK B of BELTWOOD NORTH ADDITION, PHASE II, an Addition to the City of Dallas, Texas, according to the Map thereof, recorded in Volume 78201, Page 0001, Map Records, Dallas County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said grantee, its successors heirs and assigns forever; and the said Grantor does hereby bind itself, its successors heirs, executors and administrators to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said grantee, its successors heirs and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

RECORDED IN VOLUME 82022 PAGE 1211

EXECUTED this 18<sup>th</sup> day of January, A.D. 1982

BELTWOOD NORTH VENTURE (FKA Connell-Dooley Road Joint Venture) A Joint Venture composed of George T. Connell, Houseman Properties, A Partnership, Walter M. Spradley and Germany Investments, A Partnership

BY: George T. Connell  
George T. Connell, Manager

(Acknowledgment)

THE STATE OF TEXAS }  
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared GEORGE T. CONNELL, Manager of BELTWOOD NORTH JOINT VENTURE) A Joint Vienture composed of George T. Connell, Houseman Properties, A Partnership, Walter M. Spradley and Germany Investments, A Partnership and officer

known to me to be the person..... whose name..... subscribed to the foregoing instrument, and acknowledged to me that..... he..... executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office on this the 18TH day of January, A.D. 1982



*Laurecia Stegemoller*  
Notary Public in and for Dallas County, Texas.  
My commission expires 3/31/85, 19.....  
LAURECIA STEGEMOLLER  
(Printed or stamped name of notary)

(Acknowledgment)

THE STATE OF TEXAS }  
COUNTY OF

Before me, the undersigned authority, on this day personally appeared

known to me to be the person..... whose name..... subscribed to the foregoing instrument, and acknowledged to me that..... he..... executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 19

Notary Public in and for \_\_\_\_\_ County, Texas.  
My commission expires....., 19.....

STATE OF TEXAS COUNTY (Printed or stamped name of notary)  
I hereby certify that this instrument was filed on the \_\_\_\_\_ date and time stamped hereon by me and was duly recorded in the volume and page of the named records of Dallas County, Texas as stamped hereon by me.



FEB 2 1982

*L.E. Murdoch*

COUNTY CLERK, Dallas County, Texas

WARRANTY DEED

TO

PREPARED IN THE LAW OFFICE OF:

PLEASE RETURN TO:  
CHICAGO TITLE INSURANCE CO.  
4001 BRYAN TOWER, SUITE 10  
DALLAS, TEXAS 75201

1982 FEB 1 AM 11:47

*X*  
*L.E. Murdoch*  
COUNTY CLERK  
DALLAS COUNTY

(Corporate Acknowledgment)

THE STATE OF TEXAS }  
COUNTY OF

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ of \_\_\_\_\_

a corporation, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said corporation.

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 19

Notary Public in and for \_\_\_\_\_ County, Texas.  
My commission expires \_\_\_\_\_, 19.....

(Printed or stamped name of notary)

"VOL" PAGE"  
82022 1212

*Owner Policy*  
*Form Prescribed by State Board of Insurance*  
*of Texas*

POLICY  
OF  
TITLE  
INSURANCE



CHICAGO TITLE INSURANCE COMPANY  
P.O. BOX 357  
Dallas, Texas 75221

CHICAGO  
TITLE INSURANCE  
COMPANY

111 WEST WASHINGTON STREET  
CHICAGO, ILLINOIS 60602

OWNER POLICY  
FORM PRESCRIBED BY STATE BOARD OF INSURANCE OF TEXAS

CHICAGO TITLE INSURANCE COMPANY

a Missouri corporation, hereinafter called the Company, for value does hereby guarantee to the Insured (as herein defined) that as of the date hereof, the Insured has good and indefeasible title to the estate or interest in the land described or referred to in this policy.

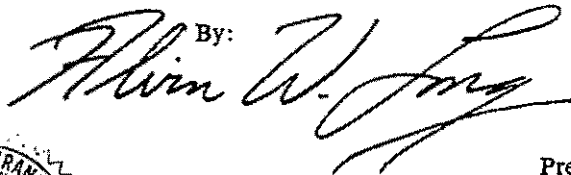
The Company shall not be liable in a greater amount than the actual monetary loss of the Insured, and in no event shall the Company be liable for more than the amount shown in Schedule A hereof, and shall, except as hereinafter stated, at its own cost defend the Insured in every action or proceeding on any claim against, or right to the estate or interest in the land, or any part thereof, adverse to the title to the estate or interest in the land as hereby guaranteed, but the Company shall not be required to defend against any claims based upon matters in any manner excepted under this policy by the exceptions in Schedule B hereof or excluded by Paragraph 2, "Exclusions from Coverage of this Policy", of the Conditions and Stipulations hereof. The party or parties entitled to such defense shall within a reasonable time after the commencement of such action or proceeding, and in ample time for defense therein, give the Company written notice of the pendency of the action or proceeding, and authority to defend. The Company shall not be liable until such adverse interest, claim, or right shall have been held valid by a court of last resort to which either litigant may apply, and if such adverse interest, claim, or right so established shall be for less than the whole of the estate or interest in the land, then the liability of the Company shall be only such part of the whole liability limited above as shall bear the same ratio to the whole liability that the adverse interest, claim, or right established may bear to the whole estate or interest in the land, such ratio to be based on respective values determinable as of the date of this policy. In the absence of notice as aforesaid, the Company is relieved from all liability with respect to any such interest, claim or right; provided, however, that failure to notify shall not prejudice the rights of the Insured if such Insured shall not be a party to such action or proceeding, nor be served with process therein, nor have any knowledge thereof, nor in any case, unless the Company shall be actually prejudiced by such failure.

Upon sale of the estate or interest in the land, this policy automatically thereupon shall become a war-rantor's policy and the Insured shall for a period of twenty-five years from the date hereof remain fully protected according to the terms hereof, by reason of the payment of any loss, he, they or it may sustain on account of any warranty of title contained in the transfer or conveyance executed by the Insured conveying the estate or interest in the land. The company shall be liable under said warranty only by reason of defects, liens or encumbrances existing prior to or at the date hereof and not excluded either by the exceptions or by the Conditions and Stipulations hereof, such liability not to exceed the amount of this policy.

*In Witness Hereof*, CHICAGO TITLE INSURANCE COMPANY has caused this policy to be executed by its President under the seal of the Company, but this policy is to be valid only when it bears an authorized counter-signature, as of the date set forth in Schedule A.

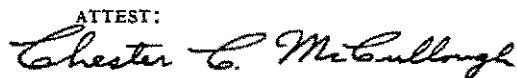
Issued by:  
CHICAGO TITLE INSURANCE COMPANY

CHICAGO TITLE INSURANCE COMPANY

By:  


President.



ATTEST:  


Secretary.



# CONDITIONS AND STIPULATIONS

## 1. Definitions

The following terms when used in this policy mean:

(a) "land": The land described, specifically or by reference, in Schedule A, and improvements affixed thereto which by law constitute real property.

(b) "public records": Those records which impart constructive notice of matters relating to the land.

(c) "knowledge": Actual knowledge, not constructive knowledge, or notice which may be imputed to the Insured by reason of any public records.

(d) "date": The effective date, including hour if specified.

(e) "insured": The Insured named in Schedule A and, subject to any rights or defenses the Company may have had against the named Insured or any person or entity who succeeds to the interest of such named Insured by operation of law as distinguished from purchase, any person or entity who succeeds to the interest of such named Insured by operation of law as distinguished from purchase including but not limited to the following:

- (i) heirs, devisees, distributees, executors and administrators;
- (ii) the successors in interest to a corporation resulting from merger or consolidation or the distribution of the assets of such corporation upon partial or complete liquidation;
- (iii) the partnership successors in interest to a general or limited partnership which dissolves but does not terminate;
- (iv) the successors in interest to a general or limited partnership resulting from the distribution of the assets of such general or limited partnership upon partial or complete liquidation;
- (v) the successors in interest to a joint venture resulting from the distribution of the assets of such joint venture upon partial or complete liquidation;
- (vi) the successor or substitute trustee of a trustee named in a written trust instrument; or
- (vii) the successors in interest to a trustee or trust resulting from the distribution of all or part of the assets of such trust to the beneficiaries thereof.

## 2. Exclusions from the Coverage of this Policy

This policy does not insure against loss or damage by reason of the following:

(a) The refusal of any person to purchase, lease or lend money on the land.

(b) Governmental rights of police power or eminent domain unless notice of the exercise of such rights appears in the public records at the date hereof; and the consequences of any law, ordinance or governmental regulation including, but not limited to, building and zoning ordinances.

(c) Any titles or rights asserted by anyone including, but not limited to, persons, corporations, governments or other entities to tidelands, or lands comprising the shores or beds of navigable or perennial rivers and streams, lakes, bays, gulfs or oceans, or to any land extending from the line of mean low tide to the line of vegetation, or to lands beyond the line of the harbor or bulkhead lines as established or changed by any government, or to filled-in lands, or artificial islands, or to riparian rights, or the rights or interests of the State of Texas or the public generally in the area extending from the line of mean low tide to the line of vegetation or their right of access thereto, or right of easement along and across the same.

(d) Defects, liens, encumbrances, adverse claims against the title as insured or other matters (1) created, suffered, assumed or agreed to by the Insured at the date of this policy, or (2)

known to the Insured at the date of this policy unless disclosure thereof in writing by the Insured shall have been made to the Company prior to the date of this policy; or loss or damage which would not have been sustained if the Insured were a purchaser for value without knowledge; or the homestead or community property or survivorship rights, if any, of any spouse of any Insured.

## 3. Defense of Actions

(a) In all cases where this policy provides for the defense of any action or proceeding, the Insured shall secure to the Company the right to so provide defense in such action or proceeding, and all appeals therein, and permit it to use, at its option, the name of the Insured for such purpose. Whenever requested by the Company, the Insured shall give the Company all reasonable aid in any such action or proceeding, in effecting settlement, securing evidence, obtaining witnesses, or defending such action or proceeding.

(b) The Company shall have the right to select counsel of its own choice whenever it is required to defend any action or proceeding, and such counsel shall have full control of said defense.

(c) Any action taken by the Company for the defense of the Insured or to establish the title as insured, or both, shall not be construed as an admission of liability, and the Company shall not thereby be held to concede liability or waive any provision of this policy.

## 4. Payment of Loss

(a) No claim shall arise or be maintainable under this policy for liability voluntarily assumed by the Insured in settling any claim or suit without written consent of the Company.

(b) All payments under this policy, except payments made for costs, attorney fees and expenses, shall reduce the amount of the insurance pro tanto; and the amount of this policy shall be reduced by any amount the Company may pay under any policy insuring the validity or priority of any lien excepted to herein or any instrument hereafter executed by the Insured which is a charge or lien on the land, and the amount so paid shall be deemed a payment to the Insured under this policy.

(c) The Company shall have the option to pay or settle or compromise for or in the name of the Insured any claim insured against by this policy, and such payment or tender of payment, together with all costs, attorney fees and expenses which the Company is obligated hereunder to pay, shall terminate all liability of the Company hereunder as to such claim. Further, the payment or tender of payment of the full amount of this policy by the Company shall terminate all liability of the Company under this policy.

(d) Whenever the Company shall have settled a claim under this policy, all right of subrogation shall vest in the Company unaffected by any act of the Insured, and it shall be subrogated to and be entitled to all rights and remedies of the Insured against any person or property in respect to such claim. The Insured, if requested by the Company, shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect such right of subrogation, and shall permit the Company to use the name of the Insured in any transaction or litigation involving such rights and remedies.

## 5. Policy Entire Contract

Any action, actions or rights of action that the Insured may have, or may bring, against the Company, arising out of the status of the title insured hereunder, must be based on the provisions of this policy, and all notices required to be given the Company, and any statement in writing required to be furnished the Company, shall be addressed to its principal office, at 111 W. Washington Street, Chicago, Illinois 60602, or to any branch office of the Company.

## 6. This Policy is Not Transferable.

## SCHEDULE A

1 GF NUMBER	2 POLICY NUMBER	3 DATE OF POLICY	4 AMOUNT OF INSURANCE
82 M 101646	44 903 50 101646	February 1, 1982	\$100,000.00

Name of Insured:

City of Addison

1. The estate or interest in the land insured by this policy is:

Fee Simple

2. The land referred to in this policy is described as follows:

BEING LOT 7 in BLOCK B of BELTWOOD NORTH ADDITION, PHASE II, an Addition to the City of Dallas, Texas, according to the Map thereof, recorded in Volume 78201, Page 0001, Map Records, Dallas County, Texas.

## SCHEDULE B


**Owner Policy Number:** 44 903 50 101646

**G.F. Number:** 82 M 101646

This policy is subject to the Conditions and Stipulations hereof, the terms and conditions of the leases or easements insured, if any, shown in Schedule A, and to the following matters which are additional exceptions from the coverage of this policy:

1. Restrictive covenants affecting the land described or referred to above.
2. Any discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments, or any overlapping of improvements.
3. Taxes for the year 19 82 and subsequent years, and subsequent assessments for prior years due to change in land usage or ownership.
4. The following lien(s) and all terms, provisions and conditions of the instrument(s) creating or evidencing said lien(s):  
  
None
5. Drainage easement along westerly line of lot per recorded map (30 ft. wide except at most southerly part of lot where it becomes wider.)
6. Easement in instrument dated November 24, 1937, filed December 10, 1937, recorded in Volume 2047, Page 328, Deed Records, Dallas County, Texas, for electrical lines, etc., and right-of-way from Beatrice Wells, et al, to Texas Power and Light Company.
7. Rights of Parties in Possession.

Countersigned

  
Authorized Signatory

Schedule B of this Policy consists of 1 pages.

CHICAGO TITLE INSURANCE COMPANY

PL97107240( A2)

Tract C

STATE OF TEXAS §  
COUNTY OF DALLAS §

After Recording Return To:  
Robert G. Buchanan, Jr.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**DEED WITHOUT WARRANTY**  
(Chester)

**21521**

Deed 01/23/98 827541 \$15.00

DATE: December 18, 1997

GRANTOR: Bob Chester and William F. Chester

**GRANTOR'S MAILING ADDRESS (INCLUDING COUNTY):**

3912 Fairlakes Drive  
Dallas, Texas 75228 (Dallas County)

GRANTEE: Town of Addison, Texas

**GRANTEE'S MAILING ADDRESS (INCLUDING COUNTY):**

5300 Belt Line Road  
Addison, Dallas County, Texas 75001

**CONSIDERATION:**

Two Hundred Ten Thousand Five Hundred and No/100 Dollars (\$210,500.00),  
the receipt and sufficiency of which is hereby acknowledged.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

The property described in Exhibit "A" attached hereto and incorporated herein by  
reference.

**RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:**

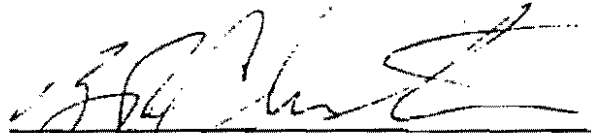
All presently valid and effective easements, rights-of-way, and prescriptive rights,  
whether of record or not; all presently recorded and validly existing restrictions,  
reservations, covenants, conditions, oil and gas leases, mineral severances, and  
other instruments that affect the Property.

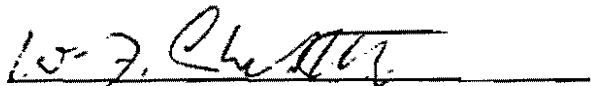
Grantor, for the consideration described above and subject to the reservations from and  
exceptions to conveyance and warranty, grants, sell, and conveys to Grantee the Property,  
together with all and singular the rights and appurtenances thereto in any wise belonging, to have

and hold it to Grantee, Grantee's heirs, successors or assigns forever, without express or implied warranty; and all warranties that might arise by common law and the warranties in Section 5.023 of the Texas Property Code (or its successor) are excluded.

When the context requires, singular nouns and pronouns include the plural.

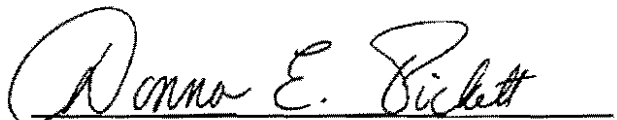
**EXECUTED** effective as of (but not necessarily on) the date first above written.

  
\_\_\_\_\_  
Bob Chester

  
\_\_\_\_\_  
William F. Chester

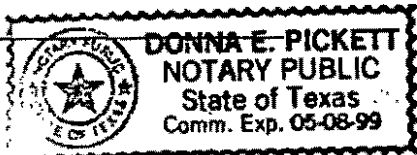
STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

This instrument was acknowledged before me by Bob Chester on the 18<sup>th</sup> day of December, 1997.

  
\_\_\_\_\_  
Notary Public,  
State of Texas

My Commission Expires:

DONNA E. PICKETT  
\_\_\_\_\_  
Printed or Typed Name of  
Notary



STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

This instrument was acknowledged before me by William F. Chester on the 18<sup>th</sup> day  
of December, 1997.

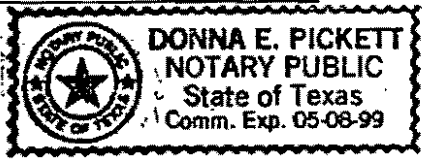
*Donna E. Pickett*

Notary Public,  
State of Texas

My Commission Expires:

DONNA E. PICKETT

Printed or Typed Name of  
Notary



**EXHIBIT "A"**

BEING a tract of land located in the George Syms Survey, Abstract No. 1344, Town of Addison, Dallas County, Texas, conveyed to Bob Chester and William F. Chester, by a deed now of record in Volume 84216, Page 3066 of the Map Records of Dallas County, Texas, said tract of land being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for corner, said rod bears S 89°59'22.3" W a distance of 30.00 feet from an "X" set in the centerline of Dooley Road, said rod also being at the southeast corner of said Chester tract, said rod also being in the west right-of-way line of Dooley Road, a 60 foot right-of-way;

THENCE, S 89°59'22.3" W, along the south line of said Chester tract, a distance of 208.10 feet to a 1/2 inch iron rod set for corner, said rod also being at the southwest corner of said Chester tract;

THENCE, Due North, along the west line of said Chester tract, a distance of 313.10 feet to a 1/2 inch iron rod set for corner, said rod also being at the northwest corner of said Chester tract;

THENCE, Due East, along the north line of said Chester tract, a distance of 208.10 feet to a 1/2 inch iron rod set for corner, said rod also being at the northeast corner of said Chester tract, said rod also being in the west right-of-way line of Dooley Road;

THENCE, Due South, along the east line of said Chester tract and along said west right-of-way line of Dooley Road, a distance of 313.06 feet to Point of Beginning and containing 65,152.15 square feet of land.

98015 02146

FILED  
98 JAN 22 PM 3: 55  
EARL BULLOCK  
COUNTY CLERK  
DALLAS COUNTY

Any provision herein which restricts the sale, rental, or use of the described real property because of color or race is invalid and unenforceable under federal law.

STATE OF TEXAS COUNTY OF DALLAS  
I hereby certify this instrument was filed on the date and time stamped hereon by me and was duly recorded in the volume and page of the named records of Dallas County, Texas as stamped hereon by me.

JAN 23 1998



*Earl Bullock*  
COUNTY CLERK, Dallas County, Texas



HFTC GF#R971106728  
FF# 15.00

Tract D

STATE OF TEXAS §  
  §  
COUNTY OF DALLAS §

After Recording Return To:  
Robert G. Buchanan, Jr.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

COUNTY CLERK'S MEMO  
PORTIONS OF THIS  
DOCUMENT NOT  
REPRODUCIBLE  
WHEN RECORDED

**SPECIAL WARRANTY DEED**

**2170239**

11/06/97      732546      \$15.00  
Deed

**DATE:**      September 29, 1997

**GRANTOR:** Protecta-Cab, Inc., a Texas corporation

**GRANTOR'S MAILING ADDRESS (INCLUDING COUNTY):**

15280 Addison Road, Suite 300  
Dallas County  
Dallas, Texas 75248

**GRANTEE:** Town of Addison, Texas

**GRANTEE'S MAILING ADDRESS (INCLUDING COUNTY):**

5300 Belt Line Road  
Addison, Dallas County, Texas 75001

**CONSIDERATION:**

Two Hundred Twenty-Two Thousand Five Hundred and No/100 Dollars (\$222,500.00), the receipt and sufficiency of which is hereby acknowledged.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

The property described in Exhibit "A" attached hereto and incorporated herein by reference.

**RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:**

See Exhibit "B" attached hereto and incorporated herein by reference.

Grantor, for the consideration described above and subject to the reservations from and exceptions to conveyance and warranty, grants, sell, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs,

executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the reservations from and exceptions to conveyance and warranty, when the claim is by, through or under Grantor but not otherwise.

When the context requires, singular nouns and pronouns include the plural.

**EXECUTED** effective as of (but not necessarily on) the date first above written.

Protecta-Cab, Inc., a Texas corporation

By: *Daryl N. Snadon*  
Name: Daryl N. Snadon  
Title: Director

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

This instrument was acknowledged before me by Daryl N. Snadon,  
Director of Protecta-Cab, Inc., on behalf of said corporation on the 29th day  
of September, 1997.



*Dawndy Geren Flores*  
Notary Public,  
State of Texas

My Commission Expires:  
March 26, 2001

Dawndy Geren Flores  
Printed or Typed Name of  
Notary

EXHIBIT "A"

Being 1.498 acres of land located in the GEORGE SYMS SURVEY, ABSTRACT NO. 1344, City of Addison, Dallas County, Texas, and being all those certain tracts of land conveyed as Tract I and Tract II to American Federal Bank, F.S.B., according to the Substitute Trustee's Deed recorded in Volume 90160, Page 1555 of the Deed Records of Dallas County, Texas and more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found at the Southeast corner of said American Federal Bank Tract being the Northeast corner of Lot 1, Block 1, Kincaid Addition to the City of Addison, Dallas County, Texas, according to the Plat recorded in Volume 84087, Page 50 of the Map Records of Dallas County, Texas, lying in the West Right-of-Way line of Dooley Road (a 60-foot wide right-of-way) and lying by deed North 607.69 feet along said Right-of-Way line from its intersection with the North Right-of-Way line of Keller Springs Road (a 50-foot wide right-of-way);

THENCE West, 278.49 feet along the common boundary line between said American Federal Bank Tract and said Kincaid Addition to a 1/2 inch iron rod set at the Southwest corner of said American Federal Bank Tract;

THENCE North, 234.27 feet along the West boundary line of said American Federal Bank Tract to a 1/2 inch iron rod found at the Northwest corner thereof being the most Southerly Southwest corner of Lot 6, Block 8, Beltwood North, Phase 2, an addition to the City of Addison, Dallas County, Texas according to the Plat recorded in Volume 78201, Page 1 of the Map Records of Dallas County, Texas;

THENCE East, at 69.30 feet passing a 1/2 inch iron rod found at the Southeast corner of said Lot 6 and continuing in all a total distance of 278.49 feet along the North boundary line of said American Federal Bank Tract to a 1/2 inch iron rod set at the Northeast corner thereof, being the Southeast corner of Lot 2, Block A, Chester Addition to the City of Addison, Dallas County, Texas according to the plat recorded in Volume 84216, Page 3066 of the Map Records of Dallas County, Texas and lying the aforesaid West Right-of-Way line of Dooley Road;

THENCE South, 234.27 feet along the East boundary line of said American Federal Bank Tract with said Right-of-Way line to the PLACE OF BEGINNING, CONTAINING 1.498 acres (65,243 square feet) of land.

97217 01352

**EXHIBIT "B"**

1. Avigation Easement granted to the City of Carrollton by instrument dated March 30, 1974, executed by Myrtle Wakefield and recorded in Volume 74040, Page 1790, Deed Records of Dallas County, Texas.
2. Avigation Easement granted to the City of Carrollton by instrument dated March 30, 1974, executed by Pearlie Radford and recorded in Volume 74070, Page 1802, Deed Records of Dallas County, Texas.
3. Easement granted to the City of Addison by instrument dated September 7, 1983, executed by M. Katherine Ingle and Robert L. Ingle and recorded in Volume 83225, Page 1136, Deed Records of Dallas County, Texas.

49810 71226

FILED

97 NOV -5 PM 2:21

EARL BULLOCK  
COUNTY CLERK  
DALLAS COUNTY

Any provision herein which restricts the sale, rental, or use of the described real property because of color or race is invalid and unenforceable under federal law.

STATE OF TEXAS COUNTY OF DALLAS  
I hereby certify this instrument was filed on the date and time stamped hereon by me and was duly recorded in the volume and page of the named records of Dallas County, Texas as stamped hereon by me.

NOV 6 1997



*Earl Bullock*  
COUNTY CLERK, Dallas County, Texas



**LAND PARCEL DATA**

*Vol. 81150 Pg 1985*

TRACT NO.	OWNER	INTEREST	PROJECT NO./INST. OF TRANSFER	DALLAS CO. REC. DEED NO.	DATE	ACRES
A.1	ADDISON AIRPORT	FEE SIMPLE	ADAP# 5-48-0063-01	VOL. 77010 PG. 1391	9/21/76	250.0
A.2	ADDISON AIRPORT	FEE SIMPLE	ADAP# 5-48-0063-02	VOL. 77010 PG. 1391	9/21/76	96.0
A.3	ADDISON AIRPORT	FEE SIMPLE	ADAP# 5-48-0063-03	VOL. 77010 PG. 1391	9/21/76	14.2
A.4	ADDISON AIRPORT	FEE SIMPLE	ADAP# 5-48-0063-04	VOL. 77010 PG. 1391	9/21/76	4.14
B.1	ADDISON AIRPORT	FEE SIMPLE	ADAP# 5-48-0063-05	VOL. 91079 PG. 2687	5/9/80	1.0
B.2	ADDISON AIRPORT	FEE SIMPLE	ADAP# 5-48-0063-06	VOL. 82022 PG. 1211	1/15/78	2.69
C	WILLIAM CHESTER (ADDISON AIRPORT)	FEE SIMPLE (ACQUISITION PENDING)	APP# 5-48-0063-08-9610	9205 Pg 2143	12/18/77	1.5
D	PROTECT-A-CAB (ADDISON AIRPORT)	FEE SIMPLE (ACQUISITION PENDING)	APP# 5-48-0063-08-9610	9721 Pg 1352	12/29/77	1.5
						TOTAL FEE SIMPLE APPROX. 371.03
E.1 (*)	1-18-0001 METRO BRICK	FUTURE AVIGATION EASEMENT				19.01
	1-18-0002 CAR WASH PROPERTIES	FUTURE AVIGATION EASEMENT				1.57
	1-18-0003 CAR WASH PROPERTIES	FUTURE AVIGATION EASEMENT				1.87
	1-18-0004 SAM DORFMAN	FUTURE AVIGATION EASEMENT				2.981
	1-18-0005 SAM DORFMAN	FUTURE AVIGATION EASEMENT				0.315
	1-18-0006	FUTURE AVIGATION EASEMENT				0.378
	1-18-0007 FILLING STATION OF ADDISON	FUTURE AVIGATION EASEMENT				0.612
	1-18-0008 JAMES E. SAULS	FUTURE AVIGATION EASEMENT				0.775
	1-18-0009 GARTNER PLANO CO ET AL	FUTURE AVIGATION EASEMENT				1.048
	1-11-0017 BANKSTON & BANKSTON	FUTURE AVIGATION EASEMENT				3.5340
	1-11-0016 JOHNSON ELECTRIC	FUTURE AVIGATION EASEMENT				0.897
	1-12-0001	FUTURE AVIGATION EASEMENT				APPROX 0.1
	1-12-0002 WHITE ROCK MASONIC	FUTURE AVIGATION EASEMENT				0.379
	1-12-0003 ADDISON POST OFFICE JV	FUTURE AVIGATION EASEMENT				0.417
	1-12-0004 GEORGE KONDOIS	FUTURE AVIGATION EASEMENT				0.6126
	1-17-0001 ADDISON SOUTHWEST LTD	FUTURE AVIGATION EASEMENT				24.6278
	1-17-0006 MARK A. ALBERT JR ET AL	FUTURE AVIGATION EASEMENT				0.913
	1-17-0008 QUORUM CENTER LTD PS	FUTURE AVIGATION EASEMENT				1.7277
	1-24-0013 WORRELL INVESTMENTS	FUTURE AVIGATION EASEMENT				1.274
	1-24-0018 SHARON ANNE LAVINE	FUTURE AVIGATION EASEMENT				0.9587
	ROADWAY & RAILROAD EASEMENTS	FUTURE AVIGATION EASEMENT				APPROX. 14.9
E.2 (**)	PROPERTY WITHIN CITY OF CARROLLTON	FUTURE AVIGATION EASEMENT				APPROX. 23.5
E.3 (**)	1-01-0040 VINCENT STAGLIANO	FUTURE AVIGATION EASEMENT				APPROX. 0.84
	1-01-0016 FM PROPERTIES	FUTURE AVIGATION EASEMENT				APPROX. 0.56

(\*) INFORMATION TAKEN FROM TOWN OF ADDISON PLAT MAPS. ACRES NOT INCLUDED IN FUTURE AIRPORT PROPERTY TOTAL.  
(\*\*) ACRES CALCULATED USING PHOTOGRAMMETRIC SURVEY DATA. ACTUAL EASEMENT SIZE AND LOCATION MAY VARY.

**FUTURE LAND PARCEL DATA**

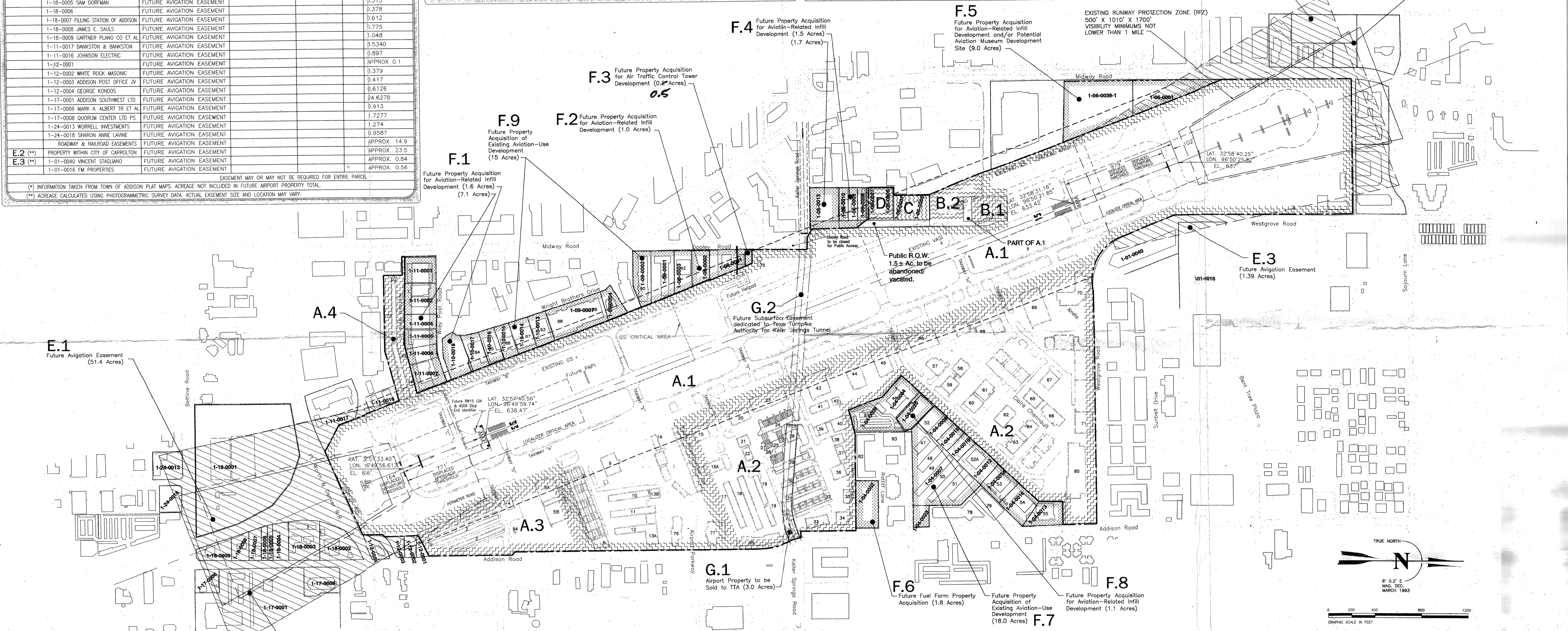
TRACT NO.	OWNER	INTEREST	PROJECT NO./INST. OF TRANSFER	DATE	ACRES
F.1	1-11-0001 FOREST WAY CORP.	FUTURE FEE SIMPLE			1.436
	1-11-0002, 0004 WILEY POST J.V.	FUTURE FEE SIMPLE			1.6, 0.8
	1-11-0005, 0006 LATASTE ENTERPRISE	FUTURE FEE SIMPLE			0.84, 0.82
	1-11-0007 MARY LOIS BUCE	FUTURE FEE SIMPLE			1.445
	1-10-0018 E. ALLEN STOCKTON	FUTURE FEE SIMPLE			1.51
F.2	1-08-0002 GEORGE KONDOIS	FUTURE FEE SIMPLE			0.9416
F.3	1-08-0001 GEORGE MARKOS	FUTURE FEE SIMPLE			APPROX. 0.5
F.4	1-06-0013 TEXAS TURNPIKE AUTHORITY	FUTURE FEE SIMPLE			1.7248
	1-06-0009, 0010 BILLY J. MULLINS JR.	FUTURE FEE SIMPLE			0.5002, 0.5020
	1-06-0008 ROY V. KINCAID JR.	FUTURE FEE SIMPLE			0.5000

**FUTURE LAND PARCEL DATA**

TRACT NO.	OWNER	INTEREST	PROJECT NO./INST. OF TRANSFER	DATE	ACRES
F.5	1-06-0039-1 S & B INVESTMENTS	FUTURE FEE SIMPLE			5.6424
	1-06-0001 BELTWOOD NORTH VENTURE	FUTURE FEE SIMPLE			2.7323
F.6	1-04-0002 ROBERT RUNDINE	FUTURE FEE SIMPLE			1.76

**REVISIONS**

No.	Date



**FUTURE LAND PARCEL DATA**

TRACT NO.	OWNER	INTEREST	PROJECT NO.	DATE	ACRES
F.7	1-04-0004 AIRPORT LAND DEVELOPMENT	FUTURE FEE SIMPLE			1.861
	1-04-0007 EDDINS ENTERPRISES	FUTURE FEE SIMPLE			4.8996
	1-04-0008 METROPORT REALTY	FUTURE FEE SIMPLE			2.9433
	1-04-0009 ADDISON LOCKERS	FUTURE FEE SIMPLE			1.85
	1-04-0012 HOME INTERIORS AND GIFTS	FUTURE FEE SIMPLE			1.20
	1-04-0013, ITEX ENVIRONMENTAL SVCS.	FUTURE FEE SIMPLE			1.3025
	1-04-0014 METROPORT REALTY	FUTURE FEE SIMPLE			1.0428
	1-04-0015 METROPORT REALTY	FUTURE FEE SIMPLE			0.61
	1-04-0016 EDDINS ENTERPRISES	FUTURE FEE SIMPLE			1.0624
	1-04-0019 CARTER CROWLEY PROPERTIES	FUTURE FEE SIMPLE			0.76
	1-04-0023 CARTER CROWLEY PROPERTIES	FUTURE FEE SIMPLE			0.6158

**FUTURE LAND PARCEL DATA**

TRACT NO.	OWNER	INTEREST	PROJECT NO.	DATE	ACRES
F.8	1-04-0020 AIRPORT LAND DEVELOPMENT	FUTURE FEE SIMPLE			1.11
F.9	1-10-0017 C. ALLEN STOCKTON	FUTURE FEE SIMPLE			1.189
	1-10-0016 C. SCOTT TWITCHELL	FUTURE FEE SIMPLE			0.976
	1-10-0015 C. KEITH THOMPSON	FUTURE FEE SIMPLE			0.889
	1-10-0014 H. G. WESTERMAN	FUTURE FEE SIMPLE			1.04
	1-10-0013 BARRY REYNOLDS WILLIAMS	FUTURE FEE SIMPLE			1.001
	1-10-0005, 6, 7 J & R JOINT VENTURE	FUTURE FEE SIMPLE			2.842
	1-09-0004 SANDY CLARK	FUTURE FEE SIMPLE			0.8581
	1-09-0002 CHARLES W. CULWELL	FUTURE FEE SIMPLE			1.704
	1-09-0001 JOHN MAC JOINT VENTURE	FUTURE FEE SIMPLE			1.584
	1-08-0003 BELTWAY DEVELOPMENT	FUTURE FEE SIMPLE			1.1372
	1-08-0001 GEORGE MARKOS	FUTURE FEE SIMPLE			1.5637
					FUTURE TOTAL 423.577
G.1 (***)	ADDISON AIRPORT	TO BE RELENTED TO TIA			APPROX. 3.0
G.2 (***)	ADDISON AIRPORT	SUBSURFACE EASEMENT			APPROX. 4.5

(\*\*\*) ACRES TAKEN FROM ADDISON AIRPORT TUNNEL PLANS BY TEXAS TURNPIKE AUTHORITY.

**AIRPORT DATA**

ITEM	EXISTING	FUTURE
AIRPORT ELEVATION (AMSL)	644'	644'
AIRPORT REFERENCE POINT (ARP)	LAT. 32° 58' 08.81" N LONG. 96° 50' 11.21" W	LAT. 32° 58' 08.81" N LONG. 96° 50' 11.21" W
MEAN MAX. TEMP. HOTTEST MONTH	96.1°F	96.1°F
AIRPORT PROPERTY (ACRES)	368	424
INCOM (MHz)	122.950	122.950
PIPA CATEGORY	RELEVER	RELEVER
CONTROL TOWER (MHz)	126.0	126.0

**LAYOUT PLAN LEGEND**

ITEM	EXISTING	FUTURE
BUILDING RESTRICTION LINE	BSL	BL
AIRPORT PROPERTY LINE	APL	APL
FENCE	F	F
AVIGATION EASEMENT	AE	AE
RUNWAY PROTECTION ZONE	RPZ	RPZ
BUILDINGS	B	B
AIRFIELD PAVEMENT	AP	AP
FUEL STORAGE	FS	FS
ROTATING BEACON	RB	RB
LIGHTED WIND CONE & SEGMENTED CIRCLE	WC	WC
PRECISION APPROACH PATH INDICATOR (PAPI)	PAPI	PAPI
RUNWAY END IDENTIFIER LIGHTS (REILS)	REILS	REILS
VISUAL APPROACH SLOPE INDICATOR (VASI)	VASI	VASI
THRESHOLD LIGHTS (DISPLACED THRESHOLD LIGHTS)	TL	TL
HELICOPTER TOUCHDOWN AND LIFT-OFF AREA (TLOF)	TLOF	TLOF
WINDCONE	W	W

NOTE: 1. THIS DRAWING SHOULD NOT BE USED AS A STANDARD FOR PLANNING OR DESIGN.  
2. BASE MAP PROVIDED BY AERIAL DATA SERVICE, TULSA, OKLAHOMA (SEPT. 1995).  
3. MAGNETIC DECLINATION TAKEN FROM 1993 AIRPORT LAYOUT PLAN BY GREENER, INC., FORT WORTH, TEXAS.  
4. HORIZONTAL COORDINATE DATUM IS BASED ON NAD83.  
5. RUNWAY THRESHOLD LAT/LONG INFORMATION TAKEN FROM 00 768 ADDISON AIRPORT, DALLAS, TEXAS (DEC. 1993).  
6. RUNWAY PAVEMENT END LAT/LONG INFORMATION CALCULATED USING "GEODES V2.32" COMPUTER PROGRAM.  
7. REFER TO RUNWAY PROTECTION ZONE (RPZ) PLAN & PROFILE DRAWINGS FOR ROADWAY/RAILROAD CLEARANCE INFORMATION.

**ADDISON AIRPORT**  
ADDISON, TEXAS

**AIRPORT PROPERTY MAP**  
**EXHIBIT 'A'**

**Barnard Dunkelberg & Company**  
Tulsa, Oklahoma

FIGURE NUMBER  
METRIC SCALE  
SCALE  
1" = 400'  
DATE  
NOVEMBER, 1997  
DRAWING NUMBER  
12 OF 12

*John Do you have this vol/pg?*