

SPECTRUM DRIVE N/S  
EXTENSION :

**2**

# **SUBMITTAL**

**SPECTRUM DRIVE**  
**NORTH / SOUTH EXTENSION**  
**TOWN OD ADDISON**

***ELECTRICAL DUCT BANK***

**SITE CONCRETE, INC.**  
**3340 ROY ORR BLVD.**  
**GRANS PRAIAIRE, TX 75050**



**DESIGN CRITERIA FOR UNDERGROUND PRECAST CONCRETE STRUCTURES**

**MATERIALS**

<b>General Description</b>		
- Compressive Strength		5,000 P.S.I
- Cement, unless otherwise specified by the project shall be		TYPE I OR III
- Reinforcing Steel is Grade 60 with yield strength		60,000 P.S.

**BATCH DESIGN:**  
(1 cubic yard)

- Cement		600	Lbs.
- Fly Ash, Typ. C		50	Lbs.
- Sand		1286	Lbs.
- 1" Limestone		1033	Lbs.
- Water		29.4	Gals.
- Pea Gravel		689	Lbs.
- PSA232, SUPER P	(Masterbuilders/Superplasticizer)	117	Oz.
-POZZOLITH NC534	(Masterbuilders/Water-Reducer)	117	Oz.
-AE90	(Masterbuilders/Air Intrainment)	14	Oz.

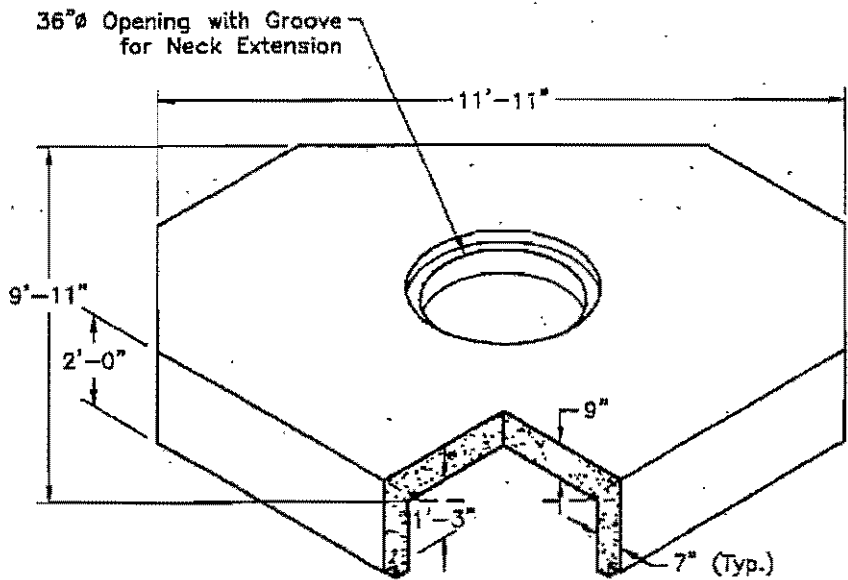
**SPECIFICATIONS:**

-Specifications for Deformed and Plain Steel Bars for Concrete Reinforcement . . .	ASTM A706
-Specifications for Concrete Aggregates	ASTM C39
-Test Method for Compressive Strength of Cylindrical Concrete Specimens	ASTM C39
-Method to Sieve Analysis for Fine and Coarse Aggregates	ASTM C136
-Test Method for slump of Portland Cement Concrete	ASTM C143
-Specification for Portland Cement	ASTM C150
-Method of Making and Curing Concrete Test Specimens in the Laboratory	ASTM C192
-Test Method of Air Content of Freshly-Mixed Concrete by the Pressure Method	ASTM C231
-Specification for Air-Entrainment Admixtures for Concrete	ASTM C260
-Specification for Chemical Admixtures for Concrete	ASTM C494
-Recommended Practice for Minimum Structural Design Loading for Underground Precast Concrete Utility Structures	ASTM C857
-Specification for Underground Precast Concrete Utility Structures	ASTM C858
-Specification for Design of Concrete using Ultimate Strength Methods	ACI 318

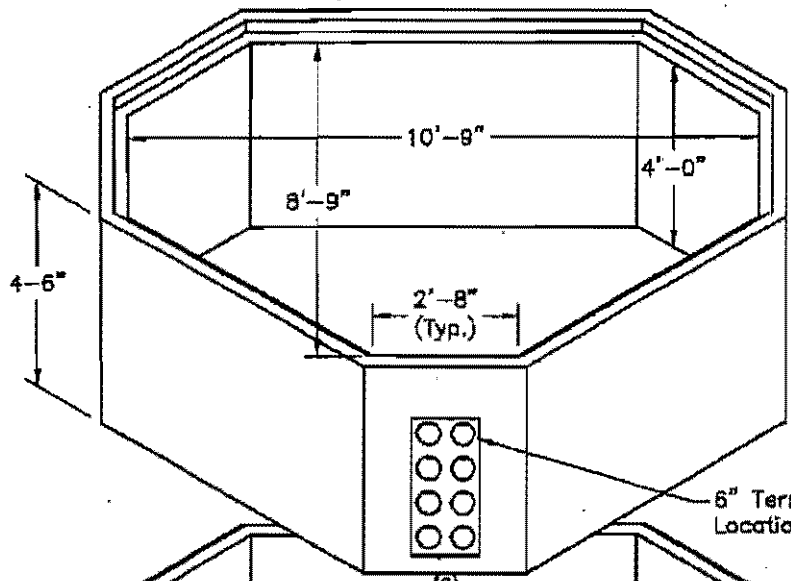
**LOADINGS:**

<b>Design Loading:</b>		
-Axle Load:		HS-20-44 W / impact
-Wheel Load:	16	Kips
-Soil Weight	120	Pcf.
-Lateral Soil Pressure:		
1. Dry Soil =	40	Pcf.
2. Saturated Soil =	80	Pcf.
-Lateral Live Load Surcharge: (Depth of 8.0 Ft.)	80	Pcf.
-Soil Cover:		
Min. =	2.0	Ft.
Max. =	5.0	Ft.
-Assumed Water Table =	3.0	Ft.

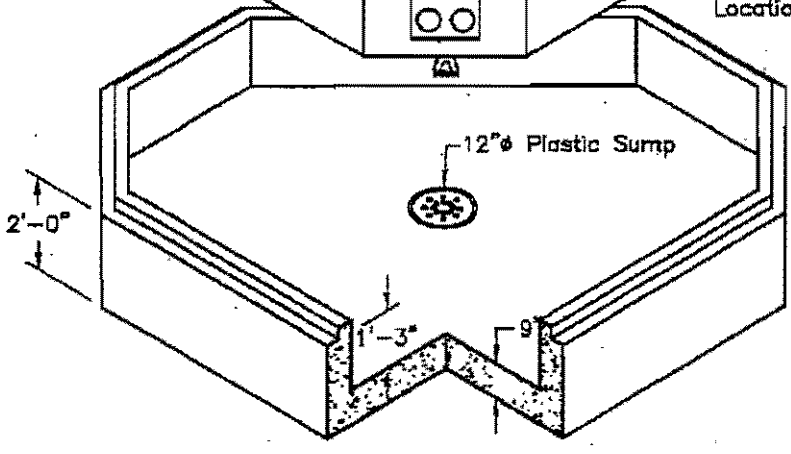
Note: Upon request, Oldcastle Precast will furnish copies of any raw-material certifications that are required to prove compliance with the above referenced specifications.



**15" Top**  
 Weight - 13,775 Lbs.  
 Item# - 1005120



**54" Extension**  
 Weight - 12,575 Lbs.  
 Item# - 1005100



**15" Bottom**  
 Weight - 14,500 Lbs.  
 Item# - 1005140

SCALE: NONE



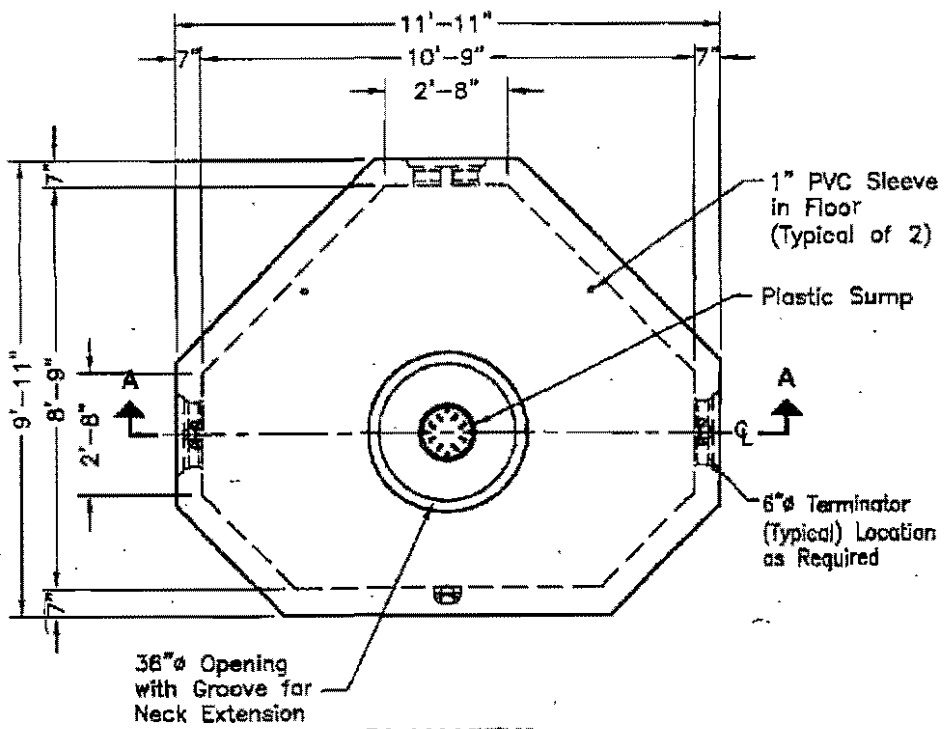
1100 Heritage Parkway, Mansfield, Texas 76063  
 Phone: 817.453.1054 Fax: 817.453.4007

**3-WAY-MH-3P**

FILE NAME: 260UEE3-WAY-MH-3P\_F.dwg  
 ISSUE DATE: January, 2003  
[www.oldcastleprecast.com](http://www.oldcastleprecast.com)

**8'-9" x 10'-9" x 7'-0" I.D.**  
**3-Way Octagonal Manhole**  
**3 Piece**

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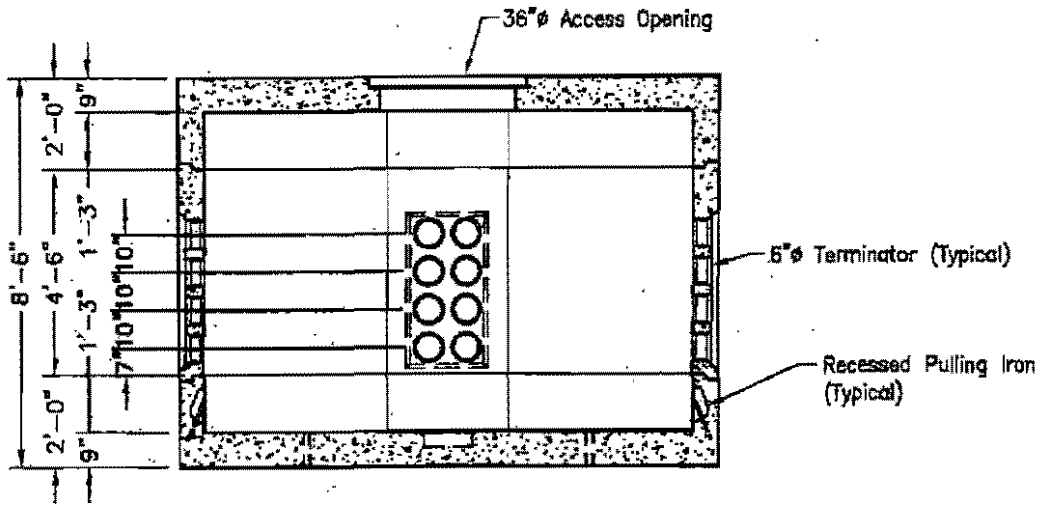
**PLAN VIEW**

**SPECIFICATIONS:**

1. Concrete: Has a Design Strength of 5,000 psi at 28 Days.
2. Steel Reinforcement: ASTM A-615, Grade 60.
3. Loading: Designed for H20 Loading.
4. C.I. Castings: ASTM A48, Class 30/35.


**GENERAL NOTES:**

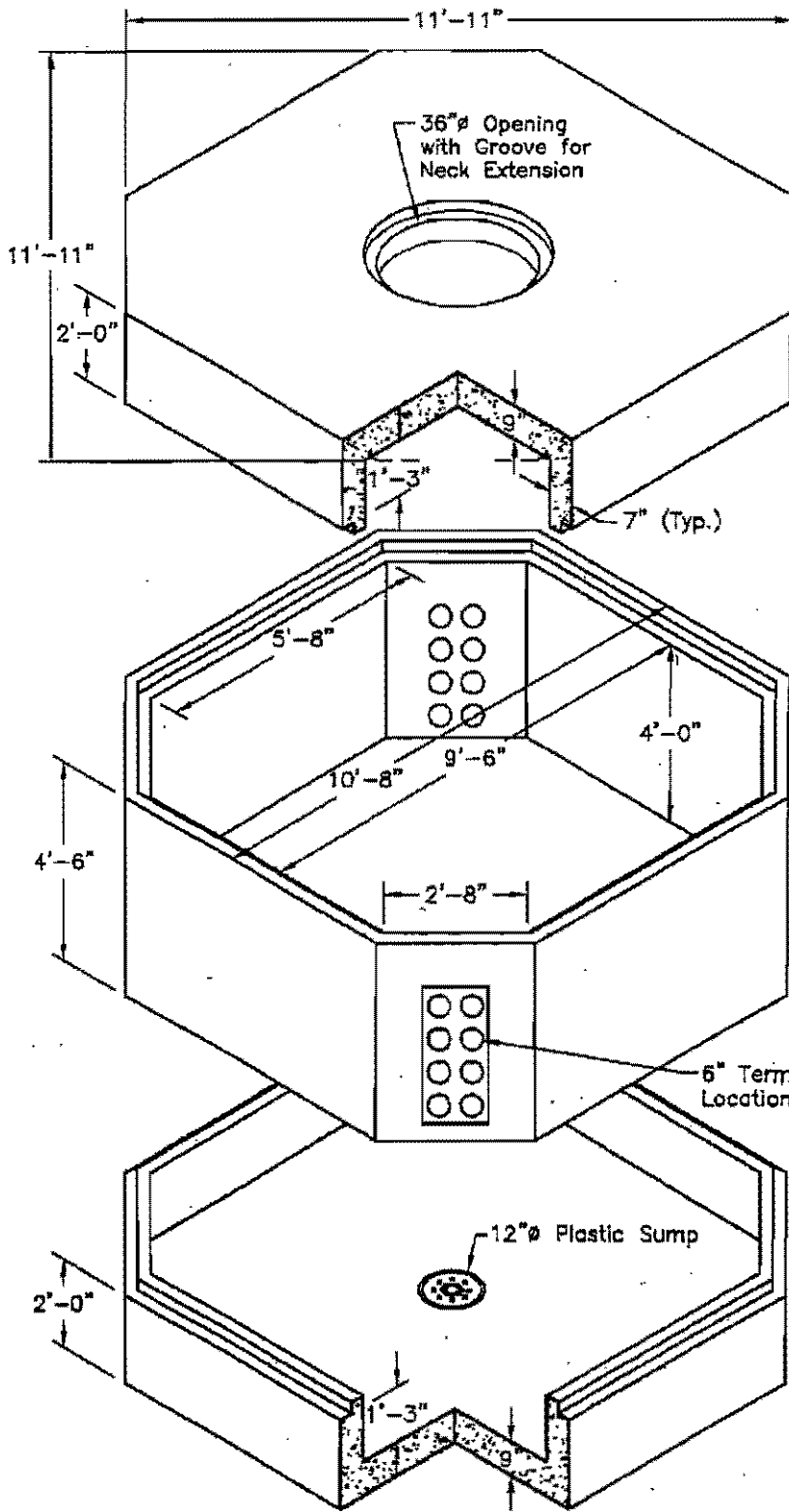
1. Special Knockouts, Pulling Irons and Terminators per Customer Specifications.



**SECTION A-A**

SCALE: 1/4" = 1'-0"

 <p>1100 Heritage Parkway, Mansfield, Texas 76083 Phone: 817.453.1054 Fax: 817.453.4007</p>	<b>3-WAY-MH-3P</b>	<b>8'-9" x 10'-9" x 7'-0" I.D.</b> <b>3-Way Octagonal Manhole</b> <b>3 Piece</b>
	FILE NAME: 260UEE3-WAY-MH-3P_B.dwg	
	ISSUE DATE: January, 2003	
	<a href="http://www.oldcastleprecast.com">www.oldcastleprecast.com</a>	
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**15" Top**

Weight - 14,650 Lbs.  
Item# - 1005260

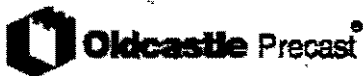
**54" Extension**

Weight - 13,400 Lbs.  
Item# - 1005220

**15" Bottom**

Weight - 15,525 Lbs.  
Item# - 1005240

SCALE: NONE



1100 Heritage Parkway, Mansfield, Texas 76063  
Phone: 817.453.1054 Fax: 817.453.4007

**4-WAY-MH-3P**

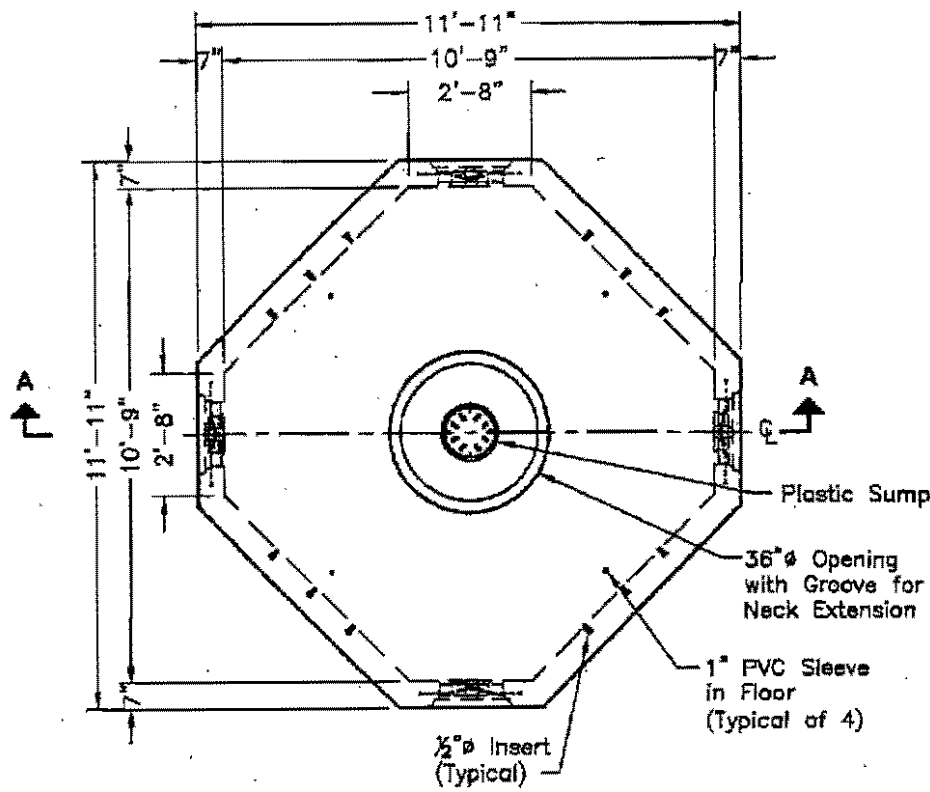
FILE NAME: 260UEE4-WAY-MH-3P\_F.dwg

ISSUE DATE: January, 2003

[www.oldcastleprecast.com](http://www.oldcastleprecast.com)

**10'-9" x 10'-9" x 7'-0" I.D.  
4-Way Octagonal Manhole  
3 Piece**

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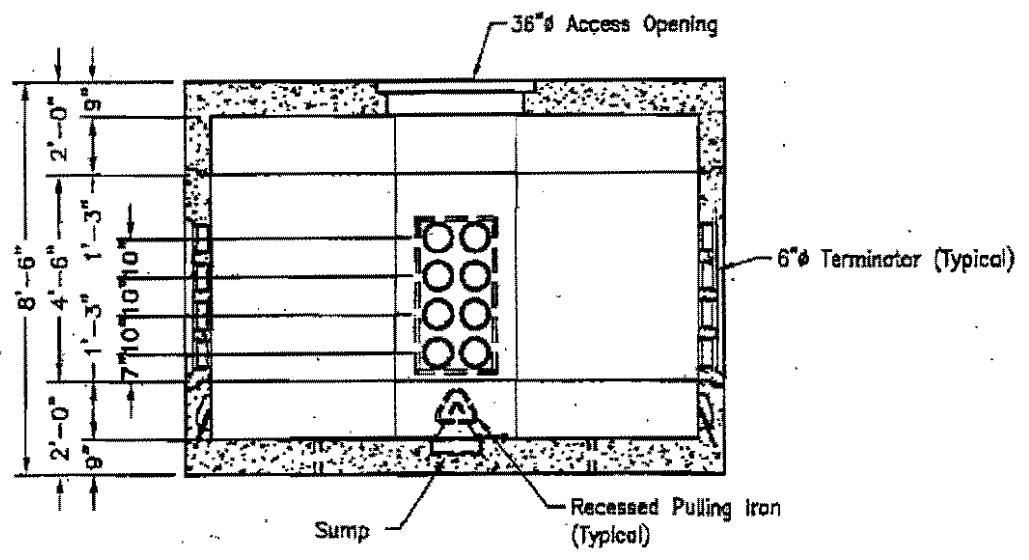
**PLAN VIEW**

**SPECIFICATIONS:**

1. Concrete: Has a Design Strength of 5,000 psi at 28 Days.
2. Steel Reinforcement: ASTM A-615, Grade 60.
3. Loading: Designed for H20 Loading.
4. C.I. Castings: ASTM A48, Class 30/35.


**GENERAL NOTES:**

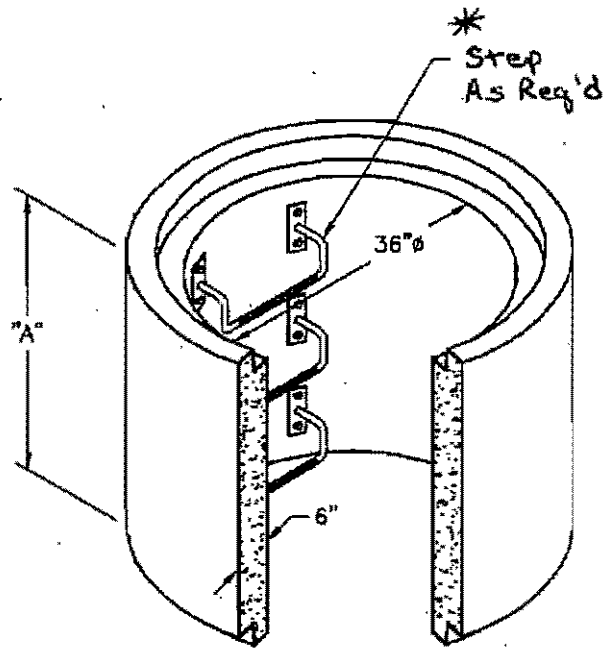
1. Special Knockouts, Pulling Irons and Terminators per Customer Specifications.



**SECTION A-A**

SCALE: 1/4"=1'-0"

 <p>1100 Heritage Parkway, Mansfield, Texas 76063 Phone: 817.453.1054 Fax: 817.453.4007</p>	<b>4-WAY-MH-3P</b>	<b>10'-9" x 10'-9" x 7'-0" I.D. 4-Way Octagonal Manhole 3 Piece</b>
	FILE NAME: 260UEE4-WAY-MH-3P_B.dwg	
	ISSUE DATE: January, 2003	
	<a href="http://www.oldcastleprecast.com">www.oldcastleprecast.com</a>	
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### 36" Dia. Neck Extension

Weight — See Table  
Item# — See Table

\* Oncon does not use steps for most installations.

SCALE: 1/2"=1'-0"



1100 Heritage Parkway, Mansfield, Texas 76063  
Phone: 817.453.1054 Fax: 817.453.4007

### NECKRING

FILE NAME: 260UAANECKRING-F.dwg

ISSUE DATE: January, 2003

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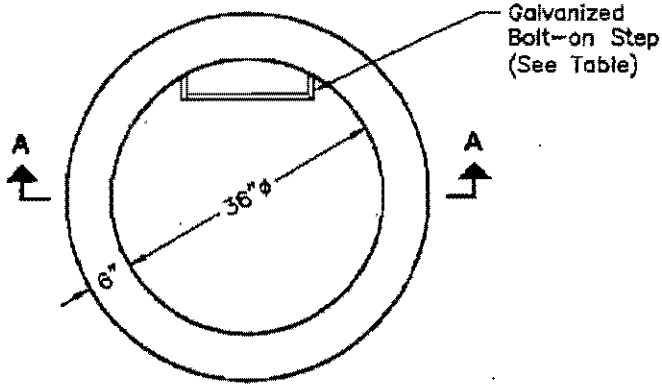
### 36" Diameter Neck Ring Extension

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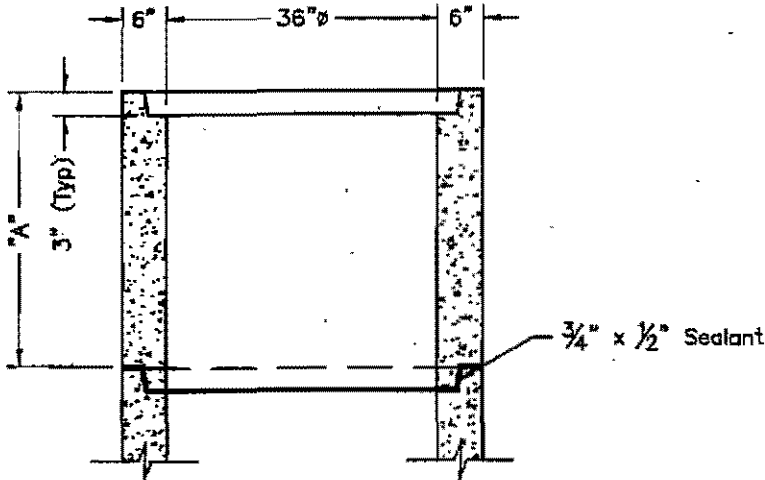


**SPECIFICATIONS:**

1. Concrete: Has a Design Strength of 5,000 psi at 28 Days.
2. Steel Reinforcement: ASTM A-185.
3. Loading: Designed for H20 Loading.
4. C.I. Castings: ASTM A48, Class 30/35.



**PLAN VIEW**



**SECTION A-A**

Neck Data			
"A"	Weight	Item#	No. of Steps
6	400	1102220	0
12	825	1102260	1
18	1225	1102320	2
24	1650	1102360	2
30	2050	1102400	2
36	2475	1102420	3

SCALE: 1/2"=1'-0"



1100 Heritage Parkway, Mansfield, Texas 76063  
Phone: 817.453.1054 Fax: 817.453.4007

**NECKRING**

FILE NAME: 260UAANECKRING-B.dwg

ISSUE DATE: January, 2003

[www.oldcastleprecast.com](http://www.oldcastleprecast.com)

**36" Diameter  
Neck Ring Extension**

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**EAST JORDAN  
IRON WORKS, INC.**  
P.O. BOX 439  
EAST JORDAN, MI. 49727  
1-800-874-4100  
FAX 231-536-4458

DRAWN  
SMH

DATE  
01/07/03

APPROVED

DATE

**COVER**

PRODUCT NO.

**41600585**

CATALOG NO.

**V1600-5**

REF. PRODUCT DRAWING

41600585

EST. WT.

COVER: 365 LBS 166kg

OPEN AREA

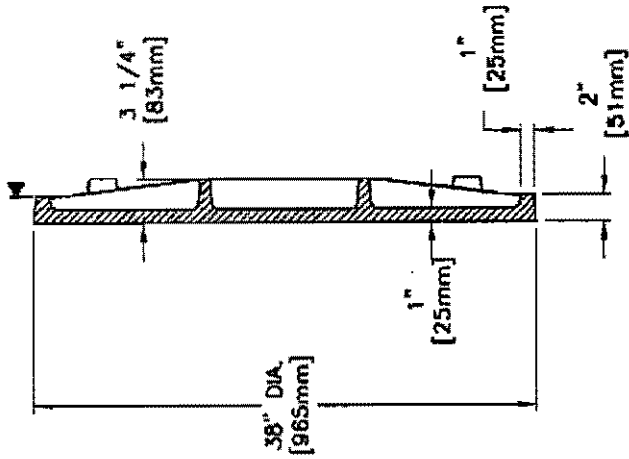
N/A

MAT'L SPEC.

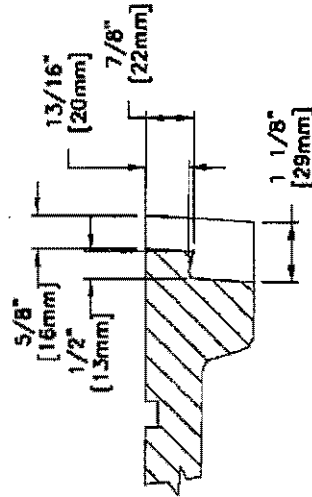
COVER- GRAY IRON  
ASTM A48 CL35B

LOAD RATING

**HEAVY DUTY**

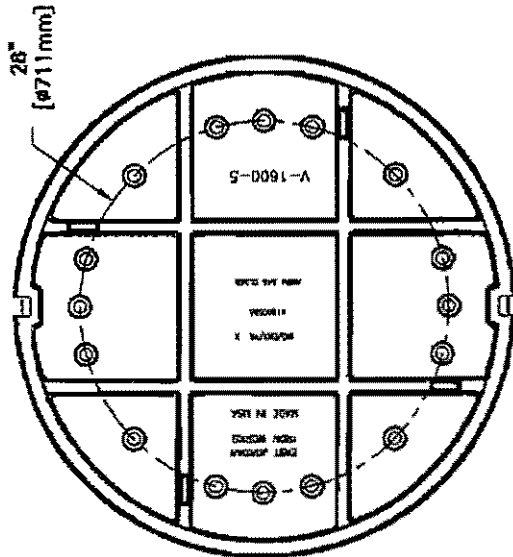


**COVER SECTION**



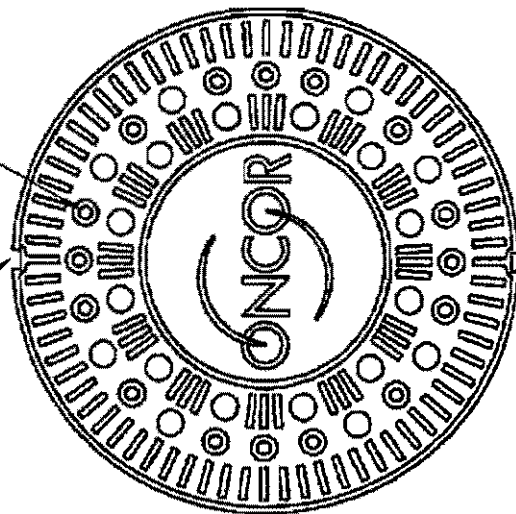
**LIFTING EYE DETAIL  
TWO PLACES**

▼ MACHINED BEARING SURFACE

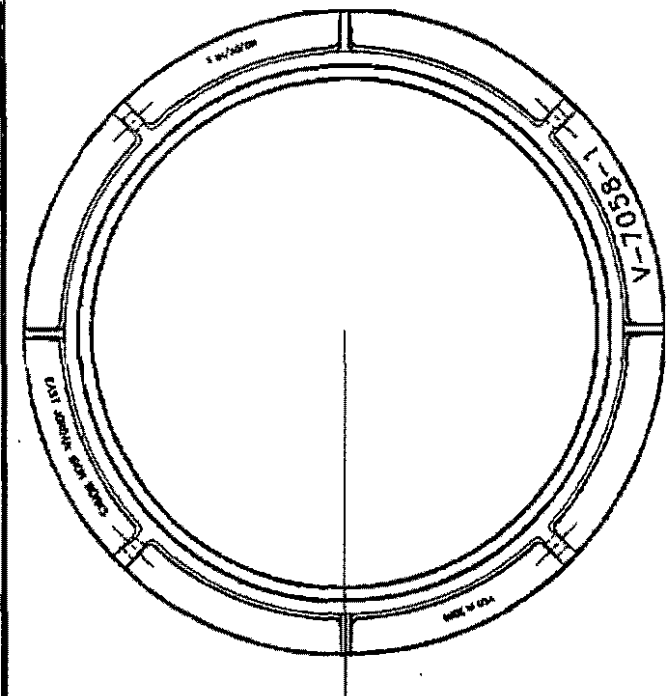


**COVER BACK**

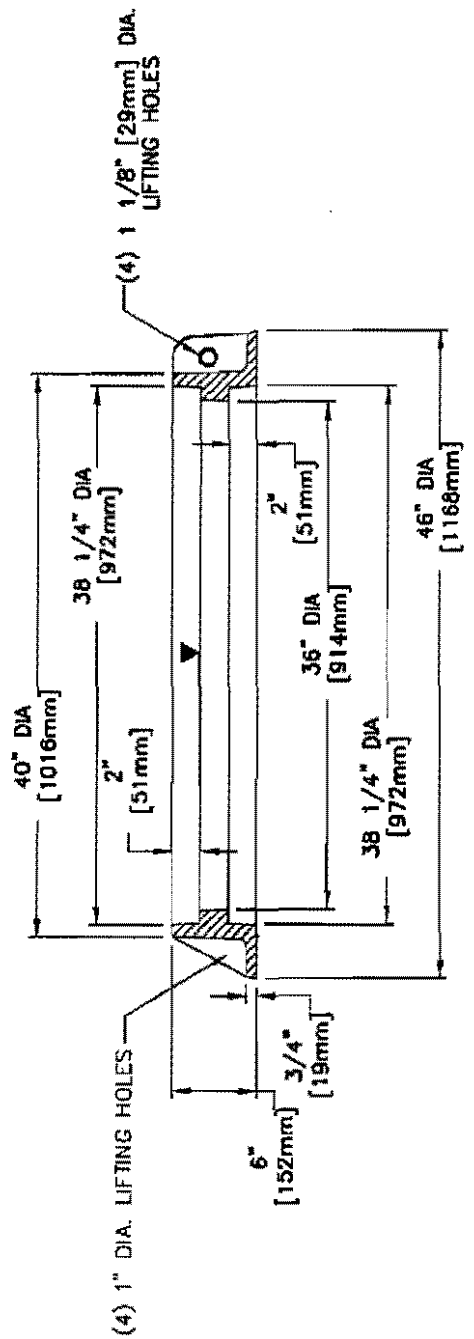
(16) 1" Ø VENT HOLES



**COVER FACE**



FRAME TOP VIEW



FRAME SECTION

▼ MACHINED BEARING SURFACE

EAST JORDAN IRON WORKS, INC. P.O. BOX 439 EAST JORDAN, MI. 49727 1-800-874-4100 FAX 231-536-4458	
DRAWN JJK/DAL	DATE 09/6/00
APPROVED	DATE
V7058-1 FRAME	
PRODUCT NO. <b>47058110</b>	
CATALOG NO. <b>V7058-1</b>	
REF. PRODUCT DRAWING N/A	
EST. WT. FRAME: 338LBS 154kg	
OPEN AREA N/A	
MAT'L SPEC. FRAME - GRAY IRON ASTM A48 CL35	
LOAD RATING HEAVY DUTY	

**UTILITY DUCT TC 6 - 500,000 psi modulus**

Type EB20 complies with federal and military specifications by conforming to UL 651A.  
 Conforms to NEMA TC 6 and ASTM F-512  
 Rated for 90° C Cable  
 20' Lengths Bell End

**Type DBHM-60 (Direct Burial)**

PART NO.	SIZE	O.D.	I.D.	MIN. WALL	APPROX. WT/FT	FEET PER PACK	PRICE PER 100
A79CA42	2	2.375	2.255	.060	.337	2800	32.24
A79DA42	3	3.500	3.316	.092	.734	1760	69.20
A79EA42	4	4.500	4.258	.121	1.218	1140	108.20
A79FA42	5	5.563	5.259	.152	1.846	760	167.00
A79GA42	6	6.625	6.261	.182	2.634	520	238.00

**Type EBHM-20 (Encasement Burial)**

PART NO.	SIZE	O.D.	I.D.	MIN. WALL	APPROX. WT/FT	FEET PER PACK	PRICE PER 100
A77CA42	2	2.375	2.255	.060	.337	2800	32.24
A77DA42	3	3.500	3.378	.061	.547	1760	48.62
A77EA42	4	4.500	4.336	.082	.901	1140	80.96
A77FA42	5	5.563	5.357	.103	1.397	760	122.85
A77GA42	6	6.625	6.375	.125	1.969	520	173.15

**UTILITY DUCT ASTM F-512 - 500,000 psi modulus**

Conforms to ASTM F-512  
 Rated for 90° C Cable  
 20' Lengths - Bell End

**Type DB-100 HM (Direct Burial)**

PART NO.	SIZE	O.D.	I.D.	MIN. WALL	APPROX. WT/FT	FEET PER PACK	PRICE PER 100
A72DA42	3	3.500	3.276	.112	.853	1760	80.35
A72EA42	4	4.500	4.210	.145	1.419	1140	126.29
A72FA42	5	5.553	5.205	.179	2.165	760	195.72
A72GA42	6	6.625	6.199	.213	3.070	520	274.95

Note: Content of this sheet subject to change without notice.

CANTEX INC. P.O. Box 340 Mineral Wells, Texas 76068 940-325-3344 FAX 940-325-4644

# CONDUIT INSTALLATION GUIDELINES

## 7.0 Direct burial:

- 7.1 Trench width: Trench width at the ground level may vary depending on soil types, equipment used, position of surface structures, etc. Where compacting of the initial backfill is required, the trench should be a minimum of 5 pipe diameters. In very wide trenches, subditching should be considered to provide maximum side support for the conduit. Shoring or trench boxes should be used for workman protection in loose soil or very deep trenches.
- 7.2 Trench bottom: The trench bottom should be constructed to provide a firm, stable and uniform support for the conduit for the full lengths of the conduit. Unless specified, line and grade is not required provided that the conduit will conform to the trench bottom and bending does not exceed the values given in Sec. 3.7. Large rocks and boulders, frozen lumps of soil, large lumps of clay, etc. should be removed before the conduit is installed. Rocky or uneven trench bottoms should be bedded with loose backfill or sand to provide a soft, even cushion for the conduit.
- 7.3 Initial backfill: Initial backfill should be dry and free flowing and contain rock not to exceed 1" in diameter. Initial backfill should be applied in light layers of 3" to 6" and spread uniformly. Tamping should be done layer by layer of initial backfill up to the springline of the conduit. In multiple conduit installations, the initial backfill should be worked carefully between the ducts and under the haunches. Tamping should be done between the edges of the ditch over to the springline of the conduit, but no tamping should be done over the top of the conduit. Initial backfill should be placed loosely over the top of the conduit to a depth of 6". All compaction by either tamping or flooding should be completed before the final backfill is placed.
- 7.4 Final backfill: After placement and compaction of conduit embedment materials, the balance of backfill materials may be machine placed and should contain no large rocks or stones, frozen material, or other debris. Proper compaction procedures should be exercised to provide required soil densities.

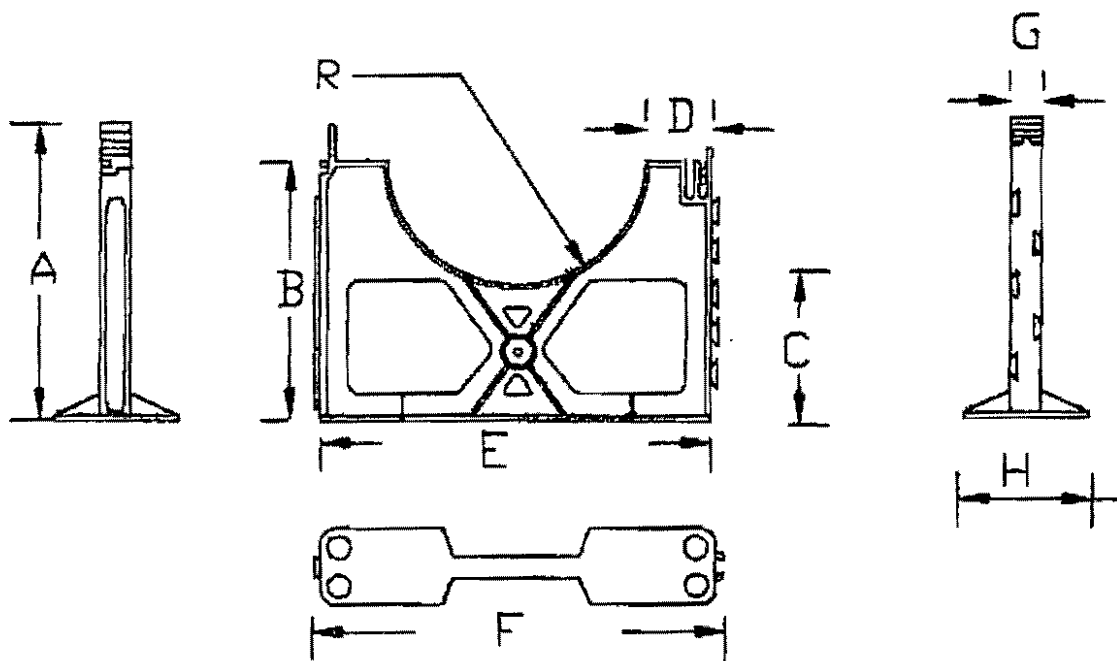
## 8.0 Concrete Encasement:

- 8.1 Tie and fasten all conduit to prevent floating. If concrete is required in the trench bottom, allow at least 2" freeboard between conduit and tie down equipment
- 8.2 Spacers, if used, should be spaced at the below intervals or less, according to the following schedule:

Conduit Size (In)	Spacing (ft)
1/2 - 2	4 - 6
3 - 3-1/2	5 - 8
4 - 8	6 - 10

A 1" minimum spacing should be allowed for all conduit and a concrete mix using pea gravel should be used for encasement. If complete encasement is required at areas requiring bends in making freeway or water crossings, use a 2" minimum spacing.

- 8.3 Coverage: Minimum concrete coverages should be 2" on top, bottom, and sides of conduit. Firm soil conditions may eliminate need for concrete at the trench bottom.
- 8.4 Backfilling: Backfilling can be done as soon as the concrete has cured to withstand the weight of a man.
- 8.5 Temperature considerations: The temperature rise of the concrete as it cures may cause some expansion of the conduit. Concrete should be poured from the center of the run toward each free end or from one tie-in point toward the free end of the conduit. Make permanent terminal tie-ins after the temperature has normalized.



Part Number	5336039	5336051	5336040	
Size X Spacing	6' X 1 1/2"	6' X 2'	6' X 3'	
A	7'	7'	7'	
B	6 3/8"	6 3/8"	6 3/8"	
C	3'	3'	3'	
D	3/4"	1"	1 1/2"	
E	8 1/4"	8 3/4"	9 3/4"	
F	8 1/2"	9'	10'	
G	1"	1"	1"	
H	3'	3'	3'	
R	3 3/8"	3 3/8"	3 3/8"	

CANTEX, INC.

Mineral Wells, Texas

6' Base Spacer

Drawn: TAW

Date: 10/07/02

# **SUBMITTAL**

**SPECTRUM DRIVE**  
**NORTH / SOUTH EXTENSION**  
**TOWN OF ADDISON**

**PREPARED FOR:**  
**SITE CONCRETE INC.**  
**P.O. BOX 154489**  
**IRVING, TX 75015**



**10077 W UNIVERSITY DR.**  
**MCKINNEY, TX 75050**  
**972-434-2600**

## **SPECTRUM DRIVE NORTH / SOUTH EXTENSION**

### **TABLE OF CONTENTS:**

- 1. WATER PIPE**
- 2. CASING SPACER**
- 3. GATE VALVE**
- 4. FIRE HYDRANT**
- 5. JOINT RESTRAINT**
- 6. MECHANICAL FITTING**
- 7. SERVICE MATERIAL**
- 8. SEWER PIPE**
- 9. SEWER FITTING**
- 10. CLEANOUT CASTING**
- 11. MANHOLE CASTING**



**WATER PIPE - DR18 CL150**

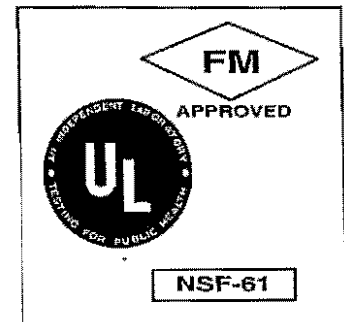
## TECHNICAL DATA

### AWWA C-900 PVC Water Pipe — Class 100, 150 & 200

#### NORTH AMERICAN PIPE PVC WATER PIPE — Class 100, 150, and 200

...is manufactured to meet the needs of modern municipal water distribution systems, fire prevention systems, and various industrial applications.

- The pipe conforms to AWWA Standard C-900 and is listed by the Underwriter's Laboratories for use as water mains and fire prevention systems, and is listed by the NSF International and approved by Factory Mutual (FM).
- It is manufactured to cast iron size O.D. making the pipe compatible with traditional piping materials used in municipal water systems.
- Each length of pipe is pressure tested at four (4) times its rated pressure.
- The North American Pipe Corporation Joint is the latest development in gasketed integral-bell PVC pipe. It will far surpass any other gasketed coupling system in the elimination of gasket roll-out (fishmouthing) during installation.



#### PRESSURE RATING AT 73.4°F

North American Pipe Corporation Class 100 Water Pipe is designed to operate at a service pressure of 100 psi. Each length, including the integral bell is hydrostatically tested at 400 psi. Class 150 Water Pipe is designed to operate at a service pressure of 150 psi. Each length, including the integral bell, is hydrostatically tested at 600 psi. Class 200 Water Pipe is designed to operate at a service pressure of 200 psi. Each length, including the integral bell, is hydrostatically tested at 800 psi. Class 100, 150, and 200 C-900 all have a surge allowance. Internal pressure and external loading criteria are outlined in AWWA C-900, Appendix A.

#### PIPE DIMENSIONS

Size (Inches)	Outside Diameter	Inside Diameter	Minimum Wall (E) Thickness	Weight Per Foot	Depth Of Entry (L) Dimension	Bell O.D.	Feet Per Unit
<b>DR 25 — Class 100</b>							
4	4.800	4.416	.192	1.846	4.25	6.10	960'
6	6.900	6.348	.276	3.831	5.25	8.25	560'
8	9.050	8.26	.362	6.618	6.25	11.25	200'
10	11.100		.444	10.005	7.38	13.25	160'
12	13.200	12.00	.528	14.180	8.38	16.00	80'
<b>DR 18 — Class 150</b>							
4	4.800	4.266	.267	2.522	4.25	6.20	960'
6	6.900	6.134	.383	5.226	5.25	8.25	560'
8	9.050	8.044	.503	9.040	6.25	11.25	200'
10	11.100	9.866	.617	13.666	7.38	13.25	160'
12	13.200	11.734	.733	19.354	8.38	16.25	80'
<b>DR 14 — Class 200</b>							
4	4.80	4.114	.343	3.182	4.25	6.36	960'
6	6.90	5.914	.493	6.605	5.25	8.50	560'
8	9.05	7.758	.646	11.410	6.25	11.50	200'
10	11.10	9.514	.793	17.250	7.38	13.75	160'
12	13.20	11.314	.943	24.450	8.38		80'

# North American Pipe Corporation

## SHORT FORM SPECIFICATIONS

For Class 100, 150, and 200 Integral Bell Gasketed PVC Pipe Meeting AWWA Standard C-900 and with Reinforced Gaskets.

### STANDARDS

**AWWA C-900** — polyvinyl chloride (PVC) pressure pipe 4" through 12" for water.

**AWWA C-111** — standard for rubber gasket joints for cast iron pipe and fittings.

**ASTM D-1784** — Specifications for polyvinyl chloride (PVC) compounds.

**ASTM D-3139** — Joints for plastic pressure pipe using elastomeric seals.

**ASTM F-477** — Specifications for elastomeric seals.

**UNI-B-1** — Thermoplastic pipe joints, pressure and non-pressure applications.

**UNI-B-3** — Installation of Polyvinyl Chloride (PVC) pressure pipe (complying with AWWA standard C-900).

**UNI-B-8** — direct tapping of PVC pressure water pipe.

### 1. SCOPE

1.1 This specification outlines requirements for rigid PVC (polyvinyl chloride) pipe for water main systems and other pressure pipe applications. When used for potable water systems the pipe shall meet the **ANSI/NSF Standard 61 - Drinking Water System Components - Health Effects**, which is indicated by the following logo:

**NSF-61**

### 2. MATERIAL

2.1 The pipe shall be extruded from PVC meeting the requirements of Cell Classification 12454-B as defined in ASTM D 1784, *PVC Compounds*. The PVC shall also be approved by NSF International for use in potable water pipe.

### 3. PIPE

3.1 The pipe shall be manufactured to cast iron size (C.I.) outside dimensions with DR's and tolerances in compliance with AWWA Standard C-900. *PVC Pressure Pipe, 4" through 12" for water*. The pipe shall be approved by the Underwriter's Laboratories (UL) for use in underground fire protection service. Laying length shall be 20' ± 1" for all sizes, except that up to 15% of the footage may be in random lengths of not less than 10'.

3.2 The pipe shall have an integral bell end and the gasket seal shall be reinforced with a steel band or other rigid material. The joint shall be in compliance with requirements of ASTM D 3139, *Joints for Plastic Pressure Pipes Using Flexible Elastomeric Seals*. The spigot end of the pipe is cut square and has a smooth bevel of 15° to a depth of approximately 1/2 of the wall thickness.

3.3 The pipe marking shall include:

- (A). *Nominal size and O.D. base (e.g., 8" C.I.)*.
- (B). *Material code designation (PVC 1120)*.
- (C). *Dimension ratio number, (DR 14 or 18)*.
- (D). *AWWA pressure class (150 or 200)*.
- (E). *AWWA designation number (AWWA C 900)*.
- (F). *Manufacturer's name or trademark and production code*.
- (G). *Seal of the testing agency that verified the suitability of the pipe material for potable water service*.

### 4. TEST REQUIREMENTS

4.1 Each length of pipe (standard or random), including the integral bell, shall be pressure tested to four times the rated pressure for a minimum of five seconds.

4.2 Pipe shall meet all additional test requirements as described in AWWA C-900.

### 5. DESIGN AND INSTALLATION

5.1 Criteria for design and installation of PVC Water Pipe shall be in accordance with the general requirements set fourth in AWWA C-900, Appendix A. Additional guidelines, covering thrust blocking, tapping, curved installation, testing, etc., are outlined in *UNI-BELL Standard for Installation of PVC Plastic Pressure Pipe for Municipal Water Main Distribution Systems, UNI-B-3*.

### ASSEMBLY INSTRUCTIONS

The ease of assembly of the North American Pipe Corporation joint means quick and economical installations with a minimum of skilled labor and regardless of the weather conditions.

#### Three Simple Steps:

1. **Clean!** With a rag or brush remove all foreign material from the inside of the bell, from the surface of the elastomeric gasket, and from the male end of the pipe.

2. **Lubricate!** Apply a thin coat of lubricant to the beveled end of the pipe. Lubricate up to the stop mark.

3. **Push!** Align the bell and male end of the pipe. Then push together for a tight, leakproof joint.

**North American  
Pipe Corporation**

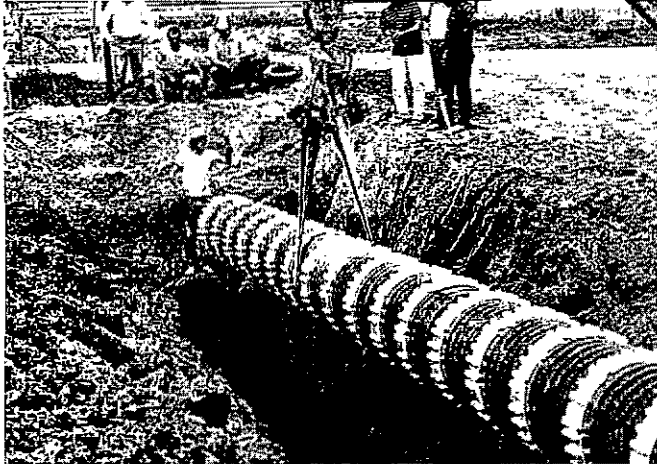
3348 Industrial Drive

Wichita Falls, TX 76306-3735

Phone: (940) 855-4100 FAX: (940) 855-7680

**CASING SPACER – RACI**

# **raci** patented casing spacers for cased pipelines



**raci**, the leaders in casing spacer technology, has been in business since 1977 and are **ISO 9002 CERTIFIED**. Their uniquely designed, engineered and patented spacers are respected and their dependability has made them the number one choice of specifiers and installers world wide.

**raci** Casing Spacers **isolate water, sewer and gas pipelines** from casings simply and cost effectively. Insulators are required to separate casing and carrier pipes with the following criteria.

- Must ensure electrical insulation between the two pipes
- permanently prevent bells from sliding or resting on casing pipe
- Must fasten tightly on the carrier pipe to ensure no horizontal movement during insertion
- Must be made of materials which do not conduct electricity and are permanently resistant to chemical corrosion
- Must be resistant to both mechanical and thermal shocks and stresses particularly during installation

## **raci** SPACER ADVANTAGES:

**raci** spacers meet the above requirements with the following advantages over the standard skid and strap application and other models of manufactured spacers.

- Spacers are manufactured entirely out of high density polyethylene with **NO METAL bolts or attachments required**
- Spacers are quickly and easily assembled by manually fitting elements one into the other

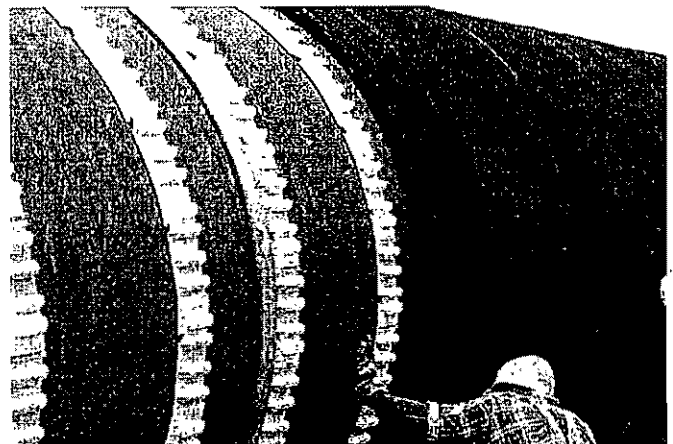
- Tooth insertion method allows on site adjustment to fit a wide range of pipe diameters and coatings
- Spacers slide into casing with ease
- Spacers maintain continual long term support for the carrier pipe and its contents
- Spacers provide **constant projections around the entire circumference** of the carrier pipe.
- Spacers provide long term corrosion protection
- Spacers can be installed on coated or plain concrete, ductile iron, plastic and steel pipe.

The spacers are divided into four groups which address a wide range of pipe sizes and weights. Within each grouping there are **varying support heights** that allow the spacer to clear bell joints, flanges, couplings, and other jointing methods. These heights range from .78 inches to 5.11 inches (20 - 130 mm)

**SPECIAL APPLICATIONS:** For applications with temperatures in excess of 60°C/140° F spacers are available in nylon.

On request spacers can be manufactured in other types of plastic material according to the mechanical and temperature requirements of the pipeline.

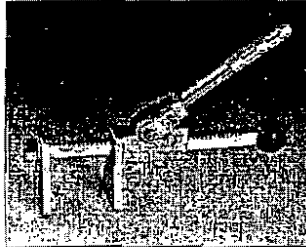
The **HDPE spacer** is manufactured by injection molding. This gives it a high impact strength and a low coefficient of friction which exceeds industry standards. Each spacer element represents a flexible section that has a toothed male butt strap at one end and an appropriately toothed female slot on the other end. Absolutely **no metallic parts** are involved in their assembly. This design allows for **on site adjustments** for any variances within the O.D. range. Coupled with their flexibility they cover all types of pipe from O.D. range 1.18 inches (30 mm) and upward.



## SPACER OPTIONS

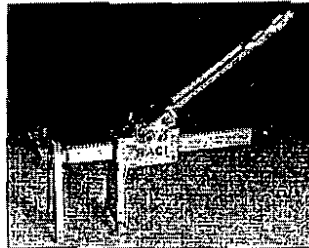
### SPACER ELEMENTS F AND G

These spacers are engineered to be used on small to medium sized pipe and are able to support a maximum weight load of 1102 lb./500 kg per ring. F and G spacers are best suited for pipe ranges 3.62 to 16.00 inches (92 to 406 mm). For installation the Clamping Tool Type 1 is used.



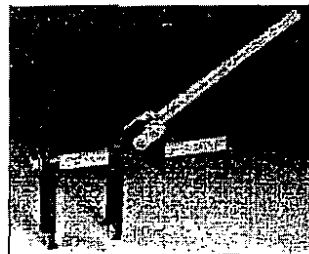
### SPACER ELEMENTS M AND N

The M and N spacer is designed for that middle pipe O.D. range application. They are able to support a maximum weight load of 2204 lb./1000 kg per ring. The M and N spacers are best suited for the pipe range 14.09 to 30.8 inches (358 to 764 mm). For installation the Clamping Tool Type 5 is used.



### SPACER ELEMENTS E AND H

For large diameter pipe, heavier applications or long casings where maximum strength is required the E and H elements are used. They are able to support a maximum weight load of 5925 lb./2700 kg per ring and are best suited for the pipe range above 24 inches (609 mm). For installation, the Clamping Tool Type 2 is used for support heights up to 90 mm. Tool Type 4 is used for the E 130s.



### SPACER ELEMENTS S AND T

(see next page)

O.D. range 1.18 - 6.46 inches (30 - 164 mm)

## SMALL TO MEDIUM DIAMETER PIPE

TYPE F / G 25, 41, and 60 mm  
element support height of .98, 1.6, and 2.36 inches

O.D. Range Inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	F	G	ft	m
3.62	4.49	92	114	1	1	6	1.8
4.57	5.94	116	151	2		6	1.8
6.06	7.56	154	192	2	1	6	1.8
7.44	8.53	189	226	3		6	1.8
8.54	10.51	217	267	3	1	6	1.8
9.88	11.89	251	302	4		6	1.8
11.02	13.50	280	343	4	1	6	1.8
12.36	14.84	314	377	5		6	1.8
14.84	17.80	377	452	6		6	1.8
17.32	20.79	440	528	7		6	1.8

MAXIMUM LOAD 1102 LBS OR 500 KGS PER RING

## MEDIUM DIAMETER PIPE

TYPE M / N 36, 50, 75, and 90 mm  
element support height of 1.42, 1.97, 2.95, and 3.54 inches

O.D. Range Inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	M	N	ft	m
5.63	7.01	143	178	1	1	6	1.8
7.05	8.03	179	204	2		6	1.8
8.07	10.04	205	255	1	2	6	1.8
10.08	12.05	256	306	3		6	1.8
12.09	14.06	307	357	2	2	6	1.8
14.09	17.05	358	433	3	2	6	1.8
17.09	21.06	434	535	3	3	6	1.8
21.10	25.08	536	637	4	3	6	1.8
25.12	30.08	638	764	6	2	6	1.8
30.12	36.10	765	917	9		6	1.8
36.14	43.15	918	1096	10	1	6	1.8
43.19	51.14	1097	1299	12	1	5	1.5
51.18	57.17	1300	1452	12	3	4.3	1.3

MAXIMUM LOAD 2204 LBS OR 1000 KGS PER RING

## LARGE DIAMETER PIPE

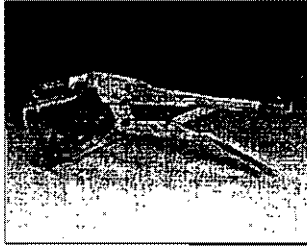
TYPE E / H 25, 41, 60, 75, 90, and 130 mm  
element support height of .98, 1.6, 2.36, 2.95, 3.54, and 5.11 inches

O.D. Range Inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	E	H	ft	m
8.70	10.71	221	272	2	1	6	1.8
10.51	12.60	267	320	3		6	1.8
12.20	14.92	310	379	3	1	6	1.8
14.06	16.77	357	428	4		6	1.8
15.71	19.13	399	486	4	1	6	1.8
17.56	21.02	446	534	5		6	1.8
21.02	25.20	534	640	6		6	1.8
24.57	29.37	624	746	7		6	1.8
28.11	33.58	714	853	8		6	1.8
31.61	37.80	803	960	9		6	1.8
35.12	41.97	892	1066	10		6	1.8
38.62	46.18	981	1173	11		6	1.8
45.67	54.57	1160	1386	13		5	1.5
52.68	62.99	1338	1600	15		4.3	1.3
59.84	71.38	1520	1813	17		3.2	0.97
70.20	83.98	1783	2133	20		3.2	0.97
80.75	96.57	2051	2453	23		3.2	0.97
94.80	113.39	2408	2880	27			
112.32	134.41	2853	3414	32			

MAXIMUM WEIGHT 5925 LBS OR 2700 KGS PER RING

### SPACER ELEMENTS S AND T

These spacers are linked by a tongue and groove method. S and T spacers are able to support a maximum weight load of 250 lb./110 kg per ring. They are best suited for pipe ranges 1.18 - 4.13 inches (30 - 150 mm). For installation the Clamping Tool Type 3 is used.



### SMALL DIAMETER PIPE

TYPE S / T 20 mm support height of .78 inches							
O.D. Range inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	S	T	ft	m
1.18	1.38	30	35	1		3.2	0.98
1.50	1.69	38	43		1	3.2	0.98
2.36	2.76	60	70	2		5	1.5
2.68	3.07	68	78	1	1	5	1.5
2.99	3.39	76	86		2	6	1.8
3.54	4.13	90	105	3		6	1.8
3.86	4.45	98	113	2	1	6	1.8
4.17	4.76	105	121	1	2	6	1.8
4.72	5.51	120	140	4		6	1.8
5.35	6.14	136	156	2	2	6	1.8
5.67	6.46	144	164	1	3	6	1.8

MAXIMUM WEIGHT 250 LBS OR 110 KGS PER RING

### Properties of **raci** Spacers

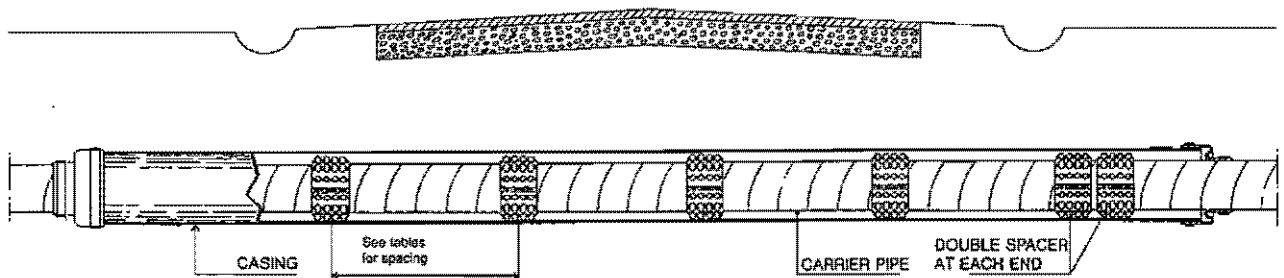
#### TECHNICAL DATA OVERVIEW OF SPACERS

Spacer Type		S	T	F	G	M	N	E	H
Useable Length	Inch	3.6 - 4.3	4.6 - 5.2	7.8 - 8.97	3.14 - 4.76	10.5 - 11.7	7.4 - 8.7	11 - 12.6	5.1 - 7.3
	mm	91 - 109	116 - 132	198 - 227	79 - 120	266 - 297	187 - 220	279 - 320	129 - 185
Width	Inch	3.34	3.34	5.11	5.11	7.09	7.09	8.85	8.85
	mm	84	84	129	129	180	180	224.8	224.8
Carrier O.D. range	Inch	1.18-6.46	1.18-6.46	3.62-20.79	3.62-20.79	5.63-57.17	5.63-57.17	8.7-134.41	8.7-134.41
	mm	30-164	30-164	92-528	92-528	143-1452	143-1452	221-3414	221-3414
Max. weight load / ring	lbs	250	250	1102	1102	2204	2204	5952	5952
	kgs	110	110	500	500	1000	1000	2700	2700
Max. - Min. operating temperature	°F	-4 to 140							
	°C	-20 to 60							

#### PHYSICAL CHARACTERISTICS OF HIGH DENSITY POLYETHYLENE

Yield strength	3625 PSI	25 N/mm <sup>2</sup>	ASTM D 638
Tensile Strength	2900 PSI	20 N/mm <sup>2</sup>	ASTM D 638
Elongation at break	800%	800%	ASTM D 638
Hardness shore D	65	65	ASTM D 2240
Minimum working temperature	-4° F	-20° C	
Dielectric strength	>940 Kv/inch	>37 Kv/mm	ASTM 149/64
UVL Stabilization	yes	yes	

#### TYPICAL ROAD CROSSING



JRWT - TRADING CORPORATION

901B Waddington Drive, Vernon, BC V1T 9E2 Tel: (250) 545-6045 Fax: (250) 545-6911

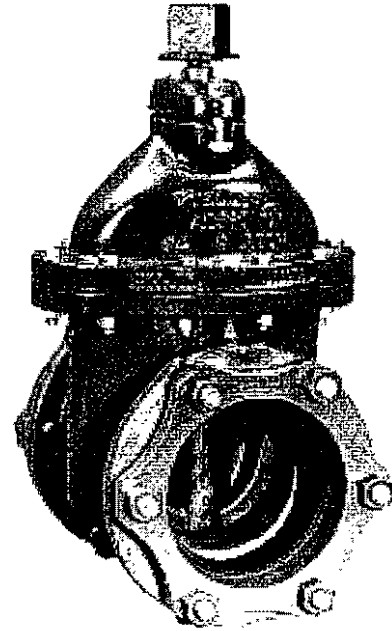
**GATE VALVE - MUELLER 2360**



## 2"-12" MUELLER® A-2360 RESILIENT WEDGE GATE VALVES - M.J. x M.J.

Rev. 12-01

- Catalog number--  
A-2360-20 Mechanical joint ends (with mechanical joint unassembled accessories)  
A-2360-23 Mechanical joint ends (less mechanical joint accessories)  
A-2360-25 Mechanical joint ends (with transition gaskets)
- Sizes—2", 3", 4", 6", 8", 10", 12"
- Meets or exceeds all applicable requirements of ANSI/AWWA C509 Standard and is certified to ANSI/NSF 61
- Standard mechanical joint ends comply with ANSI/AWWA C111
- Iron body with nominal 10 mils MUELLER® Pro-Gard™ Fusion Epoxy Coated interior and exterior surfaces
- Epoxy coating meets or exceeds all applicable requirements of ANSI/AWWA C550 Standard and is certified to ANSI/NSF 61
- Iron wedge, symmetrical & fully encapsulated with molded rubber; no exposed iron
- Non-rising stem (NRS)
- Triple O-ring seal stuffing box (2 upper & 1 lower O-rings)
- 2" square wrench nut (optional handwheel available)—open left or open right
- 2"-12" sizes—250 psig (1723 kPa) maximum working pressure, 500 psig (3447 kPa) static test pressure
- UL Listed, FM Approved: 200 psig (1379 kPa) — 3"-12" sizes



**A-2360-20**

M.J. accessories  
shipped unassembled

### Options

See pages 10.34 and 10.35 for more information on Resilient Wedge Gate Valve options

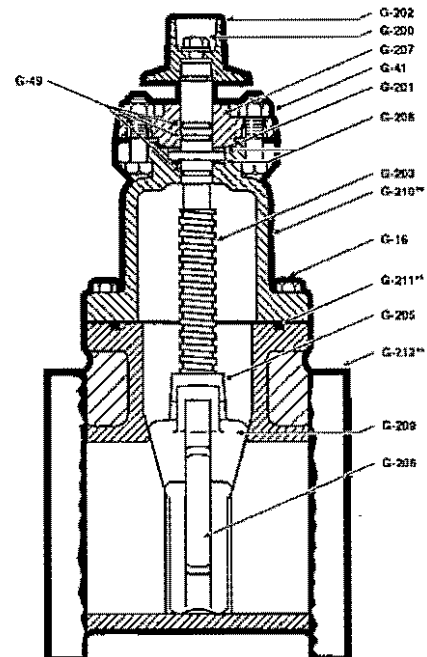
- Position indicators
- Stainless steel fasteners: Type 304, Type 316
- ASTM B98-C66100/H04 stem
- Handwheel

### Resilient wedge gate valve parts

Catalog Part No.	Description	Material	Material standard
G-16	Bonnet Bolts & Nuts	Carbon Steel	ASTM A307 Grade B, Zinc Plated
G-41	Stuffing Box Bolts & Nuts	Carbon Steel	ASTM A307 Grade B, Zinc Plated
G-49	Stem O -rings (3)	Rubber	ASTM D2000
G-200	Wrench Nut Cap Screw	Carbon Steel	ASTM A307 Grade B, Zinc Plated
G-201	Stuffing Box Seal	Rubber	ASTM D2000
G-202	Wrench Nut	Cast Iron	ASTM A126 CL.B
G-203	Stem	Bronze	ASTM B138
G-204	Hand Wheel (not shown)	Cast Iron	ASTM A126 CL.B
G-205	Stem Nut	Bronze	ASTM B62
G-206	Guide Cap Bearings	Celcon	
G-207	Stuffing Box	Cast iron	ASTM A126 CL.B
G-208	Anti-friction Washers (2)	Celcon	
G-209	Wedge, Rubber Encapsulated	Cast Iron*	ASTM A126 CL.B
G-210**	Bonnet	Cast Iron	ASTM A126 CL.B
G-211**	Bonnet O-ring	Rubber	ASTM D2000
G-212**	Body	Cast Iron	ASTM A126 CL.B

\* Fully encapsulated in molded rubber with no iron exposed

\*\* Previous to 1999 these parts on 4"-12" valves were designed with a gasket instead of an O-ring and with additional bolt holes (2"-3" sizes retain gasket design affecting these parts). Confirm the type of seal when ordering a replacement gasket or O-ring.



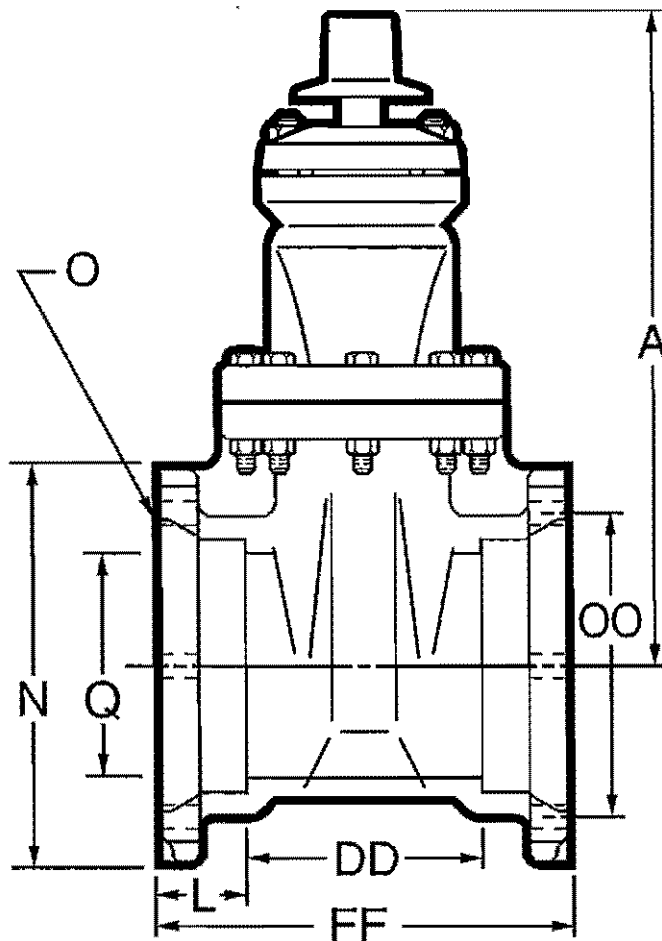
**SEE PAGE 10.39 FOR ORDERING INSTRUCTIONS**

# 2"-12" MUELLER® A-2360 RESILIENT WEDGE GATE VALVE - M.J. x M.J.

Mueller Co.

10.9

Rev. 12-01



## Dimensions

Dimension*	Nominal size						
	2"	3"	4"	6"	8"	10"	12"
A	9.88	12.38	14.19	18.00	21.50	25.50	28.62
FF	8.50	9.00	10.00	11.50	12.50	14.75	14.88
L	2.50	2.50	2.50	2.50	2.50	2.50	2.50
N	4.62	7.50	9.12	11.12	13.37	15.62	17.88
O (number and size of holes)	4-7/8	4-7/8	4-7/8	6-7/8	6-7/8	8-7/8	8-7/8
DD	3.50	4.00	5.00	6.50	7.50	9.75	9.88
Q (bore)	2.30	3.30	4.30	6.30	8.30	10.30	12.30
OO (bolt circle diameter)	5.00	6.19	7.50	9.50	11.75	14.00	16.25
Turns to open	8	11	14	20.5	26.5	33	38.5
Weight*	40	83	120	186	280	405	540

\* All dimensions are in inches. All weights include accessories are in pounds and are approximate.

# **FIRE HYDRANT – MUELLER 423 SUPER CENTURION**

# MUELLER® SUPER CENTURION® FIRE HYDRANT

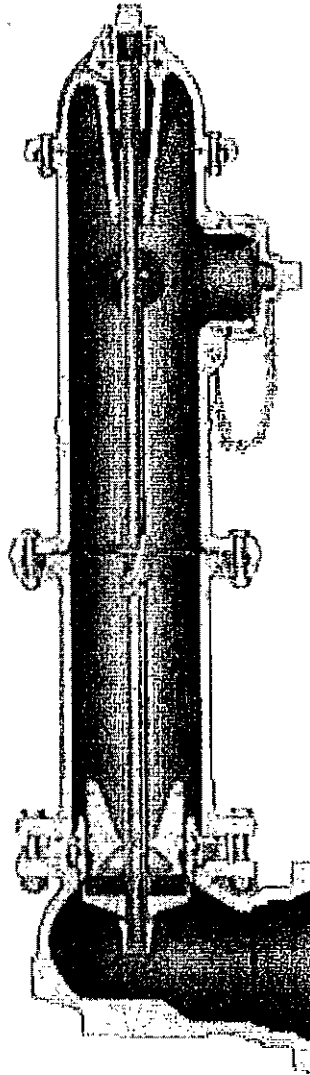
Mueller Co.

9.1

Rev. 12-01

## MUELLER SUPER CENTURION 250™ 3-Way Fire Hydrant Features

- ❑ **ANTI-FRICTION WASHER** helps assure easy turning operation for the life of the hydrant.
- ❑ **OIL FILLER PLUG** permits quick check of oil level. Lets you add oil without removing bonnet.
- ❑ **OIL RESERVOIR O-RING SEALS** seal oil in, water out.
- ❑ **STAINLESS STEEL SAFETY STEM COUPLING** - pulls free if hydrant is hit by a vehicle preventing damage to the stem and main valve. Coupling will not break into pieces that could drop into lower barrel and affect valve operation. Top of lower stem is below the top of the lower barrel so that a tire cannot depress the stem and open the main valve. Repair is easy and economical.
- ❑ **SAFETY FLANGE** - breaks cleanly to help prevent barrel damage, yet is strong enough to withstand normal handling. Allows economical repair, adding of extension section, rotation or changing of upper barrel without digging or water shut-off.
- ❑ **BRONZE UPPER VALVE PLATE** conical design for smooth flow.
- ❑ **DRAIN VALVE FACINGS** specially designed, long-life facings provide effective sealing.
- ❑ **DUCTILE IRON CAP NUT** retains main valve. Seats against cap nut gasket to prevent corrosion of stem threads. Locked in place by a stainless steel lock washer. Mueller HP Epoxy coated for durability.
- ❑ **250 PSIG** - 3-way hydrant: 250 psig (1723 kPa) maximum working pressure, 500 psig (3447 kPa)
- ❑ **SHOE DESIGNED FOR MAXIMUM FLOW AND EASY CONNECTION** with its smooth transitional contours, extended neck and integral anti-rotation pads, allowing use of standard tee-head bolts. The inside of the shoe is covered with MUELLER HP® Epoxy Coating. This thermosetting epoxy forms a tough corrosion-resistant barrier to chemicals, physical impact and electrical currents.
- ❑ **HOLD-DOWN NUT** - with integral weather seal. Design discourages unauthorized removal of the hold-down nut or bronze operating nut. Resilient wiper seal between hold-down nut and operating nut prevents water entry to protect operating nut from freezing. Wiper seal material is resistant to ultra-violet ray deterioration. O-ring seal provides second level of protection.
- ❑ **MEETS OR EXCEEDS** all applicable requirements of ANS/AWWA C502 Standard and UL 246 and FM 1510 specifications.
- ❑ **O-RING SEALS AT BONNET, GROUND, AND SHOE FLANGES** for better leak resistance, easier maintenance.
- ❑ **SEALED OIL RESERVOIR** - O-ring sealed to prevent leakage. Provides positive lubrication of stem threads and bearing surfaces each time the hydrant is operated. Filled at the factory.
- ❑ **FULL FLOW OPENINGS** large radius hose and pumper openings produce low friction loss.
- ❑ **FIELD REPLACEABLE HOSE AND PUMPER NOZZLES** - O-ring sealed. Threaded in place and retained by stainless steel locks. Nozzles are easily replaced.
- ❑ **ELECTRO-GALVANIZED BOLTS AND NUTS** - provide corrosion protection.
- ❑ **NON-KINKING CHAINS** heavy-duty chains are securely attached to the hydrant. Special chain loop permits free turning of the cap.
- ❑ **BRONZE SEAT RING** - threaded into drain ring and O-ring sealed. Seat ring is easily removed or installed from above ground. Each time main valve is opened or closed, double drain valves force-flush both drain valve openings to keep them open for effective barrel drainage. Bronze drain valves are integral parts of main valve assembly.
- ❑ **REVERSIBLE, COMPRESSION TYPE MAIN VALVE** - closes with pressure for positive seal. Rubber material has long service life, yet is reversible providing a convenient spare in place.



Manufactured under one or more of the following: U.S. Patent No. 4,717,178; 4,842,246.

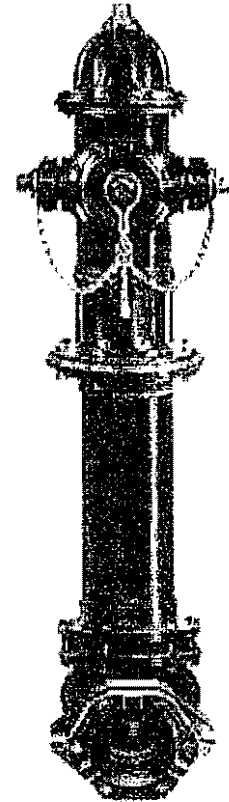
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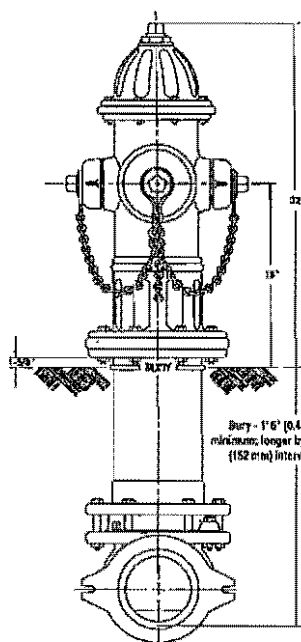
# MUELLER® SUPER CENTURION® FIRE HYDRANT

Rev. 12-01

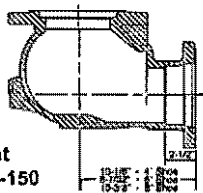
- ❑ Super Centurion 250™ 3-way catalog numbers (approved to UL 262, FM 1120/1130, ANSI/AWWA C502 Standards) -
  - A-421 4-1/2" main valve opening three way (two hose nozzles and one pumper nozzle)
  - A-423 5-1/4" main valve opening three way (two hose nozzles and one pumper nozzle)
- Super Centurion 200™ 2-way catalog numbers (approved to ANSI/AWWA C502 Standards) -
  - A-420 4-1/2" main valve opening two way (two hose nozzles)
  - A-422 5-1/4" main valve opening two way (two hose nozzles)
  - A-425 5-1/4" main valve opening two way (two pumper nozzles)
- Super Centurion 200™ 1-way catalog number (approved to ANSI/AWWA C502 Standards)-
  - A-424 4-1/2" main valve opening one way (one pumper nozzle)
- ❑ 10 year limited warranty on material and workmanship
- ❑ Meets all applicable parts of ANSI/AWWA C502 Standard
- ❑ Post type dry barrel design
- ❑ Dry top design with O-ring sealed oil reservoir
- ❑ Traffic feature with stainless steel safety stem coupling
- ❑ Compression-type main valve closes with pressure for positive seal; it is made of rubber and is conveniently reversible providing a spare for long service life
- ❑ Operating nut available in wide variety of shapes and sizes-open left or right
- ❑ Field replaceable hose and pumper nozzles
- ❑ Hose and pumper nozzles have large radius, full flow openings for low friction loss
- ❑ Contoured shoe is designed for full flow
- ❑ Dual bronze drain valves provide effective barrel drainage
- ❑ 250 psig (1723 kPa) maximum working pressure, 500 psig (3447 kPa) static test pressure for 3-way hydrants; 200 psig (1379 kPa) maximum working pressure, 400 psig (2758 kPa) static test pressure for 2-way and 1-way hydrants



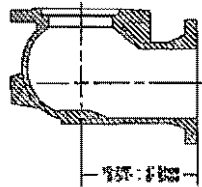
## Dimensions



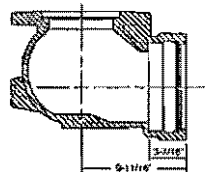
Mechanical Joint standard and D-150



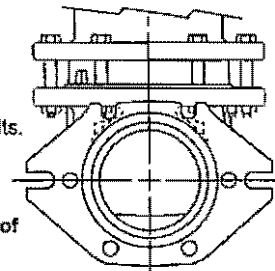
Flange ANSI 125/150 or PN 10/16 Drilling



Slip-on

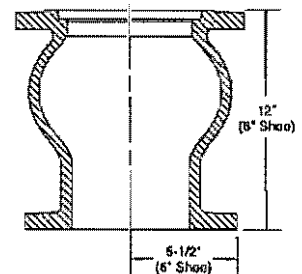


Non-rotating bolt design: cast-in pads eliminate need for anti-rotation bolts.



Front view detail of Mechanical Joint (Standard only)

Vertical Flange\*



\* 4" Vertical shoe available for A-420 and A-421 hydrants.

SEE PAGE 9.24 FOR ORDERING INSTRUCTIONS

## **MECHANICAL JOINT RESTRAINT – STAR 4000**



# PVC Stargrip<sup>®</sup> series 4000

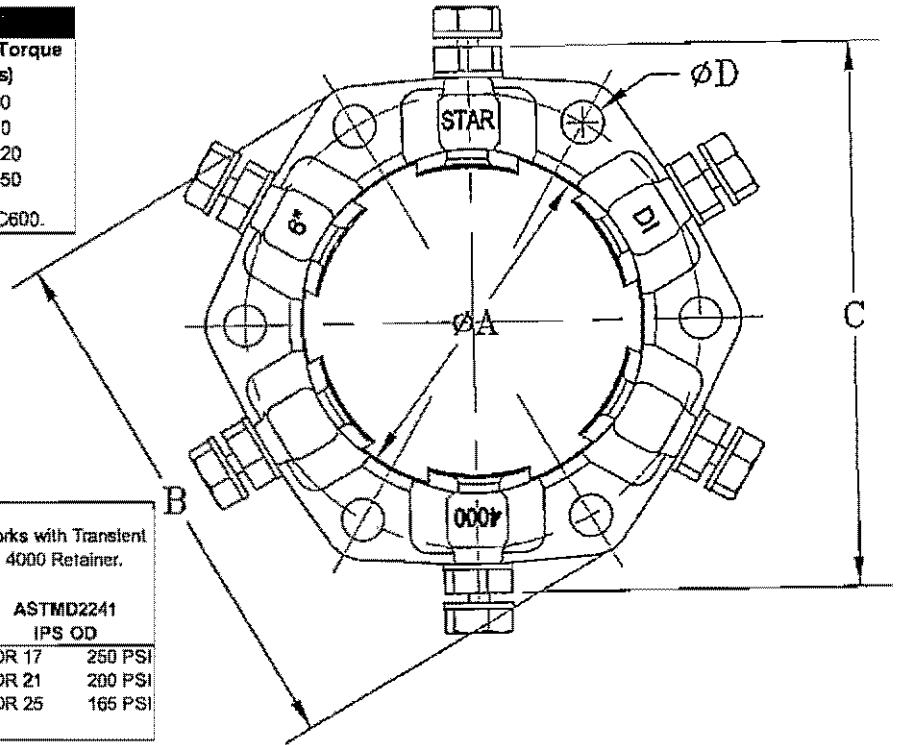
Mechanical Joint Wedge Action Restraint for  
PVC Pipe, Patent #5,071,175

## TECHNICAL INFORMATION

### T-HEAD BOLT & NUT DETAILS

Pipe Size (in.)	Bolt Size (in.)	Range of Torque (ft-lbs)
3	5/8	45-60
4-24	3/4	75-90
30-36	1	100-120
42-48	1 1/4	120-150

These torque ranges are requirements of AWWA C600.



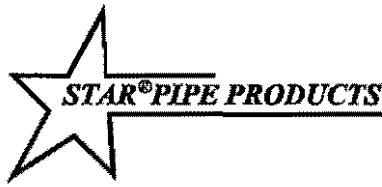
Standardized pressure Ratings for the ordinary water works with Transient surges only. Ratings are for PVC pipes with SERIES 4000 Retainer.

ANSI/ASSA C900 CI OD		ANSI/AWWA C905 CI OD		ASTMD2241 IPS OD	
DR 14	200 PSI	DR 18	235 PSI	SDR 17	250 PSI
DR 18	150 PSI	DR 21	200 PSI	SDR 21	200 PSI
DR 25	100 PSI	DR 25	165 PSI	SDR 25	165 PSI
		DR 32.5	125 PSI		

## PVC STARGRIP SPECIFICATIONS

NOM. SIZE	C900 Pipe OD	IPS Pipe OD	ØA	B	C*	ØD	T-Bolts Size/No.	Approx WT LBS.
3"	3.96	3.50	4.09	7.79	8.50	3/4	5/8 (4)	10
4"	4.80	4.50	4.93	9.16	9.64	7/8	3/4 (4)	11
6"	6.90	6.63	7.03	11.16	11.72	7/8	3/4 (6)	15
8"	9.05	8.63	9.18	13.75	13.97	7/8	3/4 (6)	23
10"	11.10	10.75	11.23	16.00	16.18	7/8	3/4 (8)	30
12"	13.20	12.75	13.33	18.25	18.23	7/8	3/4 (8)	34
14"	15.30	N/A	15.45	20.75	20.36	7/8	3/4 (10)	49
16"	17.40	N/A	17.55	23.00	22.46	7/8	3/4 (12)	59
18"	19.50	N/A	19.65	25.25	24.56	7/8	3/4 (12)	67
20"	21.60	N/A	21.75	27.50	26.66	7/8	3/4 (14)	79
24"	25.80	N/A	25.95	32.00	30.86	7/8	3/4 (16)	102
30"	32.00	N/A	32.18	39.38	36.82	1-1/8	1 (20)	150
36"	38.30	N/A	38.48	46.25	43.12	1-1/8	1 (24)	180

\* Dimension C is after assembly on pipe.  
All dimensions in inches.



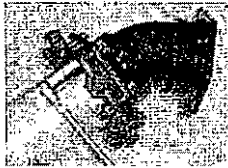
# PVC Stargrip<sup>®</sup> series 4000

Mechanical Joint Wedge Action Restraint for  
PVC Pipe, Patent #5,071,175

## INSTALLATION INSTRUCTIONS



1. The rubber gasket seals more effectively if the surfaces with which it comes in contact are thoroughly cleaned just before assembly to remove all loose rust or foreign material. Lubrication and additional cleaning should be provided by brushing both the gasket and the plain end with soapy water or pipe lubricant. Slide the PVC Stargrip on the plain end, followed by the MJ gasket.



4. While tightening T-bolts, it is essential that the gland be brought up toward the bell flange evenly, maintaining approximately the same distance between the gland and the face of the flange at all points around the socket. All T-bolts should be tightened until they are in within the torque range as listed in table.



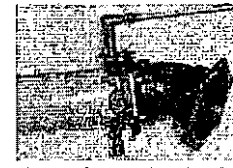
2. After insertion of the pipe into the bell of the fitting, firmly press the gasket into the gasket recess. During this process the joint should be kept straight.



5. Hand tighten the Torque-limiting twist-off Bolts in a clockwise direction until all wedges are in firm contact with the pipe surface.  
**IMPORTANT:** When installing sizes 4" through 12" on IPS PVC or Steel Pipe, the spacer washers must be removed from the torque limiting bolts.



3. Slide the PVC Stargrip toward the MJ bell with the gland lip against the gasket. Insert T-bolts and hand tighten nuts.  
**IMPORTANT:** Make deflection after joint is assembled but before tightening T-bolts.



6. Continue tightening in an alternative manner until all of the Torque-limiting twist-off Bolt heads have been twisted off. Never turn a single bolt over 180 degrees without alternating to another bolt. If removal is necessary, utilize the 1/4" hex head provided. If reassembly is required, assemble the joint in the same manner as above and tighten the wedge bolt to 90 ft. lb.

**Note:** If effective sealing is not attained at the maximum torque indicated, then the joint should be disassembled, thoroughly cleaned, and reassembled. Overstressing the bolts to compensate for poor installation practice is not acceptable.

## SAMPLE SPECIFICATIONS

Restrainer mechanism shall be integrated into the design of the follower gland. As the mechanism is activated, multiple wedging action shall be imparted against the pipe increasing its resistance as internal pressure increases. After burial of the restraining mechanism, joint flexibility shall be maintained.

The actuating bolt shall be threaded into the restraining wedge and have a 1-1/4" across the flats hex head. The actuating bolt system shall have a torque-limiting head designed to break off at preset torque levels, thus insuring proper action of the restraining device. After removal of the torque-limiting head, a 1/4" hex head shall remain to facilitate the removal and re-assembly of the gland. Glands shall be manufactured of high strength ductile iron in accordance with ASTM A536 Grade 65-45-12 requirements. Wedge mechanisms shall be heat-treated ductile iron, hardened to at least 370 BHN hardness.

Applicable dimensions conforming to ANSI/AWWA C111/A21.11, C110/A21.10 and C153/121.53 and shall be incorporated into the design so that the device facilitates use with standard mechanical joint sockets.

The restraining mechanism shall have a pressure rating equal to that of the pipe on which it is used and shall have a safety factor of at least 2:1. The restraining gland shall be listed by Underwriters Laboratories Inc., be approved by Factory Mutual Research, and conform to the requirements of ASTM F 1674, and UNI-B-13-94. The restraining device for C900 PVC and IPS PVC Pipe shall be Star Pipe Products PVC Stargrip Series 4000 or equal.



## **MECHANICAL FITTING – TYLER C153**

# Tyler/Union

## MECHANICAL JOINT C153 DUCTILE IRON COMPACT FITTINGS

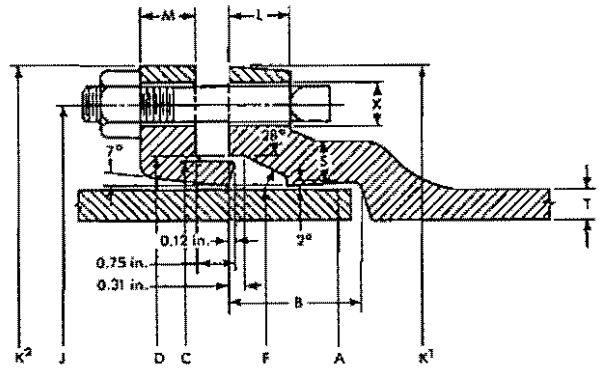
Sizes 3" thru 12" UL Listed For Fire Main Equipment

### SAMPLE SPECIFICATIONS

Mechanical Joint watermain fittings with accessories, 2" through 36" shall be produced in the USA of Ductile Iron in accordance with and meet all applicable terms and provisions of standards ANSI/AWWA C153/A21.53 ANSI/AWWA C111/A21.11 (current revisions). Ductile Iron Mechanical Joint Fittings 3" through 24" shall be rated for 350 PSI working pressure. 30" through 36" shall be rated for 250 psi working pressure

NOTE - EXCEPTIONS: Mechanical Joint Fittings with flanged branches are rated for water pressure of 250 PSI.

NOTE: Fittings are CEMENT LINED and seal coated in accordance with ANSI/AWWA C104/A21.4; also available double cement-lined, bare or epoxy coated.

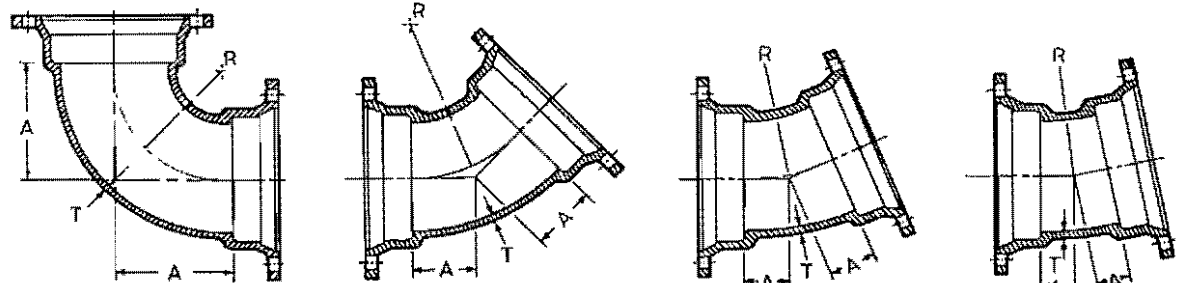


JOINT DIMENSIONS IN INCHES

BOLTS

Size	A Dia.	B	C Dia.	D Dia.	F Dia.	J Dia.	K <sup>1</sup> Dia.	K <sup>2</sup> Dia.	L	M	S	T	X	Size	No.
3	3.96	2.50	4.84	4.94	4.06	6.19	7.62	7.69	.58	.62	.39	.33	3/8	5/8x3	4
4	4.80	2.50	5.92	6.02	4.90	7.50	9.06	9.12	.60	.75	.39	.34	7/8	3/4x3 1/2	4
6	6.90	2.50	8.02	8.12	7.00	9.50	11.06	11.12	.63	.88	.43	.36	7/8	3/4x3 1/2	6
8	9.05	2.50	10.17	10.27	9.15	11.75	13.31	13.37	.66	1.00	.45	.38	7/8	3/4x3 1/2	6
10	11.10	2.50	12.22	12.34	11.20	14.00	15.62	15.62	.70	1.00	.47	.40	7/8	3/4x3 1/2	8
12	13.20	2.50	14.32	14.44	13.30	16.25	17.88	17.88	.73	1.00	.49	.42	7/8	3/4x3 1/2	8
14	15.30	3.50	16.40	16.54	15.44	18.75	20.31	20.25	.79	1.25	.56	.47	7/8	3/4x4	10
16	17.40	3.50	18.50	18.64	17.54	21.00	22.56	22.50	.85	1.31	.57	.50	7/8	3/4x4	12
18	19.50	3.50	20.60	20.74	19.64	23.25	24.83	24.75	1.00	1.38	.68	.54	7/8	3/4x4	12
20	21.60	3.50	22.70	22.84	21.74	25.50	27.08	27.08	1.02	1.44	.69	.57	7/8	3/4x4	14
24	25.80	3.50	26.90	27.04	25.94	30.00	31.58	31.50	1.02	1.56	.75	.61	7/8	3/4x4 1/2	16
30	32.00	4.00	33.29	33.46	32.17	36.88	39.12	39.12	1.31	2.00	.82	.66	1 1/8	1x5 1/2	20
36	38.30	4.00	39.59	39.76	38.47	43.75	46.00	46.00	1.45	2.00	1.00	.74	1 1/8	1x5 1/2	24

### BENDS



90° Bends (1/4)

45° Bends (1/8)

22 1/2° Bends (1/16)

11 1/4° (1/32)

Size	90° Bends (1/4)				45° Bends (1/8)			22 1/2° Bends (1/16)			11 1/4° (1/32)		
	T	A	R	Weight	A	R	Weight	A	R	Weight	A	R	Weight
3	.34	4.5	4.0	19	2.00	3.62	17	1.50	4.98	15	1.25	7.62	16
4	.35	5.0	4.5	26	2.49	4.81	22	1.82	6.66	20	1.55	10.70	20
6	.37	6.5	6.0	49	3.50	7.25	39	2.59	10.50	31	1.81	13.26	29
8	.39	7.5	7.0	64	4.00	8.44	56	2.85	11.80	50	2.06	15.80	45
10	.41	9.5	9.0	102	5.01	10.88	78	3.35	14.35	66	2.32	18.36	59
12	.43	10.5	10.0	129	5.98	13.25	102	3.86	16.90	87	2.56	20.90	82
14	.51	12.0	11.5	214	5.50	12.06	155	3.93	17.25	142	2.59	21.25	136
16	.52	13.0	12.5	273	5.98	13.25	204	3.98	17.50	178	2.62	21.50	157
18	.59	15.5	14.0	411	7.50	14.50	292	7.50	30.19	286	7.50	60.94	283
20	.60	17.0	15.5	519	8.00	16.88	372	8.50	35.19	376	8.50	71.07	374
24	.62	20.0	18.5	721	9.00	18.12	490	9.00	37.69	512	9.00	76.12	487

30 \* (Available Soon see List Prices) \* (Available Soon see List Prices) \* (Available Soon see List Prices) \* (Available Soon see List Prices)  
 36 \* (Available Soon see List Prices) \* (Available Soon see List Prices) \* (Available Soon see List Prices) \* (Available Soon see List Prices)

**SERVICE MATERIAL – MUELLER**

# MUELLER® BR2B & BR2S SERIES BRONZE SERVICE SADDLES - DOUBLE STRAP

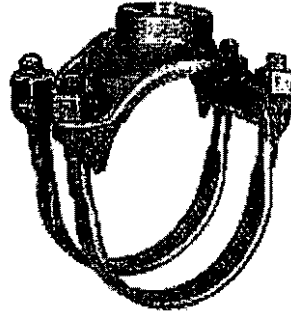
**Mueller Co.**

**4.5**

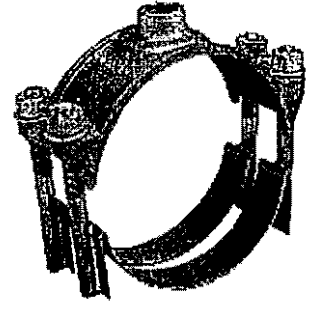
Rev. 4-01

MUELLER® Service Saddles for use on A-C, cast iron, ductile iron, and AWWA C900 PVC plastic pipe

- Outlet tapped with either AWWA taper (C.C.) or AWWA I.P. thread (F.I.P.T.)
- For use on A-C pipe, cast iron or ductile iron pipe and cast iron O.D. PVC pipe
- 200 psig (1379 kPa) maximum working pressure
- Available in single and double strap designs
- Brass body
- Flattened silicon bronze straps (standard)
- Optional 304L stainless steel straps
- Rolled strap threads
- O-ring sealed outlet
- 3/4" thru 2" tap sizes (5/8" some styles)
- Meets all applicable parts of ANSI/AWWA C800
- NSF 61 certified



BR 2 B Series



BR 2 S Series

## MUELLER® Service Saddles with AWWA taper thread

Pipe O.D. range		Kind and size of pipe		Bronze double strap with AWWA taper thread (C.C.)						Optional stainless steel double strap with AWWA taper thread (C.C.)							
Inch	mm	A-C	Cast or ductile iron, C900 PVC plastic pipe	Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)						Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)					
					5/8"	3/4"	1"	1-1/4"	1-1/2"	2"		5/8"	3/4"	1"	1-1/4"	1-1/2"	2"
					4.74"-5.32"	121.0-135.0		4"	BR 2 B 0474 CC	062		075	100	125	150	200	BR 2 S 0474 CC
6.84"-7.45"	174.0-189.0		6"	BR 2 B 0684 CC	062	075	100	125	150	200	BR 2 S 0684 CC	062	075	100	125	150	200
8.99"-9.67"	229.0-245.0		8"	BR 2 B 0899 CC	062	075	100	125	150	200	BR 2 S 0899 CC	062	075	100	125	150	200
11.04"-12.12"	281.0-307.0		10"	BR 2 B 1104 CC	062	075	100	125	150	200	BR 2 S 1104 CC	062	075	100	125	150	200
13.14"-14.58"	334.0-370.0		12"	BR 2 B 1314 CC	062	075	100	125	150	200	BR 2 S 1314 CC	062	075	100	125	150	200
15.22"-16.88"	386.6-428.7		14"	BR 2 B 1522 CC	-	075	100	-	150	200	BR 2 S 1522 CC	-	075	100	-	150	200
17.32"-19.19"	439.9-487.4		16"	BR 2 B 1732 CC	-	075	100	-	150	200	BR 2 S 1732 CC	-	075	100	-	150	200

## MUELLER® Service Saddles with AWWA iron pipe thread

Pipe O.D. range		Kind and size of pipe*		Bronze double strap with AWWA I.P. thread (F.I.P.T.)						Optional stainless steel double strap with AWWA I.P. thread (F.I.P.T.)							
Inch	mm	A-C	Cast or ductile iron, C900 PVC pipe	Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)						Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)					
					3/4"	1"	1-1/4"	1-1/2"	2"	3/4"		1"	1-1/4"	1-1/2"	2"		
					4.74"-5.32"	121.0-135.0		4"	BR 2 B 0474 IP	075		100	125	150	200	BR 2 S 0474 IP	075
6.84"-7.45"	174.0-189.0		6"	BR 2 B 0684 IP	075	100	125	150	200	BR 2 S 0684 IP	075	100	125	150	200		
8.99"-9.67"	229.0-245.0		8"	BR 2 B 0899 IP	075	100	125	150	200	BR 2 S 0899 IP	075	100	125	150	200		
11.04"-12.12"	281.0-307.0	**	10"	BR 2 B 1104 IP	075	100	125	150	200	BR 2 S 1104 IP	075	100	125	150	200		
13.14"-14.58"	334.0-370.0		12"	BR 2 B 1314 IP	075	100	125	150	200	BR 2 S 1314 IP	075	100	125	150	200		
15.22"-16.88"	386.6-428.7		14"	BR 2 B 1522 IP	075	100	-	150	200	BR 2 S 1522 IP	075	100	-	150	200		
17.32"-19.19"	439.9-487.4		16"	BR 2 B 1732 IP	075	100	-	150	200	BR 2 S 1732 IP	075	100	-	150	200		

\*A-C pipe, classes 150-200 per ASTM C295 and AWWA C400 - actual O.D. of pipe being used must fall within the pipe O.D. range listed in the preceding charts. Centrifugally cast pipe, classes 50-250 per ANSI/AWWA C102/A21.2; ANSI/AWWA C106/A21.6; ANSI/AWWA C108/A21.8, and Federal specification WW-P-421. Ductile iron pipe, classes 50-56 per ANSI/AWWA C151/A21.51; Cast iron O.D. PVC plastic pipe per AWWA C900.

\*\* The outside diameter of A-C pipe varies from manufacturer to manufacturer, to make certain you select the proper clamp:

1) Determine the O.D. of the pipe at the point of saddle installation;

2) From the pipe O.D. range column of the above chart, choose a saddle that has a pipe O.D. range that includes the determined pipe diameter

These machines may be used with the service saddles illustrated on this page

Machine	Service saddle tap size					
	5/8"	3/4"	1"	1-1/2"	2"	
E-3™	X	X	X	X	X	
D-5™	-	X	X	X	X	
TRU-CUT™	-	X	X	-	-	
MEGA-CUT™	X	X	X	X	X	
PL-2™	-	X	X	-	-	

**TO ORDER SPECIFY QUANTITY, OUTLET TAPPING SIZE AND CATALOG NUMBER**

# 1-1/2" & 2" MUELLER® ORI-CORP® CORPORATION VALVES

**Mueller Co.**

**5.7**

Rev. 4-01



**H-15013**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** MUELLER® 110® Conductive Compression Connection for CTS O.D.\* tubing

1-1/2"	2"
--------	----



**H-15023**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** MUELLER 110 Conductive Compression Connection for CTS O.D.\* tubing

1-1/2"	2" **
--------	-------



**P-15013**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** MUELLER Pack Joint Connection for CTS O.D.\* tubing

1-1/2"	2"
--------	----



**P-15023**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** MUELLER Pack Joint Connection for CTS O.D.\* tubing

1-1/2"	2" **
--------	-------



**H-15014**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** F.I.P. thread

1-1/2" †	2" †
----------	------



**H-15015**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** F.I.P. thread

1-1/2" †	2" †
----------	------



**H-9968**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** M.I.P. thread

1-1/2"	2"
--------	----



**H-9969**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** M.I.P. thread

1-1/2"	2" **
--------	-------

\*See charts on pages 5.10-5.13 for tubing and pipe that may be used on these connections.

\*\* For use with Service Saddle only—cannot be machine inserted.

† Requires minimum ordering quantity. Contact MUELLER Customer Service Center for minimum order requirements and availability.

NOTE: Sizes shown above represent nominal size of inlet and outlet connections.

MUELLER® Corporation Valves are manufactured and tested in accordance with ANSI/AWWA C800.

## Copper tubing - standard dimensions, weights and tolerances

Standard copper water tube size	Nominal cop- per tube size	Outside diameter			Wall thickness		Nominal inside diameter	Actual inside area	Actual net copper	Theoretical weight		Calculated ulti- mate tensile	Bursting* pressure	Hydrostatic** test pressure	Safety factor of 8
		O.D.	Tolerance		Nominal	Tolerance †				Nominal	Tolerance †				
			Annealed	Drawn											
inches	inch	inches	inch	inch	inch	inches	sq. in.	sq. in.	lbs. per foot	per- cent	lbs.	psi	psi	psi	
-	1/4	.250	.002	-	.030	.0025	.190	.028	.021	.081	7	830	8305	1593	1038
-	3/8	.375	.002	-	.032	.0025	.311	.076	.034	.134	7	1020	5995	1099†	749
-	1/2	.500	.002	-	.032	.0025	.436	.149	.047	.182	7	1410	4530	909	566
3/8	-	.500	.0025	.001	.049	.004	.402	.127	.069	.269	7	2070	6848	1276†	856
-	5/8	.625	.0025	-	.035	.003	.555	.242	.065	.252	7	1950	3974	704	497
1/2	-	.625	.0025	.001	.049	.004	.527	.218	.089	.344	7	2670	5521	1004	690
5/8	-	.750	.0025	.001	.049	.004	.652	.334	.108	.418	7	3240	4622	827	578
3/4	-	.875	.003	.001	.065	.0045	.745	.436	.165	.641	7	4950	5239	948	655
1	-	1.125	.0035	.0015	.065	.0045	.995	.778	.216	.839	7	6480	4101	727	513
1-1/4	-	1.375	.004	.0015	.065	.0045	1.245	1.217	.267	1.04	7	8010	3366	590	421
1-1/2	-	1.625	.0045	.002	.072	.005	1.481	1.723	.361	1.36	7	10530	3155	551	394
2	-	2.125	.005	.002	.083	.007	1.959	3.014	.532	2.06	7	15960	2766	484	348

The above information was obtained from the following specification standards:  
AS™ B68-1971, AS™ B88-1971, AS™ B-251-1971, and ANSI H23.1-1970.

The bursting pressures and the hydrostatic test pressures have been figured using the nominal dimensions of the tubing and the appropriate formula listed below:

$$P = S \times \frac{(D^2 - d^2)}{.334d^2 + 1.333D^2}$$

$$P = \frac{2tS}{D - 0.8t}$$

Where S = 30,000 psi (ultimate tensile)

Where P = Hydrostatic pressure (psi)

P = Bursting pressure (psi)

t = Wall thickness (in)

D = Outside diameter (in)

D = Outside diameter (in)

d = Inside diameter (in)

S = Allowable stress of the material = 6000 psi

† This pressure listed to conform with formula. However, the tube need not be tested at a hydrostatic pressure over 1000 psi unless specified.

\* Calculated from Clavarino's formula.

\*\* Calculated from formula for thin hollow cylinders. See specifications AS™ B68-1962.

GROUND KEY ANGLE METER VALVES & SERVICE VALVES - 3/4"-2"

Rev. 4-99



Ground Key Angle Meter Valve  
 MUELLER 110® Conductive  
 Compression Connection for CTS  
 O.D.\* tubing x meter flange  
 180° turn check - lock wing

H-14277

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 MUELLER® Pack Joint  
 Connection for CTS O.D.\* tubing  
 x meter flange  
 180° turn check - lock wing

P-14277

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 Copper flare nut x meter flange  
 180° turn check - lock wing

H-14276

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 F.I.P. x meter flange  
 180° turn check - lock wing

H-14286

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 F.I.P. x F.I.P.  
 180° turn check - lock wing

H-14285

Catalog size	3/4
--------------	-----



MUELLER Solid Tee Head  
 Roundway Meter Stop  
 F.I.P. x F.I.P.  
 360° turn - lock wing

H-10281

Catalog size	3/4
--------------	-----

8D-VALVES/CHECKS

\*See charts on pages 8D.15 and 8D.16 for tubing and pipe that can be used with this connection.  
 ††These valves have meter flanges double drilled to fit either 1-1/2" or 2" meters.

**SEWER PIPE – SDR26 HEAVY WALL**





## TECHNICAL DATA

# PVC Sewer Main D-3034 SDR-26

### THE PIPE

The SDR 26 sewer pipe meets the requirements of ASTM D-3034 for heavy wall pipe and has a stiffness value that is a minimum of 2-1/2 times greater than SDR 35 pipe. Field tested for a number of years, SDR 26 has performed with outstanding results.

#### PIPE DIMENSIONS

Size (inches)	Avg. O.D.	Avg. I.D.	Min. Wall	Wt. Per Foot 20'	Wt. Per Foot 13'	Feet Per Unit 20'	Feet Per Unit 13'
4	4.215	3.871	.162	1.392	1.406	960'	624'
6	6.275	5.764	.241	3.092	3.128	660'	429'
8	8.400	7.715	.323	5.554	5.621	600'	390'
10	10.500	9.644	.404	8.700	8.815	220'	143'
12	12.500	11.480	.481	12.357	12.532	160'	104'
15	15.300	14.053	.588	18.603	18.926	120'	78'

### LOCKED-IN Rieber GASKET JOINT

North American Pipe's locked-in Rieber gasket provides a superior joint design and a tightly sealed system. A special feature of the Rieber joint is its cavity molded, steel reinforced, locked-in gasket which is installed in the factory during production. Before each pipe's bell-forming process begins, the rubber compression gasket is inserted directly onto the bell-forming mandrel. The pipe section is then heated, formed and cooled as normal.

As a result, the bell is actually molded around the gasket. This forms a permanent and steadfast joint that is an integral part of the pipe, and virtually eliminates fishmouthing. Steel reinforcement provides joint rigidity and holds the gasket securely in place while still retaining the flexibility necessary for pipe contraction and expansion.

With locked-in Rieber joints, there's no problem with lost or misplaced gaskets or problems with improper gasket insertion.

# North American Pipe Corporation

## SHORT FORM SPECIFICATIONS *PVC Sewer Main D-3034 SDR 26*

### SCOPE

These specifications designate the requirements for North American Pipe Corporation PSM sewer pipe with a dimensional ratio (DR) of 26, and meeting the requirements of ASTM D 3034. The pipe will have a permanently installed reinforced rubber ring gasket in an integral bell joint.

The tests outlined herein are to be conducted with a pipe temperature of 73.4°F (±3°F)

### PIPE

Provisions shall be made for contraction and expansion at each joint by a reinforced rubber ring gasket seated in a belled end of the main. This belled end shall consist of an integral wall section with a recessed groove containing permanently installed rubber ring gasket.

### MATERIAL

The pipe shall be extruded from PVC meeting the requirements of Cell Classification 12454-B as defined in ASTM D 1784, PVC Compounds.

### FLATTENING

There shall be no evidence of splitting, cracking or breaking when the pipe is tested in the following manner:

*Flatten a specimen of pipe six inches long between parallel plates until the distance between the plates is forty percent of the outside diameter of the pipe. The rate of loading shall be uniform and such that the compression is completed within two to five minutes.*

### DROP IMPACT TEST

No shattering or splitting shall result when the following energy is impacted to a six inch long section of pipe, in accordance with ASTM method D 2444

Pipe Size (In Inches)	Impact Strength (Foot Pounds)
4	150
6 - 8	210
10 - 15	220

### PIPE STIFFNESS

Pipe shall have the following minimum pipe stiffness, at 5% deflection:

Pipe Size	Stiffness
4" - 15"	115

### ACETONE IMMERSION TEST

When tested in accordance with ASTM D 2152, a sample one inch long shall show no visible flaking or cracking after twenty minutes of immersion in a sealed container of anhydrous acetone (99.5% pure).

### JOINT TIGHTNESS

Joints shall conform to ASTM D 3212. The completed joint shall create a hydraulic seal capable of withstanding an internal hydrostatic pressure of 10.8 psi for one hour without leakage.

### ASSEMBLY INSTRUCTIONS

The ease of assembly of the North American Pipe Corporation joint means quick and economical installations with a minimum of skilled labor and regardless of the weather conditions.

#### *Three Simple Steps:*

- 1. Clean!** With a rag or brush remove all foreign material from the inside of the bell, from the surface of the elastomeric gasket, and from the male end of the pipe.
- 2. Lubricate!** Apply a thin coat of lubricant to the beveled end of the pipe. Lubricate up to the stop mark.
- 3. Push!** Align the bell and male end of the pipe. Then push together for a tight, leakproof joint.

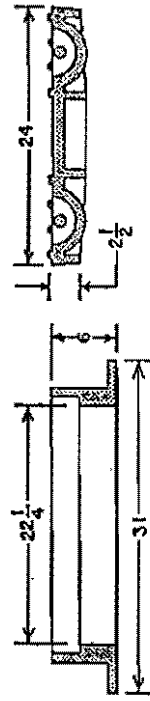
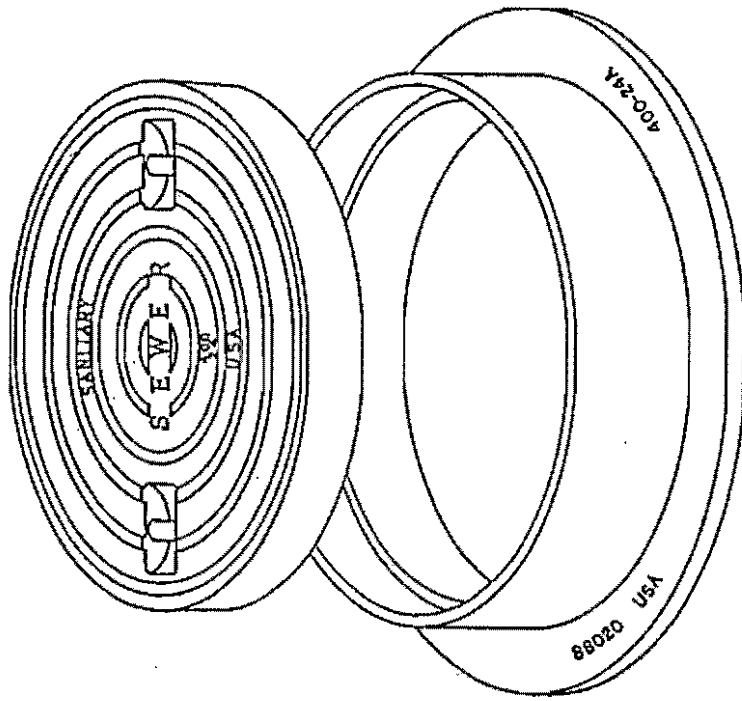
## North American Pipe Corporation

3348 Industrial Drive  
Wichita Falls, TX 76306-3735  
Phone: (940) 855-4100 FAX: (940) 855-7680

**SEWER CASTING – MANHOLE 400-24**

)

1



# 400-24                      LID 183 lbs.  
    RING 214 lbs.  
    SET 397 lbs.  
 Manhole Ring & Cover

## **SEWER FITTING – MULTI FITTING**

# TRENCH TOUGH™ GASKETED SEWER FITTINGS



## CORROSION TOUGH

High molecular weight PVC used in Multi Trench Tough fittings will neither rust nor corrode in aggressive soils. They will not deteriorate when in contact with commonly found chemicals present in effluent or in the ground. This eliminates the need for costly sacrificial anodes and expensive protective coatings often used with metal and concrete fittings. For more information on the excellent chemical resistance of PVC, please refer to our Chemical Resistance Guide.



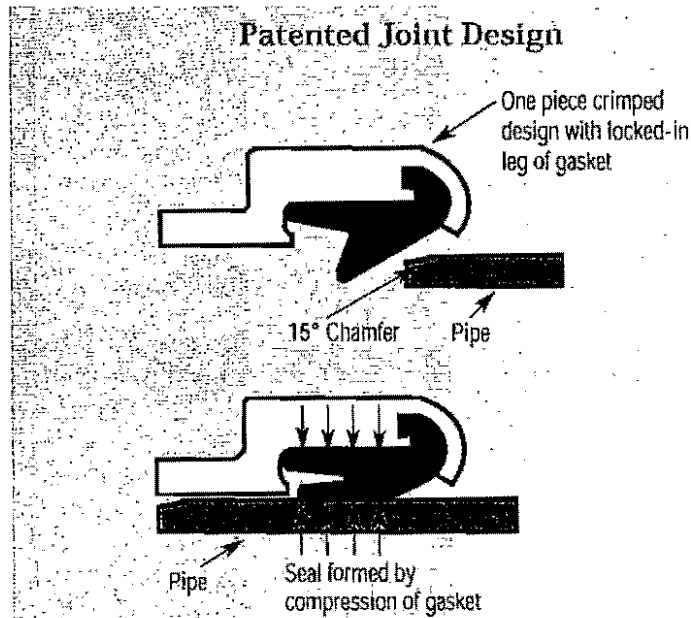
## JOINT TOUGH

### Designed With The Environment in Mind

Multi's molded Trench Tough gasketed sewer fittings are designed to meet the demands of the next century. The unique design began with the development of an engineered gasketing system.

In 1992, Multi developed a one piece crimped design wedge gasket with a locked-in leg. The gasket material is optimally designed for a durometer rating of 45 which ensures a water-tight joint every time.

The patented locked-in design gives a 35% compression ratio for the sealing area. This is one of the highest gasket sealing surface areas available in the market today. The patented locked-in design eliminates the possibility of displacement or "fish mouthing" of the gasket during spigot insertion.



### The Tightest Joint in the Industry

As an added quality control assurance, Multi has third party tested the gasketed seal to 15 psi positive pressure and 10.8 psi vacuum pressure. Both of these tests are conducted with the joint in straight alignment, deflected 5°, and load deflected 5%.

All Multi gasketed sewer fittings are capable of handling a 15 psi internal pressure providing one of the tightest joints in the industry. The pressure rating of the gasketed joint adds a safety factor and may allow pipe and fittings to be used in a common trench with potable water lines.

These watertight assemblies protect underground water systems against contamination, prevent the deterioration of surface structures such as roads and reduce the overall costs of sewage treatment. Infiltration and exfiltration are reduced well below the stringent 50 U.S.gal./in.dia./mile/day allowed for PVC pipe and fittings.

	Joint Tightness		
	ASTM	Canadian Standards Assoc.	Multi Fittings
<b>Standard</b>	D3034, F1336, F679	CSA-B182.2	Quality Control
<b>Positive Pressure (psi)</b>	10.8 psi	15.0 psi	15.0 psi
<b>Vacuum Pressure (psi)</b>	10.8 psi	10.8 psi	10.8 psi
<b>Time (minutes)</b>	10 min.	10 min.	10 min

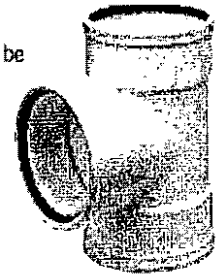
## SHORT FORM SPECS FOR TRENCH TOUGH™ SEWER FITTINGS



### TRENCH TOUGH™ SDR35 GASKETED SEWER FITTINGS

All Gasketed Sewer Fittings 4" through 15" shall be molded and comply with ASTM F1336 and D3034 standards. All fittings shall be manufactured from a high molecular weight compound having a minimum cell classification of 12454 or 13343 per ASTM D1784. All molded Wyes, T-Wyes and Tees must be a minimum of a SDR26 thickness where the branch connects to the body of the fitting. In addition, all outlets 4" through 6" service branches and bells must have a minimum of a SDR26 thickness. Materials used for gaskets must conform to the requirements of ASTM F477 or F913. All fittings must be manufactured with a locked-in gasket having a durometer rating of 45. These fittings must be third party certified to CSA B182.1 and/or CSA B182.2.

**Approved product: Multi Trench Tough SDR35 Sewer Fitting**



### TRENCH TOUGH™ SDR35 FABRICATED GASKETED SEWER FITTINGS

All fabricated Gasketed Sewer Fittings 18" through 48" shall be made from segments of third party certified SDR35 pipe that exceeds the requirements of ASTM F679. The fittings shall consist of built fused or welded pipe and solvent cemented service branches. All 4" through 6" service branches must be a minimum of SDR26 wall thickness. The fittings must conform to ASTM F1336 and F679 standards. All fittings shall be third party certified to CSA B182.1 and/or CSA B182.2

**Approved product: Multi Trench Tough SDR35 Sewer Fitting**

**Multi Trench Tough SDR35 Gasketed Sewer Fittings meet these standards:**



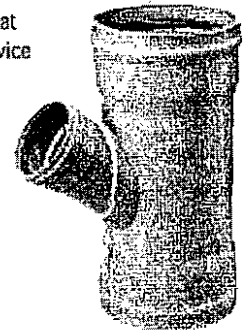
ASTM F1336, F679  
& D3034



CSA B182.1  
CSA B182.2



IAPMO  
File Number: 1575



### TRENCH TOUGH™ SDR26 HEAVY WALL SEWER FITTINGS

All heavy wall SDR26 gasketed sewer fittings shall conform to ASTM F1336 and D3034 and shall be manufactured from a high molecular weight compound having a minimum cell classification of 12454 or 13343 as prescribed in ASTM D1784. All molded Wyes, T-Wyes and Tees must be a minimum of a SDR24 thickness for body of the fitting. In addition, all outlets 4" through 6" service branches, bells and bodies must have a minimum of a SDR24 thickness. Materials used for gaskets must conform to the requirements of ASTM F913 or ASTM F477. All fittings must have a locked-in grey color coded gasket.

**Approved product: Multi Trench Tough SDR26 Heavy Wall Sewer Fitting**

**Multi Trench Tough SDR26 Heavy Wall Sewer Fittings meet these standards:**



ASTM F1336  
ASTM D3034



### TRENCH TOUGH™ CIOD SEWER FITTINGS FOR C900 PIPE

4" to 8" CIOD gasketed sewer tees, couplings, elbows, plugs and reducers shall conform to AWWA C907 and be third party certified to CSA B137.2. They shall be UL listed and FM approved. All other configurations must have a minimum DR18 wall thickness. DR18 fittings shall be made from a compound with a minimum cell classification of 12454 per ASTM D1784. The compound must have a minimum Hydrostatic Design Basis of 4,000 psi and must be listed with the National Sanitation Foundation.

\*Fabricated CIOD fittings shall be made from segments of DR18 AWWA C900 or C905 pipe bonded together and over-wrapped with fiberglass-reinforced polyester. The pipe stock used to manufacture the fittings must be third party certified to CSA B137.3 and conform to AWWA C900/C905.

**Approved product: Multi Trench Tough CIOD Sewer Fitting**

**Multi Trench Tough CIOD Sewer Fittings meet these standards:**



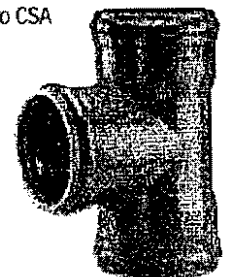
AWWA C907  
4" to 8"

**NSF-61**

Compound listed by  
National Sanitation Foundation  
for potable water service



CSA B137.2  
4" to 8"



\*This does not apply for all configurations. See above paragraph.

**SEWER CASTING – CLEANOUT 404**

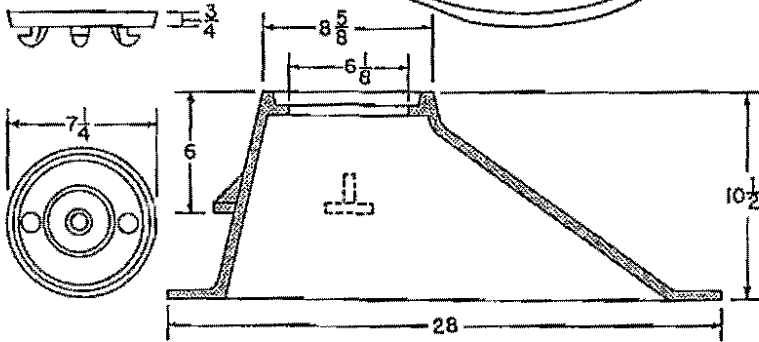




# 339

Sanitary Cleanout Boot

BASE 92 lbs.  
LID 8 lbs.  
SET 100 lbs.

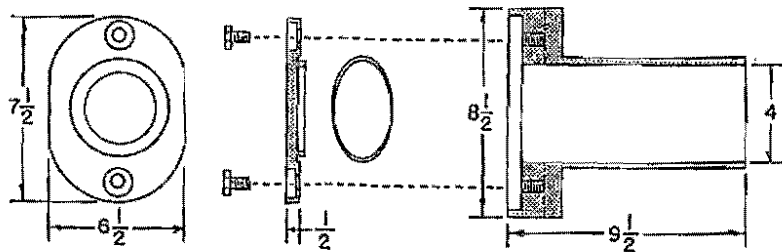
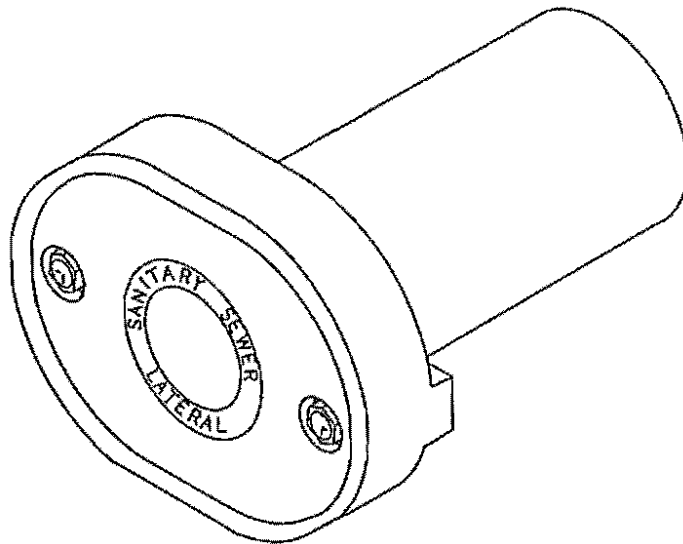


# 404

Lateral Cleanout

With Gasket, two Bolts

BASE 11 lbs.  
LID 4 lbs.  
SET 15 lbs.



# **SUBMITTAL**

**SPECTRUM DRIVE**  
**NORTH / SOUTH EXTENSION**  
**TOWN OF ADDISON**

**PREPARED FOR:**  
**SITE CONCRETE INC.**  
**P.O. BOX 154489**  
**IRVING, TX 75015**



**10077 W UNIVERSITY DR.**  
**MCKINNEY, TX 75050**  
**972-434-2600**

# **SPECTRUM DRIVE NORTH / SOUTH EXTENSION**

## **TABLE OF CONTENTS:**

- 1. WATER PIPE**
- 2. CASING SPACER**
- 3. GATE VALVE**
- 4. FIRE HYDRANT**
- 5. JOINT RESTRAINT**
- 6. MECHANICAL FITTING**
- 7. SERVICE MATERIAL**
- 8. SEWER PIPE**
- 9. SEWER FITTING**
- 10. CLEANOUT CASTING**
- 11. MANHOLE CASTING**

**WATER PIPE – DR18 CL150**

# North American Pipe Corporation

Ph: (940) 855-4100

3348 Industrial Drive, Wichita Falls, Texas 76306-3735

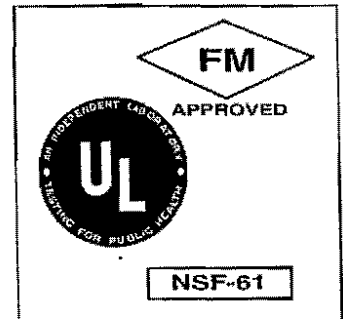
FAX: (940) 855-7680

## TECHNICAL DATA

### AWWA C-900 PVC Water Pipe — Class 100, 150 & 200

**NORTH AMERICAN PIPE PVC WATER PIPE — Class 100, 150, and 200**  
...is manufactured to meet the needs of modern municipal water distribution systems, fire prevention systems, and various industrial applications.

- The pipe conforms to AWWA Standard C-900 and is listed by the Underwriter's Laboratories for use as water mains and fire prevention systems, and is listed by the NSF International and approved by Factory Mutual (FM).
- It is manufactured to cast iron size O.D. making the pipe compatible with traditional piping materials used in municipal water systems.
- Each length of pipe is pressure tested at four (4) times its rated pressure.
- The North American Pipe Corporation Joint is the latest development in gasketed integral-bell PVC pipe. It will far surpass any other gasketed coupling system in the elimination of gasket roll-out (fishmouthing) during installation.



#### PRESSURE RATING AT 73.4°F

North American Pipe Corporation Class 100 Water Pipe is designed to operate at a service pressure of 100 psi. Each length, including the integral bell is hydrostatically tested at 400 psi. Class 150 Water Pipe is designed to operate at a service pressure of 150 psi. Each length, including the integral bell, is hydrostatically tested at 600 psi. Class 200 Water Pipe is designed to operate at a service pressure of 200 psi. Each length, including the integral bell, is hydrostatically tested at 800 psi. Class 100, 150, and 200 C-900 all have a surge allowance. Internal pressure and external loading criteria are outlined in AWWA C-900, Appendix A.

#### PIPE DIMENSIONS

Size (Inches)	Outside Diameter	Inside Diameter	Minimum Wall (E) Thickness	Weight Per Foot	Depth Of Entry (L) Dimension	Bell O.D.	Feet Per Unit
<b>DR 25 — Class 100</b>							
4	4.800	4.416	.192	1.846	4.25	6.10	960'
6	6.900	6.348	.276	3.831	5.25	8.25	560'
8	9.050	8.266	.362	6.618	6.25	11.25	200'
10	11.100	9.926	.444	10.005	7.38	13.25	160'
12	13.200	12.026	.528	14.180	8.38	16.00	80'
<b>DR 18 — Class 150</b>							
4	4.800	4.266	.267	2.522	4.25	6.20	960'
6	6.900	6.134	.383	5.226	5.25	8.25	560'
8	9.050	8.044	.503	9.040	6.25	11.25	200'
10	11.100	9.866	.617	13.666	7.38	13.25	160'
12	13.200	11.734	.733	19.354	8.38	16.25	80'
<b>DR 14 — Class 200</b>							
4	4.80	4.114	.343	3.182	4.25	6.36	960'
6	6.90	5.914	.493	6.605	5.25	8.50	560'
8	9.05	7.758	.646	11.410	6.25	11.50	200'
10	11.10	9.514	.793	17.250	7.38	13.75	160'
12	13.20	11.314	.943	24.450	8.38		80'

# North American Pipe Corporation

## SHORT FORM SPECIFICATIONS

For Class 100, 150, and 200 Integral Bell Gasketed PVC Pipe Meeting AWWA Standard C-900 and with Reinforced Gaskets.

### STANDARDS

**AWWA C-900** — polyvinyl chloride (PVC) pressure pipe 4" through 12" for water.

**AWWA C-111** — standard for rubber gasket joints for cast iron pipe and fittings.

**ASTM D-1784** — Specifications for polyvinyl chloride (PVC) compounds.

**ASTM D-3139** — Joints for plastic pressure pipe using elastomeric seals.

**ASTM F-477** — Specifications for elastomeric seals.

**UNI-B-1** — Thermoplastic pipe joints, pressure and non-pressure applications.

**UNI-B-3** — Installation of Polyvinyl Chloride (PVC) pressure pipe (complying with AWWA standard C-900).

**UNI-B-8** — direct tapping of PVC pressure water pipe.

### 1. SCOPE

1.1 This specification outlines requirements for rigid PVC (polyvinyl chloride) pipe for water main systems and other pressure pipe applications. When used for potable water systems the pipe shall meet the **ANSI/NSF Standard 61 - Drinking Water System Components - Health Effects**, which is indicated by the following logo:

**NSF-61**

### 2. MATERIAL

2.1 The pipe shall be extruded from PVC meeting the requirements of Cell Classification 12454-B as defined in ASTM D 1784, *PVC Compounds*. The PVC shall also be approved by NSF International for use in potable water pipe.

### 3. PIPE

3.1 The pipe shall be manufactured to cast iron size (C.I.) outside dimensions with DR's and tolerances in compliance with AWWA Standard C-900. *PVC Pressure Pipe, 4" through 12" for water*. The pipe shall be approved by the Underwriter's Laboratories (UL) for use in underground fire protection service. Laying length shall be 20' ±1" for all sizes, except that up to 15% of the footage may be in random lengths of not less than 10'.

3.2 The pipe shall have an integral bell end and the gasket seal shall be reinforced with a steel band or other rigid material. The joint shall be in compliance with requirements of ASTM D 3139, *Joints for Plastic Pressure Pipes Using Flexible Elastomeric Seals*. The spigot end of the pipe is cut square and has a smooth bevel of 15° to a depth of approximately 1/2 of the wall thickness.

3.3 The pipe marking shall include:

- (A). *Nominal size and O.D. base (e.g., 8" C.I.)*.
- (B). *Material code designation (PVC 1120)*.
- (C). *Dimension ratio number, (DR 14 or 18)*.
- (D). *AWWA pressure class (150 or 200)*.
- (E). *AWWA designation number (AWWA C 900)*.
- (F). *Manufacturer's name or trademark and production code*.
- (G). *Seal of the testing agency that verified the suitability of the pipe material for potable water service*.

### 4. TEST REQUIREMENTS

4.1 Each length of pipe (standard or random), including the integral bell, shall be pressure tested to four times the rated pressure for a minimum of five seconds.

4.2 Pipe shall meet all additional test requirements as described in AWWA C-900.

### 5. DESIGN AND INSTALLATION

5.1 Criteria for design and installation of PVC Water Pipe shall be in accordance with the general requirements set fourth in AWWA C-900, Appendix A. Additional guidelines, covering thrust blocking, tapping, curved installation, testing, etc., are outlined in *UNI-BELL Standard for Installation of PVC Plastic Pressure Pipe for Municipal Water Main Distribution Systems, UNI-B-3*.

### ASSEMBLY INSTRUCTIONS

The ease of assembly of the North American Pipe Corporation joint means quick and economical installations with a minimum of skilled labor and regardless of the weather conditions.

#### Three Simple Steps:

1. **Clean!** With a rag or brush remove all foreign material from the inside of the bell, from the surface of the elastomeric gasket, and from the male end of the pipe.
2. **Lubricate!** Apply a thin coat of lubricant to the beveled end of the pipe. Lubricate up to the stop mark.
3. **Push!** Align the bell and male end of the pipe. Then push together for a tight, leakproof joint.

**North American  
Pipe Corporation**

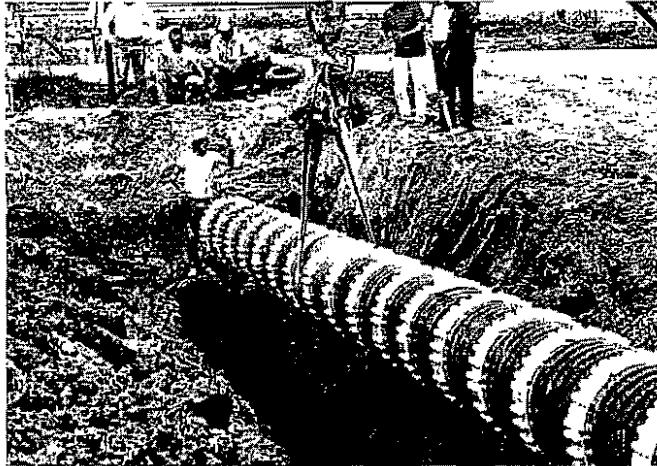
3348 Industrial Drive

Wichita Falls, TX 76306-3735

Phone: (940) 855-4100 FAX: (940) 855-7680

## **CASING SPACER – RACI**

# **raci** patented casing spacers for cased pipelines



**raci**, the leaders in casing spacer technology, has been in business since 1977 and are **ISO 9002 CERTIFIED**. Their uniquely designed, engineered and patented spacers are respected and their dependability has made them the number one choice of specifiers and installers world wide.

**raci** Casing Spacers isolate water, sewer and gas pipelines from casings simply and cost effectively. Insulators are required to separate casing and carrier pipes with the following criteria.

- Must ensure electrical insulation between the two pipes
- permanently prevent bells from sliding or resting on casing pipe
- Must fasten tightly on the carrier pipe to ensure no horizontal movement during insertion
- Must be made of materials which do not conduct electricity and are permanently resistant to chemical corrosion
- Must be resistant to both mechanical and thermal shocks and stresses particularly during installation

## **raci** SPACER ADVANTAGES:

**raci** spacers meet the above requirements with the following advantages over the standard skid and strap application and other models of manufactured spacers.

- Spacers are manufactured entirely out of high density polyethylene with **NO METAL bolts or attachments required**
- Spacers are quickly and easily assembled by manually fitting elements one into the other

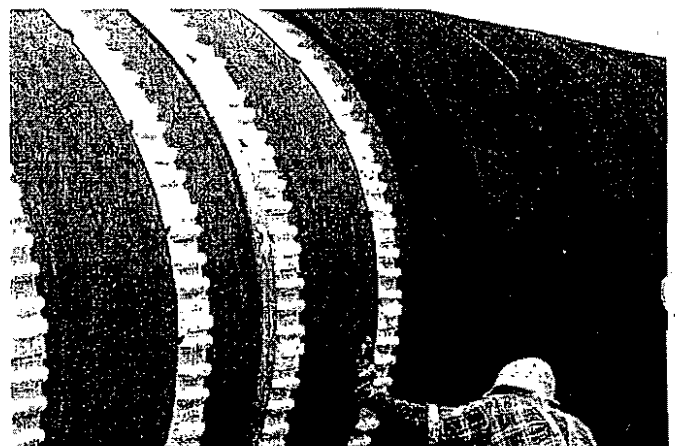
- Tooth insertion method allows on site adjustment to fit a wide range of pipe diameters and coatings
- Spacers slide into casing with ease
- Spacers maintain continual long term support for the carrier pipe and its contents
- Spacers provide **constant projections around the entire circumference** of the carrier pipe.
- Spacers provide long term corrosion protection
- Spacers can be installed on coated or plain concrete, ductile iron, plastic and steel pipe.

The spacers are divided into four groups which address a wide range of pipe sizes and weights. Within each grouping there are **varying support heights** that allow the spacer to clear bell joints, flanges, couplings, and other jointing methods. These heights range from .78 inches to 5.11 inches (20 - 130 mm)

**SPECIAL APPLICATIONS:** For applications with temperatures in excess of 60°C/140° F spacers are available in nylon.

On request spacers can be manufactured in other types of plastic material according to the mechanical and temperature requirements of the pipeline.

The **HDPE spacer** is manufactured by injection molding. This gives it a high impact strength and a low coefficient of friction which exceeds industry standards. Each spacer element represents a flexible section that has a toothed male butt strap at one end and an appropriately toothed female slot on the other end. Absolutely **no metallic parts** are involved in their assembly. This design allows for **on site adjustments** for any variances within the O.D. range. Coupled with their flexibility they cover all types of pipe from O.D. range 1.18 inches (30 mm) and upward.

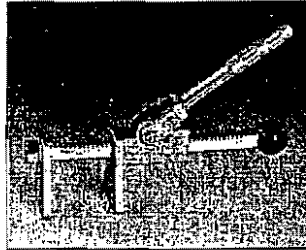




## SPACER OPTIONS

### SPACER ELEMENTS F AND G

These spacers are engineered to be used on small to medium sized pipe and are able to support a maximum weight load of 1102 lb./500 kg per ring. F and G spacers are best suited for pipe ranges 3.62 to 16.00 inches (92 to 406 mm). For installation the Clamping Tool Type 1 is used.



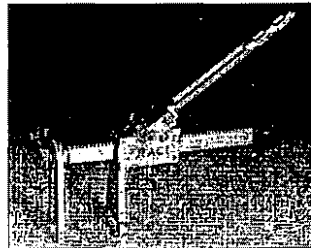
### SMALL TO MEDIUM DIAMETER PIPE

TYPE F / G 25, 41, and 60 mm element support height of .98, 1.6, and 2.36 inches							
O.D. Range inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	F	G	ft	m
3.62	4.49	92	114	1	1	6	1.8
4.57	5.94	116	151	2		6	1.8
6.06	7.56	154	192	2	1	6	1.8
7.44	8.53	189	226	3		6	1.8
8.54	10.51	217	267	3	1	6	1.8
9.88	11.89	251	302	4		6	1.8
11.02	13.50	280	343	4	1	6	1.8
12.96	14.84	314	377	5		6	1.8
14.84	17.80	377	452	6		6	1.8
17.32	20.79	440	528	7		6	1.8

MAXIMUM LOAD 1102 LBS OR 500 KGS PER RING

### SPACER ELEMENTS M AND N

The M and N spacer is designed for that middle pipe O.D. range application. They are able to support a maximum weight load of 2204 lb./1000 kg per ring. The M and N spacers are best suited for the pipe range 14.09 to 30.8 inches (358 to 764 mm). For installation the Clamping Tool Type 5 is used.



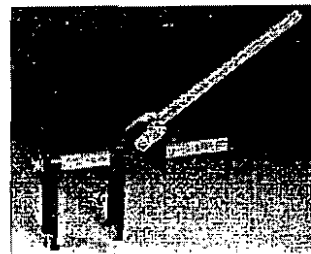
### MEDIUM DIAMETER PIPE

TYPE M / N 36, 50, 75, and 90 mm element support height of 1.42, 1.97, 2.95, and 3.54 inches							
O.D. Range inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	M	N	ft	m
5.63	7.01	143	178	1	1	6	1.8
7.05	8.03	179	204	2		6	1.8
8.07	10.04	205	255	1	2	6	1.8
10.08	12.05	256	306	3		6	1.8
12.09	14.06	307	357	2	2	6	1.8
14.09	17.05	358	433	3	2	6	1.8
17.09	21.06	434	535	3	3	6	1.8
21.10	25.08	536	637	4	3	6	1.8
25.12	30.08	638	764	6	2	6	1.8
30.12	36.10	765	917	9		6	1.8
36.14	43.15	918	1096	10	1	6	1.8
43.19	51.14	1097	1299	12	1	5	1.5
51.18	57.17	1300	1452	12	3	4.3	1.3

MAXIMUM LOAD 2204 LBS OR 1000 KGS PER RING

### SPACER ELEMENTS E AND H

For large diameter pipe, heavier applications or long casings where maximum strength is required the E and H elements are used. They are able to support a maximum weight load of 5925 lb./2700 kg per ring and are best suited for the pipe range above 24 inches (609 mm). For installation, the Clamping Tool Type 2 is used for support heights up to 90 mm. Tool Type 4 is used for the E 130s.



### LARGE DIAMETER PIPE

TYPE E / H 25, 41, 60, 75, 90, and 130 mm element support height of .98, 1.6, 2.36, 2.95, 3.54, and 5.11 inches							
O.D. Range inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	E	H	ft	m
8.70	10.71	221	272	2	1	6	1.8
10.51	12.50	267	320	3		6	1.8
12.20	14.92	310	379	3	1	6	1.8
14.06	16.77	357	426	4		6	1.8
15.71	19.13	399	486	4	1	6	1.8
17.56	21.02	446	534	5		6	1.8
21.02	25.20	534	640	6		6	1.8
24.57	29.37	624	746	7		6	1.8
28.11	33.58	714	853	8		6	1.8
31.61	37.80	803	960	9		6	1.8
35.12	41.97	892	1066	10		6	1.8
38.62	46.18	981	1173	11		6	1.8
45.67	54.57	1160	1386	13		5	1.5
52.68	62.99	1338	1600	15		4.3	1.3
59.84	71.38	1520	1813	17		3.2	0.97
70.20	83.98	1783	2133	20		3.2	0.97
80.75	96.57	2051	2453	23			
94.80	113.39	2408	2880	27			
112.32	134.41	2853	3414	32			

MAXIMUM WEIGHT 5925 LBS OR 2700 KGS PER RING

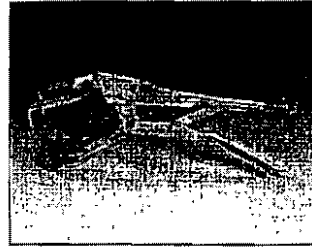
### SPACER ELEMENTS S AND T

(see next page)

O.D. range 1.18 - 6.46 inches (30 - 164 mm)

### SPACER ELEMENTS S AND T

These spacers are linked by a tongue and groove method. S and T spacers are able to support a maximum weight load of 250 lb./110 kg per ring. They are best suited for pipe ranges 1.18 - 4.13 inches (30 - 150 mm). For installation the Clamping Tool Type 3 is used.



### SMALL DIAMETER PIPE

TYPE S / T 20 mm support height of .78 inches							
O.D. Range inches		O.D. Range millimeters		# of Elements to make a ring		Spacing between rings	
min	max	min	max	S	T	ft	m
1.18	1.38	30	35	1		3.2	0.98
1.50	1.69	38	43		1	3.2	0.98
2.36	2.76	60	70	2		5	1.5
2.68	3.07	68	78	1	1	5	1.5
2.99	3.39	76	86		2	6	1.8
3.54	4.13	90	105	3		6	1.8
3.86	4.45	98	113	2	1	6	1.8
4.17	4.76	106	121	1	2	6	1.8
4.72	5.51	120	140	4		6	1.8
5.35	6.14	136	156	2	2	6	1.8
5.67	6.46	144	164	1	3	6	1.8

MAXIMUM WEIGHT 250 LBS OR 110 KGS PER RING

### Properties of **raci** Spacers

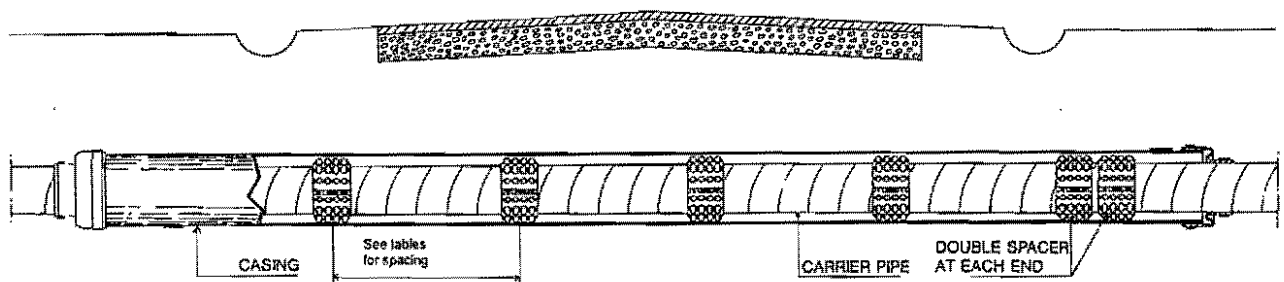
#### TECHNICAL DATA OVERVIEW OF SPACERS

Spacer Type		S	T	F	G	M	N	E	H
Usable Length	Inch	3.6 - 4.3	4.6 - 5.2	7.8 - 8.97	3.14 - 4.76	10.5 - 11.7	7.4 - 8.7	11 - 12.6	5.1 - 7.3
	mm	91 - 109	116 - 132	198 - 227	79 - 120	266 - 297	187 - 220	279 - 320	129 - 185
Width	Inch	3.34	3.34	5.11	5.11	7.09	7.09	8.85	8.85
	mm	84	84	129	129	180	180	224.8	224.8
Carrier OD range	Inch	1.18-6.46	1.18-6.46	3.62-20.79	3.62-20.79	5.63-57.17	5.63-57.17	8.7-134.41	8.7-134.41
	mm	30-164	30-164	92-528	92-528	143-1452	143-1452	221-3414	221-3414
Max. weight load / ring	lbs	250	250	1102	1102	2204	2204	5952	5952
	kgs	110	110	500	500	1000	1000	2700	2700
Max. - Min. operating temperature	°F	-4 to 140							
	°C	-20 to 60							

#### PHYSICAL CHARACTERISTICS OF HIGH DENSITY POLYETHYLENE

Yield strength	3625 PSI	25 N/mm <sup>2</sup>	ASTM D 638
Tensile Strength	2900 PSI	20 N/mm <sup>2</sup>	ASTM D 638
Elongation at break	800%	800%	ASTM D 638
Hardness shore D	65	65	ASTM D 2240
Minimum working temperature	-4° F	-20° C	
Dielectric strength	>940 Kv/inch	>37 Kv/mm	ASTM 149/64
UVL Stabilization	yes	yes	

#### TYPICAL ROAD CROSSING



JRWT - TRADING CORPORATION

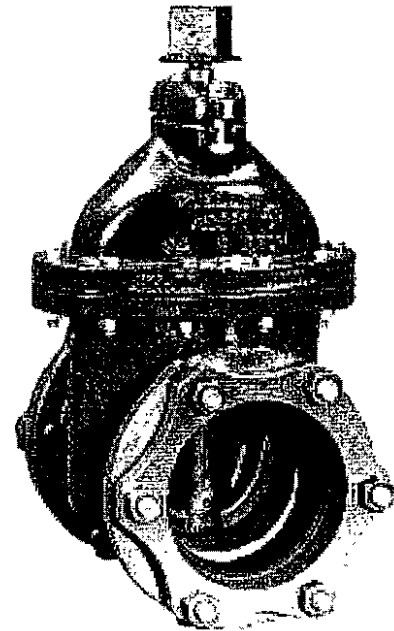
901B Waddington Drive, Vernon, BC V1T 9E2 Tel: (250) 545-6045 Fax: (250) 545-6911

**GATE VALVE – MUELLER 2360**

## 2"-12" MUELLER® A-2360 RESILIENT WEDGE GATE VALVES - M.J. x M.J.

Rev. 12-01

- Catalog number—
  - A-2360-20 Mechanical joint ends (with mechanical joint unassembled accessories)
  - A-2360-23 Mechanical joint ends (less mechanical joint accessories)
  - A-2360-25 Mechanical joint ends (with transition gaskets)
- Sizes—2", 3", 4", 6", 8", 10", 12"
- Meets or exceeds all applicable requirements of ANSI/AWWA C509 Standard and is certified to ANSI/NSF 61
- Standard mechanical joint ends comply with ANSI/AWWA C111
- Iron body with nominal 10 mils MUELLER® Pro-Gard™ Fusion Epoxy Coated interior and exterior surfaces
- Epoxy coating meets or exceeds all applicable requirements of ANSI/AWWA C550 Standard and is certified to ANSI/NSF 61
- Iron wedge, symmetrical & fully encapsulated with molded rubber; no exposed iron
- Non-rising stem (NRS)
- Triple O-ring seal stuffing box (2 upper & 1 lower O-rings)
- 2" square wrench nut (optional handwheel available)—open left or open right
- 2"-12" sizes—250 psig (1723 kPa) maximum working pressure, 500 psig (3447 kPa) static test pressure
- UL Listed, FM Approved: 200 psig (1379 kPa) — 3"-12" sizes



**A-2360-20**

M.J. accessories  
shipped unassembled

### Options

See pages 10.34 and 10.35 for more information on Resilient Wedge Gate Valve options

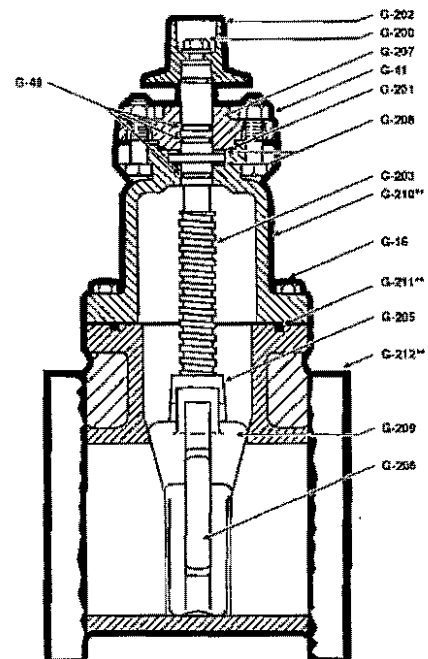
- Position indicators
- Stainless steel fasteners: Type 304, Type 316
- ASTM B98-C66100/H104 stem
- Handwheel

### Resilient wedge gate valve parts

Catalog Part No.	Description	Material	Material standard
G-16	Bonnet Bolts & Nuts	Carbon Steel	ASTM A307 Grade B, Zinc Plated
G-41	Stuffing Box Bolts & Nuts	Carbon Steel	ASTM A307 Grade B, Zinc Plated
G-49	Stem O-rings (3)	Rubber	ASTM D2000
G-200	Wrench Nut Cap Screw	Carbon Steel	ASTM A307 Grade B, Zinc Plated
G-201	Stuffing Box Seal	Rubber	ASTM D2000
G-202	Wrench Nut	Cast Iron	ASTM A126 CL.B
G-203	Stem	Bronze	ASTM B138
G-204	Hand Wheel (not shown)	Cast Iron	ASTM A126 CL.B
G-205	Stem Nut	Bronze	ASTM B62
G-206	Guide Cap Bearings	Celcon	
G-207	Stuffing Box	Cast iron	ASTM A126 CL.B
G-208	Anti-friction Washers (2)	Celcon	
G-209	Wedge, Rubber Encapsulated	Cast Iron*	ASTM A126 CL.B
G-210**	Bonnet	Cast Iron	ASTM A126 CL.B
G-211**	Bonnet O-ring	Rubber	ASTM D2000
G-212**	Body	Cast Iron	ASTM A126 CL.B

\* Fully encapsulated in molded rubber with no iron exposed

\*\* Previous to 1999 these parts on 4"-12" valves were designed with a gasket instead of an O-ring and with additional bolt holes (2"-3" sizes retain gasket design affecting these parts). Confirm the type of seal when ordering a replacement gasket or O-ring.



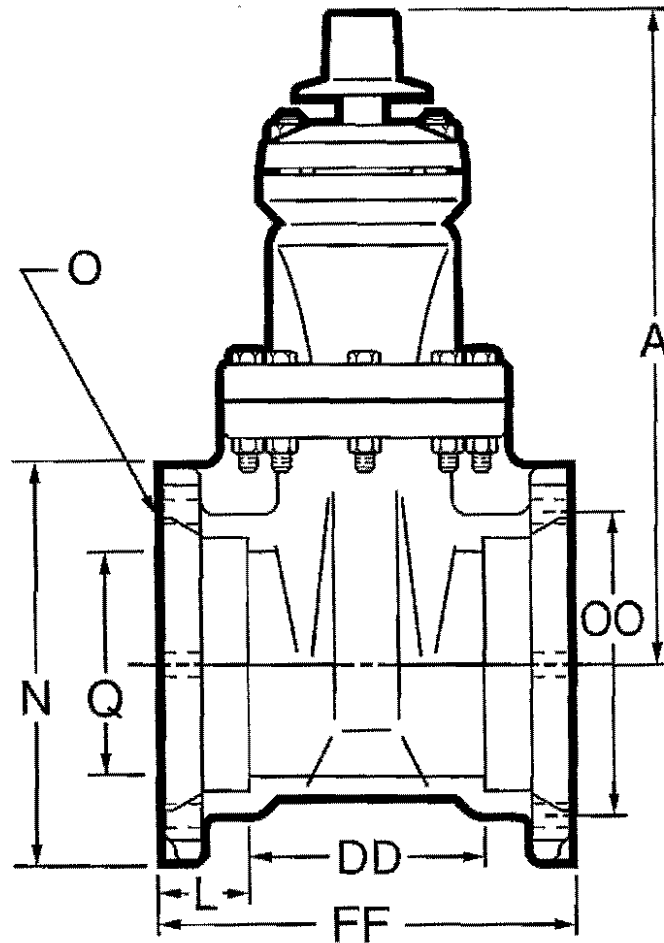
**SEE PAGE 10.39 FOR ORDERING INSTRUCTIONS**

# 2"-12" MUELLER® A-2360 RESILIENT WEDGE GATE VALVE - M.J. x M.J.

Mueller Co.

10.9

Rev. 12-01



## Dimensions

Dimension*	Nominal size						
	2"	3"	4"	6"	8"	10"	12"
A	9.88	12.38	14.19	18.00	21.50	25.50	28.62
FF	8.50	9.00	10.00	11.50	12.50	14.75	14.88
L	2.50	2.50	2.50	2.50	2.50	2.50	2.50
N	4.62	7.50	9.12	11.12	13.37	15.62	17.88
Q (number and size of holes)	4-7/8	4-7/8	4-7/8	6-7/8	6-7/8	8-7/8	8-7/8
DD	3.50	4.00	5.00	6.50	7.50	9.75	9.88
Q (bore)	2.30	3.30	4.30	6.30	8.30	10.30	12.30
OO (bolt circle diameter)	5.00	6.19	7.50	9.50	11.75	14.00	16.25
Turns to open	8	11	14	20.5	26.5	33	38.5
Weight*	40	83	120	186	280	405	540

\* All dimensions are in inches. All weights include accessories are in pounds and are approximate.

**FIRE HYDRANT – MUELLER 423 SUPER CENTURION**

# MUELLER® SUPER CENTURION® FIRE HYDRANT

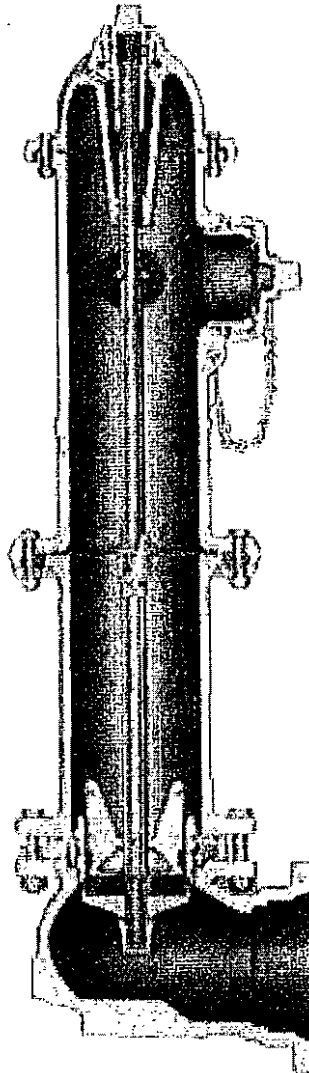
Mueller Co.

9.1

Rev. 12-01

## MUELLER SUPER CENTURION 250™ 3-Way Fire Hydrant Features

- ❑ **ANTI-FRICTION WASHER** helps assure easy turning operation for the life of the hydrant.
- ❑ **OIL FILLER PLUG** permits quick check of oil level. Lets you add oil without removing bonnet.
- ❑ **OIL RESERVOIR O-RING SEALS** seal oil in, water out.
- ❑ **STAINLESS STEEL SAFETY STEM COUPLING** - pulls free if hydrant is hit by a vehicle preventing damage to the stem and main valve. Coupling will not break into pieces that could drop into lower barrel and affect valve operation. Top of lower stem is below the top of the lower barrel so that a tire cannot depress the stem and open the main valve. Repair is easy and economical.
- ❑ **SAFETY FLANGE** - breaks cleanly to help prevent barrel damage, yet is strong enough to withstand normal handling. Allows economical repair, adding of extension section, rotation or changing of upper barrel without digging or water shut-off.
- ❑ **BRONZE UPPER VALVE PLATE** conical design for smooth flow.
- ❑ **DRAIN VALVE FACINGS** specially designed, long-life facings provide effective sealing.
- ❑ **DUCTILE IRON CAP NUT** retains main valve. Seats against cap nut gasket to prevent corrosion of stem threads. Locked in place by a stainless steel lock washer. Mueller HP Epoxy coated for durability.
- ❑ **250 PSIG** - 3-way hydrant: 250 psig (1723 kPa) maximum working pressure, 500 psig (3447 kPa)
- ❑ **SHOE DESIGNED FOR MAXIMUM FLOW AND EASY CONNECTION** with its smooth transitional contours, extended neck and integral anti-rotation pads, allowing use of standard tee-head bolts. The inside of the shoe is covered with MUELLER HP® Epoxy Coating. This thermosetting epoxy forms a tough corrosion-resistant barrier to chemicals, physical impact and electrical currents.
- ❑ **HOLD-DOWN NUT** - with integral weather seal. Design discourages unauthorized removal of the hold-down nut or bronze operating nut. Resilient wiper seal between hold-down nut and operating nut prevents water entry to protect operating nut from freezing. Wiper seal material is resistant to ultra-violet ray deterioration. O-ring seal provides second level of protection.
- ❑ **MEETS OR EXCEEDS** all applicable requirements of ANSI/AWWA C502 Standard and UL 246 and FM 1510 specifications.
- ❑ **O-RING SEALS AT BONNET, GROUND, AND SHOE FLANGES** for better leak resistance, easier maintenance.
- ❑ **SEALED OIL RESERVOIR** - O-ring sealed to prevent leakage. Provides positive lubrication of stem threads and bearing surfaces each time the hydrant is operated. Filled at the factory.
- ❑ **FULL FLOW OPENINGS** large radius hose and pumper openings produce low friction loss.
- ❑ **FIELD REPLACEABLE HOSE AND PUMPER NOZZLES** - O-ring sealed. Threaded in place and retained by stainless steel locks. Nozzles are easily replaced.
- ❑ **ELECTRO-GALVANIZED BOLTS AND NUTS** - provide corrosion protection.
- ❑ **NON-KINKING CHAINS** heavy-duty chains are securely attached to the hydrant. Special chain loop permits free turning of the cap.
- ❑ **BRONZE SEAT RING** - threaded into drain ring and O-ring sealed. Seat ring is easily removed or installed from above ground. Each time main valve is opened or closed, double drain valves force-flush both drain valve openings to keep them open for effective barrel drainage. Bronze drain valves are integral parts of main valve assembly.
- ❑ **REVERSIBLE, COMPRESSION TYPE MAIN VALVE** - closes with pressure for positive seal. Rubber material has long service life, yet is reversible providing a convenient spare in place.



Manufactured under one or more of the following: U.S. Patent No. 4,717,178; 4,842,246.

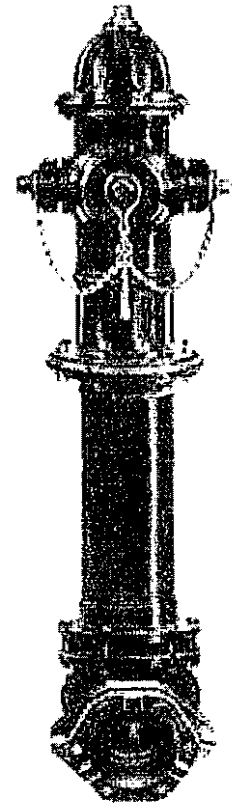
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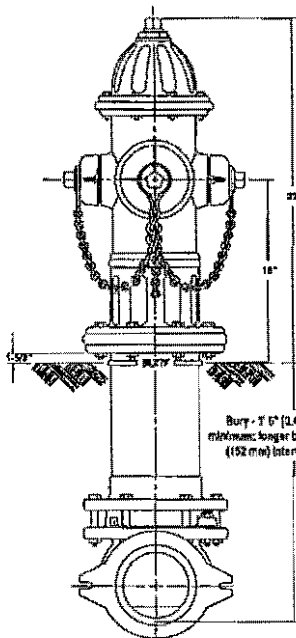
# MUELLER® SUPER CENTURION® FIRE HYDRANT

Rev. 12-01

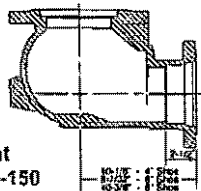
- Super Centurion 250™ 3-way catalog numbers (approved to UL 262, FM 1120/1130, ANSI/AWWA C502 Standards) -
  - A-421 4-1/2" main valve opening three way (two hose nozzles and one pumper nozzle)
  - A-423 5-1/4" main valve opening three way (two hose nozzles and one pumper nozzle)
- Super Centurion 200™ 2-way catalog numbers (approved to ANSI/AWWA C502 Standards) -
  - A-420 4-1/2" main valve opening two way (two hose nozzles)
  - A-422 5-1/4" main valve opening two way (two hose nozzles)
  - A-425 5-1/4" main valve opening two way (two pumper nozzles)
- Super Centurion 200™ 1-way catalog number (approved to ANSI/AWWA C502 Standards)-
  - A-424 4-1/2" main valve opening one way (one pumper nozzle)
- 10 year limited warranty on material and workmanship
- Meets all applicable parts of ANSI/AWWA C502 Standard
- Post type dry barrel design
- Dry top design with O-ring sealed oil reservoir
- Traffic feature with stainless steel safety stem coupling
- Compression-type main valve closes with pressure for positive seal; it is made of rubber and is conveniently reversible providing a spare for long service life
- Operating nut available in wide variety of shapes and sizes-open left or right
- Field replaceable hose and pumper nozzles
- Hose and pumper nozzles have large radius, full flow openings for low friction loss
- Contoured shoe is designed for full flow
- Dual bronze drain valves provide effective barrel drainage
- 250 psig (1723 kPa) maximum working pressure, 500 psig (3447 kPa) static test pressure for 3-way hydrants; 200 psig (1379 kPa) maximum working pressure, 400 psig (2758 kPa) static test pressure for 2-way and 1-way hydrants



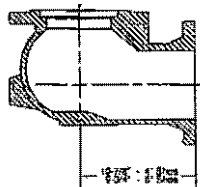
## Dimensions



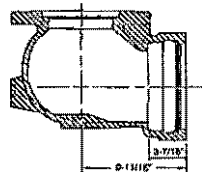
**Mechanical joint**  
standard and D-150



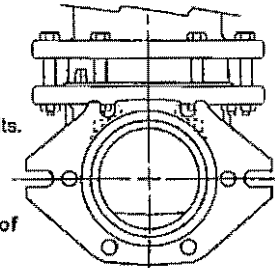
**Flange**  
ANSI 125/150 or  
PN 10/16 Drilling



**Slip-on**

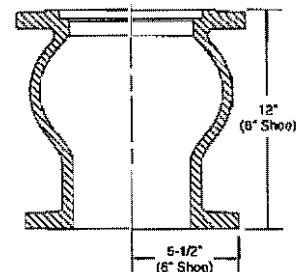


Non-rotating  
bolt design:  
cast-in pads  
eliminate need  
for anti-rotation bolts.



**Front view detail of  
Mechanical joint  
(Standard only)**

**Vertical  
Flange\***



\* 4" Vertical shoe available for  
A-420 and A-421 hydrants.

SEE PAGE 9.24 FOR ORDERING INSTRUCTIONS



## **MECHANICAL JOINT RESTRAINT – STAR 4000**



# PVC Stargrip<sup>®</sup> series 4000

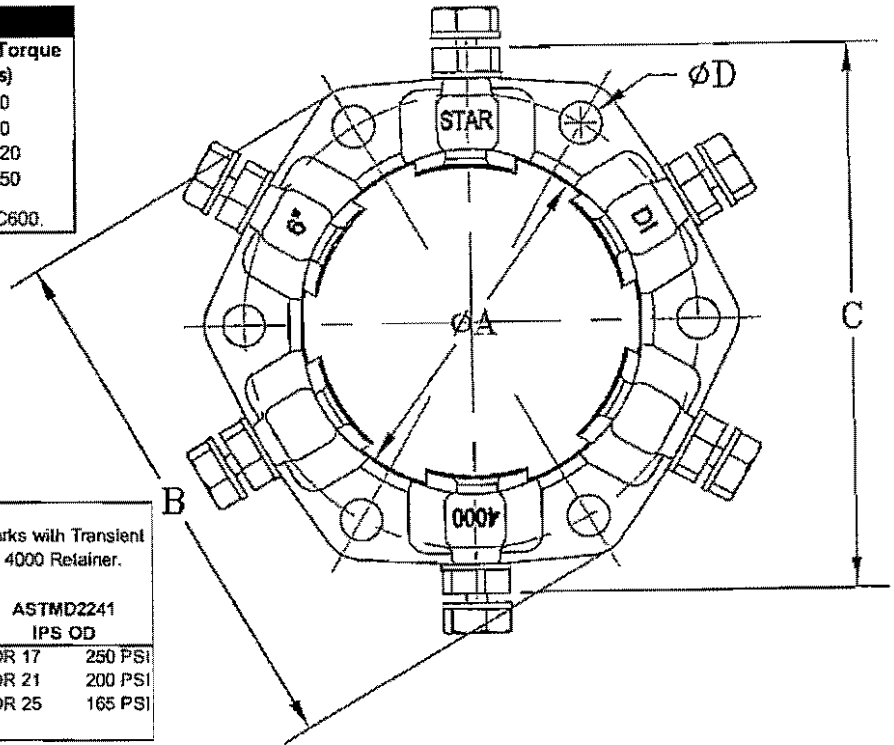
Mechanical Joint Wedge Action Restraint for  
PVC Pipe, Patent #5,071,175

## TECHNICAL INFORMATION

### T-HEAD BOLT & NUT DETAILS

Pipe Size (In.)	Bolt Size (In.)	Range of Torque (ft-lbs)
3	5/8	45-60
4-24	3/4	75-90
30-36	1	100-120
42-48	1 1/4	120-150

These torque ranges are requirements of AWWA C600.



Standardized pressure Ratings for the ordinary water works with Transient surges only. Ratings are for PVC pipes with SERIES 4000 Retainer.

ANSI/ASSA C900 CI OD		ANSI/AWWA C905 CI OD		ASTMD2241 IPS OD	
DR 14	200 PSI	DR 18	235 PSI	SDR 17	250 PSI
DR 18	150 PSI	DR 21	200 PSI	SDR 21	200 PSI
DR 25	100 PSI	DR 25	165 PSI	SDR 25	165 PSI
		DR 32.5	125 PSI		

### PVC STARGRIP SPECIFICATIONS

NOM. SIZE	C900 Pipe OD	IPS Pipe OD	ØA	B	C*	ØD	T-Bolts Size/No.	Approx WT LBS.
3"	3.96	3.50	4.09	7.79	8.50	3/4	5/8 (4)	10
4"	4.80	4.50	4.93	9.16	9.64	7/8	3/4 (4)	11
6"	6.90	6.63	7.03	11.16	11.72	7/8	3/4 (6)	15
8"	9.05	8.63	9.18	13.75	13.97	7/8	3/4 (6)	23
10"	11.10	10.75	11.23	16.00	16.18	7/8	3/4 (8)	30
12"	13.20	12.75	13.33	18.25	18.23	7/8	3/4 (8)	34
14"	15.30	N/A	15.45	20.75	20.36	7/8	3/4 (10)	49
16"	17.40	N/A	17.55	23.00	22.46	7/8	3/4 (12)	59
18"	19.50	N/A	19.65	25.25	24.56	7/8	3/4 (12)	67
20"	21.60	N/A	21.75	27.50	26.66	7/8	3/4 (14)	79
24"	25.80	N/A	25.95	32.00	30.86	7/8	3/4 (16)	102
30"	32.00	N/A	32.18	39.38	36.82	1-1/8	1 (20)	150
36"	38.30	N/A	38.48	46.25	43.12	1-1/8	1 (24)	180

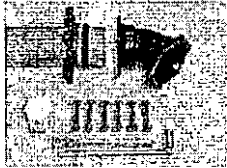
\* Dimension C is after assembly on pipe.  
All dimensions in inches.



# PVC Stargrip<sup>®</sup> series 4000

Mechanical Joint Wedge Action Restraint for  
PVC Pipe, Patent #5,071,175

## INSTALLATION INSTRUCTIONS



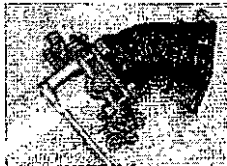
1. The rubber gasket seals more effectively if the surfaces with which it comes in contact are thoroughly cleaned just before assembly to remove all loose rust or foreign material. Lubrication and additional cleaning should be provided by brushing both the gasket and the plain end with soapy water or pipe lubricant. Slide the PVC Stargrip on the plain end, followed by the MJ gasket.



2. After insertion of the pipe into the bell of the fitting, firmly press the gasket into the gasket recess. During this process the joint should be kept straight.



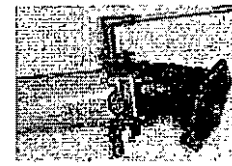
3. Slide the PVC Stargrip toward the MJ bell with the gland lip against the gasket. Insert T-bolts and hand tighten nuts. **IMPORTANT:** Make deflection after joint is assembled but before tightening T-bolts.



4. While tightening T-bolts, it is essential that the gland be brought up toward the bell flange evenly, maintaining approximately the same distance between the gland and the face of the flange at all points around the socket. All T-bolts should be tightened until they are in within the torque range as listed in table.



5. Hand tighten the Torque-limiting twist-off Bolts in a clockwise direction until all wedges are in firm contact with the pipe surface. **IMPORTANT:** When installing sizes 4" through 12" on IPS PVC or Steel Pipe, the spacer washers must be removed from the torque limiting bolts.



6. Continue tightening in an alternative manner until all of the Torque-limiting twist-off Bolt heads have been twisted off. Never turn a single bolt over 180 degrees without alternating to another bolt. If removal is necessary, utilize the 1/4" hex head provided. If reassembly is required, assemble the joint in the same manner as above and tighten the wedge bolt to 90 ft. lb.

**Note:** If effective sealing is not attained at the maximum torque indicated, then the joint should be disassembled, thoroughly cleaned, and reassembled. Overstressing the bolts to compensate for poor installation practice is not acceptable.

## SAMPLE SPECIFICATIONS

Restrainer mechanism shall be integrated into the design of the follower gland. As the mechanism is activated, multiple wedging action shall be imparted against the pipe increasing its resistance as internal pressure increases. After burial of the restraining mechanism, joint flexibility shall be maintained.

The actuating bolt shall be threaded into the restraining wedge and have a 1-1/4" across the flats hex head. The actuating bolt system shall have a torque-limiting head designed to break off at preset torque levels, thus insuring proper action of the restraining device. After removal of the torque-limiting head, a 1 1/4" hex head shall remain to facilitate the removal and re-assembly of the gland. Glands shall be manufactured of high strength ductile iron in accordance with ASTM A536 Grade 65-45-12 requirements. Wedge mechanisms shall be heat-treated ductile iron, hardened to at least 370 BHN hardness.

Applicable dimensions conforming to ANSI/AWWA C111/A21.11, C110/A21.10 and C153/121.53 and shall be incorporated into the design so that the device facilitates use with standard mechanical joint sockets.

The restraining mechanism shall have a pressure rating equal to that of the pipe on which it is used and shall have a safety factor of at least 2:1. The restraining gland shall be listed by Underwriters Laboratories Inc., be approved by Factory Mutual Research, and conform to the requirements of ASTM F 1674, and UNI-B-13-94. The restraining device for C900 PVC and IPS PVC Pipe shall be Star Pipe Products PVC Stargrip Series 4000 or equal.

## **MECHANICAL FITTING – TYLER C153**

# Tyler/Union

## MECHANICAL JOINT C153 DUCTILE IRON COMPACT FITTINGS

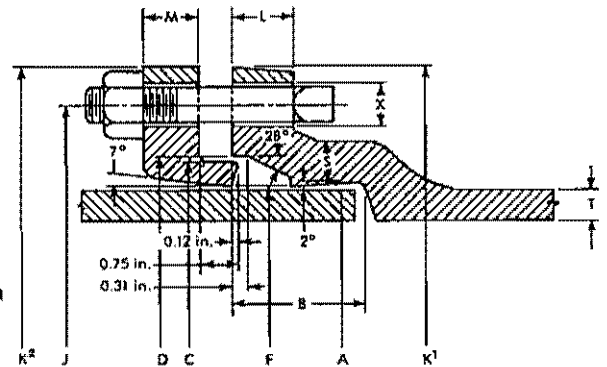
Sizes 3" thru 12" UL Listed For Fire Main Equipment

### SAMPLE SPECIFICATIONS

Mechanical Joint watermain fittings with accessories, 2" through 36" shall be produced in the USA of Ductile Iron in accordance with and meet all applicable terms and provisions of standards ANSI/AWWA C153/A21.53 ANSI/AWWA C111/A21.11 (current revisions). Ductile Iron Mechanical Joint Fittings 3" through 24" shall be rated for 350 PSI working pressure. 30" through 36" shall be rated for 250 psi working pressure

NOTE - EXCEPTIONS: Mechanical Joint Fittings with flanged branches are rated for water pressure of 250 PSI.

NOTE: Fittings are CEMENT LINED and seal coated in accordance with ANSI/AWWA C104/A21.4; also available double cement-lined, bare or epoxy coated.

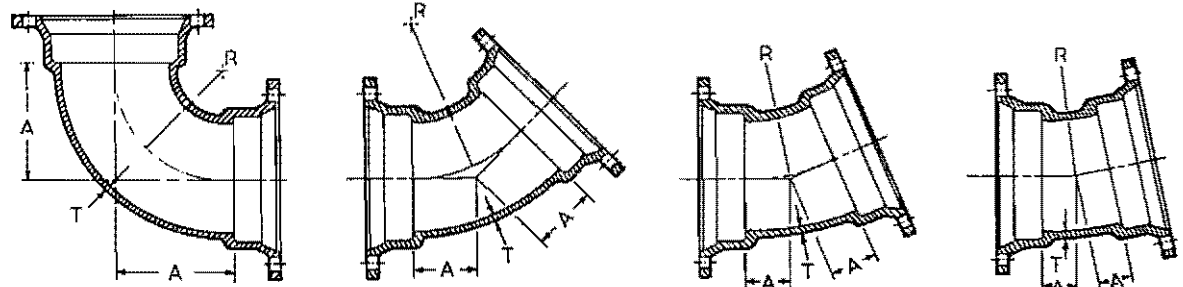


### JOINT DIMENSIONS IN INCHES

### BOLTS

Size	A Dia.	B	C Dia.	D Dia.	F Dia.	J Dia.	K <sup>1</sup> Dia.	K <sup>2</sup> Dia.	L	M	S	T	X	Size	No.
3	3.96	2.50	4.84	4.94	4.06	6.19	7.62	7.69	.58	.62	.39	.33	3/8	5/8x3	4
4	4.80	2.50	5.92	6.02	4.90	7.50	9.06	9.12	.60	.75	.39	.34	7/8	3/4x3 1/2	4
6	6.90	2.50	8.02	8.12	7.00	9.50	11.06	11.12	.63	.88	.43	.36	7/8	3/4x3 1/2	6
8	9.05	2.50	10.17	10.27	9.15	11.75	13.31	13.37	.66	1.00	.45	.38	7/8	3/4x3 1/2	6
10	11.10	2.50	12.22	12.34	11.20	14.00	15.62	15.62	.70	1.00	.47	.40	7/8	3/4x3 1/2	8
12	13.20	2.50	14.32	14.44	13.30	16.25	17.88	17.88	.73	1.00	.49	.42	7/8	3/4x3 1/2	8
14	15.30	3.50	16.40	16.54	15.44	18.75	20.31	20.25	.79	1.25	.56	.47	7/8	3/4x4	10
16	17.40	3.50	18.50	18.64	17.54	21.00	22.56	22.50	.85	1.31	.57	.50	7/8	3/4x4	12
18	19.50	3.50	20.60	20.74	19.64	23.25	24.83	24.75	1.00	1.38	.68	.54	7/8	3/4x4	12
20	21.60	3.50	22.70	22.84	21.74	25.50	27.08	27.08	1.02	1.44	.69	.57	7/8	3/4x4	14
24	25.80	3.50	26.90	27.04	25.94	30.00	31.58	31.50	1.02	1.56	.75	.61	7/8	3/4x4 1/2	16
30	32.00	4.00	33.29	33.46	32.17	36.88	39.12	39.12	1.31	2.00	.82	.66	1 1/8	1x5 1/2	20
36	38.30	4.00	39.59	39.76	38.47	43.75	46.00	46.00	1.45	2.00	1.00	.74	1 1/8	1x5 1/2	24

### BENDS



Size	90° Bends (1/4)				45° Bends (1/8)			22 1/2° Bends (1/16)			11 1/2° (1/32)		
	T	A	R	Weight	A	R	Weight	A	R	Weight	A	R	Weight
3	.34	4.5	4.0	19	2.00	3.62	17	1.50	4.98	15	1.25	7.62	16
4	.35	5.0	4.5	26	2.49	4.81	22	1.82	6.66	20	1.55	10.70	20
6	.37	6.5	6.0	49	3.50	7.25	39	2.59	10.50	31	1.81	13.26	29
8	.39	7.5	7.0	64	4.00	8.44	56	2.85	11.80	50	2.06	15.80	45
10	.41	9.5	9.0	102	5.01	10.88	78	3.35	14.35	66	2.32	18.36	59
12	.43	10.5	10.0	129	5.98	13.25	102	3.86	16.90	87	2.56	20.90	82
14	.51	12.0	11.5	214	5.50	12.06	155	3.93	17.25	142	2.59	21.25	136
16	.52	13.0	12.5	273	5.98	13.25	204	3.98	17.50	178	2.62	21.50	157
18	.59	15.5	14.0	411	7.50	14.50	292	7.50	30.19	286	7.50	60.94	283
20	.60	17.0	15.5	519	8.00	16.88	372	8.50	35.19	376	8.50	71.07	374
24	.62	20.0	18.5	721	9.00	18.12	490	9.00	37.69	512	9.00	76.12	487

\* (Available Soon see List Prices) \* (Available Soon see List Prices) \* (Available Soon see List Prices) \* (Available Soon see List Prices)

Tyler Pipe/Utilities Division • P.O. Box 2027 • Tyler, Texas 75710 • (903) 882-5511  
 Union Foundry Company • P.O. Box 309 • Anniston, Alabama 36202 • (256) 236-7601

**SERVICE MATERIAL – MUELLER**

# MUELLER® BR2B & BR2S SERIES BRONZE SERVICE SADDLES - DOUBLE STRAP

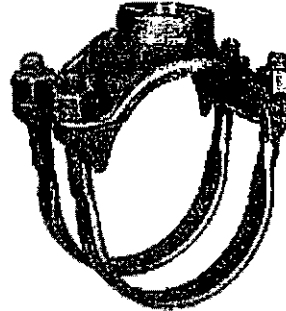
Mueller Co.

4.5

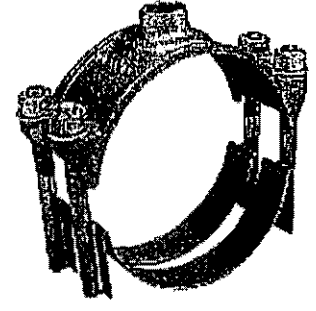
Rev. 4-01

MUELLER® Service Saddles for use on A-C, cast iron, ductile iron, and AWWA C900 PVC plastic pipe

- Outlet tapped with either AWWA taper (C.C.) or AWWA I.P. thread (F.I.P.T.)
- For use on A-C pipe, cast iron or ductile iron pipe and cast iron O.D. PVC pipe
- 200 psig (1379 kPa) maximum working pressure
- Available in single and double strap designs
- Brass body
- Flattened silicon bronze straps (standard)
- Optional 304L stainless steel straps
- Rolled strap threads
- O-ring sealed outlet
- 3/4" thru 2" tap sizes (5/8" some styles)
- Meets all applicable parts of ANSI/AWWA C800
- NSF 61 certified



BR 2 B Series



BR 2 S Series

## MUELLER® Service Saddles with AWWA taper thread

Pipe O.D. range		Kind and size of pipe		Bronze double strap with AWWA taper thread (C.C.)						Optional stainless steel double strap with AWWA taper thread (C.C.)							
Inch	mm	A-C	Cast or ductile iron, C900 PVC plastic pipe	Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)						Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)					
					5/8"	3/4"	1"	1-1/4"	1-1/2"	2"		5/8"	3/4"	1"	1-1/4"	1-1/2"	2"
					4.74"-5.32"	121.0-135.0		4"	BR 2 B 0474 CC	062		075	100	125	150	200	BR 2 S 0474 CC
6.84"-7.45"	174.0-189.0		6"	BR 2 B 0684 CC	062	075	100	125	150	200	BR 2 S 0684 CC	062	075	100	125	150	200
8.99"-9.67"	229.0-245.0		8"	BR 2 B 0899 CC	062	075	100	125	150	200	BR 2 S 0899 CC	062	075	100	125	150	200
11.04"-12.12"	281.0-307.0		10"	BR 2 B 1104 CC	062	075	100	125	150	200	BR 2 S 1104 CC	062	075	100	125	150	200
13.14"-14.58"	334.0-370.0		12"	BR 2 B 1314 CC	062	075	100	125	150	200	BR 2 S 1314 CC	062	075	100	125	150	200
15.22"-16.88"	386.6-428.7		14"	BR 2 B 1522 CC	-	075	100	-	150	200	BR 2 S 1522 CC	-	075	100	-	150	200
17.32"-19.19"	439.9-487.4		16"	BR 2 B 1732 CC	-	075	100	-	150	200	BR 2 S 1732 CC	-	075	100	-	150	200

## MUELLER® Service Saddles with AWWA iron pipe thread

Pipe O.D. range		Kind and size of pipe*		Bronze double strap with AWWA I.P. thread (F.I.P.T.)						Optional stainless steel double strap with AWWA I.P. thread (F.I.P.T.)							
Inch	mm	A-C	Cast or ductile iron, C900 PVC pipe	Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)						Base Catalog Number	Size of tapping (add to "Base" to complete catalog number)					
					3/4"	1"	1-1/4"	1-1/2"	2"	3/4"		1"	1-1/4"	1-1/2"	2"		
					4.74"-5.32"	121.0-135.0		4"	BR 2 B 0474 IP	075		100	125	150	200	BR 2 S 0474 IP	075
6.84"-7.45"	174.0-189.0		6"	BR 2 B 0684 IP	075	100	125	150	200	BR 2 S 0684 IP	075	100	125	150	200		
8.99"-9.67"	229.0-245.0		8"	BR 2 B 0899 IP	075	100	125	150	200	BR 2 S 0899 IP	075	100	125	150	200		
11.04"-12.12"	281.0-307.0	**	10"	BR 2 B 1104 IP	075	100	125	150	200	BR 2 S 1104 IP	075	100	125	150	200		
13.14"-14.58"	334.0-370.0		12"	BR 2 B 1314 IP	075	100	125	150	200	BR 2 S 1314 IP	075	100	125	150	200		
15.22"-16.88"	386.6-428.7		14"	BR 2 B 1522 IP	075	100	-	150	200	BR 2 S 1522 IP	075	100	-	150	200		
17.32"-19.19"	439.9-487.4		16"	BR 2 B 1732 IP	075	100	-	150	200	BR 2 S 1732 IP	075	100	-	150	200		

\*A-C pipe, classes 150-200 per ASTM C295 and AWWA C100 - actual O.D. of pipe being used must fall within the pipe O.D. range listed in the preceding chart. Centrifugally cast pipe, classes 50-250 per ANSI/AWWA C107/A21.2; ANSI/AWWA C106/A21.6; ANSI/AWWA C108/A21.8, and Federal specification WY-P-421. Ductile iron pipe, classes 50-36 per ANSI/AWWA C151/A21.51; Cast iron O.D. PVC plastic pipe per AWWA C900.

\*\* The outside diameter of A-C pipe varies from manufacturer to manufacturer, to make certain you select the proper clamp:

1) Determine the O.D. of the pipe at the point of saddle installation;

2) From the pipe O.D. range column of the above chart, choose a saddle that has a pipe O.D. range that includes the determined pipe diameter

These machines may be used with the service saddles illustrated on this page

Machine	Service saddle tap size					
	5/8"	3/4"	1"	1-1/2"	2"	
E-5™	X	X	X	X	X	X
D-5™	-	X	X	X	X	X
TRU-CUT™	-	X	X	-	-	-
MEGA-CUT™	X	X	X	X	X	X
FL-2™	-	X	X	-	-	-

TO ORDER SPECIFY QUANTITY, OUTLET TAPPING SIZE AND CATALOG NUMBER

# 1-1/2" & 2" MUELLER® ORI-CORP® CORPORATION VALVES

**Mueller Co.**

**5.7**

Rev. 4-01



**H-15013**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** MUELLER® 110® Conductive Compression Connection for CTS O.D.\* tubing

1-1/2"	2"
--------	----



**H-15023**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** MUELLER 110 Conductive Compression Connection for CTS O.D.\* tubing

1-1/2"	2" **
--------	-------



**P-15013**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** MUELLER Pack Joint Connection for CTS O.D.\* tubing

1-1/2"	2"
--------	----



**P-15023**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** MUELLER Pack Joint Connection for CTS O.D.\* tubing

1-1/2"	2" **
--------	-------



**H-15014**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** F.I.P. thread

1-1/2" †	2" †
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**H-15015**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** F.I.P. thread

1-1/2" †	2" †
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**H-9968**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA taper (MUELLER "CC") thread  
**Outlet:** M.I.P. thread

1-1/2"	2"
--------	----



**H-9969**

MUELLER ORI-CORP Corporation Valve  
**Inlet:** AWWA I.P. thread  
**Outlet:** M.I.P. thread

1-1/2"	2" **
--------	-------

\*See charts on pages 5.10-5.13 for tubing and pipe that may be used on these connections.

\*\* For use with Service Saddle only—cannot be machine inserted.

† Requires minimum ordering quantity. Contact MUELLER Customer Service Center for minimum order requirements and availability.

NOTE: Sizes shown above represent nominal size of inlet and outlet connections.

MUELLER® Corporation Valves are manufactured and tested in accordance with ANSI/AWWA C800.



### Copper tubing - standard dimensions, weights and tolerances

Standard copper water tube size	Nominal cop- per tube size	Outside diameter			Wall thickness		Nominal inside diameter	Actual inside area	Actual net copper	Theoretical weight		Calculated ulti- mate tensile	Bursting* pressure	Hydrostatic** test pressure	Safe working pressure
		O.D.	Tolerance		Nominal	Tolerance†				Nominal	Tolerance‡				
			Annealed	Drawn											
inches	inch	inches	Inch	inch	inch	inch	inches	sq. in.	sq. in.	lbs. per feet	per- cent	lbs.	psi	psi	psi
-	1/4	.250	.002	-	.030	.0025	.190	.028	.021	.081	7	630	8305	1593	1038
-	3/8	.375	.002	-	.032	.0025	.311	.076	.034	.134	7	1020	5995	1099†	749
-	1/2	.500	.002	-	.032	.0025	.436	.149	.047	.182	7	1410	4530	809	566
3/8	-	.500	.0025	.001	.049	.004	.402	.127	.069	.269	7	2070	6848	1276†	856
-	5/8	.625	.0025	-	.035	.003	.555	.242	.065	.252	7	1950	3974	704	497
1/2	-	.625	.0025	.001	.049	.004	.527	.218	.089	.344	7	2670	5521	1004	690
5/8	-	.750	.0025	.001	.049	.004	.652	.334	.108	.418	7	3240	4622	827	578
3/4	-	.875	.003	.001	.065	.0045	.745	.436	.165	.641	7	4950	5239	948	655
1	-	1.125	.0035	.0015	.065	.0045	.995	.778	.216	.839	7	6480	4101	727	513
1-1/4	-	1.375	.004	.0015	.065	.0045	1.245	1.217	.267	1.04	7	8010	3366	590	421
1-1/2	-	1.625	.0045	.002	.072	.005	1.481	1.723	.351	1.36	7	10530	3155	551	394
2	-	2.125	.005	.002	.083	.007	1.959	3.014	.532	2.06	7	15960	2786	484	348

The above information was obtained from the following specification standards:  
ASTM B68-1971, ASTM B88-1971, ASTM B-251-1971, and ANSI H23.1-1970.

The bursting pressures and the hydrostatic test pressures have been figured using the nominal dimensions of the tubing and the appropriate formula listed below:

$$P = S \times \frac{(D^2 - d^2)}{.334d^2 + 1.333D^2}$$

$$P = \frac{2tS}{D - 0.8t}$$

Where S = 30,000 psi (ultimate tensile)

P = Bursting pressure (psi)

D = Outside diameter (in)

d = Inside diameter (in)

Where P = Hydrostatic pressure (psi)

t = Wall thickness (in)

D = Outside diameter (in)

S = Allowable stress of the material = 6000 psi

† This pressure listed to conform with formula. However, the tube need not be tested at a hydrostatic pressure over 1000 psi unless specified.

\* Calculated from Clavarino's formula.

\*\* Calculated from formula for thin hollow cylinders. See specifications ASTM B88-1962.

**GROUND KEY ANGLE METER VALVES & SERVICE VALVES - 3/4"-2"**

Rev. 4-99



Ground Key Angle Meter Valve  
 MUELLER 110<sup>®</sup> Conductive  
 Compression Connection for CTS  
 O.D.\* tubing x meter flange  
 180° turn check - lock wing

**H-14277**

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 MUELLER<sup>®</sup> Pack Joint  
 Connection for CTS O.D.\* tubing  
 x meter flange  
 180° turn check - lock wing

**P-14277**

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 Copper flare nut x meter flange  
 180° turn check - lock wing

**H-14276**

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 F.I.P. x meter flange  
 180° turn check - lock wing

**H-14286**

Catalog size	1-1/2	2††
Meter size	1-1/2	1-1/2, 2
Pipe size	1-1/2	2



Ground Key Angle Meter Valve  
 F.I.P. x F.I.P.  
 180° turn check - lock wing

**H-14285**

Catalog size	3/4
--------------	-----



MUELLER Solid Tee Head  
 Roundway Meter Stop  
 F.I.P. x F.I.P.  
 360° turn - lock wing

**H-10281**

Catalog size	3/4
--------------	-----

8D-VALVES/CHECKS

\*See charts on pages 8D.15 and 8D.16 for tubing and pipe that can be used with this connection.

††These valves have meter flanges double drilled to fit either 1-1/2" or 2" meters.

**SEWER PIPE – SDR26 HEAVY WALL**



## TECHNICAL DATA

# PVC Sewer Main D-3034 SDR-26

### THE PIPE

The SDR 26 sewer pipe meets the requirements of ASTM D-3034 for heavy wall pipe and has a stiffness value that is a minimum of 2-1/2 times greater than SDR 35 pipe. Field tested for a number of years, SDR 26 has performed with outstanding results.

#### PIPE DIMENSIONS

Size (inches)	Avg. O.D.	Avg. I.D.	Min. Wall	Wt. Per Foot 20'	Wt. Per Foot 13'	Feet Per Unit 20'	Feet Per Unit 13'
4	4.215	3.871	.162	1.392	1.406	960'	624'
6	6.275	5.764	.241	3.092	3.128	660'	429'
8	8.400	7.715	.323	5.554	5.621	600'	390'
10	10.500	9.644	.404	8.700	8.815	220'	143'
12	12.500	11.480	.481	12.357	12.532	160'	104'
15	15.300	14.053	.588	18.603	18.926	120'	78'

### LOCKED-IN Rieber GASKET JOINT

North American Pipe's locked-in Rieber gasket provides a superior joint design and a tightly sealed system. A special feature of the Rieber joint is its cavity molded, steel reinforced, locked-in gasket which is installed in the factory during production. Before each pipe's bell-forming process begins, the rubber compression gasket is inserted directly onto the bell-forming mandrel. The pipe section is then heated, formed and cooled as normal.

As a result, the bell is actually molded around the gasket, This forms a permanent and steadfast joint that is an integral part of the pipe, and virtually eliminates fishmouthing. Steel reinforcement provides joint rigidity and holds the gasket securely in place while still retaining the flexibility necessary for pipe contraction and expansion.

With locked-in Rieber joints, there's no problem with lost or misplaced gaskets or problems with improper gasket insertion.

# North American Pipe Corporation

## SHORT FORM SPECIFICATIONS *PVC Sewer Main D-3034 SDR 26*

### SCOPE

These specifications designate the requirements for North American Pipe Corporation PSM sewer pipe with a dimensional ratio (DR) of 26, and meeting the requirements of ASTM D 3034. The pipe will have a permanently installed reinforced rubber ring gasket in an integral bell joint.

The tests outlined herein are to be conducted with a pipe temperature of 73.4°F (±3°F)

### PIPE

Provisions shall be made for contraction and expansion at each joint by a reinforced rubber ring gasket seated in a belled end of the main. This belled end shall consist of an integral wall section with a recessed groove containing permanently installed rubber ring gasket.

### MATERIAL

The pipe shall be extruded from PVC meeting the requirements of Cell Classification 12454-B as defined in ASTM D 1784, PVC Compounds.

### FLATTENING

There shall be no evidence of splitting, cracking or breaking when the pipe is tested in the following manner:

*Flatten a specimen of pipe six inches long between parallel plates until the distance between the plates is forty percent of the outside diameter of the pipe. The rate of loading shall be uniform and such that the compression is completed within two to five minutes.*

### DROP IMPACT TEST

No shattering or splitting shall result when the following energy is impacted to a six inch long section of pipe, in accordance with ASTM method D 2444

Pipe Size (In Inches)	Impact Strength (Foot Pounds)
4	150
6 - 8	210
10 - 15	220

### PIPE STIFFNESS

Pipe shall have the following minimum pipe stiffness, at 5% deflection:

Pipe Size	Stiffness
4" - 15"	115

### ACETONE IMMERSION TEST

When tested in accordance with ASTM D 2152, a sample one inch long shall show no visible flaking or cracking after twenty minutes of immersion in a sealed container of anhydrous acetone (99.5% pure).

### JOINT TIGHTNESS

Joints shall conform to ASTM D 3212. The completed joint shall create a hydraulic seal capable of withstanding an internal hydrostatic pressure of 10.8 psi for one hour without leakage.

### ASSEMBLY INSTRUCTIONS

The ease of assembly of the North American Pipe Corporation joint means quick and economical installations with a minimum of skilled labor and regardless of the weather conditions.

#### Three Simple Steps:

- 1. Clean!** With a rag or brush remove all foreign material from the inside of the bell, from the surface of the elastomeric gasket, and from the male end of the pipe.
- 2. Lubricate!** Apply a thin coat of lubricant to the beveled end of the pipe. Lubricate up to the stop mark.
- 3. Push!** Align the bell and male end of the pipe. Then push together for a tight, leakproof joint.

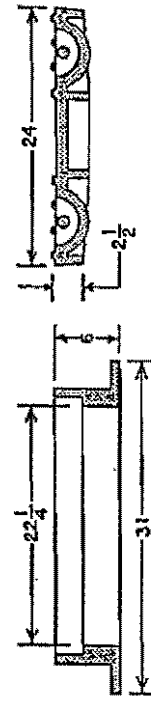
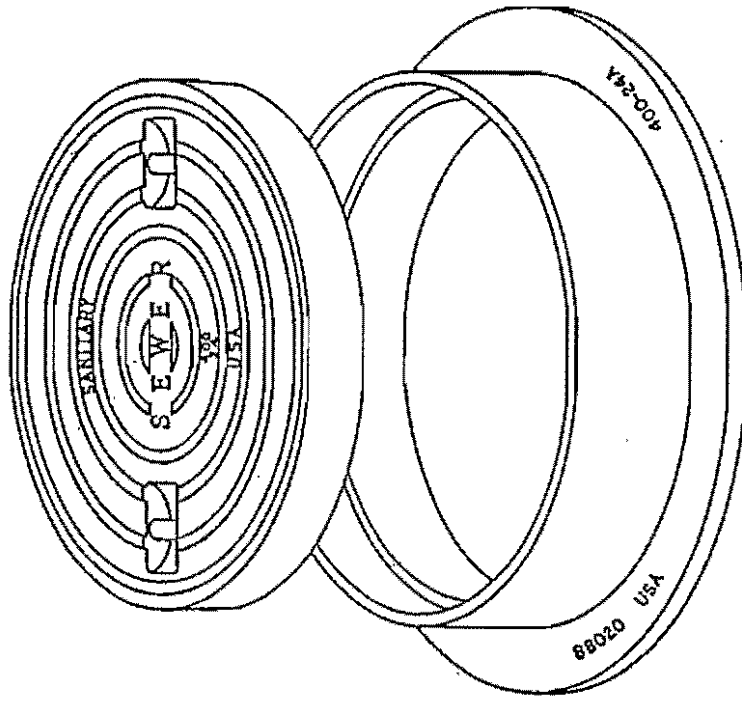
## North American Pipe Corporation

3348 Industrial Drive

Wichita Falls, TX 76306-3735

Phone: (940) 855-4100 FAX: (940) 855-7680

**SEWER CASTING – MANHOLE 400-24**



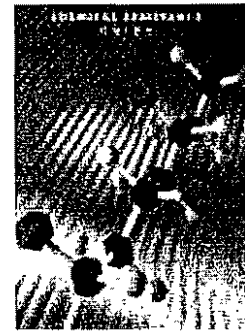
# 400-24                      LID 183 lbs.  
    RING 214 lbs.  
 Manhole Ring & Cover     SET 397 lbs.

## **SEWER FITTING – MULTI FITTING**



## CORROSION TOUGH

High molecular weight PVC used in Multi Trench Tough fittings will neither rust nor corrode in aggressive soils. They will not deteriorate when in contact with commonly found chemicals present in effluent or in the ground. This eliminates the need for costly sacrificial anodes and expensive protective coatings often used with metal and concrete fittings. For more information on the excellent chemical resistance of PVC, please refer to our Chemical Resistance Guide.



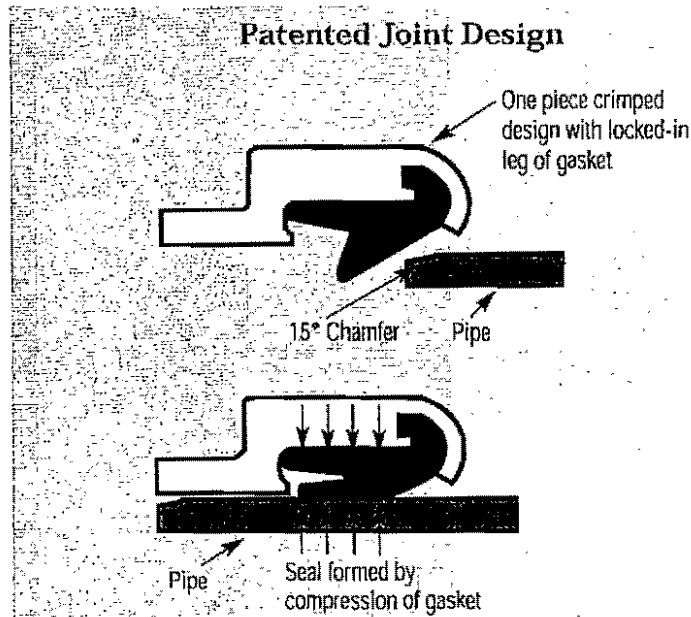
## JOINT TOUGH

### Designed With The Environment in Mind

Multi's molded Trench Tough gasketed sewer fittings are designed to meet the demands of the next century. The unique design began with the development of an engineered gasketing system.

In 1992, Multi developed a one piece crimped design wedge gasket with a locked-in leg. The gasket material is optimally designed for a durometer rating of 45 which ensures a water-tight joint every time.

The patented locked-in design gives a 35% compression ratio for the sealing area. This is one of the highest gasket sealing surface areas available in the market today. The patented locked-in design eliminates the possibility of displacement or "fish mouthing" of the gasket during spigot insertion.



### The Tightest Joint in the Industry

As an added quality control assurance, Multi has third party tested the gasketed seal to 15 psi positive pressure and 10.8 psi vacuum pressure. Both of these tests are conducted with the joint in straight alignment, deflected 5°, and load deflected 5%.

All Multi gasketed sewer fittings are capable of handling a 15 psi internal pressure providing one of the tightest joints in the industry. The pressure rating of the gasketed joint adds a safety factor and may allow pipe and fittings to be used in a common trench with potable water lines.

These watertight assemblies protect underground water systems against contamination, prevent the deterioration of surface structures such as roads and reduce the overall costs of sewage treatment. Infiltration and exfiltration are reduced well below the stringent 50 U.S.gal./in.dia./mile/day allowed for PVC pipe and fittings.

Joint Tightness			
	ASTM	Canadian Standards Assoc.	Multi Fittings
<b>Standard</b>	D3034, F1336, F679	CSA-B182.2	Quality Control
<b>Positive Pressure (psi)</b>	10.8 psi	15.0 psi	15.0 psi
<b>Vacuum Pressure (psi)</b>	10.8 psi	10.8 psi	10.8 psi
<b>Time (minutes)</b>	10 min.	10 min.	10 min

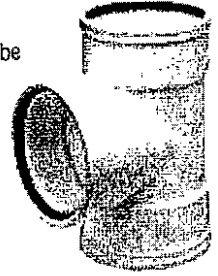
## SHORT FORM SPECS FOR TRENCH TOUGH™ SEWER FITTINGS



### TRENCH TOUGH™ SDR35 GASKETED SEWER FITTINGS

All Gasketed Sewer Fittings 4" through 15" shall be molded and comply with ASTM F1336 and D3034 standards. All fittings shall be manufactured from a high molecular weight compound having a minimum cell classification of 12454 or 13343 per ASTM D1784. All molded Wyes, T-Wyes and Tees must be a minimum of a SDR26 thickness where the branch connects to the body of the fitting. In addition, all outlets 4" through 6" service branches and bells must have a minimum of a SDR26 thickness. Materials used for gaskets must conform to the requirements of ASTM F477 or F913. All fittings must be manufactured with a locked-in gasket having a durometer rating of 45. These fittings must be third party certified to CSA B182.1 and/or CSA B182.2.

**Approved product: Multi Trench Tough SDR35 Sewer Fitting**



### TRENCH TOUGH™ SDR35 FABRICATED GASKETED SEWER FITTINGS

All fabricated Gasketed Sewer Fittings 18" through 48" shall be made from segments of third party certified SDR35 pipe that exceeds the requirements of ASTM F679. The fittings shall consist of butt fused or welded pipe and solvent cemented service branches. All 4" through 6" service branches must be a minimum of SDR26 wall thickness. The fittings must conform to ASTM F1336 and F679 standards. All fittings shall be third party certified to CSA B182.1 and/or CSA B182.2.

**Approved product: Multi Trench Tough SDR35 Sewer Fitting**

**Multi Trench Tough SDR35 Gasketed Sewer Fittings meet these standards:**



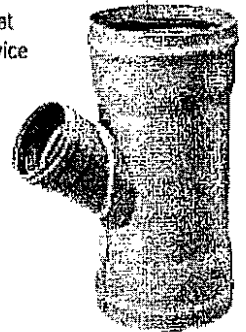
ASTM F1336, F679  
& D3034



CSA B182.1  
CSA B182.2



IAPMO  
File Number: 1575



### TRENCH TOUGH™ SDR26 HEAVY WALL SEWER FITTINGS

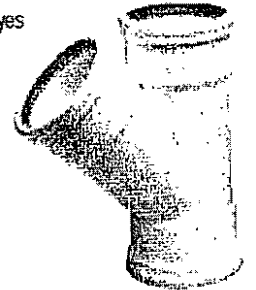
All heavy wall SDR26 gasketed sewer fittings shall conform to ASTM F1336 and D3034 and shall be manufactured from a high molecular weight compound having a minimum cell classification of 12454 or 13343 as prescribed in ASTM D1784. All molded Wyes, T-Wyes and Tees must be a minimum of a SDR24 thickness for body of the fitting. In addition, all outlets 4" through 6" service branches, bells and bodies must have a minimum of a SDR24 thickness. Materials used for gaskets must conform to the requirements of ASTM F913 or ASTM F477. All fittings must have a locked-in grey color coded gasket.

**Approved product: Multi Trench Tough SDR26 Heavy Wall Sewer Fitting**

**Multi Trench Tough SDR26  
Heavy Wall Sewer Fittings  
meet these standards:**



ASTM F1336  
ASTM D3034



### TRENCH TOUGH™ CIOD SEWER FITTINGS FOR C900 PIPE

4" to 8" CIOD gasketed sewer tees, couplings, elbows, plugs and reducers shall conform to AWWA C907 and be third party certified to CSA B137.2. They shall be UL listed and FM approved. All other configurations must have a minimum DR18 wall thickness. DR18 fittings shall be made from a compound with a minimum cell classification of 12454 per ASTM D1784. The compound must have a minimum Hydrostatic Design Basis of 4,000 psi and must be listed with the National Sanitation Foundation.

\*Fabricated CIOD fittings shall be made from segments of DR18 AWWA C900 or C905 pipe bonded together and over-wrapped with fiberglass-reinforced polyester. The pipe stock used to manufacture the fittings must be third party certified to CSA B137.3 and conform to AWWA C900/C905.

**Approved product: Multi Trench Tough CIOD Sewer Fitting**

**Multi Trench Tough CIOD Sewer Fittings meet these standards:**



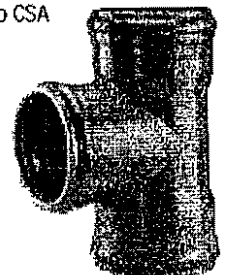
AWWA C907  
4" to 8"

**NSF-61**

Compound listed by  
National Sanitation Foundation  
for potable water service

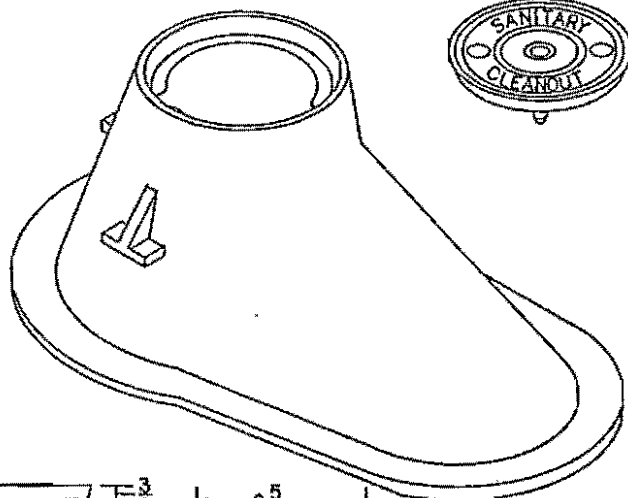


CSA B137.2  
4" to 8"



\*This does not apply for all configurations. See above paragraph.

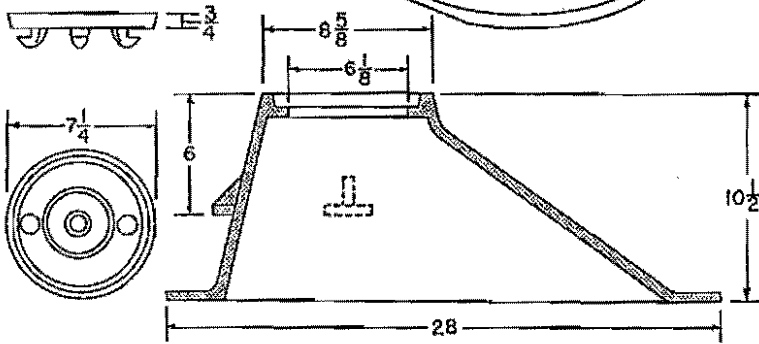
**SEWER CASTING – CLEANOUT 404**



# 339

Sanitary Cleanout Boot

BASE 92 lbs.  
LID 8 lbs.  
SET 100 lbs.

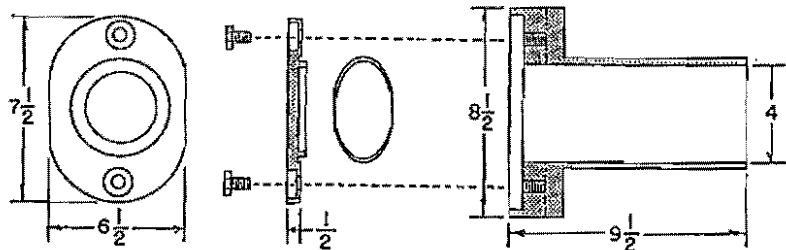
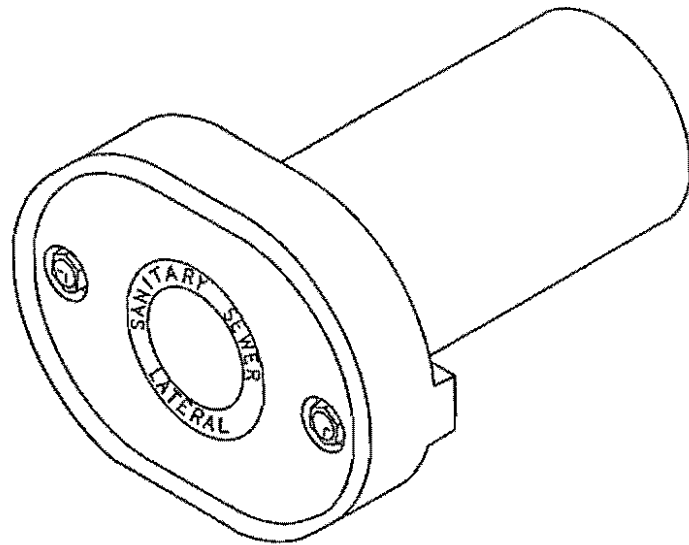


# 404

Lateral Cleanout

With Gasket, two Bolts

BASE 11 lbs.  
LID 4 lbs.  
SET 15 lbs.



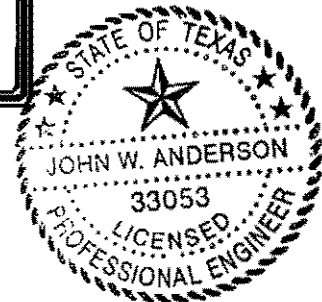
TRENCH SAFETY  
SPECIFICATIONS  
FOR  
SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION

TOWN OF  
ADDISON, TEXAS

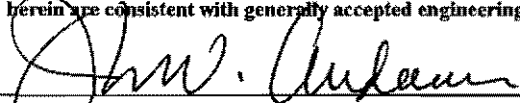
Prepared for  
SITE CONCRETE, INC.

Project # 8429

**TREN-TECH COMPANY**  
**828 HOWELL DR.**  
**COPPELL, TEXAS 75019**  
**972-304-2171**



I have reviewed these Trench Safety Guidelines and find that the recommendations and procedures conform to OSHA guidelines and regulations. The calculations herein are consistent with generally accepted engineering practice.

  
REGISTERED PROFESSIONAL ENGINEER

  
DATE

## 1.0 DESIGN ASSUMPTIONS

- 1.1 General. These specifications cover the basic requirements for shoring and/or sloping of excavations for the installation of SANITARY SEWER LINES, WATER LINES, ELECTRICAL DUCT LINES and STORM DRAIN for the SPECTRUM DRIVE, NORTH/SOUTH EXTENSION in the TOWN of ADDISON, TEXAS.
- 1.2 This specification addresses the safety of workers in a trench excavation and does not, in any way relieve the Contractor of his responsibility and liability to ensure the safety of the project and workers.
- 1.3 It is not the intent of these specifications to specify every detail and procedure of the trenching/shoring operations; nevertheless, they shall conform to the high standards of engineering and of safe trench excavation.
- 1.4 The personnel protection systems shown in these specifications have been designed based on information obtained from the project drawings and specifications.
- 1.5 In accordance with Revised OSHA (Appendix A to Subpart P effective March 2,1990), the Contractor's "Competent Person" will conduct the required Soil Classification Tests. If soils other than those previously identified are found, this specification will be revised. During construction, the Contractor's "Competent Person" will monitor the soil classification as required by OSHA 1926.
- 1.6 Contractor shall be responsible for selecting the appropriate safety system option shown in these specifications, depending on trench depth and soil conditions.
- 1.7 The protection of existing structures and utilities which may be affected by these trench excavations is beyond the scope of this report (See Sect.4.2)
- 1.8 The Contractor must identify a "Competent Person" in the Contractor's firm responsible for performing inspections of the excavations to ensure that expected subsurface conditions are present. NOTE-This person must be "Competent" as described in OSHA 1926.650(b).
- 1.9 It is the Contractor's responsibility to ensure that all excavation work and site conditions are within the regulations as established by OSHA. Any property damage or bodily injury (including death) arising from the use of these specifications, from the Contractor's negligence in performance of contract work, or from Owner's failure to note exceptions to these specifications shall remain the sole responsibility and liability of the contractor.

## **2.0 DEFINITIONS**

- 2.1 All definitions of section 1926.650 of Subpart P, Part 1926, of the Code of Federal Regulations shall be by reference an integral part of this section.
- 2.2 "Sealing Engineer"- The engineer whose Texas seal is affixed to these specifications.
- 2.3 "The Contractor"-The contractor responsible to the owner for the excavation work described herein.
- 2.4 "Competent" as described in OSHA 1926.650(b).

## **3.0 APPLICABLE CODE AND STANDARDS**

- 3.1 The Contractor shall perform all shoring work under this contract in accordance with all applicable codes and standard safety requirements and regulations including:
  - 3.1.1 OSHA 2207, Construction Industry Standards (Part 1926, Occupational Safety and Health Standards)
  - 3.1.2 AISC Code of Standard Practice.
  - 3.1.3 AISC Specifications of the design, fabrication, and erection of steel buildings
  - 3.1.4 AITC Timber Construction Manual
  - 3.1.5 AWS D1.1 Structural Welding Code
  - 3.1.6 The Uniform Building Code
  - 3.1.7 OSHA 2226
  - 3.1.8 U S Army Corps of Engineers EM 385-1-1
- 3.2 The latest edition (including supplements and revisions) of the above publications in effect or promulgated at the time of the bid shall apply. Equipment fabricated to codes and standards in effect at time of bid but later revised shall be acceptable provided such revisions are not required by law.

## **4.0 SHORING/SLOPING**

### **4.1 Description.**

This section covers the technical requirements of the trenching/shoring work.

### **4.2 Existing Structures.**

Where existing buildings, other utilities, streets, highways, or other structures are in close proximity to the trench, or may otherwise be affected by the proposed trenching operation, the Contractor shall provide adequate protection by the use of sheeting and shoring to protect the structure, street, or highway from possible damage. In the case of utilities, the Contractor may elect to remove the utility, provided that the removal and subsequent replacement meet with the approval of the engineer, the utility owner, or whoever has jurisdiction of the structure. In all cases, it shall be the responsibility of the Contractor to protect public and private property and any person or persons who might, as a result of the Contractor's work, be injured.

### **4.3 General Trenching and Shoring Requirements.**

The Contractor shall be solely responsible for trench safety provisions meeting the applicable requirements of the United States Department of Labor-Occupational Safety and Health Administration, including subpart P, Part 1926, of the Code of Federal Regulations. All trenching operations and procedure shall also conform to the requirements listed in this specification.

4.3.1 The requirements of sections 1926.650 and 1926.651 of Subpart P, Part 1926, of the Code of Federal Regulations shall be by reference an integral part of this section.

## **4.4 REQUIREMENTS PRIOR TO EXCAVATION**

4.4.1 Known underground installations are shown on the site plans. It is the Contractor's responsibility to verify exact locations in the field.

4.4.2 Before any individual enters an excavation, the excavation will be inspected by a "Competent Person" to ensure that trench excavation has been performed according to this specification and OSHA requirements and to ensure that no anomalies are observed which may effect the safety of the trench project. Note-This person must be "Competent" as described in OSHA 1926.650(b).



## **4.5 REQUIREMENTS DURING EXCAVATION**

- 4.5.1 During excavation, the exact location of existing underground installations shall be determined by the Contractor, and when uncovered, proper precautions and supports shall be provided so as not to cause a hazard to the workmen or the project.
- 4.5.2 Daily inspections of the excavations shall be made by the Competent Person". If there is evidence of possible cave-ins or slides, all work in the excavation shall cease until the necessary precautions have been taken to ensure the safety of the workmen and the trench. Note-This person must be "Competent" as described in OSHA 1926.650. Excavations shall be inspected after every rainstorm or other hazard-increasing occurrence to ensure safety of the workmen and the trench.
- 4.5.3 Excavated material shall be stockpiled a distance away from the trench, so as not to affect the trench stability. The Contractor's means and methods will determine the distance. As a minimum to protect the workmen from falling debris, the toe of the stockpiled soil shall be no closer than two(2) feet from the edge of the excavation.
- 4.5.4 All precautions must be made to prevent surface water from entering the trench excavation. Adequate drainage must be provided in the area adjacent to the excavation.
- 4.5.5 Operation of heavy equipment adjacent to the edge of the trench may cause instability. The Contractor is responsible for the means and methods of excavation, and therefore, for loads imposed on the trench excavation and shoring design.
- 4.5.6 The Contractor must take precautions to protect the face of the excavation from exposure to excessive drying, water, or freezing.
- 4.5.7 Water shall not be permitted to stand in the bottom of the trench and suction pumps of adequate capacity shall be installed to ensure that such standing water is removed.
- 4.5.8 The Contractor shall provide a positive means of ensuring that hydrostatic pressure does not build up behind the shoring or shields.
- 4.5.9 If a condition requiring the use of a different method of shoring is encountered, this specification will be revised.
- 4.5.10 Remove shoring units from bottom to top as backfilling proceeds.
- 4.5.11 When backfill is within five(5) feet of the top of the trench, all shoring may be removed, unless the trench conditions indicate a hazard.
- 4.5.12 No person shall be exposed to the lower portion of the trench after shoring has been removed.

4.5.13 Additional shoring of larger sizes may be installed.

4.5.14 Ladders or other adequate means of exit must be provided and located so as to require no more than twenty-five(25) feet of lateral travel.

4.5.15 When two(2) trenches intersect, both trenches must be protected to a distance of not less than the depth of the deepest trench.

#### **4.6 REQUIREMENTS FOR CONFINED SPACE**

4.6.1 Prior to construction the contractor shall identify any areas near the proposed excavations that could expose workmen to harmful levels of atmospheric contaminants (i.e. landfills, manholes or materials storage).

4.6.2 During construction, before workmen are allowed in an excavation or existing structure, the contractor shall test the air quality at these previously identified areas for hazardous atmospheres in all excavations greater than four (4) feet in depth. Atmospheres containing less than 19.5 percent oxygen or more than 20 percent concentration of flammable gas shall be deemed "hazardous" adequate precautions shall be taken.

4.6.3 Retesting of work areas shall be conducted as often as necessary to ensure that the atmosphere remains safe for workmen.

4.6.4 During construction, emergency rescue equipment shall be readily available where potentially hazardous conditions are expected to develop.

4.6.5 As a minimum, the contractor shall have on site the following emergency equipment. Breathing apparatus, a safety harness and line, or a basket stretcher. During construction in potentially hazardous areas, the required equipment shall be attended.

SECTION 5.0

SITE SPECIFIC EXCAVATIONS

AND

SHORING SPECIFICATIONS

FOR

SANITARY SEWER LINES

WATER LINES

ELECTRICAL DUCT LINES

AND

STORM DRAINAGE

## 5.1 EXCAVATIONS SPECIFIC TO THIS PROJECT

NOTE: Trench shield(s) and/or slope (Option I or II) shall be used for personnel protection at the location of the bore pits. If trench shields are employed, end protection shall be accomplished with appropriately rated trench shields or interlocking sheet pile (PZ-27 or equal installed horizontally). These members shall be installed so as to rest on the ends of the main trench shields.

### STORM DRAIN LINE "T"

LOCATION	MAX.DEPTH	OPTION	NOTES
1+59.41 TO 5+31.32	9.0	I, II	INSTALL 2-48" RCP

### STORM DRAIN LINE "U"

LOCATION	MAX.DEPTH	OPTION	NOTES
0+50 TO 2+85	7.0	I, II	INSTALL 6'X4' RCB
2+85 TO 7+83.85	10.0	I, II	INSTALL 6'X3' RCB

### STORM DRAIN LINE "L"

LOCATION	MAX.DEPTH	OPTION	NOTES
5+44.77 TO 8+40	12.0	I, II	INSTALL 42" RCP
8+40	11.0	I, II	CONST. MANHOLE
8+40 TO 9+72	10.0	I, II	INSTALL 42" RCP
9+72 TO 12+32.15	10.0	I, II	INSTALL 36" RCP
12+32.15	11.0	I, II	CONST. MANHOLE
12+32.15 TO 13+81	9.0	I, II	INSTALL 27" RCP

### PROJECT LATERALS & INLETS

The contractor shall use guidelines set forth in Option I for the construction of inlets on the above referenced storm drain lines and use guidelines set forth in Option I or II for the installation of related piping.

#### WATER LINE "1"

LOCATION	MAX.DEPTH	OPTION	NOTES
18+47 TO 29+34.10	6.0	I, II, III	INSTALL 12" W.L.

#### WATER LINE "4"

LOCATION	MAX.DEPTH	OPTION	NOTES
2+25.75 TO 8+27	10.0	I, II, III	INSTALL 12" W.L.
8+27 TO 9+56			INSTALL BY BORE
9+56 TO 9+66	6.0	I, II, III	INSTALL 12" W.L.

### OTHER PROJECT WATERLINES AND APPURTENANCES

The contractor will install other water lines and appurtenances that were not profiled on the project plans. Generally, pipe less than ten inches in diameter will require an excavation of less than five feet in depth, however, at connections to larger size pipe it is probable that excavations will exceed five feet in depth. When excavation depths greater than five feet are encountered or if there is evidence of raveling or caving for any reason including pre-disturbed soil conditions, the contractor will be required to shore or slope the excavation so as to provide a safe workplace. The contractor may use guidelines set forth in Option I, II or III for these excavations.

SANITARY SEWER LINE "A"

LOCATION	MAX.DEPTH	OPTION	NOTES
4+53 TO 7+41	15.0	I, II	INSTALL 8" S.S.
7+41	15.0	I, II	CONST. MANHOLE
7+41 TO 11+32.97	14.0	I, II, III	INSTALL 8" S.S.
11+32.97	14.0	I, II	CONST. MANHOLE
11+32.97 TO 14+35	14.0	I, II, III	INSTALL 8" S.S.
14+35	14.0	I, II	CONST. MANHOLE

SANITARY SEWER LINE "B"

LOCATION	MAX.DEPTH	OPTION	NOTES
0+00 TO 0+78.61	15.0	I, II	INSTALL 8" S.S.

SANITARY SEWER LINE "C"

LOCATION	MAX.DEPTH	OPTION	NOTES
0+00	15.0	I, II	CONST. MANHOLE
0+00 TO 0+78.61	14.0	I, II, III	INSTALL 8" S.S.

ELECTRICAL DUCT LINE "A"

LOCATION	MAX.DEPTH	OPTION	NOTES
9+35.8 TO 12+44	20.0	I, II	INSTALL DUCT BANK
12+44	22.0	I, II	CONST. MANHOLE
12+44 TO 16+36.19	22.0	I, II	INSTALL DUCT BANK
16+36.19	23.0	I, II	CONST MANHOLE
16+36.19 TO 20+00	20.0	I, II	INSTALL DUCT BANK

## 5.2 SHORING CONSIDERATIONS FOR THIS WORK

- 5.2.1 Trenches more than five(5) deep shall be shored, laid back to a stable slope, or some other equivalent means of protection shall be provided where employees may be exposed to moving ground or cave-ins. *Trenches less than five(5) feet in depth shall also be effectively protected when examination of ground indicates hazardous ground movement may be expected.*

The Contractor will have Options I, II or III for providing such protection.

- 5.2.2 Lateral Earth Pressure:  $P = W_e(H+H_q)$

Assumed Soil: Clay

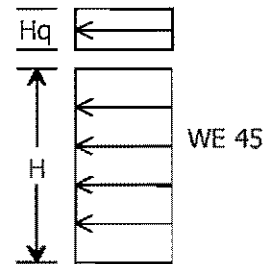
$P$ = a uniformly distributed lateral soil pressure, in lbs./ft<sup>2</sup>

$W_e$ = Effective Soil Weight, pcf(Use 45 psf Type "B" Soil)

$H$ = Depth of excavation from top of supported bank to bottom of excavation in feet.

$H_q$ = Equivalent Height of Surcharge, in feet.

Reference OSHA Rules and Regulations-Part 1926 of 29 CFR as amended by the Federal Register Volume 54, Number 209, October 31, 1989

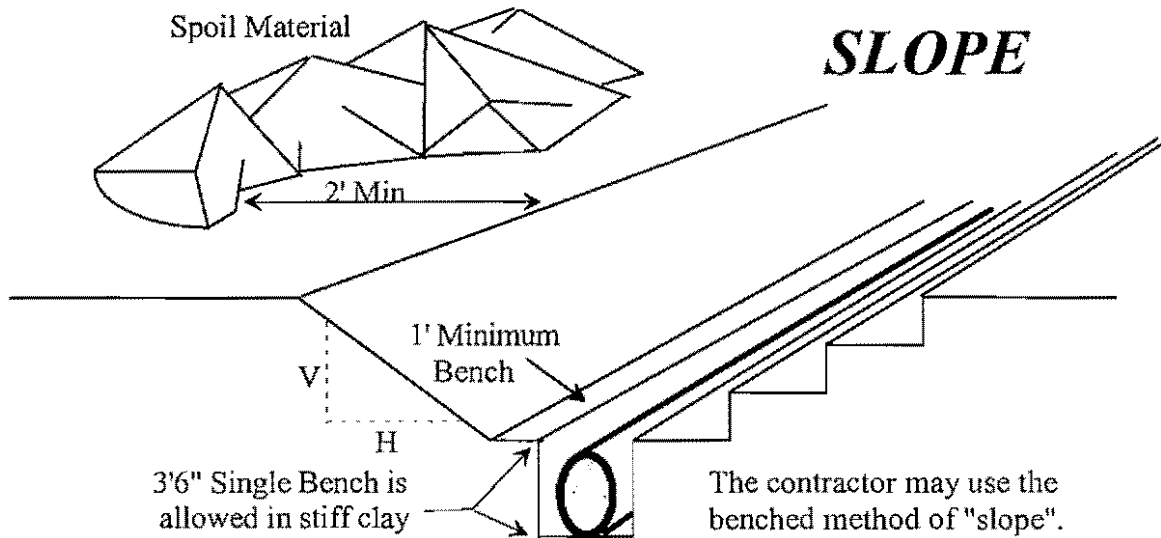


**Maximum anticipated lateral earth pressure for this project is 1125 "PSF"**

- 5.2.3 Option I The Contractor can use Slope as shown in the Option I section of the specification. Applicable slopes may be obtained by either straight cut or benched method. Vertical cuts for the benched method shall not exceed four(4) feet. Easement restrictions may limit the use of this option. See Drawing Option I.
- 5.2.4 Option II The Contractor may use a Trench Shield as shown in the Option II section of this specification. Requirements set forth in this Option shall include curricular trench shield(s) and or manhole boxes. All slopes above trench shield(s) shall conform to guidelines set forth in Option I. Trench shield(s) used on this project will be required to carry a minimum "PSF" as specified. Certification of trench shield(s) or manufacture's "tabulated data" shall be available for verification during construction. See Drawing Option II.
- 5.2.5 Option III The Contractor can use Trench Shores as shown in the Option III Section of this specification. Shores are to be installed as shown with horizontal spacing determined by the depth of cut and soil type but shall not exceed 6 feet. See Drawing Option III. If there is raveling of the trench wall, the contractor shall install plywood behind the shores as shown on the Option III drawing.

# TRENCH SAFETY SPECIFICATIONS

## OPTION I SLOPE



## H/V - REQUIRED SLOPE PER SOIL TYPE

H/V = ¾ to 1	Stiff clay less than 12 feet in depth (Type "A")
H/V = 1 to 1	Stiff clay or weathered limestone (Type "A" or "B")
H/V = 1½ to 1	Silty clays or saturated material (Type "C")
H/V = 2 to 1	Fill material or loose soil.

## NOTES

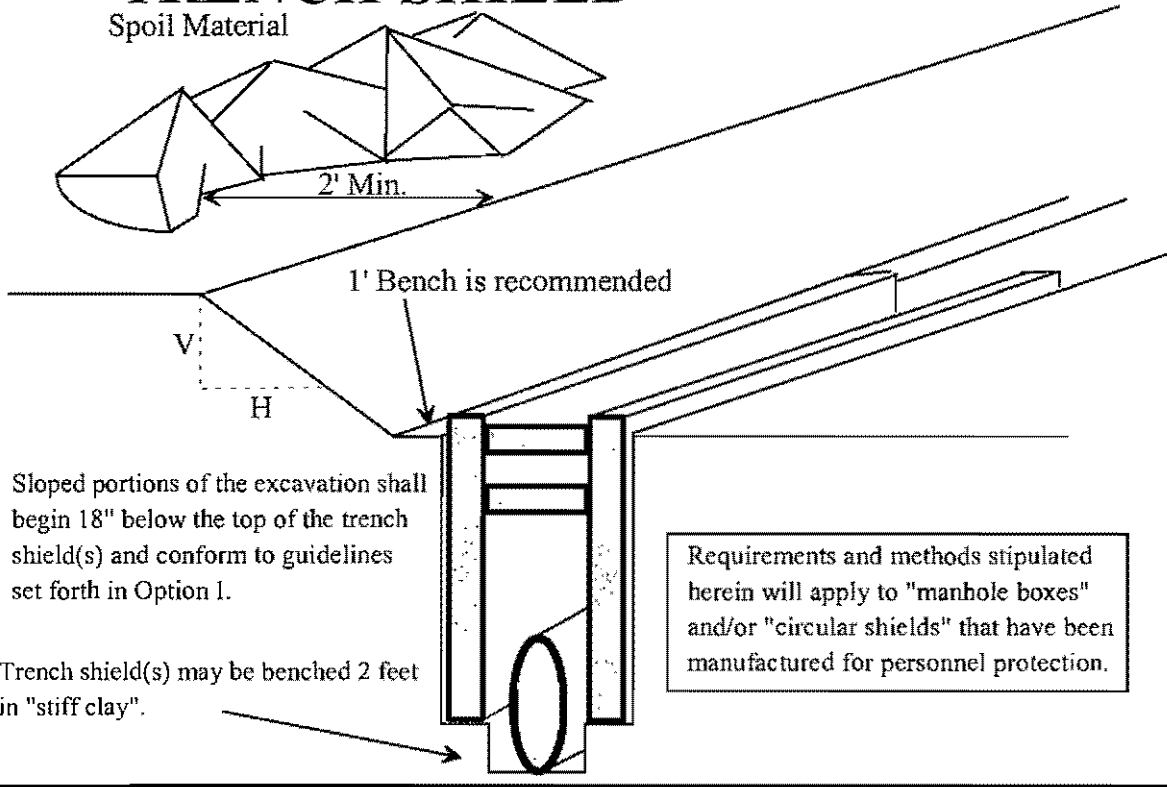
1. All trenches shall be dewatered as specified in 4.5.7
2. All slopes assume sufficient right-of-way exists.
3. All slopes shall be flattened an additional ½ foot if an existing parallel utility line is located within the horizontal distance equal to the depth of the new utility excavation.
4. No spoil or equipment shall be permitted nearer than 2 feet from the edge of the excavation.
5. A single 3' 6" vertical bench may be used in "stiff clay" only.
6. Exposed existing utility lines are to be supported.



# TRENCH SAFETY SPECIFICATIONS

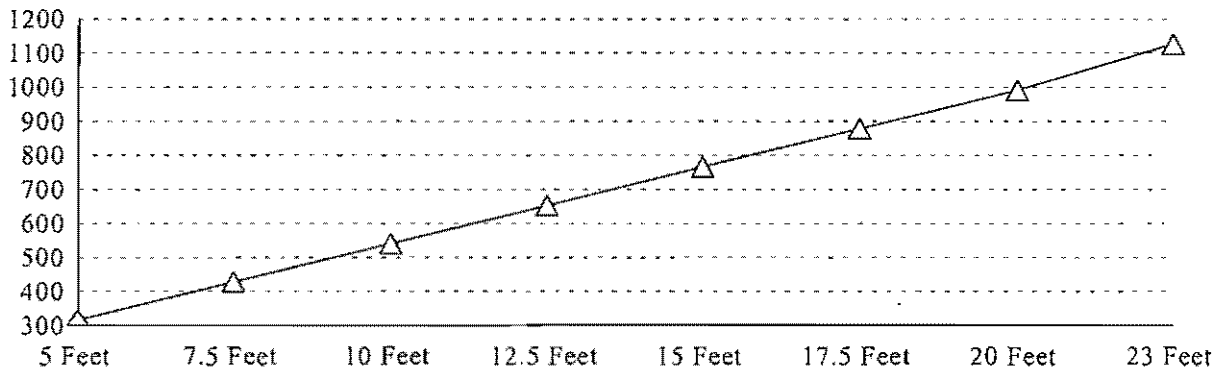
## OPTION II

### TRENCH SHIELD



### NOTES

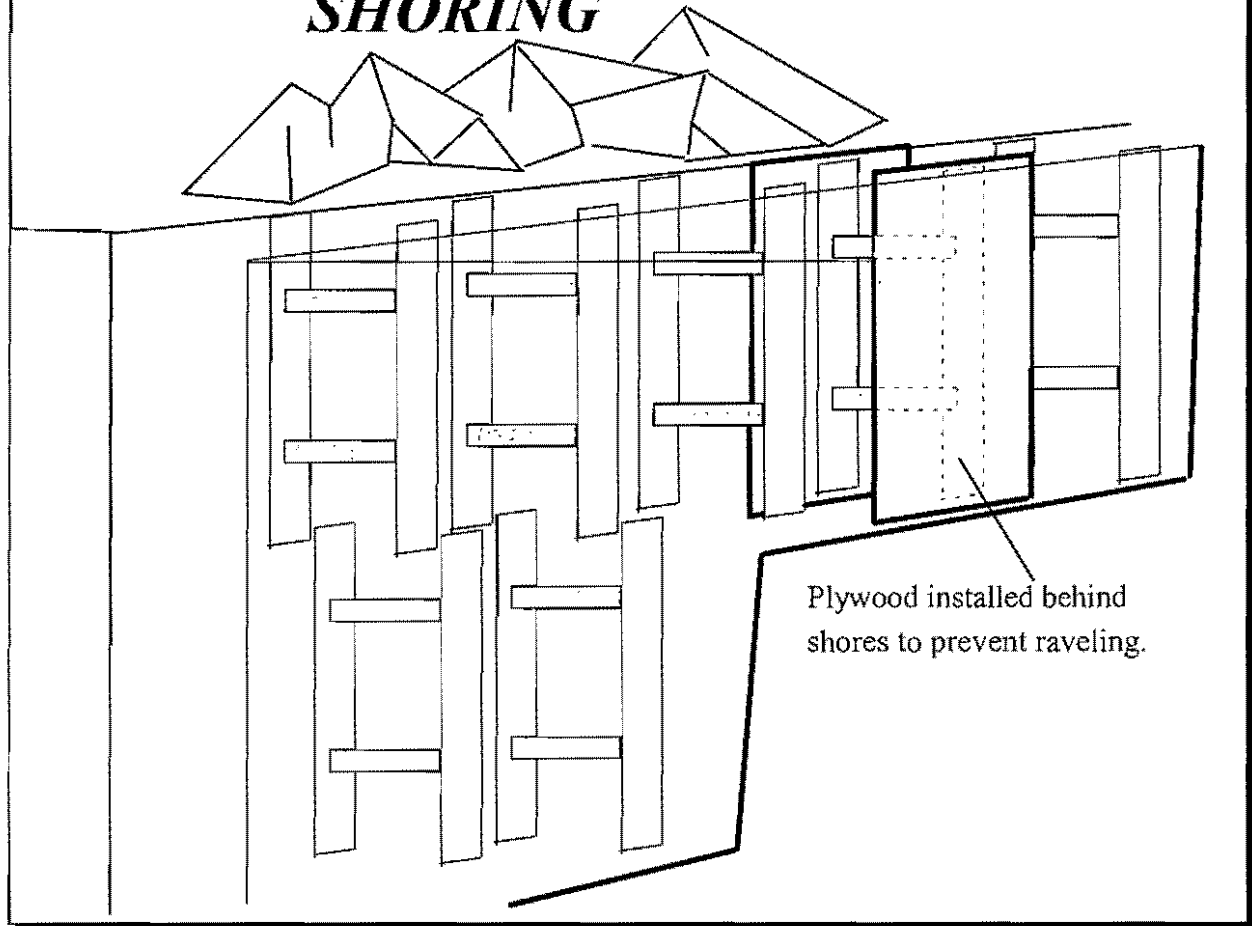
1. Trench shields shall be inspected and be free of structural defects that may impair their proper function.
2. Trench shields shall be used in accordance with the manufacturer's guidelines and recommendations.
3. Trench shields shall be installed so as to prevent any lateral or other hazardous movement.
4. Personnel shall not be allowed in the trench shield during its installation or removal from the excavation.
5. When shield(s) are stacked, the upper shield shall be rated for its physical depth in the trench.
6. Trench shield(s) used on this project shall be rated to withstand anticipated "PSF" (left side of graph) for depth of cut indicated below. Manufacture's tabulated data or certification shall be maintained on site.



# **TRENCH SAFETY SPECIFICATIONS**

## **OPTION III**

### **SHORING**



### **NOTES**

1. Shores shall be double stacked when trench depths exceed nine (9) feet.
2. Maximum horizontal spacing for double stacked shores shall be five (5) feet.
3. Maximum allowable depth of cut for this Option shall be fourteen (14) feet.
4. Aluminum hydraulic shoring may be used in Type "A" or "B" soils only.
5. Maximum horizontal spacing of shores in Type "A" soil shall be 6 feet.
6. Maximum horizontal spacing of shores in Type "B" soil shall be 5 feet.
7. The contractor's competent person shall inspect shores and verify that they are in good working order.
8. The hydraulic shores shall have a minimum working pressure of 750 psi.
9. The contractor shall adhere to the shoring manufacturer's guidelines for use in trench excavations.
10. If there is evidence of raveling or caving the contractor is required to install  $1\frac{1}{8}$ " thick plywood or  $\frac{3}{4}$ " thick 14 ply arctic white birch (Finland form).
11. Spoil material will not be allowed nearer than 2' from the edge of the excavation.

SPECTRUM DRIVE

January 10, 2005

Expenditures

Through December 31, 2004:

Capital	\$2,609,320
Prof. Services	1,822
Streets & Alleys	200
Admin. Salaries	13,392
Sub-total	\$2,624,734
Mel's Electric	\$319,700
DGNO Railroad	504,988
Sub-total	\$824,688
Total Expenditures	\$3,449,422

INCLUDES ENGR. COST  
2.3 CONST  
.3 ENR  
-----  
\$2.6 m !!

(Finance shows \$337,390 as a 1<sup>st</sup> Quart. Expend.)

↑ REAL-  
# ADDITIONAL  
WORK.

Assets

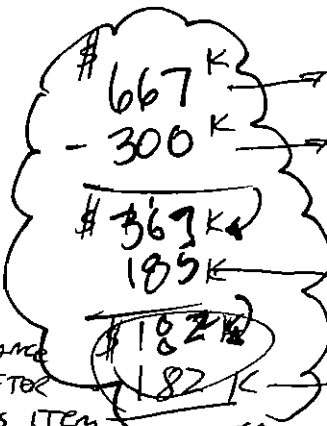
2000 Bond Sale	\$ 300,000
2002 Bond Sale	2,300,000
Inwood/Quorum	300,000
DART LAP	550,000
Quiet Zone	0
Total	\$3,450,000

✓ - 0 -  
- 0 -  
550k  
← AVAILABLE IF NECESSARY

\$33k - RETAINAGE FOR MEIS ELEC. (ALREADY ENCUMBERED)  
\$505k - DGNO OUT OF FUND 44, 2004 BOND SALE, UNALLOCATED LINE ITEM  
WILL REIMBURSE FROM DART LAP AROUND LATE FEBRUARY 2005

OVERBIDS:

- LIGHTING CONTRACT
- DGNO CONTRACT
- DRIVEWAY REBUILD
- EXPLORER PIPELINE

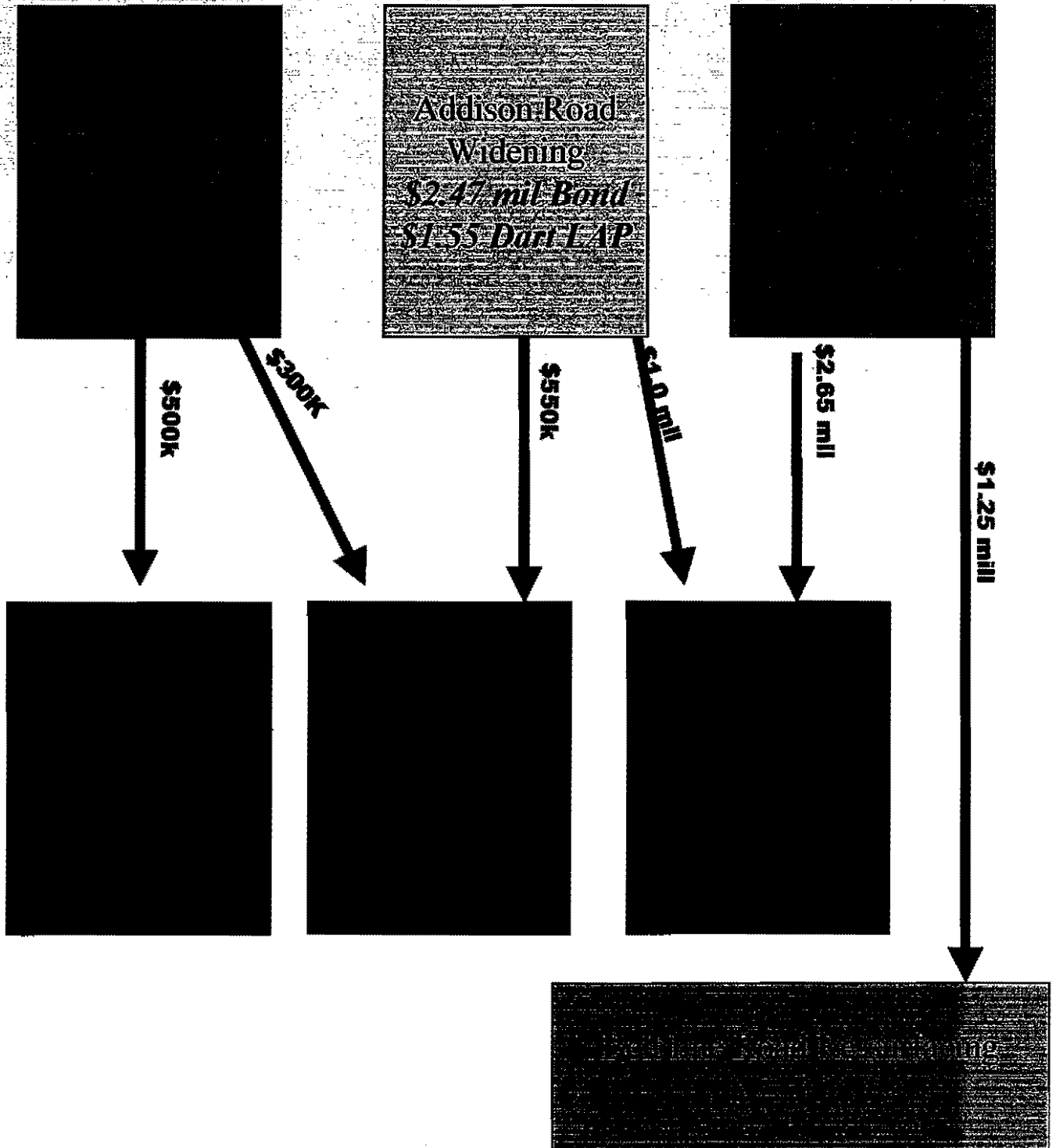


BUDGET DEFICIT (AS OF 1/12/05)  
TRANSFER FROM R/R SIGNAL. LINE ITEM  
TRANSFER FROM 2000 BOND SALE, UNALLOCATED LINE ITEM. THIS WILL CLOSE 2000 BOND FUNDS OUT  
\*TRANSFER FROM 2004 BOND SALE, UNALLOCATED LINE ITEM.  
PROJECT CLOSED OUT

\* NOTE: AFTER DGNO PAYMENT & DART LAP DEPOSIT, THE 2004 UNALLOCATED BALANCE WILL BE \$856K. AFTER \$182K IS REMOVED, THIS ITEM WILL HAVE A BALANCE OF \$674K

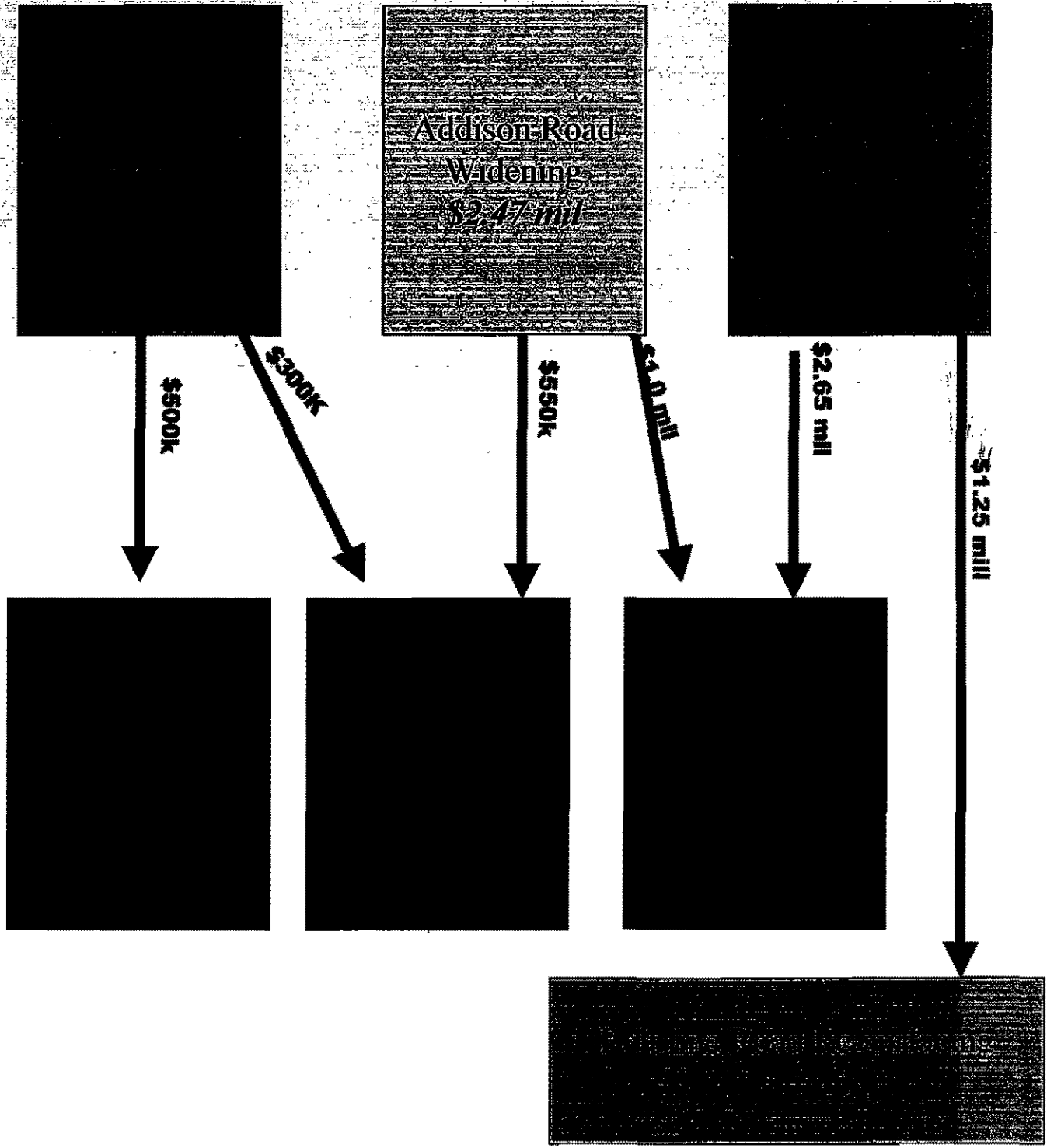
# Fund Reallocation

2004



# Fund Reallocation

2004



**ARAPAHO ROAD, MARSH LANE TO ADDISON ROAD**

<b>Project Budget</b>	<b>Project #83300</b>
<b>Description</b>	<b>Amount Notes</b>
<b>Bond Funds</b>	<b>\$20,500,000 2000 bonds</b>
<b>County funds</b>	<b>\$1,432,812 grant obtained by Public Works</b>
<b>Dart Lap</b>	<b>\$2,363,878</b>
<b>Morris Road available funds</b>	<b>\$300,000</b>
<b>Addison Road/Excel</b>	<b>\$230,000</b>
<b>Midway Road</b>	<b>\$2,650,000 2000 bonds</b>
<b>Addison Road Dart Lap</b>	<b>\$1,000,000</b>
<b>total available funds</b>	<b>\$28,476,690</b>
<b>Phase II, Marsh to Surveyor</b>	
<b>HNTB initial fee</b>	<b>\$294,124</b>
<b>HNTB Urban Design (streetscape)</b>	<b>\$29,000</b>
<b>Supplementary Agreement #1</b>	<b>\$1,506</b>
<b>ROW analysis</b>	<b>\$44,577</b>
<b>HNTB Design Fee</b>	<b>\$1,046,679</b>
<b>Evaluation Associates</b>	<b>\$30,000</b>
<b>HNTB Urban Design (streetscape)</b>	<b>\$51,000</b>
<b>HNTB Landscape Architecture</b>	<b>\$87,291</b>
<b>Genier lighting</b>	<b>\$13,000</b>
<b>Metro Brick Parcel #1</b>	<b>\$85,156</b>
<b>Joe's Auto Body Parcel #2</b>	<b>\$173,202</b>
<b>Union Pacific Railway Company Parcel #3</b>	<b>\$1,204,217</b>
<b>The City of Dallas Parcel #4</b>	<b>\$13,018</b>
<b>Heritage Inn Parcel #5</b>	<b>\$60,869</b>
<b>Motel 6 Parcel #6</b>	<b>\$232,795</b>
<b>Charter Furniture Parcel #7</b>	<b>\$166,446</b>
<b>Gary Crouch/MBNA Parcel #8</b>	<b>\$225,000</b>
<b>John Wilson Parcel #9</b>	<b>\$58,921</b>
<b>Harbour Group Parcel #10</b>	<b>\$29,768</b>
<b>Dale Bulough/Metrocrest 1 Parcel #11</b>	<b>\$29,357</b>
<b>Public Storage of Dallas, Ltd. Parcel #12</b>	<b>\$1,583,210</b>
<b>Public Storage of Dallas, Ltd. Parcel #13</b>	<b>Included in #12</b>
<b>Audit and Legal Fees</b>	<b>\$125,000</b>
<b>Bridge Design</b>	<b>\$580,965</b>
<b>roadway improvements 4947345</b>	<b>\$4,947,345</b>
<b>Utility improvements</b>	<b>\$3,741,304</b>
<b>Lighting and Signalization Improvements</b>	<b>\$614,221</b>
<b>Streetscape Improvements</b>	<b>\$1,129,911</b>
<b>Bridge Construction</b>	<b>\$5,255,580</b>
<b>Bridge Lighting</b>	<b>\$709,872</b>
<b>Bridge Design Stipend</b>	<b>\$30,000</b>
<b>URS bridge concept meeting</b>	<b>\$19,570</b>
<b>Wye Track Crossing Fee</b>	<b>\$2,500</b>
<b>Environmental reports</b>	<b>\$7,210</b>
<b>Hipes &amp; Associates</b>	<b>\$40,365</b>
<b>Pat Haggerty</b>	<b>\$2,605</b>
<b>Evaluation Associates</b>	<b>\$21,750</b>
<b>Bridge Pre-Submittal meeting @ Stone Cottage</b>	<b>\$706</b>
<b>Alternate #1</b>	<b>\$343,448</b>
<b>Alternate #2</b>	<b>\$31,100</b>
<b>Total, Phase III</b>	<b>\$22,786,348</b>
<b>Total Expenses</b>	<b>\$26,996,238</b>
<b>Total under available budget</b>	<b>\$1,477,452</b>

yellow represents changes in original scope

**2000 Bond Sale**

**2000 Bond Sale**  
**\$9.905 mil**

**Arapaho Rd. Phase II**  
**\$4.005 mil**

**Spectrum Drive Ext.**  
**(Engr. Only)**  
**\$3 mil**

**Morris Rd. Extension**  
**\$85 mil**

**Midway Rd. Rehab.**  
**(Engr. Only)**  
**\$35 mil**

**Town Hall Purch.**  
**\$1.3 mil**

**Athletic Club Exp.**  
**\$3.0 mil**

**Belt Line Rd.**  
**Grant Application**  
**\$25 k**

**Belt Line Rd. Streetscp.**  
**(Arch. Design Only)**  
**\$275 mil**

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

**Belt Line Rd. Streetscp.**  
**Construction**  
**\$8.625 mil**

**Midway Rd. Rehab.**  
**Construction**  
**\$3.9 mil**

**Midway Rd. Rehab**  
**Move \$2.05 mil to Arap.**  
**Move \$7.25 to Belt Line resur.**

[Redacted]

**2006 Bond Sale**  
**\$3.70 mil**

[Redacted]

[Redacted]

**Midway Rd. Rehab.**  
**Construction**  
**\$1.75 mil**

**BID FORM**  
(updated from addendum 1)  
**Bid 04-24 Spectrum Lights**

Company Name: MELS ELECTRIC, L.P.

Full Mailing Address: 1810 S AKARD ST. DALLAS, TX 75215

Phone Number: (214) 565-1074 Fax: (214) 565-1081

Print Contact Name: TIMOTHY KEIERLEBER

I have received, read, and will abide by all pages of these specifications. I am a legal agent of the above named company and am fully authorized to sign this bid. Affiant further states that Bidder has not paid, given, or donated or agreed to pay, give or donate to any officer or employee of the Town of Addison any money or thing of value, either directly or indirectly, in award of the Bid.

Authorized Signature: [Signature] Print Name and Title: TIMOTHY KEIERLEBER Date: 6/7/04

Bid Items:

Bid A aluminum type street poles				unit cost	total cost
827	Furnish/Install Light Poles & Luminaries	APPROX.	30 EA	3,100.00	93,000.00
829	Furnish/Install Vehicle Pole & Luminaries	APPROX.	37 EA	8,350.00	308,950.00

Total bid: 401,950.00  
Total number of days: 130

Bid B steel type street poles				unit cost	total cost
827	Furnish/Install Light Poles & Luminaries	APPROX.	30 EA	2,825.00	84,750.00
829	Furnish/Install Vehicle Pole & Luminaries	APPROX.	37 EA	6,350.00	234,950.00

Total bid: 319,700.00  
Total number of days: 130

Bid Form signed

References



- MIDWAY MEADOWS -

1. CHECK SPACING - DISTANCES.
2. PUT TOGETHER A CITIZENS COMMITTEE
3. TO STUDY THE QUESTION

- CK. LIGHTING ON QUORUM -

VALET

- PARKING CLOSER TO AVANTES

1. HAVE LEE TAKE A LOOK AT IT.
2. DO QUICKLY.

- TAKE A LOOK AT THE DARK PARK  
IN THE ESPLANDE.

- GET ROW AN EMAIL ON

MID

DATE SUBMITTED: June 11, 2004  
FOR COUNCIL MEETING: June 22, 2004

**Council Agenda Item:**

**SUMMARY:**

This item is for the award of contract to Mels Electric, L.P., in the amount of \$319,700.00, to furnish and install steel street and pedestrian light poles, and luminaries on the Spectrum Drive Construction Project.

**FINANCIAL IMPACT:**

Budgeted Amount: \$3,100,000

Cost: \$319,700.00

Source of Funds: Funds are available from the FY 2002 General Obligation Bond Program (Spectrum Drive), and residual funds from Inwood/S. Quorum and Addison Road Widening Projects.

**BACKGROUND:**

Construction of Spectrum Drive North/South improvements is currently underway. The portion of Spectrum Drive, from Morris Avenue to Airport Parkway, is a continuation of the second phase of the Addison Circle project. Spectrum Drive is also being extended south, from the DART railroad right-of-way to Arapaho Road. The design of a Quiet Zone at the railroad crossing and streetscape improvements are also included in the project. The contractor, Site Concrete, Inc., has completed the majority of the roadway construction and will perform the installation of concrete foundations and associated electrical items for the installation of street and pedestrian light poles. However, the Town worked with a lighting consultant to develop a new design for street and pedestrian lights (see attached drawing) that are scheduled for implementation on Spectrum Drive and subsequently on Addison Road and Arapaho Road. The new light poles will provide an enhanced aesthetic look within the proposed streetscape design and optimum lighting coverage within the entire street right-of-way.

Attached is a bid tabulation for this project. Bidders were given the opportunity to bid on both aluminum and steel poles for the street and pedestrian lights. Mels Electric, L.P. submitted the lowest bid for steel poles, in the amount of \$319,700.00, and 130 calendar days for delivery and installation. Due the exclusive nature of this project, the Town only received two bids for consideration. Accordingly, the Town has already approved a change order with the principal contractor on Spectrum Drive for the deduction of costs for installing standard "shoe-box" type poles. The amount of the change order directly

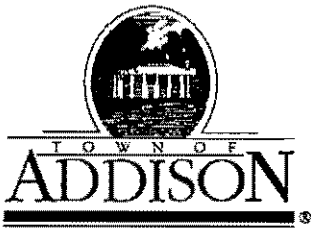
related to the street and pedestrian lights is approximately \$130,787. As a result, the affect of this bid for new light poles results in a net increase to the total project cost of \$188,913. Upon completion of the light pole foundations by Site Concrete, Inc., the new poles will be installed in place and electrical connections finalized by Mels Electric, L.P.

**RECOMMENDATION:**

Staff recommends that Council authorize the City Manager to enter into a contract with Mels Electric, L.P., for furnishing steel street and pedestrian light poles, and luminaries, in the amount of \$319,700.00.

### **Addendum No. 1**

The contractor is required to submit a bid for the aluminum type street light and pedestrian light, as specified in the original contract documents. In addition, the contractor shall also submit a bid for steel type street and pedestrian lights, with identical outside appearance, dimensions, fixtures, and electrical components. A contract will be awarded to the lowest responsive bidder, for either the aluminum or steel type lights. The contractor shall also submit a delivery schedule and indicate the total number of calendar days required to complete delivery and installation of all lights. In addition, the contractor shall submit design specifications for the proposed steel type street and pedestrian lights with the bid, and shall be subject to approval by the Town of Addison.



**Public Works / Engineering**  
 16801 Westgrove • P.O. Box 9010  
 Addison, Texas 75001  
 Telephone: (972) 450-2871 • Fax: (972) 450-2837

# LETTER OF TRANSMITTAL

DATE	10/11/04	JOB NO.
ATTENTION	DAVID MEYER	
RE:	SPECTRUM ASBUILTS	

TO DAVID MEYERS C/O HUITT-ZOLLARS  
3131 MCKINNEY # 600  
DALLAS TX 75204

**GENTLEMAN:**

- WE ARE SENDING YOU**
- Attached
  - Under separate cover via \_\_\_\_\_ the following items:
  - Shop Drawings
  - Prints
  - Plans
  - Samples
  - Specifications
  - Copy of letter
  - Change order
  - \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1	11/5/04		SPECTRUM ASBUILTS

**THESE ARE TRANSMITTED as checked below:**

- For approval
- For your use
- As requested
- For review and comment
- FOR BIDS DUE \_\_\_\_\_ 19\_\_\_\_\_
- Approved as submitted
- Approved as noted
- Returned for corrections
- \_\_\_\_\_
- Resubmit \_\_\_\_\_ copies for approval
- Submit \_\_\_\_\_ copies for distribution
- Return \_\_\_\_\_ corrected prints
- PRINTS RETURNED AFTER LOAN TO US

**REMARKS**

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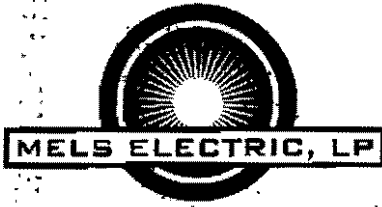


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**COPY TO** \_\_\_\_\_

**SIGNED:** 

*If enclosures are not as noted, please notify us at once.*



September 16, 2004.

Town of Addison  
Steve Chutchin  
P.O. Box 9010  
Addison, TX 75001-9010

Reference: Change Order Proposal for Spectrum Lights

Dear Mr. Chutchin,

Our proposal to add the conductors for the streetlights is a lump sum of \$13,100.00. This price includes the engineering, setting mock-up light, circuit breakers and any miscellaneous items to make installation complete. This does not include bonding, landscaping removal or replacement, utility company charges or taxes.

If you feel this is acceptable agreement for the Spectrum Lights project please have this proposal signed and returned promptly.

Thank you for your assistance in getting this issue resolved.

Sincerely,

Dawn Perkins  
Mels Electric, L.P.

Accepted  
Mike Murphy  
Director of Public Works

Date: 9/17/04

USE FUND 44

**Steve Chutchian**

---

**From:** Randy Moravec  
**Sent:** Wednesday, July 21, 2004 11:42 AM  
**To:** Carolyn Burgett  
**Cc:** Steve Chutchian  
**Subject:** Spectrum Drive Charges

Carolyn,

You may have caught this, but fund 46 had another charge for Spectrum in the engineering account during the third quarter. As you know, all Spectrum related charges must now be applied against the project funds in fund 44. Please perform the following AJE:

44-000-56570-05301	\$4,369.00	
46-000-56570-05301		\$4,369.00

Through copy of this email I am asking Steve to make sure that all payroll and accounts payable associated with Spectrum now be charged to fund 44.

THANKS!!!

**Randy**



Real Estate Investment Managers

**DB Real Estate**



A Member of the Deutsche Bank Group

15455 N. Dallas Parkway  
Suite 175  
Addison, Texas 75001

Tel 214 323 2000  
Fax 214 323 2005

[www.rreef.com](http://www.rreef.com)

June 1, 2004

Bryan Piper  
Site Concrete, Inc.  
3340 Roy Orr Blvd.  
Grand Prairie, TX 75050-4207

RE: Service Road – Town of Addison

Dear Bryan,

Attached are copies of our irrigation invoices from the Town of Addison. I am also attaching copies of last year's May invoices for your reference.

The May 2004 invoices more than double the bills from last year, and we know that this is due to the break in the lines during the construction for the culverts next to the service road that you are doing for the Town of Addison.

Please issue us a check for both accounts at your earliest convenience. Total due to RREEF Millennium I, LP from your company is \$903.47.

Sincerely,

RREEF MANAGEMENT COMPANY

A handwritten signature in cursive script that reads 'Glenda Lee'.

Glenda Lee

cc: Luke A. Jalbert, Town of Addison



Addison!

TOWN OF ADDISON UTILITIES

Mail To: P. O. Box 9009
Addison, Texas 75001-9009
Deliver To: 5350 Belt Line Road
Dallas, Texas 75254
Questions About Your Statement Call:
972-450-7081

RECEIVED

MAY 20 2004

RREEF

Service Info:

Table with 2 columns: CUSTOMER NUMBER (0000333702) and SERVICE ADDRESS (15455 DALLAS PKWY)

Billing Date Info:

Table with 4 columns: PREV. READING DATE (04/12/04), CURRENT READING DATE (05/13/04), BILLING DATE (05/21/04), DUE DATE (06/10/04)

Reading History:

Table with 6 columns: METER SERIAL NUMBER (2626329), PREVIOUS READING (130462), CURRENT READING (133583), CURRENT USAGE (312100), ESTIMATE REASON, AVERAGE DAILY USAGE (10067.7419)

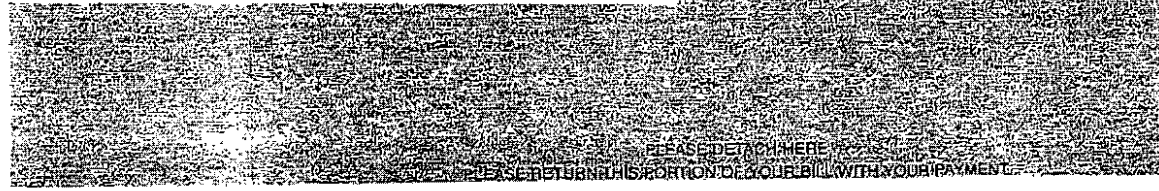
Billing History:

Table with 3 columns: TRANSACTION CODE (3100), CHARGES (WATER IRRIGATION LARGE), AMOUNT (\$746.32)

FOR AN EXPLANATION OF PAYMENT BY CREDIT CARD SEE REVERSE. DO NOT SEND PAYMENT! AMOUNT DUE BEING PAID BY AUTOMATIC BILL PAYMENT.

Table with columns: PROPERTY (Millennium I, Addison, TX), VENDOR (33ADDUTIL), INV. DATE, AMOUNT, PREVIOUS BALANCE (\$0.00), PROJECT (3.B75000), JOB CODE, ACCOUNT (6331), AMOUNT (\$237.02), TOTAL DUE (\$746.32), ESC. (WATER BILLS), PP/L/DATE (Clemens 5/28/04)

Comedy of Errors June 4-6 on Circle Park beginning at 8



BILL PAYABLE ON RECEIPT MAKE CHECKS PAYABLE TO TOWN OF ADDISON.

Addison!

TOWN OF ADDISON UTILITIES
Mail To: P. O. Box 9009
Addison, Texas 75001-9009
Deliver To: 5350 Belt Line Road
Dallas, Texas 75254
Questions About Your Statement Call:
972-450-7081

Table with 3 columns: CUSTOMER NO (0000333702), SERVICE ADDRESS (15455 DALLAS PKWY), DUE DATE (06/10/04), AMOUNT DUE (\$746.32)

PLEASE MAKE PAYMENT TO OUR OFFICE BY 5:00 P.M. ON OR BEFORE THE DUE DATE. AFTER THE DUE DATE A PENALTY CHARGE WILL BE ADDED

Table with 2 columns: MAIL ADDRESS (RREEF MILLENNIUM I, 15455 DALLAS PKWY, ADDISON, TX 75001), AFTER DUE DATE PAY (\$820.95), PLEASE INDICATE AMOUNT PAID

FAILURE TO PAY THE PAST DUE BALANCE MAY RESULT IN A PROPERTY TAX LIEN.

000000021000000033370200000746325

Addison!

TOWN OF ADDISON UTILITIES

Mail To: P. O. Box 9009
Addison, Texas 75001-9009
Deliver To: 5350 Belt Line Road
Dallas, Texas 75254
Questions About Your Statement Call:
972-450-7081

RECEIVED

MAY 20 2004

RREEF

Service Info:

Table with 2 columns: CUSTOMER NUMBER (0000338102) and SERVICE ADDRESS (15445 DALLAS PKWY)

Billing Date Info:

Table with 4 columns: PREV. READING DATE (04/12/04), CURRENT READING DATE (05/13/04), BILLING DATE (05/21/04), DUE DATE (06/10/04)

Reading History:

Table with 6 columns: METER SERIAL NUMBER (2626325), PREVIOUS READING (132307), CURRENT READING (135382), CURRENT USAGE (307500), ESTIMATE REASON, AVERAGE DAILY USAGE (9919.3548)

Billing History:

Table with 3 columns: TRANSACTION CODE (3100), CHARGES (WATER IRRIGATION LARGE), AMOUNT (\$735.61)

FOR AN EXPLANATION OF PAYMENT BY CREDIT CARD SEE REVERSE. DO NOT SEND PAYMENT! AMOUNT DUE BEING PAID BY AUTOMATIC BILL PAYMENT.

PROPERTY:

Millennium I, Addison, TX

ENDOR:

33ADDUTIL

AMOUNT:

\$ 735.61

IV. NO:

INV. DATE:

5-21-04

PREVIOUS BALANCE:

\$0.00

PROJECT:

JOB CODE:

ACCOUNT:

AMOUNT:

3.B75000

6331

\$ 219.96

TOTAL DUE:

\$735.61

3.B75000

7017

\$ 58.47

3.B75000

2663

\$ 457.18

ESC.:

WATER BILLS

PP/L/DATE:

C Jensen 5/20/04

Some minor errors, Jan 24-6 on Circle Park beginning at...

PLEASE DETACH HERE

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BILL PAYABLE ON RECEIPT MAKE CHECKS PAYABLE TO TOWN OF ADDISON.

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Addison, Texas 75001-9009
Deliver To: 5350 Belt Line Road
Dallas, Texas 75254
Questions About Your Statement Call:
972-450-7081

Table with 4 columns: CUSTOMER NO (0000338102), SERVICE ADDRESS (15445 DALLAS PKWY), DUE DATE (06/10/04), AMOUNT DUE (\$735.61)

MAIL ADDRESS:

GROSS AMOUNT \$809.17

AFTER DUE DATE PAY

PLEASE INDICATE AMOUNT PAID

PLEASE MAKE PAYMENT TO OUR OFFICE BY 5:00 P.M. ON OR BEFORE THE DUE DATE. AFTER THE DUE DATE A PENALTY CHARGE WILL BE ADDED.

FAILURE TO PAY THE PAST DUE BALANCE MAY RESULT IN A PROPERTY TAX LIEN.

RREEF MILLENNIUM I L.P.
15455 DALLAS PKWY
ADDISON, TX 75001

00000021000000033810200000735615

*Addison!*

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 Deliver To: 5350 Belt Line Road  
 Dallas, Texas 75254  
 Questions About Your Statement Call:  
 972-450-7081

Property	Code	Amount
MIL	5130	300.03

Approved by: *[Signature]*  
 Date: 5/21/03

Service Info:

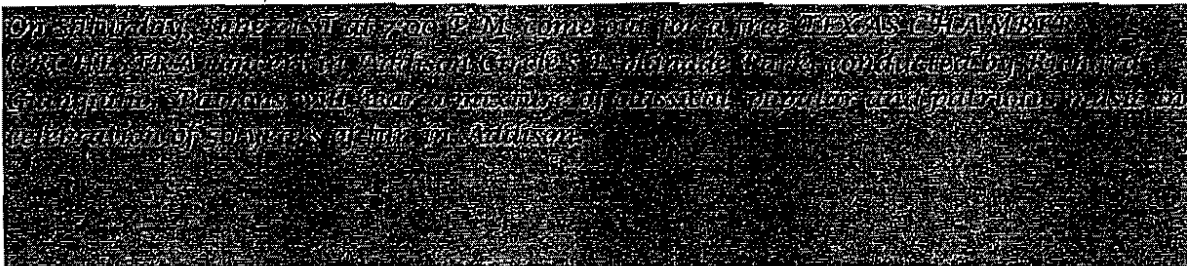
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0000333701	15455 DALLAS PKWY				
Billing Date Info:					
PREV. READING DATE	CURRENT READING DATE	BILLING DATE	DUE DATE		
04/11/03	05/13/03	05/21/03	06/10/03		
Reading History:					
METER SERIAL NUMBER	PREVIOUS READING	CURRENT READING	CURRENT USAGE	ESTIMATE REASON	AVERAGE DAILY USAGE
2626329	106054	108018	196400		6137.5000

Billing History:

TRANSACTION CODE	CHARGES	AMOUNT
3100	WATER IRRIGATION LARGE	\$300.03
PREVIOUS BALANCE:		\$0.00
<b>TOTAL DUE:</b>		<b>\$300.03</b>

FOR AN EXPLANATION OF PAYMENT BY CREDIT CARD SEE REVERSE.

RECEIVED  
 MAY 21 2003  
*faxed to Elaine 5/21/03*



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 Addison, Texas 75001-9009  
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 Dallas, Texas 75254  
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 972-450-7081

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CUSTOMER NO	SERVICE ADDRESS	DUE DATE	AMOUNT DUE
0000333701	15455 DALLAS PKWY	06/10/03	\$300.03
MAIL ADDRESS:			GROSS AMOUNT
			\$330.03
			AFTER DUE DATE PAY
			PLEASE INDICATE AMOUNT PAID

PLEASE MAKE PAYMENT TO OUR OFFICE BY 5:00 P.M. ON OR BEFORE THE DUE DATE. AFTER THE DUE DATE A PENALTY CHARGE WILL BE ADDED.

FAILURE TO PAY THE PAST DUE BALANCE MAY RESULT IN A PROPERTY TAX LIEN.

MILLENNIUM PARK PHASE I  
 ATTN: G SMITH  
 15455 DALLAS PKWY STE 175  
 ADDISON, TX 75001  
 USA

000000021000000033370100000300034

Addison!

TOWN OF ADDISON UTILITIES

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Addison, Texas 75001-9009
Deliver To: 5350 Belt Line Road
Dallas, Texas 75254
Questions About Your Statement Call: 972-450-7081

Table with 3 columns: Property, Code, Amount. Row 1: mil, 5130, 278.43. Includes 'Approved by:' signature and 'Date: 5/21/03'.

Service Info:

Table with 2 columns: CUSTOMER NUMBER, SERVICE ADDRESS. Row 1: 0000338101, 15445 DALLAS PKWY

Billing Date Info:

Table with 4 columns: PREV. READING DATE, CURRENT READING DATE, BILLING DATE, DUE DATE. Row 1: 04/11/03, 05/13/03, 05/21/03, 06/10/03

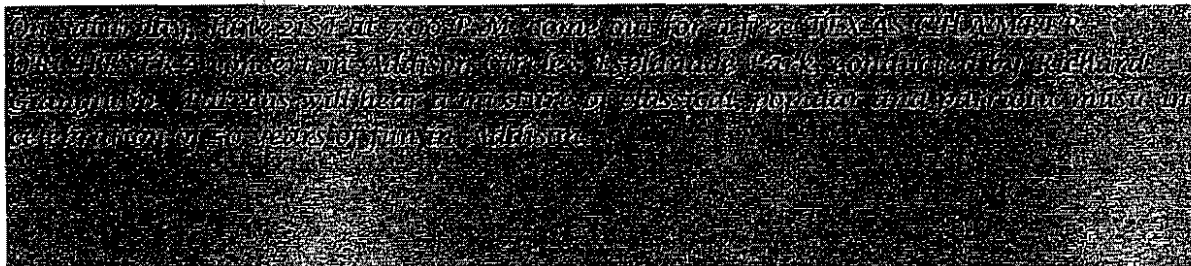
Reading History:

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Billing History:

Table with 3 columns: TRANSACTION CODE, CHARGES, AMOUNT. Row 1: 3100, WATER IRRIGATION LARGE, \$278.43. Includes 'PREVIOUS BALANCE: \$0.00' and 'TOTAL DUE: \$278.43'. Includes 'RECEIVED MAY 21 2003' stamp and signature.

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Addison, Texas 75001-9009
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Dallas, Texas 75254
Questions About Your Statement Call: 972-450-7081

Table with 4 columns: CUSTOMER NO, SERVICE ADDRESS, DUE DATE, AMOUNT DUE. Row 1: 0000338101, 15445 DALLAS PKWY, 06/10/03, \$278.43. Includes 'AFTER DUE DATE PAY' section with \$306.27 and 'PLEASE INDICATE AMOUNT PAID'.

PLEASE MAKE PAYMENT TO OUR OFFICE BY 5:00 P.M. ON OR BEFORE THE DUE DATE. AFTER THE DUE DATE A PENALTY CHARGE WILL BE ADDED.

FAILURE TO PAY THE PAST DUE BALANCE MAY RESULT IN A PROPERTY TAX LIEN.

MILLENNIUM PARK PHASE I
ATTN: G SMITH
15455 DALLAS PKWY STE 175
ADDISON, TX 75001
USA

000000021000000033810100000278436

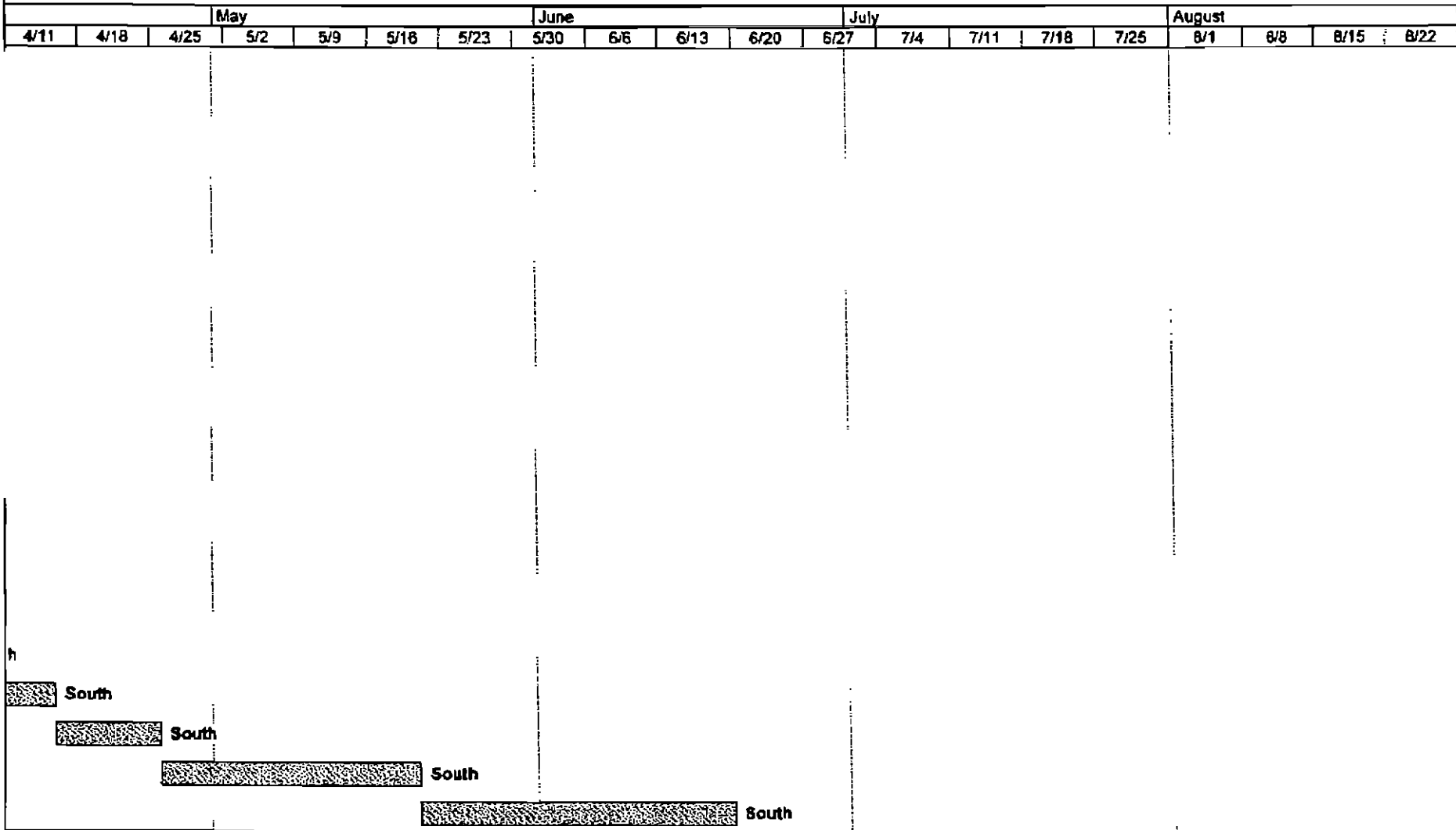
Spectrum Drive Start Date Jan 12' 04															
ID	Task Name	Duration	February				March				April				
			1/11	1/18	1/25	2/1	2/8	2/15	2/22	2/29	3/7	3/14	3/21	3/28	4/4
21	Pavestones (South)	25 edays													
22	Striping/Signage (South)	4 edays													
23	Water Pipe (North)	5 edays													
24	Paving (North)	30 edays													
25	Inlet Tops (North)	5 edays													
26	Landscaping/Irrigation (North)	10 edays													
27	Sidewalks (North)	30 edays													
28	Electrical (North)	30 edays													
29	Pavestones (North)	30 edays													
30	Striping/Signage ( North)	4 edays													
31	Final Clean-up/Walk-Thru	19 edays													

North

North





Project: Spectrum dr. Date: Mon 3/29/04	Task		Summary		Rolled Up Progress	
	Critical Task		Rolled Up Task		Split	
	Progress		Rolled Up Critical Task		External Tasks	
	Milestone		Rolled Up Milestone		Project Summary	

Spectrum Drive  
Start Date Jan 12' 04



Project: Spectrum dr.  
Date: Mon 3/29/04

- Task 
- Critical Task 
- Progress 
- Milestone 

- Summary 
- Rolled Up Task 
- Rolled Up Critical Task 
- Rolled Up Milestone 

- Rolled Up Progress 
- Split 
- External Tasks 
- Project Summary 



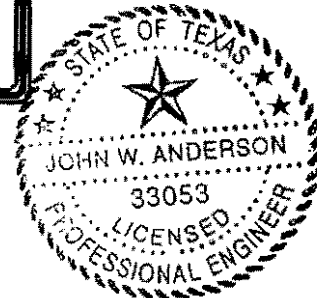
TRENCH SAFETY  
SPECIFICATIONS  
FOR  
SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION

TOWN OF  
ADDISON, TEXAS

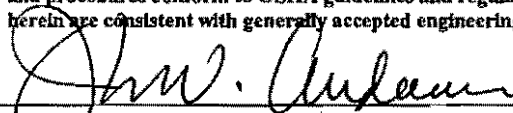
Prepared for  
SITE CONCRETE, INC.

Project # 8429

**TREN-TECH COMPANY**  
828 HOWELL DR.  
COPPELL, TEXAS 75019  
972-304-2171



I have reviewed these Trench Safety Guidelines and find that the recommendations and procedures conform to OSHA guidelines and regulations. The calculations herein are consistent with generally accepted engineering practice.

  
REGISTERED PROFESSIONAL ENGINEER

12/12/03  
DATE



## 1.0 DESIGN ASSUMPTIONS

- 1.1 General. These specifications cover the basic requirements for shoring and/or sloping of excavations for the installation of SANITARY SEWER LINES, WATER LINES, ELECTRICAL DUCT LINES and STORM DRAIN for the SPECTRUM DRIVE, NORTH/SOUTH EXTENSION in the TOWN of ADDISON, TEXAS.
- 1.2 This specification addresses the safety of workers in a trench excavation and does not, in any way relieve the Contractor of his responsibility and liability to ensure the safety of the project and workers.
- 1.3 It is not the intent of these specifications to specify every detail and procedure of the trenching/shoring operations; nevertheless, they shall conform to the high standards of engineering and of safe trench excavation.
- 1.4 The personnel protection systems shown in these specifications have been designed based on information obtained from the project drawings and specifications.
- 1.5 In accordance with Revised OSHA (Appendix A to Subpart P effective March 2,1990), the Contractor's "Competent Person" will conduct the required Soil Classification Tests. If soils other than those previously identified are found, this specification will be revised. During construction, the Contractor's "Competent Person" will monitor the soil classification as required by OSHA 1926.
- 1.6 Contractor shall be responsible for selecting the appropriate safety system option shown in these specifications, depending on trench depth and soil conditions.
- 1.7 The protection of existing structures and utilities which may be affected by these trench excavations is beyond the scope of this report (See Sect.4.2)
- 1.8 The Contractor must identify a "Competent Person" in the Contractor's firm responsible for performing inspections of the excavations to ensure that expected subsurface conditions are present. NOTE-This person must be "Competent" as described in OSHA 1926.650(b).
- 1.9 It is the Contractor's responsibility to ensure that all excavation work and site conditions are within the regulations as established by OSHA. Any property damage or bodily injury (including death) arising from the use of these specifications, from the Contractor's negligence in performance of contract work, or from Owner's failure to note exceptions to these specifications shall remain the sole responsibility and liability of the contractor.

## **2.0 DEFINITIONS**

- 2.1 All definitions of section 1926.650 of Subpart P, Part 1926, of the Code of Federal Regulations shall be by reference an integral part of this section.
- 2.2 "Sealing Engineer"- The engineer whose Texas seal is affixed to these specifications.
- 2.3 "The Contractor"-The contractor responsible to the owner for the excavation work described herein.
- 2.4 "Competent" as described in OSHA 1926.650(b).

## **3.0 APPLICABLE CODE AND STANDARDS**

- 3.1 The Contractor shall perform all shoring work under this contract in accordance with all applicable codes and standard safety requirements and regulations including:
  - 3.1.1 OSHA 2207, Construction Industry Standards (Part 1926, Occupational Safety and Health Standards)
  - 3.1.2 AISC Code of Standard Practice.
  - 3.1.3 AISC Specifications of the design, fabrication, and erection of steel buildings
  - 3.1.4 AITC Timber Construction Manual
  - 3.1.5 AWS D1.1 Structural Welding Code
  - 3.1.6 The Uniform Building Code
  - 3.1.7 OSHA 2226
  - 3.1.8 U S Army Corps of Engineers EM 385-1-1
- 3.2 The latest edition (including supplements and revisions) of the above publications in effect or promulgated at the time of the bid shall apply. Equipment fabricated to codes and standards in effect at time of bid but later revised shall be acceptable provided such revisions are not required by law.

## **4.0 SHORING/SLOPING**

### **4.1 Description.**

This section covers the technical requirements of the trenching/shoring work.

### **4.2 Existing Structures.**

Where existing buildings, other utilities, streets, highways, or other structures are in close proximity to the trench, or may otherwise be affected by the proposed trenching operation, the Contractor shall provide adequate protection by the use of sheeting and shoring to protect the structure, street, or highway from possible damage. In the case of utilities, the Contractor may elect to remove the utility, provided that the removal and subsequent replacement meet with the approval of the engineer, the utility owner, or whoever has jurisdiction of the structure. In all cases, it shall be the responsibility of the Contractor to protect public and private property and any person or persons who might, as a result of the Contractor's work, be injured.

### **4.3 General Trenching and Shoring Requirements.**

The Contractor shall be solely responsible for trench safety provisions meeting the applicable requirements of the United States Department of Labor-Occupational Safety and Health Administration, including subpart P, Part 1926, of the Code of Federal Regulations. All trenching operations and procedure shall also conform to the requirements listed in this specification.

4.3.1 The requirements of sections 1926.650 and 1926.651 of Subpart P, Part 1926, of the Code of Federal Regulations shall be by reference an integral part of this section.

## **4.4 REQUIREMENTS PRIOR TO EXCAVATION**

4.4.1 Known underground installations are shown on the site plans. It is the Contractor's responsibility to verify exact locations in the field.

4.4.2 Before any individual enters an excavation, the excavation will be inspected by a "Competent Person" to ensure that trench excavation has been performed according to this specification and OSHA requirements and to ensure that no anomalies are observed which may effect the safety of the trench project. Note-This person must be "Competent" as described in OSHA 1926.650(b).

## 4.5 REQUIREMENTS DURING EXCAVATION

- 4.5.1 During excavation, the exact location of existing underground installations shall be determined by the Contractor, and when uncovered, proper precautions and supports shall be provided so as not to cause a hazard to the workmen or the project.
- 4.5.2 Daily inspections of the excavations shall be made by the Competent Person". If there is evidence of possible cave-ins or slides, all work in the excavation shall cease until the necessary precautions have been taken to ensure the safety of the workmen and the trench. Note-This person must be "Competent" as described in OSHA 1926.650. Excavations shall be inspected after every rainstorm or other hazard-increasing occurrence to ensure safety of the workmen and the trench.
- 4.5.3 Excavated material shall be stockpiled a distance away from the trench, so as not to affect the trench stability. The Contractor's means and methods will determine the distance. As a minimum to protect the workmen from falling debris, the toe of the stockpiled soil shall be no closer than two(2) feet from the edge of the excavation.
- 4.5.4 All precautions must be made to prevent surface water from entering the trench excavation. Adequate drainage must be provided in the area adjacent to the excavation.
- 4.5.5 Operation of heavy equipment adjacent to the edge of the trench may cause instability. The Contractor is responsible for the means and methods of excavation, and therefore, for loads imposed on the trench excavation and shoring design.
- 4.5.6 The Contractor must take precautions to protect the face of the excavation from exposure to excessive drying, water, or freezing.
- 4.5.7 Water shall not be permitted to stand in the bottom of the trench and suction pumps of adequate capacity shall be installed to ensure that such standing water is removed.
- 4.5.8 The Contractor shall provide a positive means of ensuring that hydrostatic pressure does not build up behind the shoring or shields.
- 4.5.9 If a condition requiring the use of a different method of shoring is encountered, this specification will be revised.
- 4.5.10 Remove shoring units from bottom to top as backfilling proceeds.
- 4.5.11 When backfill is within five(5) feet of the top of the trench, all shoring may be removed, unless the trench conditions indicate a hazard.
- 4.5.12 No person shall be exposed to the lower portion of the trench after shoring has been removed.

- 4.5.13 Additional shoring of larger sizes may be installed.
- 4.5.14 Ladders or other adequate means of exit must be provided and located so as to require no more than twenty-five(25) feet of lateral travel.
- 4.5.15 When two(2) trenches intersect, both trenches must be protected to a distance of not less than the depth of the deepest trench.

#### **4.6 REQUIREMENTS FOR CONFINED SPACE**

- 4.6.1 Prior to construction the contractor shall identify any areas near the proposed excavations that could expose workmen to harmful levels of atmospheric contaminants (i.e. landfills, manholes or materials storage).
- 4.6.2 During construction, before workmen are allowed in an excavation or existing structure, the contractor shall test the air quality at these previously identified areas for hazardous atmospheres in all excavations greater than four (4) feet in depth. Atmospheres containing less than 19.5 percent oxygen or more than 20 percent concentration of flammable gas shall be deemed "hazardous" adequate precautions shall be taken.
- 4.6.3 Retesting of work areas shall be conducted as often as necessary to ensure that the atmosphere remains safe for workmen.
- 4.6.4 During construction, emergency rescue equipment shall be readily available where potentially hazardous conditions are expected to develop.
- 4.6.5 As a minimum, the contractor shall have on site the following emergency equipment. Breathing apparatus, a safety harness and line, or a basket stretcher. During construction in potentially hazardous areas, the required equipment shall be attended.

SECTION 5.0

SITE SPECIFIC EXCAVATIONS

AND

SHORING SPECIFICATIONS

FOR

SANITARY SEWER LINES

WATER LINES

ELECTRICAL DUCT LINES

AND

STORM DRAINAGE

## 5.1 EXCAVATIONS SPECIFIC TO THIS PROJECT

NOTE: Trench shield(s) and/or slope (Option I or II) shall be used for personnel protection at the location of the bore pits. If trench shields are employed, end protection shall be accomplished with appropriately rated trench shields or interlocking sheet pile (PZ-27 or equal installed horizontally). These members shall be installed so as to rest on the ends of the main trench shields.

### STORM DRAIN LINE "T"

LOCATION	MAX.DEPTH	OPTION	NOTES
1+59.41 TO 5+31.32	9.0	I, II	INSTALL 2-48" RCP

### STORM DRAIN LINE "U"

LOCATION	MAX.DEPTH	OPTION	NOTES
0+50 TO 2+85	7.0	I, II	INSTALL 6'X4' RCB
2+85 TO 7+83.85	10.0	I, II	INSTALL 6'X3' RCB

### STORM DRAIN LINE "L"

LOCATION	MAX.DEPTH	OPTION	NOTES
5+44.77 TO 8+40	12.0	I, II	INSTALL 42" RCP
8+40	11.0	I, II	CONST. MANHOLE
8+40 TO 9+72	10.0	I, II	INSTALL 42" RCP
9+72 TO 12+32.15	10.0	I, II	INSTALL 36" RCP
12+32.15	11.0	I, II	CONST. MANHOLE
12+32.15 TO 13+81	9.0	I, II	INSTALL 27" RCP

PROJECT LATERALS & INLETS

The contractor shall use guidelines set forth in Option I for the construction of inlets on the above referenced storm drain lines and use guidelines set forth in Option I or II for the installation of related piping.

WATER LINE "1"

LOCATION	MAX.DEPTH	OPTION	NOTES
18+47 TO 29+34.10	6.0	I, II, III	INSTALL 12" W.L.

WATER LINE "4"

LOCATION	MAX.DEPTH	OPTION	NOTES
2+25.75 TO 8+27	10.0	I, II, III	INSTALL 12" W.L.
8+27 TO 9+56			INSTALL BY BORE
9+56 TO 9+66	6.0	I, II, III	INSTALL 12" W.L.

OTHER PROJECT WATERLINES AND APPURTENANCES

The contractor will install other water lines and appurtenances that were not profiled on the project plans. Generally, pipe less than ten inches in diameter will require an excavation of less than five feet in depth, however, at connections to larger size pipe it is probable that excavations will exceed five feet in depth. When excavation depths greater than five feet are encountered or if there is evidence of raveling or caving for any reason including pre-disturbed soil conditions, the contractor will be required to shore or slope the excavation so as to provide a safe workplace. The contractor may use guidelines set forth in Option I, II or III for these excavations.



SANITARY SEWER LINE "A"

LOCATION	MAX.DEPTH	OPTION	NOTES
4+53 TO 7+41	15.0	I, II	INSTALL 8" S.S.
7+41	15.0	I, II	CONST. MANHOLE
7+41 TO 11+32.97	14.0	I, II, III	INSTALL 8" S.S.
11+32.97	14.0	I, II	CONST. MANHOLE
11+32.97 TO 14+35	14.0	I, II, III	INSTALL 8" S.S.
14+35	14.0	I, II	CONST. MANHOLE

SANITARY SEWER LINE "B"

LOCATION	MAX.DEPTH	OPTION	NOTES
0+00 TO 0+78.61	15.0	I, II	INSTALL 8" S.S.

SANITARY SEWER LINE "C"

LOCATION	MAX.DEPTH	OPTION	NOTES
0+00	15.0	I, II	CONST. MANHOLE
0+00 TO 0+78.61	14.0	I, II, III	INSTALL 8" S.S.

ELECTRICAL DUCT LINE "A"

LOCATION	MAX.DEPTH	OPTION	NOTES
9+35.8 TO 12+44	20.0	I, II	INSTALL DUCT BANK
12+44	22.0	I, II	CONST. MANHOLE
12+44 TO 16+36.19	22.0	I, II	INSTALL DUCT BANK
16+36.19	23.0	I, II	CONST MANHOLE
16+36.19 TO 20+00	20.0	I, II	INSTALL DUCT BANK

## 5.2 SHORING CONSIDERATIONS FOR THIS WORK

5.2.1 Trenches more than five(5) deep shall be shored, laid back to a stable slope, or some other equivalent means of protection shall be provided where employees may be exposed to moving ground or cave-ins. *Trenches less than five(5) feet in depth shall also be effectively protected when examination of ground indicates hazardous ground movement may be expected.*

The Contractor will have Options I, II or III for providing such protection.

5.2.2 Lateral Earth Pressure:  $P = W_e(H+H_q)$

Assumed Soil: Clay

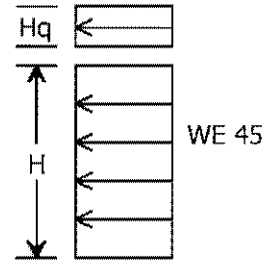
$P$ = a uniformly distributed lateral soil pressure, in lbs./ft<sup>2</sup>

$W_e$ = Effective Soil Weight, pcf(Use 45 psf Type "B" Soil)

$H$ = Depth of excavation from top of supported bank to bottom of excavation in feet.

$H_q$ = Equivalent Height of Surcharge, in feet.

Reference OSHA Rules and Regulations-Part 1926 of 29 CFR as amended by the Federal Register Volume 54, Number 209, October 31, 1989



**Maximum anticipated lateral earth pressure for this project is 1125 "PSF"**

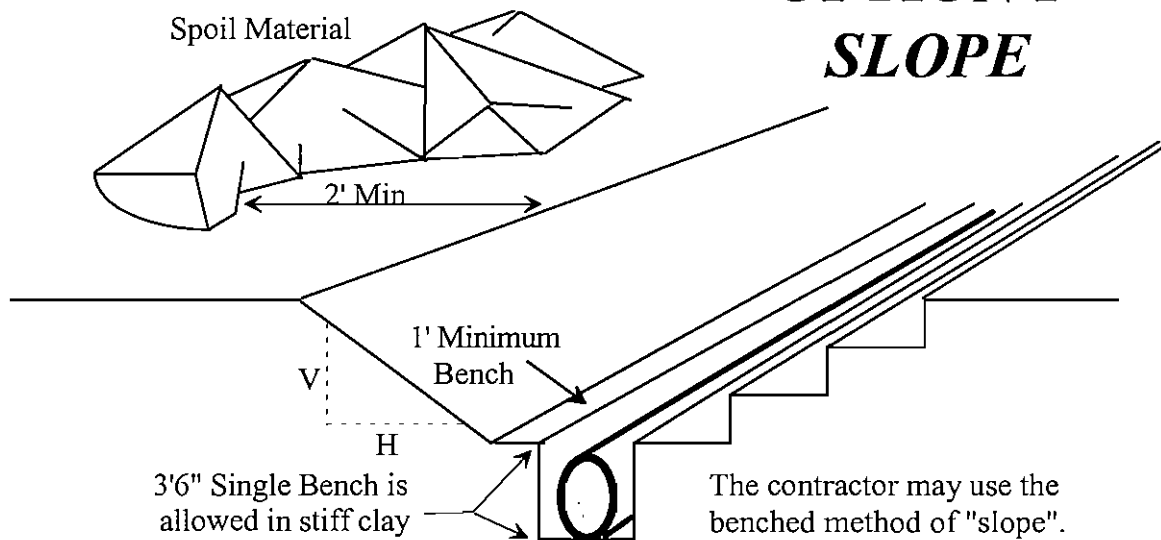
5.2.3 Option I The Contractor can use Slope as shown in the Option I section of the specification. Applicable slopes may be obtained by either straight cut or benched method. Vertical cuts for the benched method shall not exceed four(4) feet. Easement restrictions may limit the use of this option. See Drawing Option I.

5.2.4 Option II The Contractor may use a Trench Shield as shown in the Option II section of this specification. Requirements set forth in this Option shall include curricular trench shield(s) and or manhole boxes. All slopes above trench shield(s) shall conform to guidelines set forth in Option I. Trench shield(s) used on this project will be required to carry a minimum "PSF" as specified. Certification of trench shield(s) or manufacture's "tabulated data" shall be available for verification during construction. See Drawing Option II.

5.2.5 Option III The Contractor can use Trench Shores as shown in the Option III Section of this specification. Shores are to be installed as shown with horizontal spacing determined by the depth of cut and soil type but shall not exceed 6 feet. See Drawing Option III. If there is raveling of the trench wall, the contractor shall install plywood behind the shores as shown on the Option III drawing.

# TRENCH SAFETY SPECIFICATIONS

## OPTION I SLOPE



## H/V - REQUIRED SLOPE PER SOIL TYPE

H/V = $\frac{3}{4}$ to 1	Stiff clay less than 12 feet in depth (Type "A")
H/V = 1 to 1	Stiff clay or weathered limestone (Type "A" or "B")
H/V = $1\frac{1}{2}$ to 1	Silty clays or saturated material (Type "C")
H/V = 2 to 1	Fill material or loose soil.

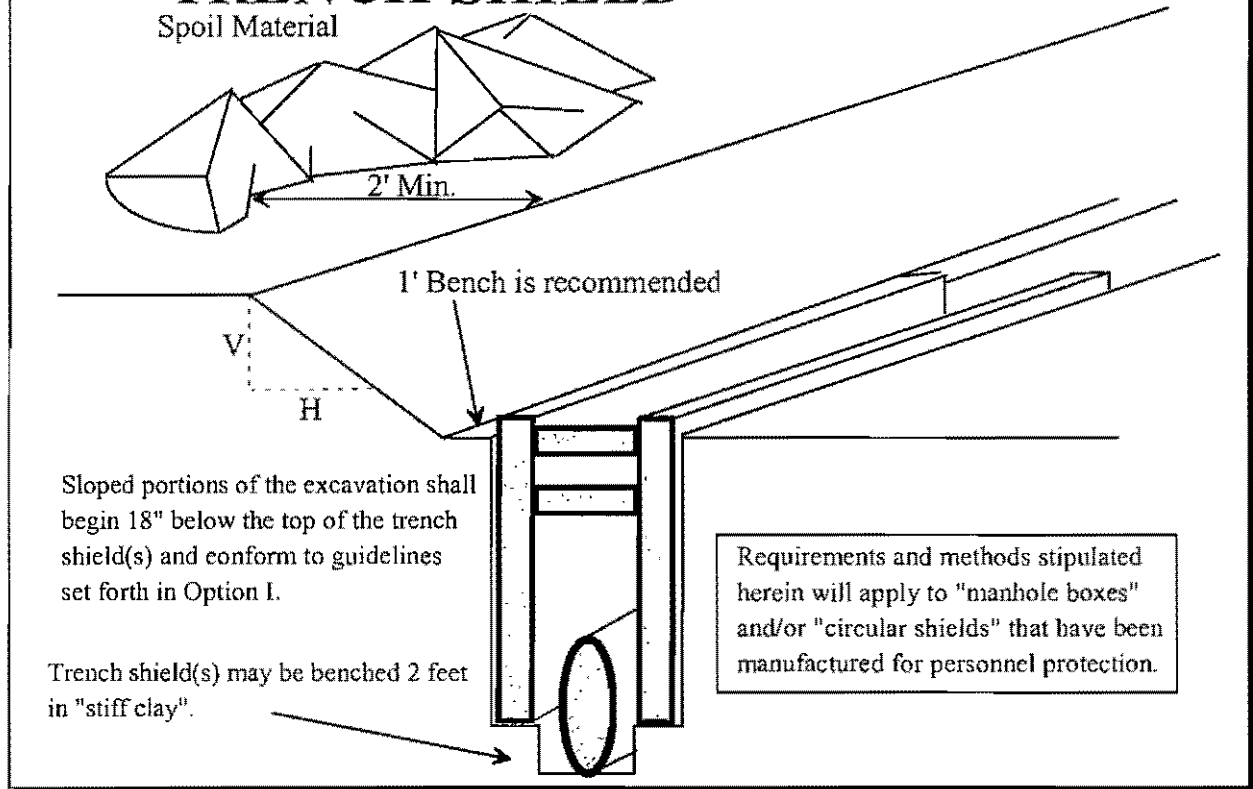
## NOTES

1. All trenches shall be dewatered as specified in 4.5.7
2. All slopes assume sufficient right-of-way exists.
3. All slopes shall be flattened an additional  $\frac{1}{2}$  foot if an existing parallel utility line is located within the horizontal distance equal to the depth of the new utility excavation.
4. No spoil or equipment shall be permitted nearer than 2 feet from the edge of the excavation.
5. A single 3' 6" vertical bench may be used in "stiff clay" only.
6. Exposed existing utility lines are to be supported.

# TRENCH SAFETY SPECIFICATIONS

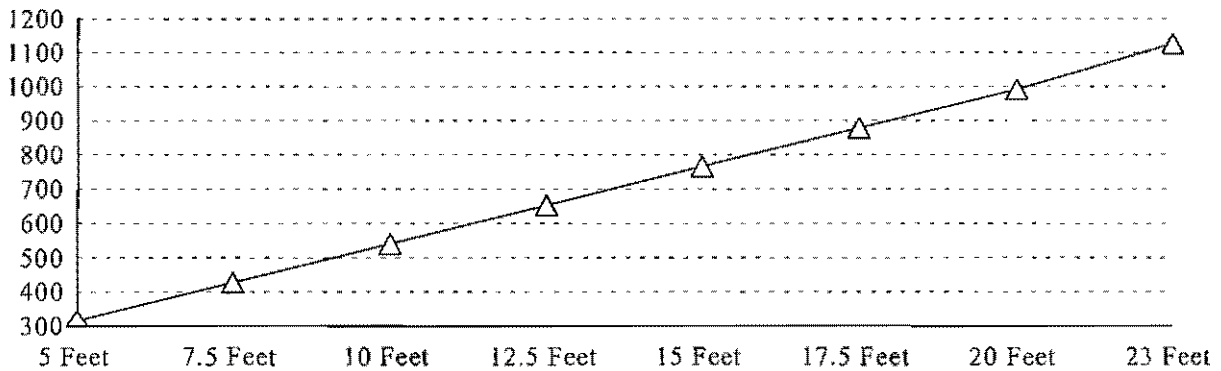
## OPTION II

### TRENCH SHIELD



### NOTES

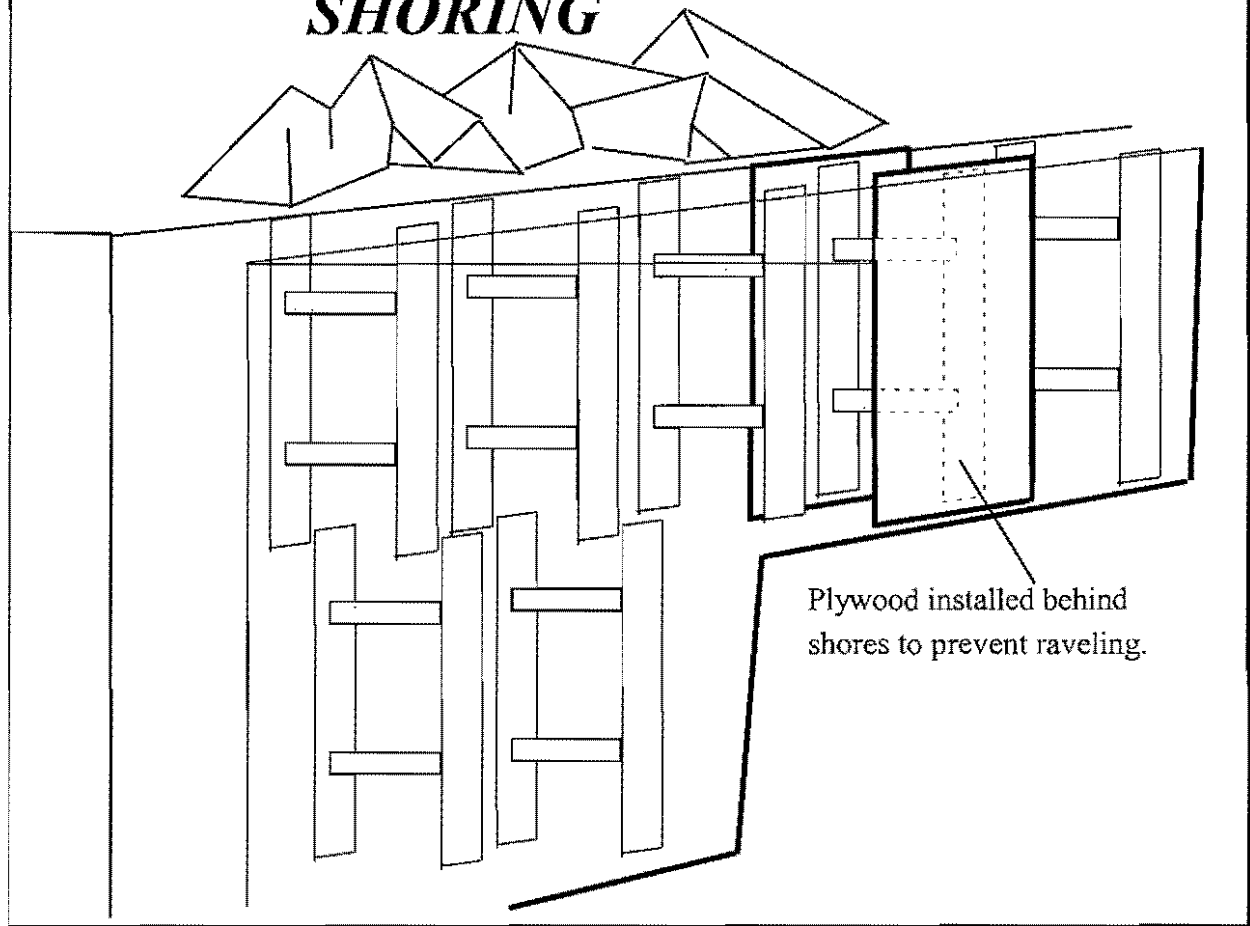
1. Trench shields shall be inspected and be free of structural defects that may impair their proper function.
2. Trench shields shall be used in accordance with the manufacturer's guidelines and recommendations.
3. Trench shields shall be installed so as to prevent any lateral or other hazardous movement.
4. Personnel shall not be allowed in the trench shield during its installation or removal from the excavation.
5. When shield(s) are stacked, the upper shield shall be rated for its physical depth in the trench.
6. Trench shield(s) used on this project shall be rated to withstand anticipated "PSF" (left side of graph) for depth of cut indicated below. Manufacture's tabulated data or certification shall be maintained on site.



# **TRENCH SAFETY SPECIFICATIONS**

## **OPTION III**

### **SHORING**



### **NOTES**

1. Shores shall be double stacked when trench depths exceed nine (9) feet.
2. Maximum horizontal spacing for double stacked shores shall be five (5) feet.
3. Maximum allowable depth of cut for this Option shall be fourteen (14) feet.
4. Aluminum hydraulic shoring may be used in Type "A" or "B" soils only.
5. Maximum horizontal spacing of shores in Type "A" soil shall be 6 feet.
6. Maximum horizontal spacing of shores in Type "B" soil shall be 5 feet.
7. The contractor's competent person shall inspect shores and verify that they are in good working order.
8. The hydraulic shores shall have a minimum working pressure of 750 psi.
9. The contractor shall adhere to the shoring manufacturer's guidelines for use in trench excavations.
10. If there is evidence of raveling or caving the contractor is required to install 1<sup>1</sup>/<sub>8</sub>" thick plywood or 3/4" thick 14 ply arctic white birch (Finland form).
11. Spoil material will not be allowed nearer than 2' from the edge of the excavation.



2209 WISCONSIN DALLAS, TEXAS 75229  
Phone - (972) 620-8911  
FAX-- - (972) 406-8023

**ALPHA  
TESTING, INC**

# Fax

**To: CITY F ADDISON**

---

Attention: LUKE

---

**Fax (972) 450-2837**

**PHONE: (972) 450-2860**

---

Date: February 13, 2004

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Re:  Please Reply

Please Recycle

---

*x For review, including this cover sheet\_*

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**Total number of pages 7**

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• Comments:

DENSITY RESULTS AT SPECTRUM DRIVE NORTH / SOUTH EXTENSION

PLEASE CALL IF YOU SHOULD NEED ANY THING ELSE.

THANKS

TOM ELLIS



# ALPHA TESTING, INC.

2209 Wisconsin St., Suite 100  
Dallas, Texas 75229  
972/620-8911 - 972/263-4937 (Metro)  
FAX: 972/406-8023

## REPORT OF FIELD COMPACTION TESTS

TESTED FOR: SITE CONCRETE, INC.  
GRAND PRAIRIE, TEXAS

DATE: 02/03/04  
REVISED: 2/13/04

PROJECT: SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION  
ADDISON, TEXAS

OUR REPORT NO.: 04007-4

### TEST DATA:

TEST NO.	DATE	ELEV. DEPTH	SOIL ID NUMBER	OPTIMUM MOISTURE %	MAXIMUM LAB DRY DENSITY PCF	IN PLACE MOISTURE %	IN PLACE DRY DENSITY PCF	PERCENT COMPACTION	COMMENT*
1	02/03/04	FG-9.5	2	23.0	96.5	26.2	95	99	1-A
2	02/03/04	FG-9.0	2	23.0	96.5	24.4	94	97	1-A
3	02/03/04	FG-8.5	2	23.0	96.5	25.1	94	97	1-A
4	02/03/04	FG-8.0	2	23.0	96.5	25.2	94	98	1-A
5	02/03/04	FG-7.5	2	23.0	96.5	25.7	94	97	1-A
6	02/03/04	FG-7.0	2	23.0	96.5	24.1	95	99	1-A
7	02/03/04	FG-6.5	2	23.0	96.5	24.3	95	98	1-A

### TEST LOCATION:

1	FRANCHISE CONDUIT LINE A AT STATION 11+50
2	FRANCHISE CONDUIT LINE A AT STATION 11+50
3	FRANCHISE CONDUIT LINE A AT STATION 11+50
4	FRANCHISE CONDUIT LINE A AT STATION 11+50
5	FRANCHISE CONDUIT LINE A AT STATION 11+50
6	FRANCHISE CONDUIT LINE A AT STATION 11+50
7	FRANCHISE CONDUIT LINE A AT STATION 11+50

CC: TOWN OF ADDISON; HUITT-ZOLLARS CONSULTING ENGINEERS

- |                     |  |                        |
|---------------------|--|------------------------|
| 1. FILL             | A. IN PLACE PERCENT MOISTURE AND PERCENT COMPACTION COMPLY WITH SPECIFICATIONS |                        |
| 2. NATURAL SUBGRADE | B. PERCENT COMPACTION DOES NOT COMPLY WITH SPECIFICATIONS                      | Respectfully Submitted |
| 3. LIME STABILIZED  | C. PERCENT IN PLACE MOISTURE DOES NOT COMPLY WITH SPECIFICATIONS               |                        |
| 4. CEMENT TREATED   | D. RETEST  | ALPHA TESTING, INC.    |

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FAX: 972/406-8023

## REPORT OF FIELD COMPACTION TESTS

TESTED FOR: SITE CONCRETE, INC.  
GRAND PRAIRIE, TEXAS

DATE: 02/03/04  
REVISED: 2/13/04

PROJECT: SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION  
ADDISON, TEXAS

OUR REPORT NO.: 04007-4A

### TEST DATA:

TEST NO.	DATE	ELEV. / DEPTH	SOIL ID NUMBER	OPTIMUM MOISTURE %	MAXIMUM LAB DRY DENSITY PCF	IN PLACE MOISTURE %	IN PLACE DRY DENSITY PCF	PERCENT COMPACTION	COMMENT*
8	02/03/04	FG-6.0	2	23.0	96.5	25.5	93	97	1-A
9	02/03/04	FG-5.5	2	23.0	96.5	25.6	94	97	1-A
10	02/03/04	FG-5.0	2	23.0	96.5	24.8	94	97	1-A
11	02/03/04	FG-4.5	2	23.0	96.5	25.7	94	97	1-A
12	02/03/04	FG-4.0	2	23.0	96.5	25.1	95	98	1-A
13	02/03/04	FG-3.5	2	23.0	96.5	25.4	94	98	1-A
14	02/03/04	FG-3.0	2	23.0	96.5	25.6	95	98	1-A

### TEST LOCATION:

8	FRANCHISE CONDUIT LINE A AT STATION 11+50
9	FRANCHISE CONDUIT LINE A AT STATION 11+50
10	FRANCHISE CONDUIT LINE A AT STATION 11+50
11	FRANCHISE CONDUIT LINE A AT STATION 11+50
12	FRANCHISE CONDUIT LINE A AT STATION 11+50
13	FRANCHISE CONDUIT LINE A AT STATION 11+50
14	FRANCHISE CONDUIT LINE A AT STATION 11+50

CC: TOWN OF ADDISON; HUITT-ZOLLARS CONSULTING ENGINEERS

- |                     |  |                        |
|---------------------|--|------------------------|
| 1. FILL             | * A. IN PLACE PERCENT MOISTURE AND PERCENT COMPACTION COMPLY WITH SPECIFICATIONS |                        |
| 2. NATURAL SUBGRADE | B. PERCENT COMPACTION DOES NOT COMPLY WITH SPECIFICATIONS                        | Respectfully Submitted |
| 3. LIME STABILIZED  | C. PERCENT IN PLACE MOISTURE DOES NOT COMPLY WITH SPECIFICATIONS                 |                        |
| 4. CEMENT TREATED   | D. RETEST  | ALPHA TESTING, INC     |

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# ALPHA TESTING, INC.

2209 Wisconsin St., Suite 100  
Dallas, Texas 75229  
972/620-8911 - 972/263-4937 (Metro)  
FAX: 972/406-8023

# REPORT OF FIELD COMPACTION TESTS

TESTED FOR: SITE CONCRETE, INC.  
GRAND PRAIRIE, TEXAS

DATE: 02/03/04  
REVISED: 2/13/04

PROJECT: SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION  
ADDISON, TEXAS

OUR REPORT NO.: 04007-4B

### TEST DATA:

TEST NO.	DATE	DEPTH	ELEV.	SOIL ID NUMBER	OPTIMUM MOISTURE %	MAXIMUM LAB DRY DENSITY PCF	IN PLACE MOISTURE %	IN PLACE DRY DENSITY PCF	PERCENT COMPACTION	COMMENT
15	02/03/04	FG-2.5		2	23.0	96.5	25.7	94	97	1-A
16	02/03/04	FG-2.0		2	23.0	96.5	25.1	95	98	1-A
17	02/03/04	FG-1.5		2	23.0	96.5	24.6	94	98	1-A
18	02/03/04	FG-1.0		2	23.0	96.5	25.6	95	98	1-A
19	02/03/04	FG-0.5		2	23.0	96.5	25.3	94	97	1-A
20	02/03/04	FG		2	23.0	96.5	25.6	94	97	1-A

### TEST LOCATION:

15	FRANCHISE CONDUIT LINE A AT STATION 11+50
16	FRANCHISE CONDUIT LINE A AT STATION 11+50
17	FRANCHISE CONDUIT LINE A AT STATION 11+50
18	FRANCHISE CONDUIT LINE A AT STATION 11+50
19	FRANCHISE CONDUIT LINE A AT STATION 11+50
20	FRANCHISE CONDUIT LINE A AT STATION 11+50

CC: TOWN OF ADDISON; HUITT-ZOLLARS CONSULTING ENGINEERS

- |                     |  |                        |
|---------------------|--|------------------------|
| 1. FILL             | * A. IN PLACE PERCENT MOISTURE AND PERCENT COMPACTION COMPLY WITH SPECIFICATIONS |                        |
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| 3. LIME STABILIZED  | C. PERCENT IN PLACE MOISTURE DOES NOT COMPLY WITH SPECIFICATIONS                 |                        |
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FAX: 972/406-8023

## REPORT OF FIELD COMPACTION TESTS

TESTED FOR: SITE CONCRETE, INC.  
GRAND PRAIRIE, TEXAS

DATE: 02/03/04  
REVISED: 2/13/04

PROJECT: SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION  
ADDISON, TEXAS

OUR REPORT NO.: 04007-5

### TEST DATA:

TEST NO.	DATE	ELEV. / DEPTH	SOIL ID NUMBER	OPTIMUM MOISTURE %	MAXIMUM LAB DRY DENSITY PCF	IN PLACE MOISTURE %	IN PLACE DRY DENSITY PCF	PERCENT COMPACTION	COMMENT*
21	02/03/04	FG-20.0	2	23.0	96.5	24.5	93	96	1-A
22	02/03/04	FG-19.5	2	23.0	96.5	24.2	95	98	1-A
23	02/03/04	FG-19.0	2	23.0	96.5	25.2	93	96	1-A
24	02/03/04	FG-18.5	2	23.0	96.5	25.3	94	97	1-A
25	02/03/04	FG-18.0	2	23.0	96.5	25.6	93	97	1-A
26	02/03/04	FG-17.5	2	23.0	96.5	25.5	94	97	1-A
27	02/03/04	FG-17.0	2	23.0	96.5	25.9	94	98	1-A

### TEST LOCATION:

21	FRANCHISE CONDUIT LINE A AT STATION 10+80
22	FRANCHISE CONDUIT LINE A AT STATION 10+80
23	FRANCHISE CONDUIT LINE A AT STATION 10+80
24	FRANCHISE CONDUIT LINE A AT STATION 10+80
25	FRANCHISE CONDUIT LINE A AT STATION 10+80
26	FRANCHISE CONDUIT LINE A AT STATION 10+80
27	FRANCHISE CONDUIT LINE A AT STATION 10+80

CC: TOWN OF ADDISON; HUITT-ZOLLARS CONSULTING ENGINEERS

- |                     |  |                        |
|---------------------|--|------------------------|
| 1. FILL             | A. IN PLACE PERCENT MOISTURE AND PERCENT COMPACTION COMPLY WITH SPECIFICATIONS |                        |
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Dallas, Texas 75229  
972/620-8911 - 972/263-4937 (Metro)  
FAX: 972/406-8023

## REPORT OF FIELD COMPACTION TESTS

TESTED FOR: SITE CONCRETE, INC.  
GRAND PRAIRIE, TEXAS

DATE: 02/03/04  
REVISED: 2/13/04

PROJECT: SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION  
ADDISON, TEXAS

OUR REPORT NO.: 04007-5A

### TEST DATA:

TEST NO.	DATE	ELEV. / DEPTH	SOIL ID NUMBER	OPTIMUM MOISTURE %	MAXIMUM LAB DRY DENSITY PCF	IN PLACE MOISTURE %	IN PLACE DRY DENSITY PCF	PERCENT COMPACTION	COMMENT*
28	02/03/04	FG-16.5	2	23.0	96.5	24.5	94	97	1-A
29	02/03/04	FG-16.0	2	23.0	96.5	25.3	94	98	1-A
30	02/03/04	FG-15.5	2	23.0	96.5	24.3	95	99	1-A
31	02/03/04	FG-15.0	2	23.0	96.5	25.9	94	97	1-A
32	02/03/04	FG-14.5	2	23.0	96.5	24.4	94	98	1-A
33	02/03/04	FG-14.0	2	23.0	96.5	24.9	94	98	1-A
34	02/03/04	FG-13.5	2	23.0	96.5	25.5	94	97	1-A

### TEST LOCATION:

28	FRANCHISE CONDUIT LINE A AT STATION 10+80
29	FRANCHISE CONDUIT LINE A AT STATION 10+80
30	FRANCHISE CONDUIT LINE A AT STATION 10+80
31	FRANCHISE CONDUIT LINE A AT STATION 10+80
32	FRANCHISE CONDUIT LINE A AT STATION 10+80
33	FRANCHISE CONDUIT LINE A AT STATION 10+80
34	FRANCHISE CONDUIT LINE A AT STATION 10+80

CC: TOWN OF ADDISON; HUITT-ZOLLARS CONSULTING ENGINEERS

- |                     |  |                        |
|---------------------|--|------------------------|
| 1. FILL             | A. IN PLACE PERCENT MOISTURE AND PERCENT COMPACTION COMPLY WITH SPECIFICATIONS |                        |
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2209 Wisconsin St., Suite 100  
Dallas, Texas 75229  
972/620-8911 - 972/263-4937 (Metro)  
FAX: 972/406-8023

## REPORT OF FIELD COMPACTION TESTS

TESTED FOR: SITE CONCRETE, INC.  
GRAND PRAIRIE, TEXAS

DATE: 02/03/04  
REVISED: 2/13/04

PROJECT: SPECTRUM DRIVE  
NORTH/SOUTH EXTENSION  
ADDISON, TEXAS

OUR REPORT NO.: 04007-5B

### TEST DATA:

TEST NO.	DATE	ELEV. DEPTH	SOIL ID NUMBER	OPTIMUM MOISTURE %	MAXIMUM LAB DRY DENSITY PCF	IN PLACE MOISTURE %	IN PLACE DRY DENSITY PCF	PERCENT COMPACTION	COMMENT*
35	02/03/04	FG-13.0	2	23.0	96.5	24.5	93	97	1-A
36	02/03/04	FG-12.5	2	23.0	96.5	24.2	95	98	1-A
37	02/03/04	FG-12.0	2	23.0	96.5	24.3	95	98	1-A
38	02/03/04	FG-11.5	2	23.0	96.5	24.3	94	97	1-A
39	02/03/04	FG-11.0	2	23.0	96.5	24.3	93	97	1-A
40	02/03/04	FG-10.5	2	23.0	96.5	24.5	94	97	1-A
41	02/03/04	FG-10.0	2	23.0	96.5	23.8	93	97	1-A

### TEST LOCATION:

35	FRANCHISE CONDUIT LINE A AT STATION 10+80
36	FRANCHISE CONDUIT LINE A AT STATION 10+80
37	FRANCHISE CONDUIT LINE A AT STATION 10+80
38	FRANCHISE CONDUIT LINE A AT STATION 10+80
39	FRANCHISE CONDUIT LINE A AT STATION 10+80
40	FRANCHISE CONDUIT LINE A AT STATION 10+80
41	FRANCHISE CONDUIT LINE A AT STATION 10+80

CC: TOWN OF ADDISON; HUITT-ZOLLARS CONSULTING ENGINEERS

- |                     |  |                        |
|---------------------|--|------------------------|
| 1. FILL             | A. IN PLACE PERCENT MOISTURE AND PERCENT COMPACTION COMPLY WITH SPECIFICATIONS |                        |
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**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS**                    §  
   §        **KNOW ALL MEN BY THESE PRESENTS:**  
**COUNTY OF DALLAS**               §

That **The Staubach Company**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

**To have and to hold** the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**THE STAUBACH COMPANY**  
By \_\_\_\_\_  
Print Name \_\_\_\_\_  
Print Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of The Staubach Company, a corporation, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_  
[ SEAL ]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 6**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of said 3.371 acre Staubach Company tract;

THENCE South 89 degrees 04 minutes 47 seconds East along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to a point for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to a point for a corner on the westerly line of said 3.371 acre Staubach Company tract from which a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap bears South 00 degrees 55 minutes 13 seconds West at a distance of 6.83 feet;

THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to the POINT OF BEGINNING and containing 0.0203 of an acre of land, more or less.



NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

**EXHIBIT B**

SURVEY  
A B 2 V E Y



G. W. ABST. NO. FISHER

69' R.O.W. (PROPOSED)

(PROPOSED) SPECTRUM DRIVE

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

S 89°04'47"E 5.00'

POINT OF BEGINNING  
5/8" IRF WITH HUITT-ZOLLARS CAP

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 89° 04' 47" W	5.00'
L2	S 00° 55' 13" W	6.83'

PARCEL 6  
5' SIDEWALK EASEMENT  
0.0203 AC.

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

L1  
L2

5/8" IRS

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

MORRIS AVENUE

69' R.O.W.

61' R.O.W.

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

SPECTRUM DRIVE

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

PAGE 2 OF 2

0 50 100



SCALE: 1" = 50'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yohoudy*

Eric J. Yohoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, on addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**

Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
SIDEWALK EASEMENT EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 6  
OWNER: THE STAUBACH COMPANY  
AREA: 0.0203 AC. DATE: 11/05/2002

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS                   §**  
**§**           **KNOW ALL MEN BY THESE PRESENTS:**  
**COUNTY OF DALLAS           §**

That **Post Services, Inc.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

**To have and to hold** the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**POST SERVICES, INC.**  
By \_\_\_\_\_  
Print Name \_\_\_\_\_  
Print Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of Post Services, Inc., a corporation, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 5A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the westerly side of Spectrum Drive and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for THE POINT OF BEGINNING;

THENCE continuing South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 334.90 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the platted southerly line of said Quorum East Addition;

THENCE North 89 degrees 04 minutes 54 seconds West along the southerly line of said Quorum East Addition a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 08 minutes 23 seconds East departing the southerly line of said Quorum East Addition a distance of 339.90 feet to a point for a corner;

THENCE South 44 degrees 30 minutes 38 seconds East a distance of 7.11 feet to the POINT OF BEGINNING and containing 0.0387 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

**EXHIBIT B**

**POINT OF BEGINNING**

5/8" IRS WITH HUITT-ZOLLARS YELLOW CAP

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

AIRPORT PARKWAY

POINT OF COMMENCING - PARCEL 5A

60' R.O.W. (EXISTING)

55' R.O.W. (EXISTING)

5/8" IRS

1/2" IRF

L3

L2

L1

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033

PARCEL 5  
0.0046 AC.

POINT OF BEGINNING - PARCEL 5A

5/8" IRS  
S 44°30'38"E 7.11'

69.65' R.O.W.

5' SIDEWALK EASEMENT  
(PARCEL 5A - 0.0387 AC.)

A SURVEY  
A 8 2

15851 DALLAS NORTH  
PARKWAY ADDITION

VOL.85021 PG.1686

UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

G. W. FISHER  
A B S T.

(PROPOSED)  
SPECTRUM DRIVE

TOWN OF ADDISON  
VOL.99002 PG.00016

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 00° 08' 23" W	20.00'
L2	N 44° 30' 38" W	28.46'
L3	S 89° 09' 39" E	20.00'

N 89°04'54"W 5.00'

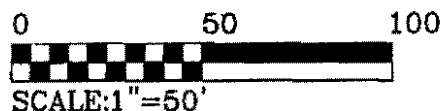
5/8" IRF WITH  
HUITT-ZOLLARS  
YELLOW CAP

1/2" IRF WITH  
POWELL & POWELL  
CAP

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 3 OF 3



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 5  
OWNER: POST SERVICES, INC.  
AREA: 0.0046 AC. DATE: 11/05/2002

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Post Services, Inc.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

(1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.

(2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a corporation organized and existing under the laws of the State of Georgia for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

**Post Services, Inc.**

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS §

§

COUNTY OF DALLAS §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of Post Services, Inc., a corporation, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:

\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 5**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner, from which a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap bears South 00 degrees 08 minutes 23 seconds West at a distance of 334.90 feet;

THENCE North 44 degrees 30 minutes 38 seconds West departing said westerly line of the Town of Addison tract a distance of 28.46 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the said southerly right-of-way line of Airport Parkway;

THENCE South 89 degrees 09 minutes 39 seconds East along the southerly right-of-way line of said Airport Parkway a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.



HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

**EXHIBIT B**

**POINT OF BEGINNING**

5/8" IRS WITH HUITT-ZOLLARS YELLOW CAP

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

AIRPORT PARKWAY

POINT OF COMMENCING - PARCEL 5A

60' R.O.W. (EXISTING)

55' R.O.W. (EXISTING)

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033

PARCEL 5  
0.0046 AC.

POINT OF BEGINNING - PARCEL 5A  
5/8" IRS  
S 44°30'38"E 7.11'



5' SIDEWALK EASEMENT  
(PARCEL 5A - 0.0387 AC.)

QUORUM EAST  
ADDITION

VOL.98001 PG.00033

POST SERVICES, INC.  
VOL.98060 PG.03404

(PROPOSED)  
SPECTRUM DRIVE

A  
S  
U  
R  
V  
E  
Y

15851 DALLAS NORTH  
PARKWAY ADDITION

VOL.85021 PG.1686

UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

G. W. A F I S H E R  
A B S T.

TOWN OF ADDISON  
VOL.99002 PG.00016

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 00° 08' 23" W	20.00'
L2	N 44° 30' 38" W	28.46'
L3	S 89° 09' 39" E	20.00'

N 89°04'54"W 5.00'

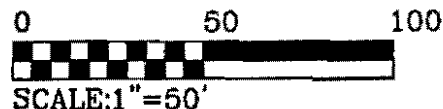
5/8" IRF WITH  
HUITT-ZOLLARS  
YELLOW CAP

1/2" IRF WITH  
POWELL & POWELL  
CAP

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 3 OF 3



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 5  
OWNER: POST SERVICES, INC.  
AREA: 0.0046 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Utah State Retirement Investment Fund  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

(1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.

(2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a retirement investment fund organized and existing under the laws of the State of Utah for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

Utah State Retirement Investment Fund

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:

\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 4**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of the final plat of 15851 Dallas North Parkway Addition, an addition to the Town of Addison, Texas as recorded in Volume 85021, Page 1686 of the Deed Records of Dallas County, Texas and being a portion of a tract of land described in instrument to the Utah State Retirement Investment Fund as recorded in Volume 96003, Page 1968 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the northwest corner of said 15851 Dallas North Parkway Addition, said point being on the platted southerly right-of-way line of Airport Parkway (55 foot right-of-way at this point as per said plat) from which a 1/2 inch iron rod found with "Powell & Powell" cap for the southwest corner of said addition, bears South 00 degrees 08 minutes 23 seconds West at a distance of 360.13 feet;

THENCE South 89 degrees 09 minutes 39 seconds East along the said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 45 degrees 29 minutes 22 seconds West departing said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 28.11 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the westerly line of said addition;

THENCE North 00 degrees 08 minutes 23 seconds East along the westerly line of said addition a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

POINT OF BEGINNING  
1/2" IRF

**EXHIBIT B**

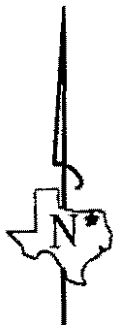
NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

AIRPORT PARKWAY

60' R.O.W.  
(EXISTING)

55' R.O.W.  
(EXISTING)

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033



QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

G. W. FISHER N.D.  
A B S T.

69.65' R.O.W.

(PROPOSED)  
SPECTRUM DRIVE

TOWN OF ADDISON  
VOL.99002 PG.00016

S 00°08'23"W 360.13'

SURVEY

PARCEL 4  
0.0046 AC.

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686  
UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686

1/2" IRF WITH  
POWELL & POWELL  
CAP

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 09' 39" E	20.00'
L2	S 45° 29' 22" W	28.11'
L3	N 00° 08' 23" E	20.00'

LEGEND


IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 2 OF 2

0 -50 100

SCALE: 1" = 50'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 4  
OWNER: UTAH STATE RETIREMENT INV. FUND  
AREA: 0.0046 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

STATE OF TEXAS                   §  
  §           **KNOW ALL MEN BY THESE PRESENTS:**  
COUNTY OF DALLAS           §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 3A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a tract of land described as Tract 4 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 535.93 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the northerly line of said 3.815 acre Gaylord Properties, L.P. tract;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 5.00 feet to a point for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 535.93 feet to a point for a corner on the northerly line of said 3.371 acre Staubach Company tract;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0615 of an acre of land, more or less.



QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.B5021 PG.1686

**EXHIBIT B**

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

S 89°05'45"E 5.00'

61' R.O.W. (PROPOSED)

(FUTURE STREET R-1)

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT (PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W. (PROPOSED)

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.87211 PG.01264

(PROPOSED) SPECTRUM DRIVE

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER NO.

POINT OF BEGINNING - PARCEL 3A

G. W. A B S T.

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
5/8" IRS WITH HUITT-ZOLLARS CAP

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

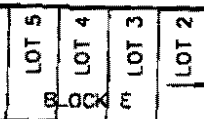
10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

SPECTRUM DRIVE



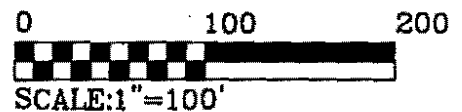
MILDRED PLACE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 3 OF 3

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yanduy*  
Eric J. Yanduy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 3  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

February 14, 2003

***VIA HAND DELIVERY***

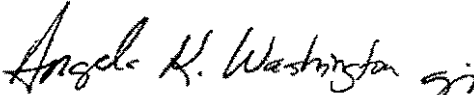
Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison - Service Center  
16801 Westgrove Drive  
Addison, TX 75001

**RE: Spectrum Drive Project**

Dear Steve:

Enclosed are right-of-way deeds and sidewalk easements for Parcels 3 through 6 of the above-referenced project. Documents for Parcel 2 were forwarded to you on December 23, 2002 and, as you will recall, Parcel 1 is the property of the Town of Addison. If you have any questions or need anything further, please give me a call.

Sincerely,

  
Angela K. Washington

AKW/yjr  
Enclosures

c(w/o Enclosures): Mr. Mike Murphy  
Mr. Kenneth C. Dippel, w/firm

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Gaylord Properties, L.P.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
  
\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 3**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of Tract 4 as described in instrument to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas, and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northeast corner of a platted 0.0697 acre tract of land for right-of-way dedication of Spectrum Drive (69 foot right-of-way) as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said platted 0.0697 acre tract for Spectrum Drive a distance of 34.50 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for corner on the westerly line of said Tract 4 of Gaylord Properties, L.P. ;

THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said Gaylord Properties, L.P. Tract 4 and 3.815 acre tracts a distance of 719.98 feet to the northwest corner of said 3.815 acre tract from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said Gaylord Properties, L.P. 3.815 acre tract a distance of 34.50 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said Gaylord Properties, L.P. 3.815 acre tract, passing at a distance of 535.93 feet a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for the northwest corner of a 3.371 acre tract of land described in instrument to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and continuing along the westerly line of said 3.371 acre Staubach Company tract in all a distance of 719.99 feet to the POINT OF BEGINNING and containing 0.5702 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

1/2" IRF WITH  
"RANDOM" RED  
PLASTIC CAP BEARS  
N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

**EXHIBIT B**

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

61' R.O.W.  
(PROPOSED)

(FUTURE STREET R-1)

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

S 89°05'45"E 5.00'

5/8" IRF WITH  
HUITT-ZOLLARS  
YELLOW PLASTIC CAP

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT  
(PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W.  
(PROPOSED)

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(PROPOSED) SPECTRUM DRIVE

N 00°55'13"E  
S 00°55'13"W

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER  
NO.

POINT OF BEGINNING - PARCEL 3A

G. W. A B S T.

N 89°04'47"W 5.00'

5/8" IRF WITH  
HUITT-ZOLLARS  
YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

5/8" IRS

POINT OF BEGINNING  
5/8" IRS WITH  
HUITT-ZOLLARS  
CAP

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

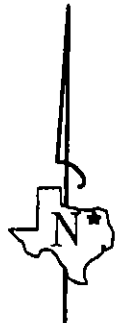
61' R.O.W.

SPECTRUM DRIVE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

PAGE 3 OF 3



0 100 200



SCALE: 1" = 100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 3  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

TOWN OF ADDISON  
SIDEWALK EASEMENT

STATE OF TEXAS                   §  
  §       **KNOW ALL MEN BY THESE PRESENTS:**  
COUNTY OF DALLAS           §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as Grantee determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]



**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

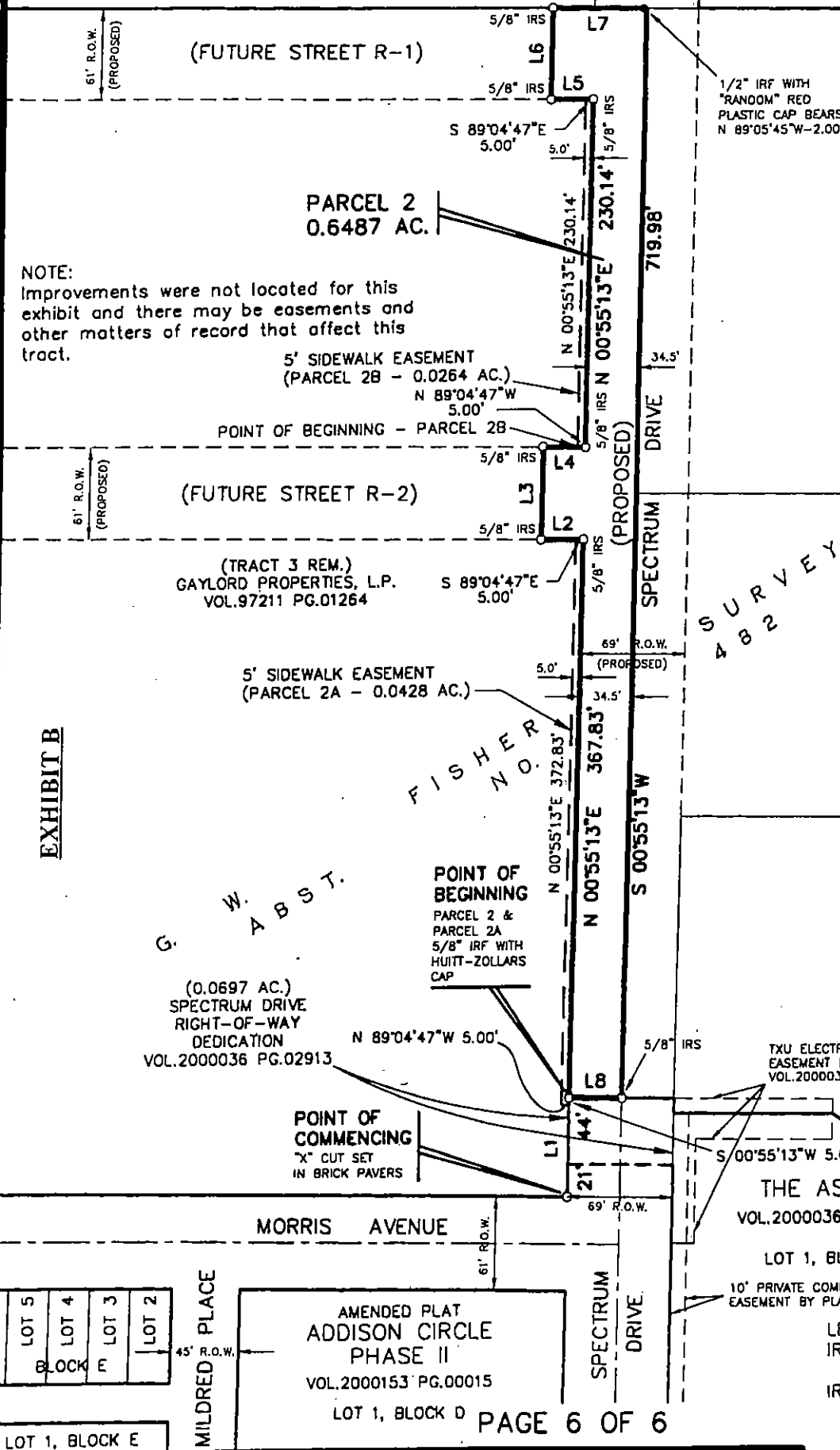
THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.0001



LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

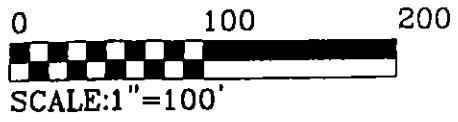
(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Dallas  
Huitt-Zollars, Inc.  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

# COWLES & THOMPSON

A Professional Corporation  
ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

December 23, 2002

Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 2 - Spectrum Drive Right-of-Way Project**

Dear Steve:

Enclosed are the Right-of-Way Deed for Parcel 2 and the Sidewalk Easement documents for Parcels 2A and 2B, Spectrum Drive Right-of-Way Project. Should you have any questions or need anything further, please let me know.

Sincerely,

Angela K. Washington

AKW/yjr  
Enclosures

c(w/oEnclosures): Mr. Kenneth C. Dippel, w/firm

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**RIGHT-OF-WAY DEED**

DATE: \_\_\_\_\_, 2003

GRANTOR: Gaylord Properties, L.P.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

GRANTEE: Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

(1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.

(2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
  
\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;

**EXHIBIT A**

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

(FUTURE STREET R-1)

LINE TABLE

COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

PARCEL 2  
0.6487 AC.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT (PARCEL 2B - 0.0264 AC.)

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT (PARCEL 2A - 0.0428 AC.)

EXHIBIT B

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
PARCEL 2 & PARCEL 2A  
5/8" IRF WITH HUITT-ZOLLARS CAP

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

POINT OF COMMENCING  
"X" CUT SET IN BRICK PAVERS

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

0 100 200

SCALE: 1" = 100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

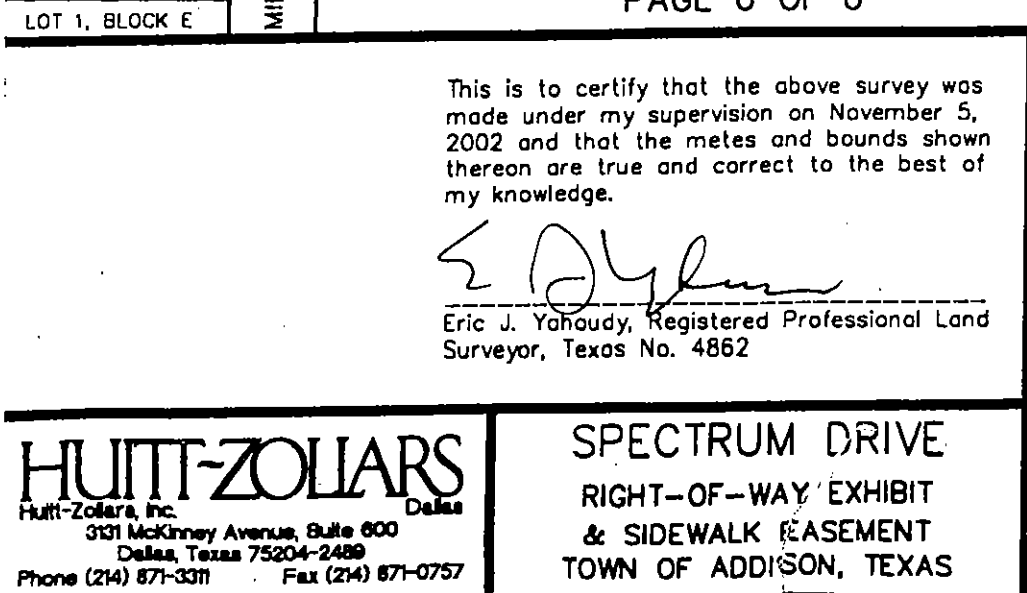
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 800  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002





After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

TOWN OF ADDISON  
SIDEWALK EASEMENT

STATE OF TEXAS                   §  
  §       KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF DALLAS           §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as Grantee determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_  
[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2B**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 23.00 feet to the POINT OF BEGINNING of this tract from which a 5/8 inch iron rod with Huitt-Zollars yellow plastic cap bears South 89 degrees 04 minutes 47 seconds East at a distance of 5.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

EXHIBIT A

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 230.14 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0264 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

(FUTURE STREET R-1)

LINE TABLE

COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

PARCEL 2  
0.6487 AC.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
5.0'

EXHIBIT B

G. W. A B S T.  
(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

FISHER  
NO.

POINT OF  
BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

POINT OF  
COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 6 OF 6

1/2" IRF WITH  
"RANDOM" RED  
PLASTIC CAP BEARS  
N 89°05'45"W - 2.00'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

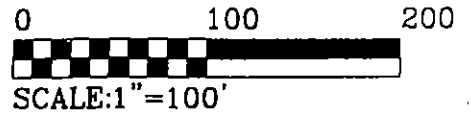
THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**

Huitt-Zollars, Inc. Dallas  
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Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

TOWN OF ADDISON  
SIDEWALK EASEMENT

STATE OF TEXAS                   §  
  §       **KNOW ALL MEN BY THESE PRESENTS:**  
COUNTY OF DALLAS           §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

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**To have and to hold** the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

**BEFORE ME**, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[ S E A L ]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2B**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

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THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the northwest corner of said Spectrum Drive;

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THENCE South 89 degrees 04 minutes 47 seconds East a distance of 23.00 feet to the POINT OF BEGINNING of this tract from which a 5/8 inch iron rod with Huitt-Zollars yellow plastic cap bears South 89 degrees 04 minutes 47 seconds East at a distance of 5.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;



EXHIBIT A

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 230.14 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

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QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

(FUTURE STREET R-1)

LINE TABLE

COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
S 89°04'47"E  
5.00'

SURVEY  
482

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

EXHIBIT B

G. W. ABST.

POINT OF BEGINNING  
PARCEL 2 & PARCEL 2A  
5/8" IRF WITH HUITT-ZOLLARS CAP

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

MORRIS AVENUE

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

LOT 1, BLOCK D PAGE 6 OF 6

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

0 100 200

SCALE: 1" = 100'

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3331 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002



STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[ S E A L ]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

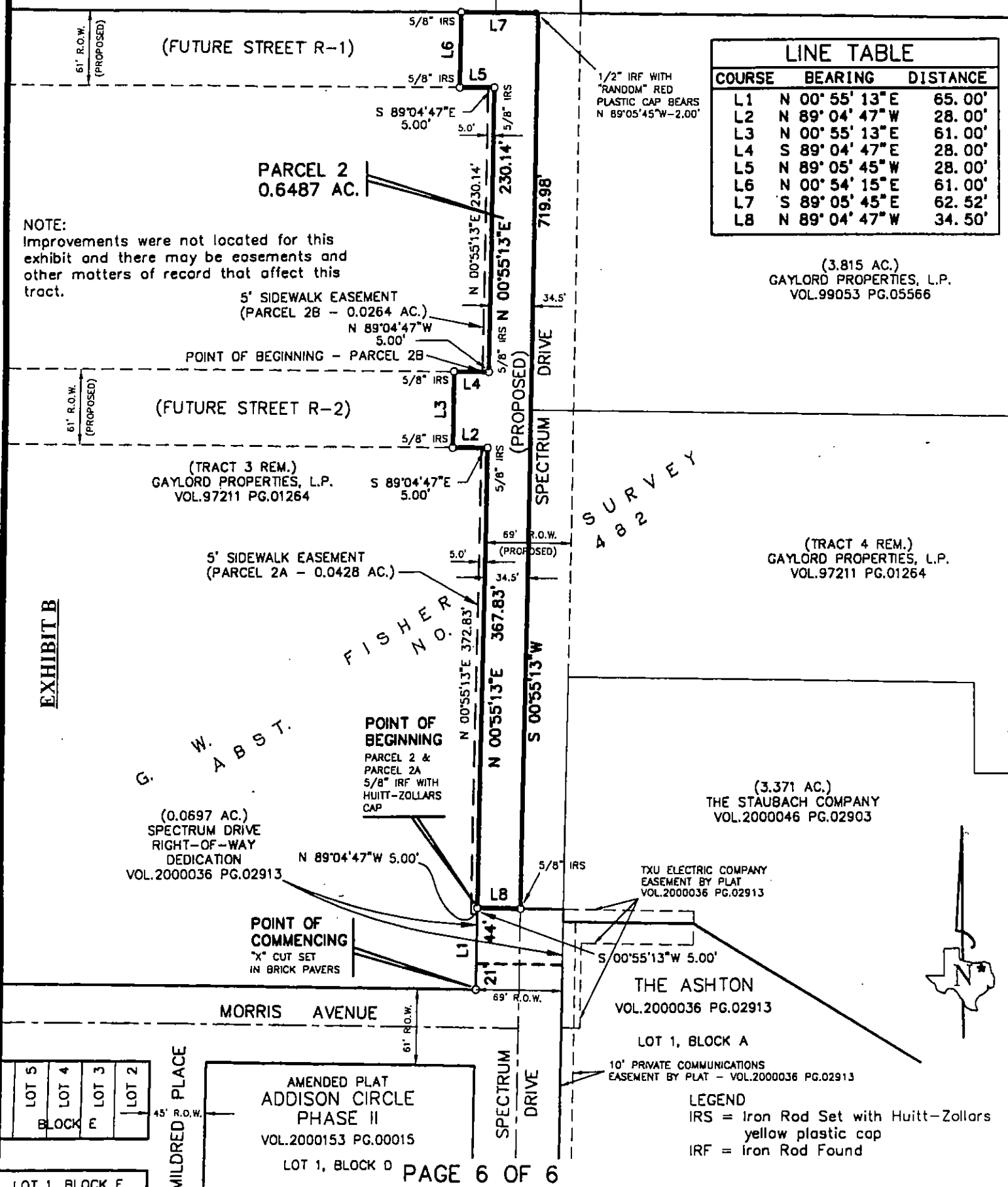
THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686



**LINE TABLE**

COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

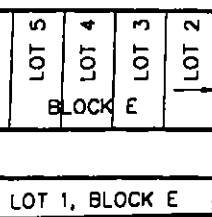
(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

THE ASHTON  
VOL.2000036 PG.02913

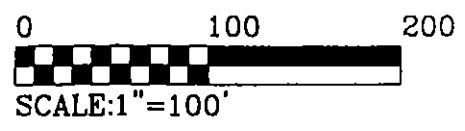
AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

# COWLES & THOMPSON

A Professional Corporation  
ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

December 23, 2002

Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 2 - Spectrum Drive Right-of-Way Project**

Dear Steve:

Enclosed are the Right-of-Way Deed for Parcel 2 and the Sidewalk Easement documents for Parcels 2A and 2B, Spectrum Drive Right-of-Way Project. Should you have any questions or need anything further, please let me know.

Sincerely,

Angela K. Washington

AKW/yjr  
Enclosures

c(w/oEnclosures): Mr. Kenneth C. Dippel, w/firm

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Gaylord Properties, L.P.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.



**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:

\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;

## EXHIBIT A

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

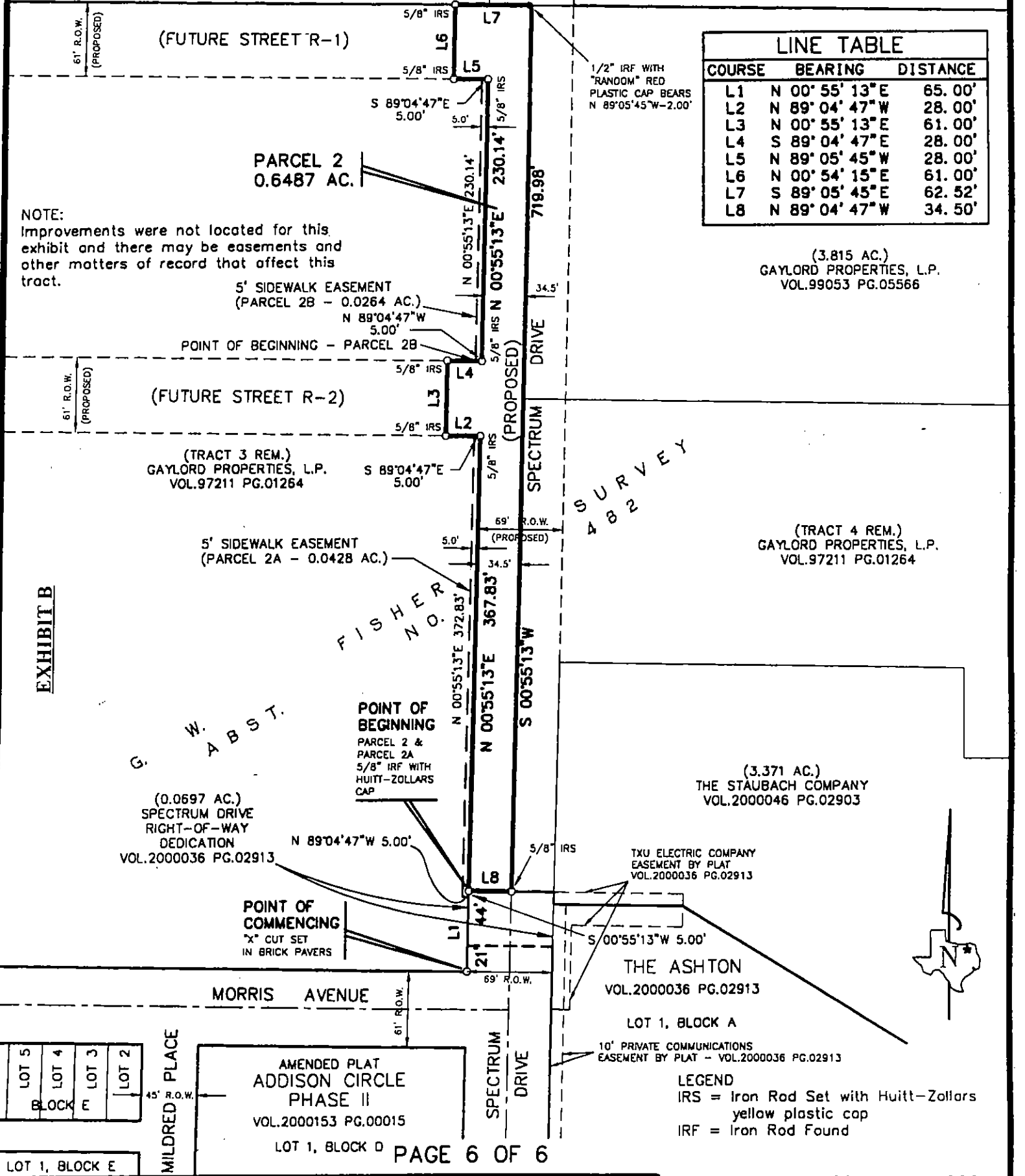
THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.199002 PG.00016



LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A  
10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

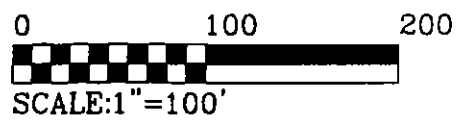
5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
5.0'

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

*[Signature]*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

**HUITT-ZOLIARS**  
Dallas  
Huitt-Zollars, Inc.  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 1**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of a 6.272 acre tract of land described in instrument to the Town of Addison, Texas as recorded in Volume 93243, Page 6422 of the Deed Records of Dallas County, Texas and also being a portion of the McLean Tract, a 9.645 acre addition to the Town of Addison, Texas as recorded in Volume 82005, Page 2784 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at the northwest corner of said Town of Addison tract, same being the northwest corner of said McLean Tract Addition, said point being at the intersection of the easterly right-of-way line of Quorum Drive (an 80 foot wide right-of-way at this point) as established by instrument recorded in Volume 82005, Page 2784, Deed Records, Dallas County, Texas and southeasterly line of Dallas Area Rapid Transit Property Acquisition (100 wide right-of-way at this point, hereinafter called "DART right-of-way") as recorded in Volume 91008, Page 1390 of the Deed Records of Dallas County, Texas;

THENCE North 66 degrees 44 minutes 59 seconds East along the southeasterly DART right-of-way line and northwesterly line of said Town of Addison tract and McLean Tract Addition a distance of 449.49 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING;

THENCE continuing North 66 degrees 44 minutes 59 seconds East along the said southeasterly DART right-of-way line and northwesterly line of said Town of Addison tract and McLean Tract Addition a distance of 140.94 feet to a 3/8 inch iron rod found for the most northerly northwest corner of Millennium Phase II, an addition to the Town of Addison, Texas as recorded in Volume 98221, Page 00022 of the Deed Records, Dallas County, Texas, from which a 1/2 inch iron rod found for the northeast corner of said Town of Addison tract and McLean Tract Addition bears North 66 degrees 53 minutes 47 seconds East at a distance of 22.00 feet, said 3/8 inch iron rod being the beginning of a non-tangent curve to the right having a central angle of 3 degrees 28 minutes 50 seconds, a radius of 636.00 feet and being subtended by a 38.63 foot chord bearing South 33 degrees 10 minutes 33 seconds West;

THENCE southwesterly along said curve to the right and northwesterly line of said Millennium Phase II an arc distance of 38.63 feet to a 1/2 inch iron rod found for the most westerly corner of said Addition;

THENCE South 23 degrees 15 minutes 01 second East along the southwesterly line of said Millennium Phase II a distance of 9.40 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for a corner, said point being the beginning of a non-tangent curve to the left having a central angle of 34 degrees 47 minutes 59 seconds, a radius of 556.00 feet and being subtended by a 332.53 foot chord bearing South 17 degrees 31 minutes 59 seconds West;

THENCE southerly along said curve to the left an arc distance of 337.70 feet to a "MAG" nail set in concrete for the end of said curve;

THENCE South 00 degrees 07 minutes 59 seconds West a distance of 23.90 feet to a "MAG" nail set in concrete for an angle point;

THENCE South 45 degrees 34 minutes 54 seconds East a distance of 27.94 feet to an "X" cut set in concrete for a corner, said point being the beginning of a non-tangent curve to the right having a central angle of 1 degree 58 minutes 51 seconds, a radius of 949.00 feet and being subtended by a 32.81 foot chord bearing South 89 degrees 06 minutes 07 seconds West;

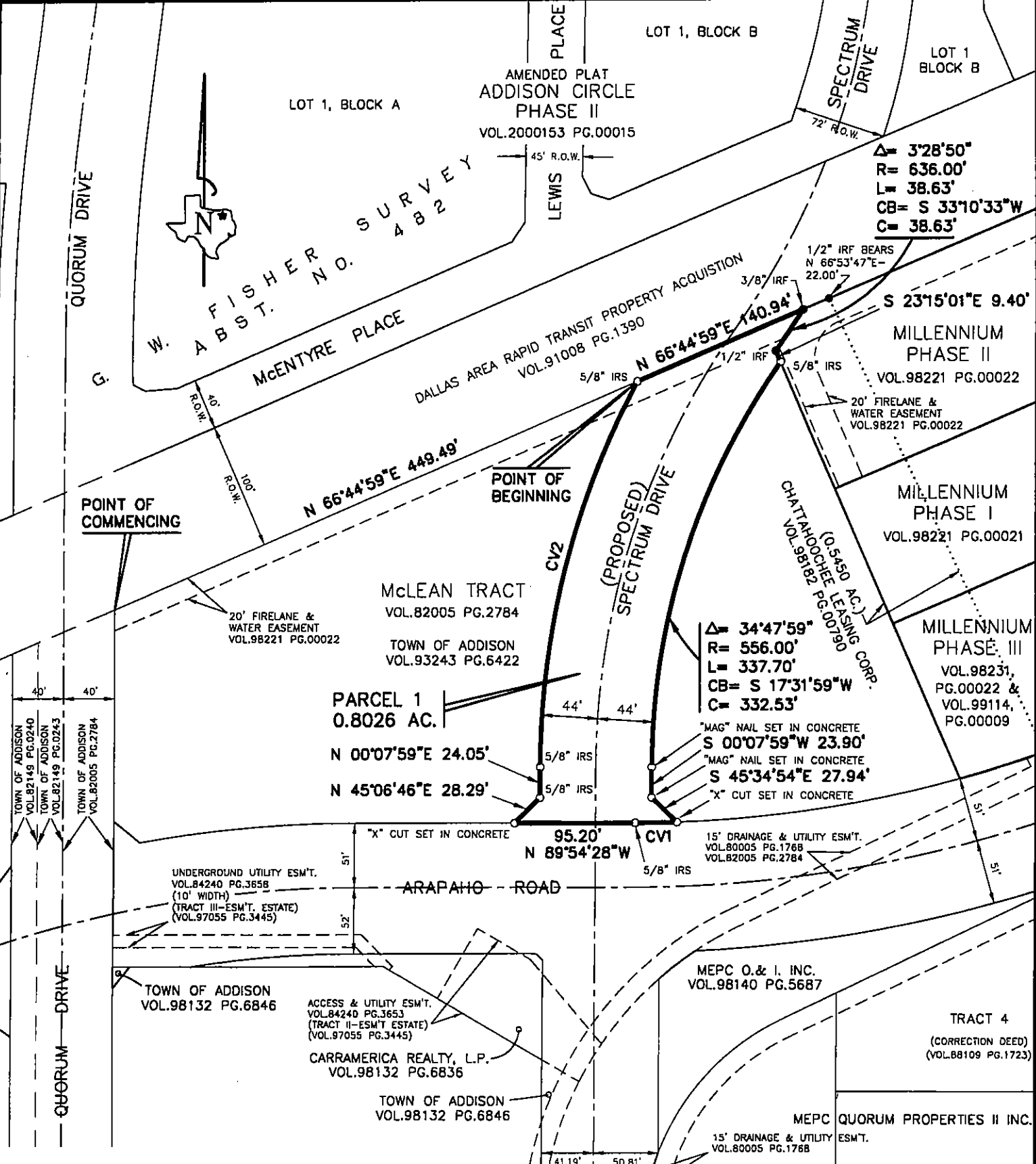
THENCE westerly along said curve to the right an arc distance of 32.81 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for the end of said curve;

THENCE North 89 degrees 54 minutes 28 seconds West a distance of 95.20 feet to an "X" cut set in concrete for a corner;

THENCE North 45 degrees 06 minutes 46 seconds East a distance of 28.29 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for an angle point;

THENCE North 00 degrees 07 minutes 59 seconds East a distance of 24.05 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for the beginning of a curve to the right having a central angle of 28 degrees 00 minutes 19 seconds, a radius of 644.00 feet and being subtended by a 311.65 foot chord bearing North 14 degrees 08 minutes 09 seconds East;

THENCE northeasterly along said curve to the right an arc distance of 314.78 feet to the POINT OF BEGINNING and containing 0.8026 of an acre of land, more or less.



**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH.BEARING
CV1	949.00'	32.81'	1°58'51"	32.81'	S 89°06'07"W
CV2	644.00'	314.78'	28°00'19"	311.65'	N 14°08'09"E

**LEGEND**

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

0 100 200



SCALE: 1"=100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

**BASIS OF BEARINGS:**

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 1  
OWNER: TOWN OF ADDISON  
AREA: 0.8026 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;



THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2B**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 23.00 feet to the POINT OF BEGINNING of this tract from which a 5/8 inch iron rod with Huitt-Zollars yellow plastic cap bears South 89 degrees 04 minutes 47 seconds East at a distance of 5.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 230.14 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0264 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(FUTURE STREET R-1)

PARCEL 2  
0.6487 AC.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
5.0'

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

0 100 200



SCALE: 1"=100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yehoudy*  
Eric J. Yehoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 3**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of Tract 4 as described in instrument to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas, and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northeast corner of a platted 0.0697 acre tract of land for right-of-way dedication of Spectrum Drive (69 foot right-of-way) as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said platted 0.0697 acre tract for Spectrum Drive a distance of 34.50 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for corner on the westerly line of said Tract 4 of Gaylord Properties, L.P. ;

THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said Gaylord Properties, L.P. Tract 4 and 3.815 acre tracts a distance of 719.98 feet to the northwest corner of said 3.815 acre tract from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said Gaylord Properties, L.P. 3.815 acre tract a distance of 34.50 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said Gaylord Properties, L.P. 3.815 acre tract, passing at a distance of 535.93 feet a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for the northwest corner of a 3.371 acre tract of land described in instrument to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and continuing along the westerly line of said 3.371 acre Staubach Company tract in all a distance of 719.99 feet to the POINT OF BEGINNING and containing 0.5702 of an acre of land, more or less.

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 3A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a tract of land described as Tract 4 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 535.93 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the northerly line of said 3.815 acre Gaylord Properties, L.P. tract;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 5.00 feet to a point for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 535.93 feet to a point for a corner on the northerly line of said 3.371 acre Staubach Company tract;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0615 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

S 89°05'45"E 5.00'

61' R.O.W. (PROPOSED)

(FUTURE STREET R-1)

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT (PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W. (PROPOSED)

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(PROPOSED) DRIVE  
SPECTRUM DRIVE  
719.98'  
719.99'

S 00°55'13"W  
N 00°55'13"E

SURVEY  
482

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER NO.

POINT OF BEGINNING - PARCEL 3A

G. W. ABST.

N 89°04'47"W 5.00'

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
5/8" IRS WITH HUITT-ZOLLARS CAP

TXU ELECTRIC COMPANY EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

69' R.O.W.

AMENDED PLAT ADDISON CIRCLE PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

PAGE 3 OF 3

LOT 5  
LOT 4  
LOT 3  
LOT 2  
BLOCK E

LOT 1, BLOCK E

MILDRED PLACE

45' R.O.W.

0 100 200



SCALE: 1"=100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Dallas  
Huitt-Zollars, Inc.  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 3  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002



**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 4**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of the final plat of 15851 Dallas North Parkway Addition, an addition to the Town of Addison, Texas as recorded in Volume 85021, Page 1686 of the Deed Records of Dallas County, Texas and being a portion of a tract of land described in instrument to the Utah State Retirement Investment Fund as recorded in Volume 96003, Page 1968 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the northwest corner of said 15851 Dallas North Parkway Addition, said point being on the platted southerly right-of-way line of Airport Parkway (55 foot right-of-way at this point as per said plat) from which a 1/2 inch iron rod found with "Powell & Powell" cap for the southwest corner of said addition, bears South 00 degrees 08 minutes 23 seconds West at a distance of 360.13 feet;

THENCE South 89 degrees 09 minutes 39 seconds East along the said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 45 degrees 29 minutes 22 seconds West departing said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 28.11 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the westerly line of said addition;

THENCE North 00 degrees 08 minutes 23 seconds East along the westerly line of said addition a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

POINT OF BEGINNING  
1/2" IRF

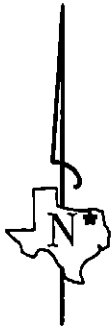
NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

60' R.O.W.  
(EXISTING)

AIRPORT PARKWAY

55' R.O.W.  
(EXISTING)

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033



QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

G. W. A B S T. F I S H E R N O.

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 09' 39" E	20.00'
L2	S 45° 29' 22" W	28.11'
L3	N 00° 08' 23" E	20.00'

69.65' R.O.W.

(PROPOSED)  
SPECTRUM DRIVE

TOWN OF ADDISON  
VOL.99002 PG.00016

S 00°08'23"W 360.13'

S U R V E Y

PARCEL 4  
0.0046 AC.

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686

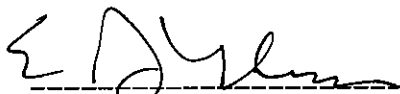
1/2" IRF WITH  
POWELL & POWELL  
CAP

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 2 OF 2

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

  
Eric J. Fahoudy, Registered Professional Land Surveyor, Texas No. 4862

0 50 100



SCALE: 1" = 50'

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 4  
OWNER: UTAH STATE RETIREMENT INV. FUND  
AREA: 0.0046 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 5**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner, from which a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap bears South 00 degrees 08 minutes 23 seconds West at a distance of 334.90 feet;

THENCE North 44 degrees 30 minutes 38 seconds West departing said westerly line of the Town of Addison tract a distance of 28.46 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the said southerly right-of-way line of Airport Parkway;

THENCE South 89 degrees 09 minutes 39 seconds East along the southerly right-of-way line of said Airport Parkway a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 5A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the westerly side of Spectrum Drive and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for THE POINT OF BEGINNING;

THENCE continuing South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 334.90 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the platted southerly line of said Quorum East Addition;

THENCE North 89 degrees 04 minutes 54 seconds West along the southerly line of said Quorum East Addition a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 08 minutes 23 seconds East departing the southerly line of said Quorum East Addition a distance of 339.90 feet to a point for a corner;

THENCE South 44 degrees 30 minutes 38 seconds East a distance of 7.11 feet to the POINT OF BEGINNING and containing 0.0387 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

POINT OF BEGINNING

5/8" IRS WITH HUITT-ZOLLARS YELLOW CAP

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

60' R.O.W.  
(EXISTING)

AIRPORT PARKWAY

POINT OF COMMENCING - PARCEL 5A

55' R.O.W.  
(EXISTING)

5/8" IRS

L3

1/2" IRF

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033

PARCEL 5  
0.0046 AC.

POINT OF BEGINNING - PARCEL 5A

5/8" IRS

S 44°30'38"E 7.11'

69.65' R.O.W.

5' SIDEWALK EASEMENT  
(PARCEL 5A - 0.0387 AC.)

(PROPOSED)  
SPECTRUM DRIVE

A  
B  
S  
T  
R  
A  
C  
T  
S  
U  
R  
V  
E  
Y

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

TOWN OF ADDISON  
VOL.99002 PG.00016

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686

G. W. A B S T. F I S H E R N

N 00°08'23"E 339.90'

S 00°08'23"W 334.90'

S 00°08'23"W 360.13'

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 00° 08' 23" W	20.00'
L2	N 44° 30' 38" W	28.46'
L3	S 89° 09' 39" E	20.00'

N 89°04'54"W 5.00'

5/8" IRF WITH  
HUITT-ZOLLARS  
YELLOW CAP

1/2" IRF WITH  
POWELL & POWELL  
CAP

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 3 OF 3

0 50 100



SCALE: 1" = 50'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 5  
OWNER: POST SERVICES, INC.  
AREA: 0.0046 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 6**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of said 3.371 acre Staubach Company tract;

THENCE South 89 degrees 04 minutes 47 seconds East along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to a point for a corner;

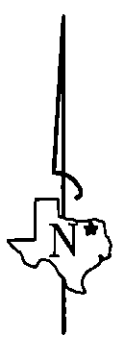
THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to a point for a corner on the westerly line of said 3.371 acre Staubach Company tract from which a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap bears South 00 degrees 55 minutes 13 seconds West at a distance of 6.83 feet;

THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to the POINT OF BEGINNING and containing 0.0203 of an acre of land, more or less.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

SURVEY  
4827



G. W. FISHER NO.  
A B S T.

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

69' R.O.W.  
(PROPOSED)

(PROPOSED)  
SPECTRUM DRIVE

S 89°04'47"E 5.00'

POINT OF BEGINNING  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

PARCEL 6  
5' SIDEWALK  
EASEMENT  
0.0203 AC.

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 89° 04' 47" W	5.00'
L2	S 00° 55' 13" W	6.83'

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

L1  
L2

5/8" IRS

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

MORRIS AVENUE

61' R.O.W.

69' R.O.W.

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

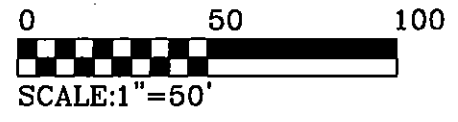
LOT 1, BLOCK D

SPECTRUM  
DRIVE

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 2 OF 2



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

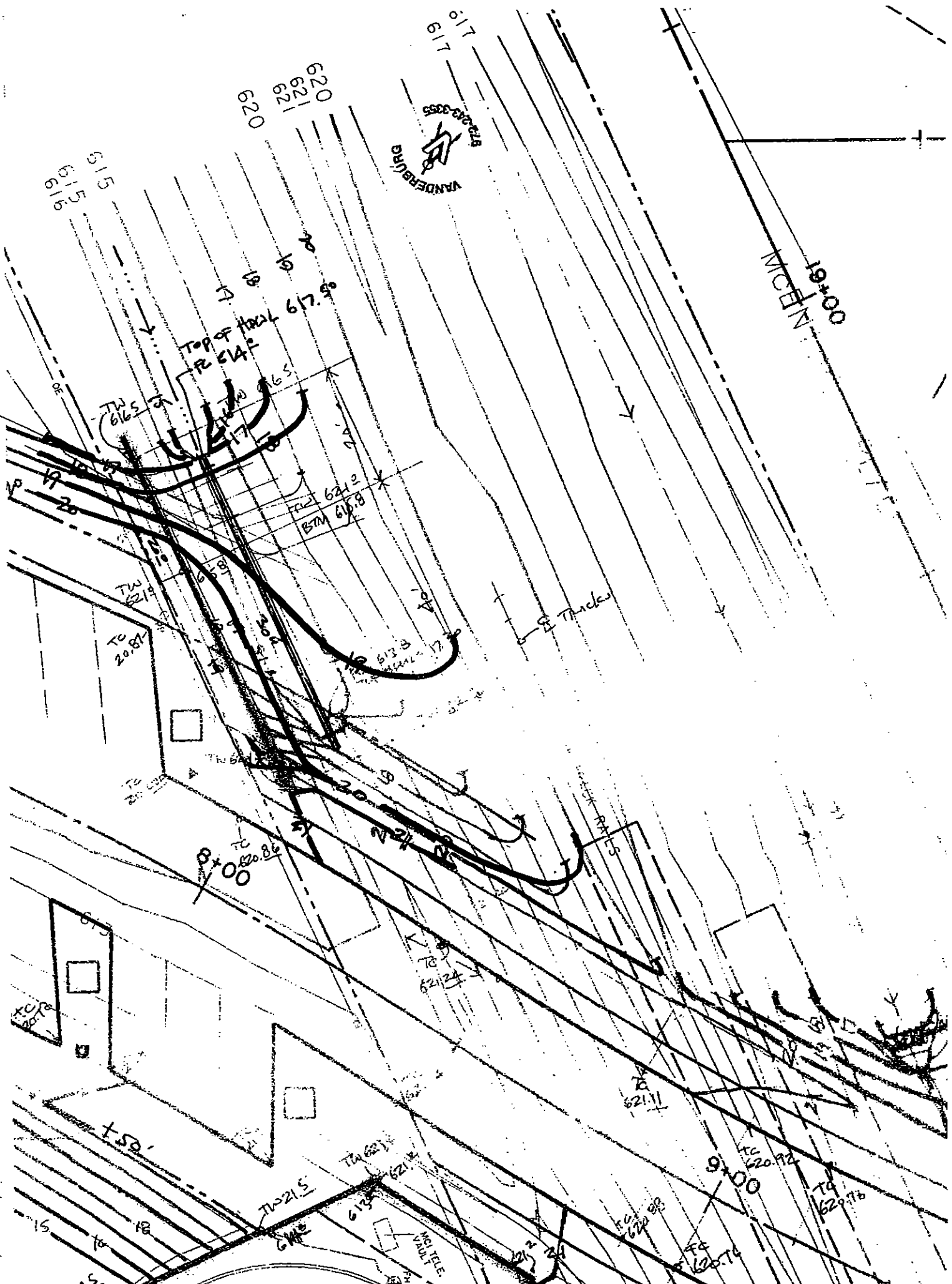
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
SIDEWALK EASEMENT EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 6  
OWNER: THE STAUBACH COMPANY  
AREA: 0.0203 AC. DATE: 11/05/2002



19+00  
MCCEN



620  
621  
620

617  
617

615  
615  
616

Top of track  
617.95  
614.2

TW  
616.5

BM  
616.9

Tracks

TC  
20.87

TC  
20.86

TC  
621.2

621.11

TC  
620.92  
9+00

TC  
620.76

TC  
620.88

TC  
620.74

150'

TC  
621.5

TC  
621.4

WALL FILE





# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com

January 22, 2003

Mr. Steven Z. Chutchian, P.E.  
Assistant City Engineer  
Town of Addison  
16801 Westgrove Drive  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Spectrum Drive-North & South Extensions  
HZI Project No. 01-3220-02**

Dear Mr. Chutchian

We are herewith transmitting two sets of plans on the above referenced project. Please provide one set of the plans to Slade Strickland for review of the streetscape elements. We consider the design to be approximately 70% complete. Some of the elements such as paving, streetscape and utilities are closer to 90% complete while items such as signage, street light design, traffic signals, and specifications are not yet included.

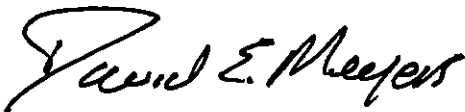
Huitt-Zollars will continue to work to complete the plans while the City conducts the first review. As we discussed on the phone, we will need to schedule a meeting in the next few weeks with Oncor, Southwestern Bell and DART to initiate their design and input into this project.

Please call if you have any questions. We look forward to your comments so we can incorporate them into the plan set prior to our next submittal. If you have any major comments about the design we would appreciate notice of those via telephone in advance of your written comments. This will minimize the amount of time we spend making adjustments to the design.

Thank you for your time and consideration.

Sincerely,

HUITT-ZOLLARS, INC.



David E. Meyers, P.E.  
Associate

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 1**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of a 6.272 acre tract of land described in instrument to the Town of Addison, Texas as recorded in Volume 93243, Page 6422 of the Deed Records of Dallas County, Texas and also being a portion of the McLean Tract, a 9.645 acre addition to the Town of Addison, Texas as recorded in Volume 82005, Page 2784 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at the northwest corner of said Town of Addison tract, same being the northwest corner of said McLean Tract Addition, said point being at the intersection of the easterly right-of-way line of Quorum Drive (an 80 foot wide right-of-way at this point) as established by instrument recorded in Volume 82005, Page 2784, Deed Records, Dallas County, Texas and southeasterly line of Dallas Area Rapid Transit Property Acquisition (100 wide right-of-way at this point, hereinafter called "DART right-of-way") as recorded in Volume 91008, Page 1390 of the Deed Records of Dallas County, Texas;

THENCE North 66 degrees 44 minutes 59 seconds East along the southeasterly DART right-of-way line and northwesterly line of said Town of Addison tract and McLean Tract Addition a distance of 449.49 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING;

THENCE continuing North 66 degrees 44 minutes 59 seconds East along the said southeasterly DART right-of-way line and northwesterly line of said Town of Addison tract and McLean Tract Addition a distance of 140.94 feet to a 3/8 inch iron rod found for the most northerly northwest corner of Millennium Phase II, an addition to the Town of Addison, Texas as recorded in Volume 98221, Page 00022 of the Deed Records, Dallas County, Texas, from which a 1/2 inch iron rod found for the northeast corner of said Town of Addison tract and McLean Tract Addition bears North 66 degrees 53 minutes 47 seconds East at a distance of 22.00 feet, said 3/8 inch iron rod being the beginning of a non-tangent curve to the right having a central angle of 3 degrees 28 minutes 50 seconds, a radius of 636.00 feet and being subtended by a 38.63 foot chord bearing South 33 degrees 10 minutes 33 seconds West;

THENCE southwesterly along said curve to the right and northwesterly line of said Millennium Phase II an arc distance of 38.63 feet to a 1/2 inch iron rod found for the most westerly corner of said Addition;

THENCE South 23 degrees 15 minutes 01 second East along the southwesterly line of said Millennium Phase II a distance of 9.40 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for a corner, said point being the beginning of a non-tangent curve to the left having a central angle of 34 degrees 47 minutes 59 seconds, a radius of 556.00 feet and being subtended by a 332.53 foot chord bearing South 17 degrees 31 minutes 59 seconds West;

THENCE southerly along said curve to the left an arc distance of 337.70 feet to a "MAG" nail set in concrete for the end of said curve;

THENCE South 00 degrees 07 minutes 59 seconds West a distance of 23.90 feet to a "MAG" nail set in concrete for an angle point;

THENCE South 45 degrees 34 minutes 54 seconds East a distance of 27.94 feet to an "X" cut set in concrete for a corner, said point being the beginning of a non-tangent curve to the right having a central angle of 1 degree 58 minutes 51 seconds, a radius of 949.00 feet and being subtended by a 32.81 foot chord bearing South 89 degrees 06 minutes 07 seconds West;

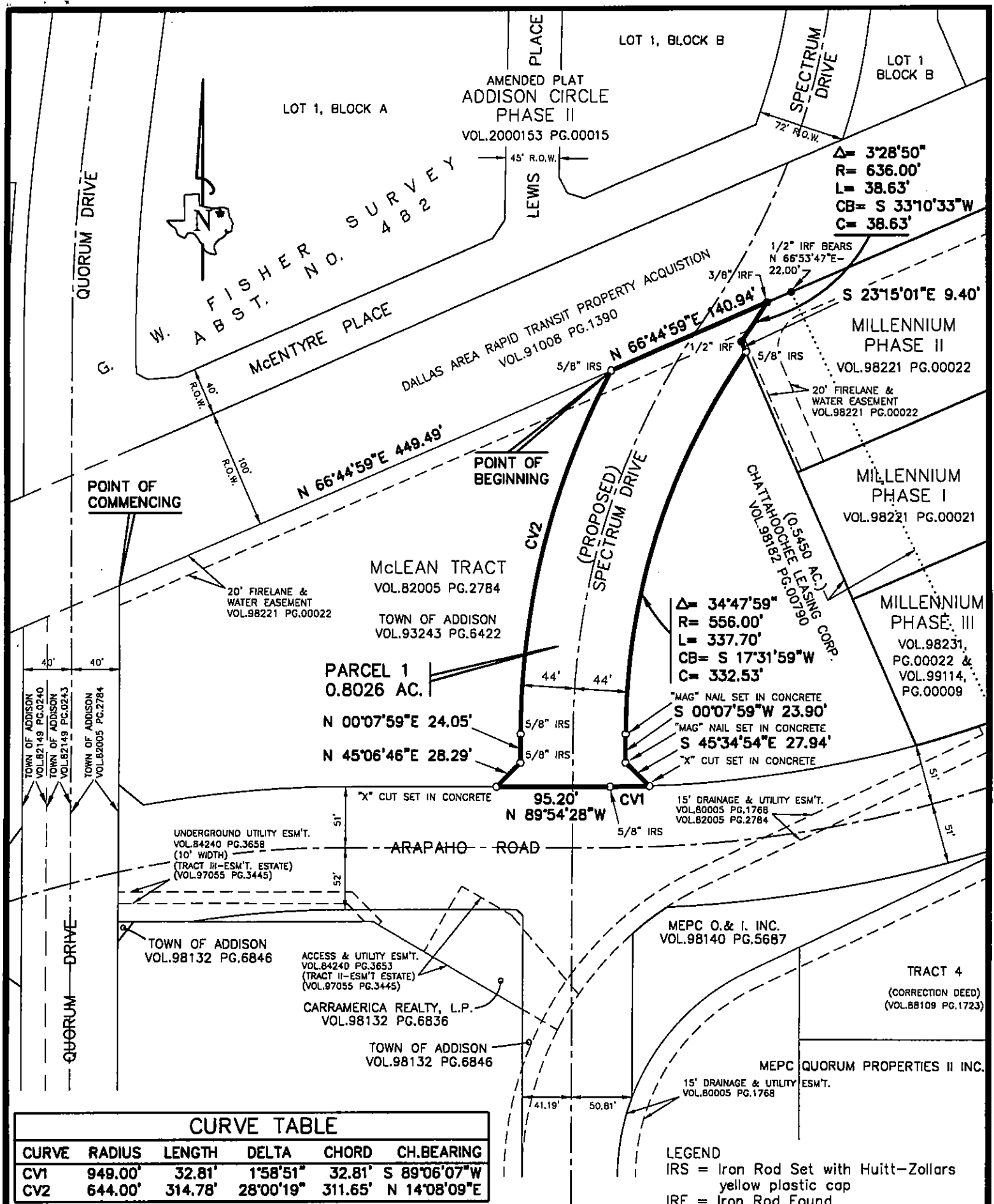
THENCE westerly along said curve to the right an arc distance of 32.81 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for the end of said curve;

THENCE North 89 degrees 54 minutes 28 seconds West a distance of 95.20 feet to an "X" cut set in concrete for a corner;

THENCE North 45 degrees 06 minutes 46 seconds East a distance of 28.29 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for an angle point;

THENCE North 00 degrees 07 minutes 59 seconds East a distance of 24.05 feet to a 5/8 inch iron rod set with a Huitt-Zollars yellow plastic cap for the beginning of a curve to the right having a central angle of 28 degrees 00 minutes 19 seconds, a radius of 644.00 feet and being subtended by a 311.65 foot chord bearing North 14 degrees 08 minutes 09 seconds East;

THENCE northeasterly along said curve to the right an arc distance of 314.78 feet to the POINT OF BEGINNING and containing 0.8026 of an acre of land, more or less.



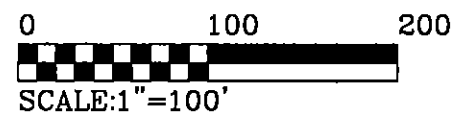
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH.BEARING
CV1	949.00'	32.81'	1°58'51"	32.81'	S 89°06'07"W
CV2	644.00'	314.78'	28°00'19"	311.65'	N 14°08'09"E

LEGEND  
 IRS = Iron Rod Set with Huitt-Zollars  
           yellow plastic cap  
 IRF = Iron Rod Found

Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*[Signature]*  
 Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:  
 The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Avenue, Suite 600  
 Dallas, Texas 75204-2489  
 Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
 RIGHT-OF-WAY EXHIBIT  
 TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
 16801 Westgrove Dr., Addison, TX 75001  
 EXHIBIT PARCEL NO. 1  
 OWNER: TOWN OF ADDISON  
 AREA: 0.8026 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.



**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2B**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 23.00 feet to the POINT OF BEGINNING of this tract from which a 5/8 inch iron rod with Huitt-Zollars yellow plastic cap bears South 89 degrees 04 minutes 47 seconds East at a distance of 5.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 230.14 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0264 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

61' R.O.W.  
(PROPOSED)

(FUTURE STREET R-1)

5/8" IRS L7

5/8" IRS L6

5/8" IRS L5

S 89°04'47"E 5.00'

PARCEL 2  
0.6487 AC.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)

N 89°04'47"W 5.00'

POINT OF BEGINNING - PARCEL 2B

61' R.O.W.  
(PROPOSED)

(FUTURE STREET R-2)

5/8" IRS L4

5/8" IRS L3

5/8" IRS L2

S 89°04'47"E 5.00'

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)

69' R.O.W.  
(PROPOSED)

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

G. W. ABST.

FISHER NO.

POINT OF BEGINNING  
PARCEL 2 & PARCEL 2A  
5/8" IRF WITH HUITT-ZOLLARS CAP

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

N 89°04'47"W 5.00'

POINT OF COMMENCING  
"X" CUT SET IN BRICK PAVERS

N 00°55'13"E 372.83'

N 00°55'13"E 367.83'

S 00°55'13"W

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

69' R.O.W.

LOT 5  
LOT 4  
LOT 3  
LOT 2  
BLOCK E

MILDRED PLACE

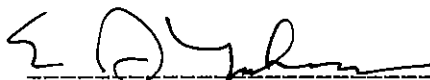
AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

PAGE 6 OF 6

LOT 1, BLOCK E

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.



Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

0 100 200



SCALE: 1"=100'

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 3**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of Tract 4 as described in instrument to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas, and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northeast corner of a platted 0.0697 acre tract of land for right-of-way dedication of Spectrum Drive (69 foot right-of-way) as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said platted 0.0697 acre tract for Spectrum Drive a distance of 34.50 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for corner on the westerly line of said Tract 4 of Gaylord Properties, L.P. ;

THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said Gaylord Properties, L.P. Tract 4 and 3.815 acre tracts a distance of 719.98 feet to the northwest corner of said 3.815 acre tract from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said Gaylord Properties, L.P. 3.815 acre tract a distance of 34.50 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said Gaylord Properties, L.P. 3.815 acre tract, passing at a distance of 535.93 feet a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for the northwest corner of a 3.371 acre tract of land described in instrument to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and continuing along the westerly line of said 3.371 acre Staubach Company tract in all a distance of 719.99 feet to the POINT OF BEGINNING and containing 0.5702 of an acre of land, more or less.

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 3A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a tract of land described as Tract 4 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 535.93 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the northerly line of said 3.815 acre Gaylord Properties, L.P. tract;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 5.00 feet to a point for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 535.93 feet to a point for a corner on the northerly line of said 3.371 acre Staubach Company tract;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0615 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

S 89°05'45"E 5.00'

61' R.O.W. (PROPOSED)

(FUTURE STREET R-1)

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT (PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W. (PROPOSED)

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(PROPOSED) DRIVE  
SPECTRUM DRIVE  
S 00°55'13"W

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER NO.

POINT OF BEGINNING - PARCEL 3A

G. W. ABST.

N 89°04'47"W 5.00'

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
5/8" IRS WITH HUITT-ZOLLARS CAP

TXU ELECTRIC COMPANY EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

69' R.O.W.

MILDRED PLACE

45' R.O.W.

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II

VOL.2000153 PG.00015

LOT 1, BLOCK D

PAGE 3 OF 3

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

0 100 200



SCALE: 1"=100'

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Dallas

Huitt-Zollars, Inc.  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 3**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 4**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of the final plat of 15851 Dallas North Parkway Addition, an addition to the Town of Addison, Texas as recorded in Volume 85021, Page 1686 of the Deed Records of Dallas County, Texas and being a portion of a tract of land described in instrument to the Utah State Retirement Investment Fund as recorded in Volume 96003, Page 1968 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the northwest corner of said 15851 Dallas North Parkway Addition, said point being on the platted southerly right-of-way line of Airport Parkway (55 foot right-of-way at this point as per said plat) from which a 1/2 inch iron rod found with "Powell & Powell" cap for the southwest corner of said addition, bears South 00 degrees 08 minutes 23 seconds West at a distance of 360.13 feet;

THENCE South 89 degrees 09 minutes 39 seconds East along the said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 45 degrees 29 minutes 22 seconds West departing said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 28.11 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the westerly line of said addition;

THENCE North 00 degrees 08 minutes 23 seconds East along the westerly line of said addition a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

POINT OF BEGINNING  
1/2" IRF

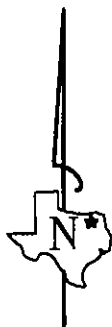
NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

60' R.O.W.  
(EXISTING)

AIRPORT PARKWAY

55' R.O.W.  
(EXISTING)

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033



QUORUM EAST  
ADDITION

VOL.98001 PG.00033

POST SERVICES, INC.  
VOL.98060 PG.03404

G. W. A B S T. FISHER N O.

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 09' 39" E	20.00'
L2	S 45° 29' 22" W	28.11'
L3	N 00° 08' 23" E	20.00'

69.65' R.O.W.

(PROPOSED)  
SPECTRUM DRIVE

TOWN OF ADDISON  
VOL.99002 PG.00016

S 00°08'23"W 360.13'

SURVEY  
482

PARCEL 4  
0.0046 AC.

15851 DALLAS NORTH  
PARKWAY ADDITION

VOL.85021 PG.1686

UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686

1/2" IRF WITH  
POWELL & POWELL  
CAP

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

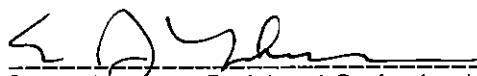
PAGE 2 OF 2

0 50 100



SCALE: 1"=50'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

  
Eric J. Yehoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas

3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 4  
OWNER: UTAH STATE RETIREMENT INV. FUND  
AREA: 0.0046 AC. DATE: 11/05/2002



**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 5**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner, from which a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap bears South 00 degrees 08 minutes 23 seconds West at a distance of 334.90 feet;

THENCE North 44 degrees 30 minutes 38 seconds West departing said westerly line of the Town of Addison tract a distance of 28.46 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the said southerly right-of-way line of Airport Parkway;

THENCE South 89 degrees 09 minutes 39 seconds East along the southerly right-of-way line of said Airport Parkway a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 5A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the westerly side of Spectrum Drive and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for THE POINT OF BEGINNING;

THENCE continuing South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 334.90 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the platted southerly line of said Quorum East Addition;

THENCE North 89 degrees 04 minutes 54 seconds West along the southerly line of said Quorum East Addition a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 08 minutes 23 seconds East departing the southerly line of said Quorum East Addition a distance of 339.90 feet to a point for a corner;

THENCE South 44 degrees 30 minutes 38 seconds East a distance of 7.11 feet to the POINT OF BEGINNING and containing 0.0387 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

POINT OF BEGINNING

5/8" IRS WITH HUITT-ZOLLARS YELLOW CAP

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

60' R.O.W. (EXISTING)

AIRPORT PARKWAY

POINT OF COMMENCING - PARCEL 5A

55' R.O.W. (EXISTING)

5/8" IRS

L3

1/2" IRF

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033

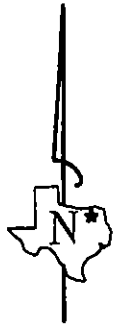
PARCEL 5  
0.0046 AC.

POINT OF BEGINNING - PARCEL 5A

5/8" IRS

S 44°30'38"E 7.11'

69.65' R.O.W.



5' SIDEWALK EASEMENT  
(PARCEL 5A - 0.0387 AC.)

QUORUM EAST ADDITION

VOL.98001 PG.00033

POST SERVICES, INC.  
VOL.98060 PG.03404

(PROPOSED)  
SPECTRUM DRIVE

482 SURVEY

15851 DALLAS NORTH PARKWAY ADDITION

VOL.85021 PG.1686

UTAH STATE RETIREMENT INVESTMENT FUND  
VOL.96003 PG.1968

G. W. A B S T. FISHER

N 00°08'23"E 339.90'

S 00°08'23"W 334.90'

S 00°08'23"W 360.13'

TOWN OF ADDISON  
VOL.99002 PG.00016

10' TEXAS POWER & LIGHT CO. EASEMENT  
VOL.85021 PG.1686

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 00° 08' 23" W	20.00'
L2	N 44° 30' 38" W	28.46'
L3	S 89° 09' 39" E	20.00'

N 89°04'54"W 5.00'

5/8" IRF WITH HUITT-ZOLLARS YELLOW CAP

1/2" IRF WITH POWELL & POWELL CAP

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

PAGE 3 OF 3

0 50 100



SCALE: 1" = 50'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**

Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 5  
OWNER: POST SERVICES, INC.  
AREA: 0.0046 AC. DATE: 11/05/2002

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 6**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of said 3.371 acre Staubach Company tract;

THENCE South 89 degrees 04 minutes 47 seconds East along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to a point for a corner;

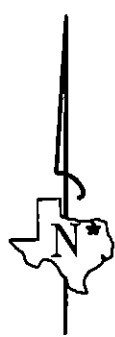
THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to a point for a corner on the westerly line of said 3.371 acre Staubach Company tract from which a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap bears South 00 degrees 55 minutes 13 seconds West at a distance of 6.83 feet;

THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to the POINT OF BEGINNING and containing 0.0203 of an acre of land, more or less.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

SURVEY  
482



G. W. A B S T. FISHER N O.

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

69' R.O.W.  
(PROPOSED)

(PROPOSED)  
SPECTRUM DRIVE

S 89°04'47"E 5.00'

POINT OF BEGINNING  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

PARCEL 6  
5' SIDEWALK  
EASEMENT  
0.0203 AC.

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 89° 04' 47" W	5.00'
L2	S 00° 55' 13" W	6.83'

34.5'  
177.23'  
177.23'  
N 00°55'13"E  
S 00°55'13"W

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

L1  
L2  
5/8" IRS

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

MORRIS AVENUE

61' R.O.W.

SPECTRUM  
DRIVE

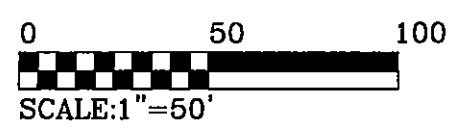
10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 2 OF 2



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

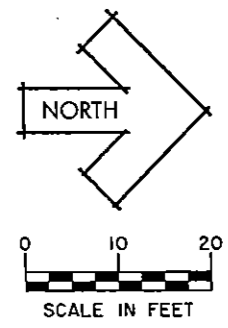
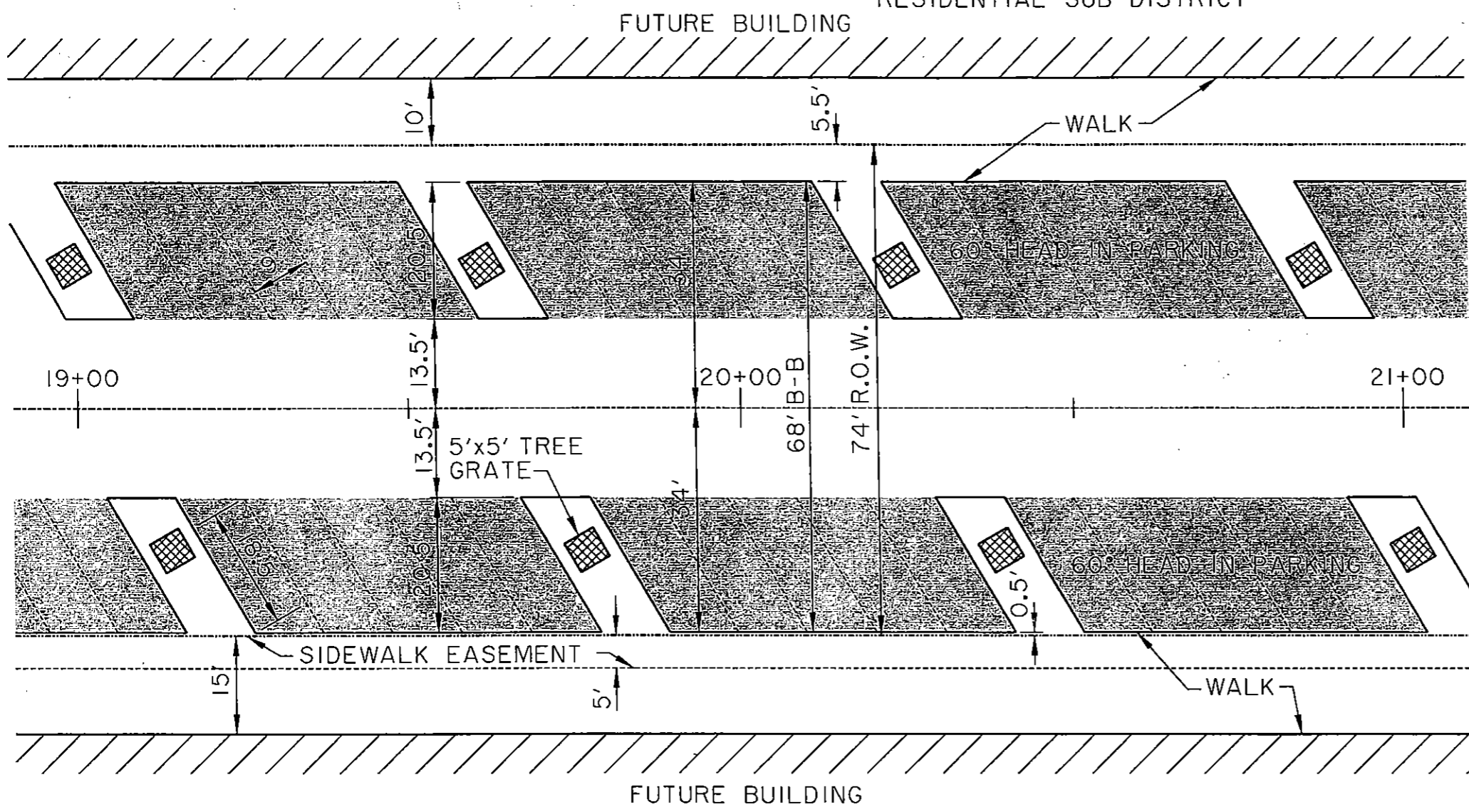
**HUITT-ZOLLARS**  
Dallas  
Huitt-Zollars, Inc.  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
SIDEWALK EASEMENT EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 6  
OWNER: THE STAUBACH COMPANY  
AREA: 0.0203 AC. DATE: 11/05/2002



RESIDENTIAL SUB-DISTRICT



COMMERCIAL SUB-DISTRICT

**EXHIBIT "B" – ALT. #3  
SPECTRUM DRIVE  
NORTH EXTENSION  
PROPOSED 74' R.O.W.  
TOWN OF ADDISON, TEXAS**

1. Requires dedication of 5' feet sidewalk easement by commercial sub-district owners.
2. No loss in residential sub-district buildable area.
3. Requires 5 feet of right-of-way dedication from commercial sub-district property owners. (Loss of buildable area)
4. Assumes street centerline shifts 5 feet east to 39.5 feet from west right-of-way line. (Requires reverse curve in Spectrum)

Prepared For:  
**TOWN OF ADDISON**

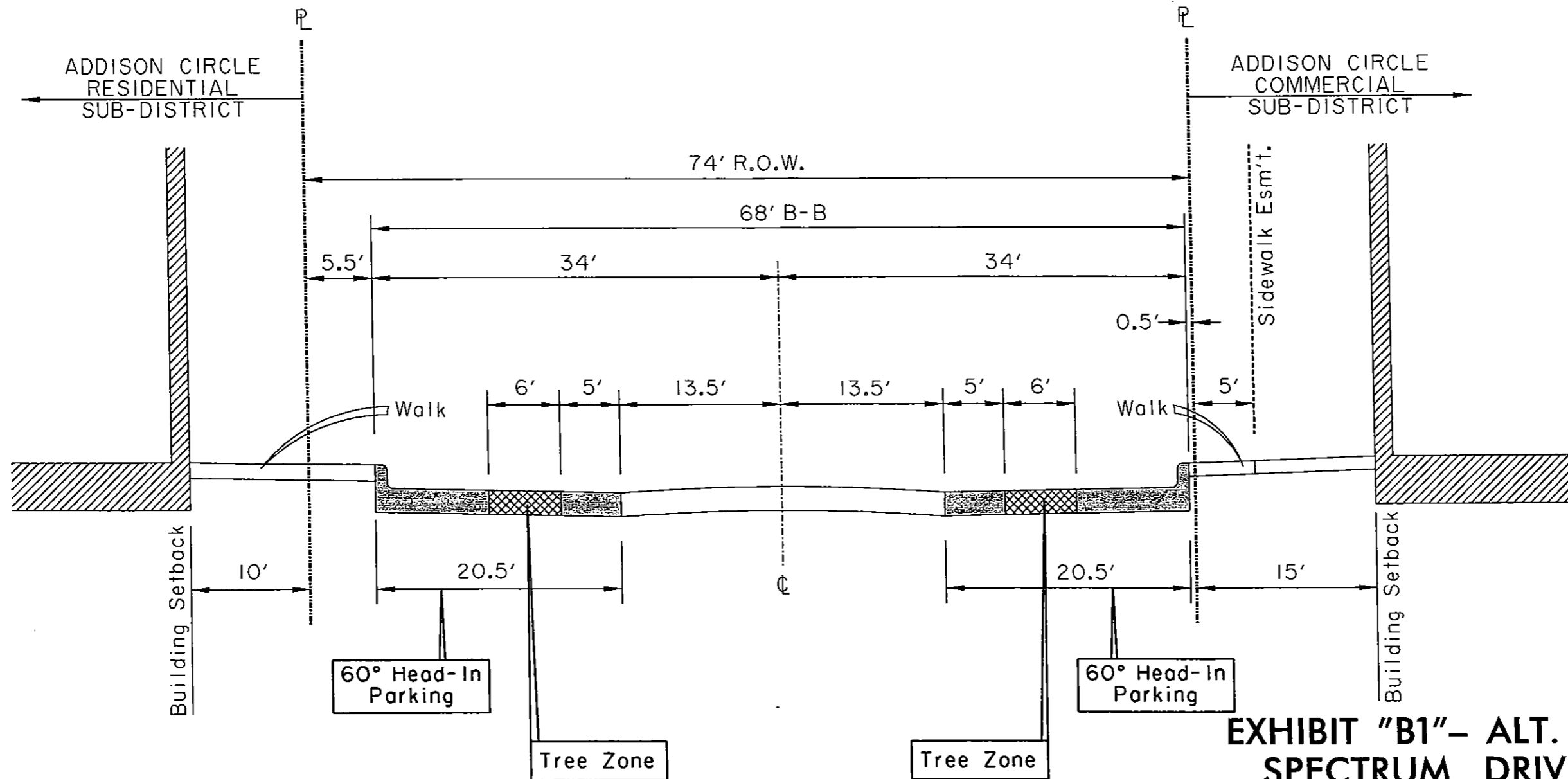
Prepared By:  
**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
Phone (214) 871-3311 Fax (214) 871-0757

JULY, 2002

SCALE: 1"=20'

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
*PARALLEL	6

\*Parallel adjacent to Madison Building



**EXHIBIT "B1" - ALT. #3  
SPECTRUM DRIVE  
NORTH EXTENSION  
PROPOSED 74' R.O.W.  
TOWN OF ADDISON, TEXAS**

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
Phone (214) 871-3311 Fax (214) 871-0757

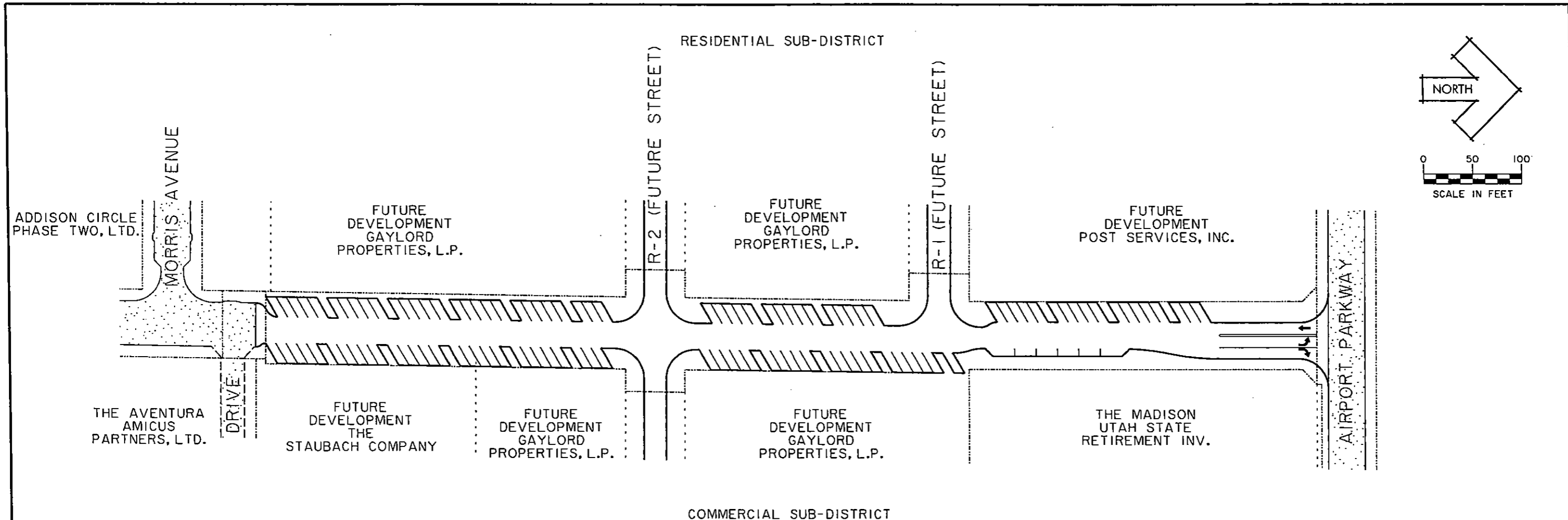
JULY, 2002

NOT TO SCALE

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

\*Parallel adjacent to Madison Building





**EXHIBIT "B2" – ALT. #3  
SPECTRUM DRIVE  
NORTH EXTENSION  
PROPOSED 74' R.O.W.  
TOWN OF ADDISON, TEXAS**

Prepared For:  
**TOWN OF ADDISON**

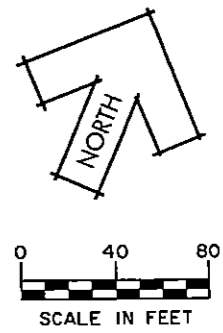
Prepared By:  
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=100'

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

DALLAS AREA RAPID TRANSIT



TOWN OF ADDISON

TOWN OF ADDISON

LANCO ARAPAHO PARTNERSHIP

NATRON LIMITED PARTNERSHIP

MEPC QUORUM PROPERTIES II INC.

MCM COMPANY

MCM COMPANY

QUORUM DRIVE

SPECTRUM DRIVE

ARAPAHO ROAD

*Accel Lane*

*Decell Lane?*

**EXHIBIT "D2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
TOWN OF ADDISON, TEXAS

Prepared For:  
TOWN OF ADDISON

Prepared By:  
**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
Phone (214) 871-3311 Fax (214) 871-0757

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	35

APRIL, 2002

SCALE: 1"=80'

**Steve Chutchian**

---

**To:** davidm@huitt-zollars.com  
**Subject:** Spectrum Drive Alternatives

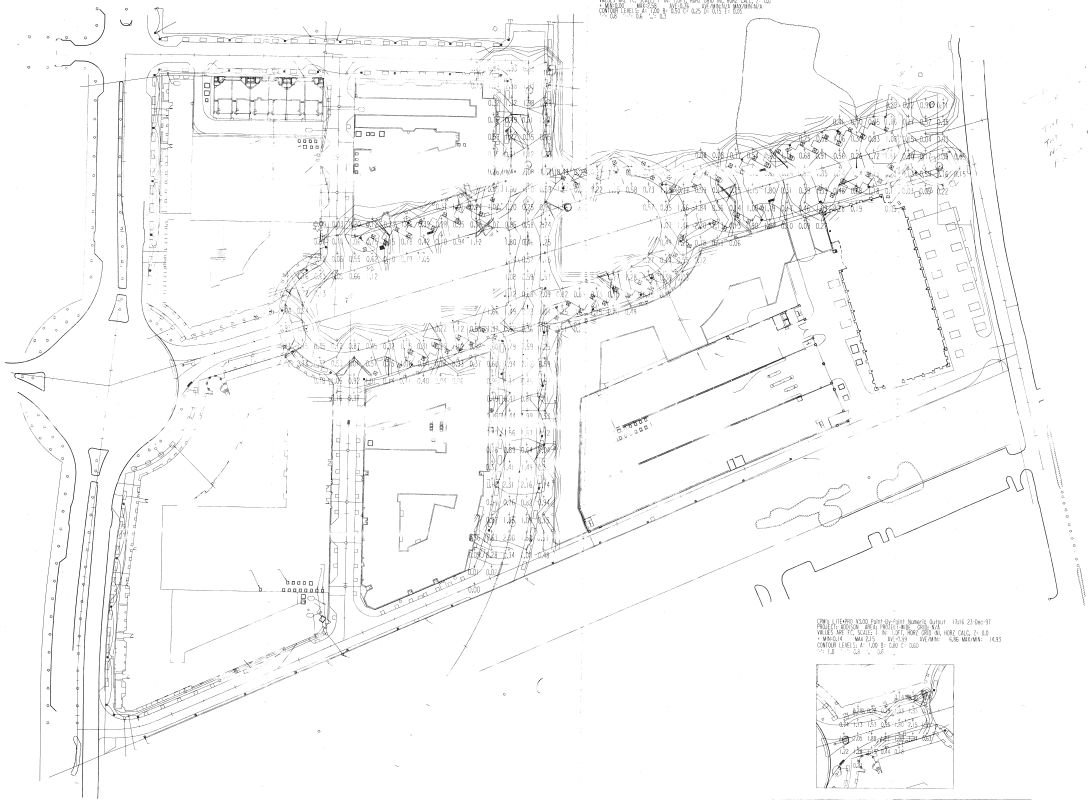
David - Our staff met with Ron Whitehead this week to determine which alternative street section on Spectrum Drive was acceptable. In general, he decided on Exhibit "B", with the following provisions:

- Do any relatively close locations exist in this area that resemble Exhibit "B". Ron would like to go to these locations and achieve a better realization of this type of street section.
- Align Exhibit "B" in a manner that allows for a 15 ft. parkway on each side of the street. This will reduce the right-of-way acquisition from the commercial sub-district. It will also require a reverse curve in the centerline alignment of the street.
- Revise the landscaping scheme to include some type of planter boxes in each parkway area, in lieu of tree wells.
- Place actual property owners names on all exhibit sheets related to Alternate "B".
- Show the entire property boundary lines adjacent to the right-of-way on Exhibit "D".

Disposition of the above items should allow the Town to authorize the initiation of final design of the project. Should you have any questions, please let me know. Thanks.

Steve Chutchian

100% LAYOUT ASSOCIATED WITH PROJECT NO. 1316 23 Dec 97  
 PROJECT NO. 1316 23 Dec 97  
 DRAWING NO. 1316 23 Dec 97  
 SHEET NO. 1316 23 Dec 97  
 1316 23 Dec 97

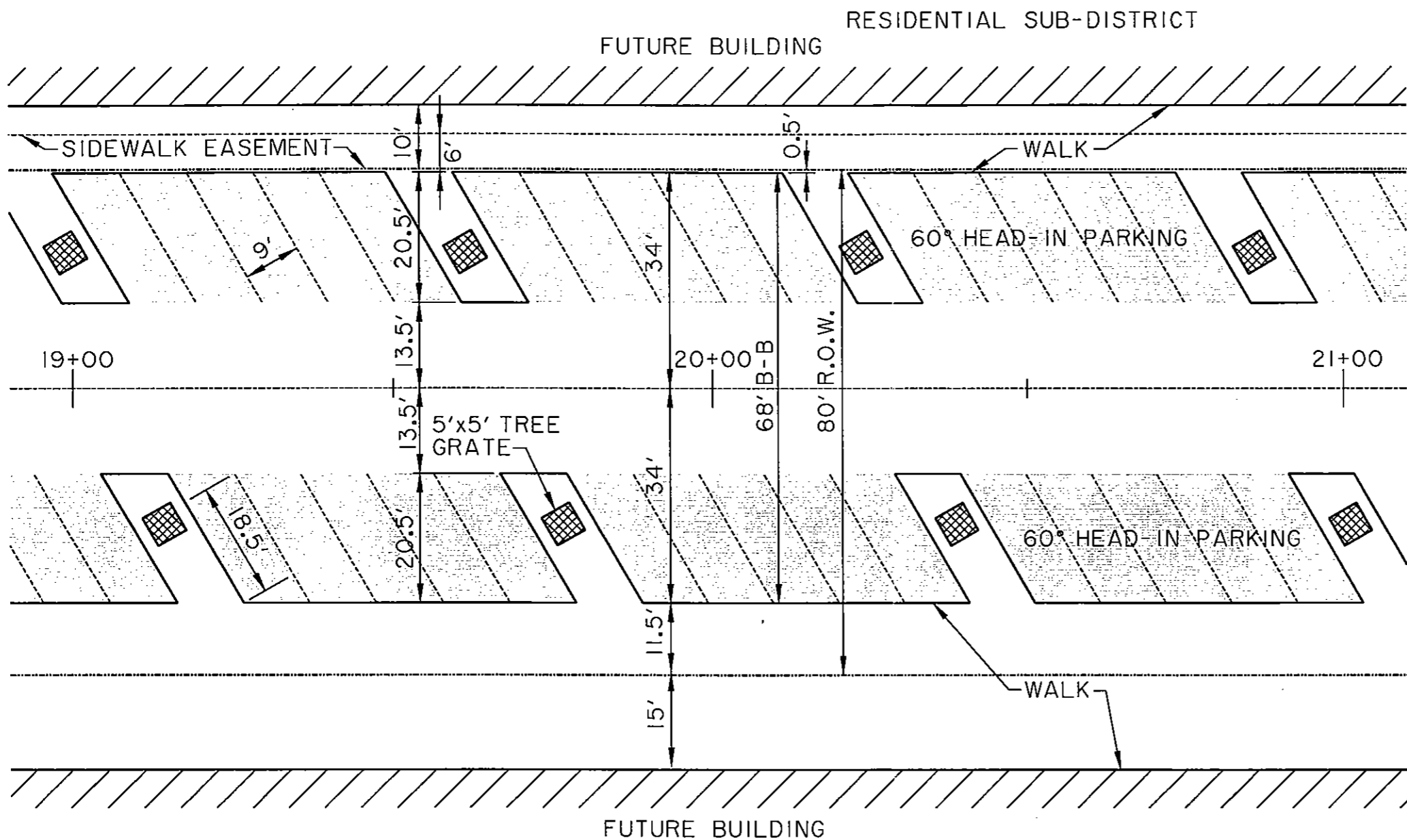


100% LAYOUT ASSOCIATED WITH PROJECT NO. 1316 23 Dec 97  
 PROJECT NO. 1316 23 Dec 97  
 DRAWING NO. 1316 23 Dec 97  
 SHEET NO. 1316 23 Dec 97  
 1316 23 Dec 97



DATE	BY	CHKD	APPD
1316 23 Dec 97			

DATE	BY	CHKD	APPD
1316 23 Dec 97			



**NOTES FROM 7/9/02 MEETING WITH FOR, CHRIS, MIKE & JIM AT TOWN HALL!**

**SCALE IN FEET**  
0 10 20

✓ SHOW WHOLE PARCEL on BOTH SIDES OF D2

✓ WHERE CAN WE SEE EXHIBIT "B" IN PLACE

✓ 15' PARKWAY on BOTH SIDES w/ REVERSE CURVE IN ROADWAY!

LANDSCAPE IDEAS IN THE 15' PARKWAY

✓ GET PROPERTY OWNERS NAMES ON DRAWINGS!

**EXHIBIT "B"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
* PARALLEL	6

\* Parallel adjacent to Madison Building

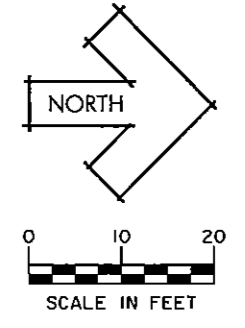
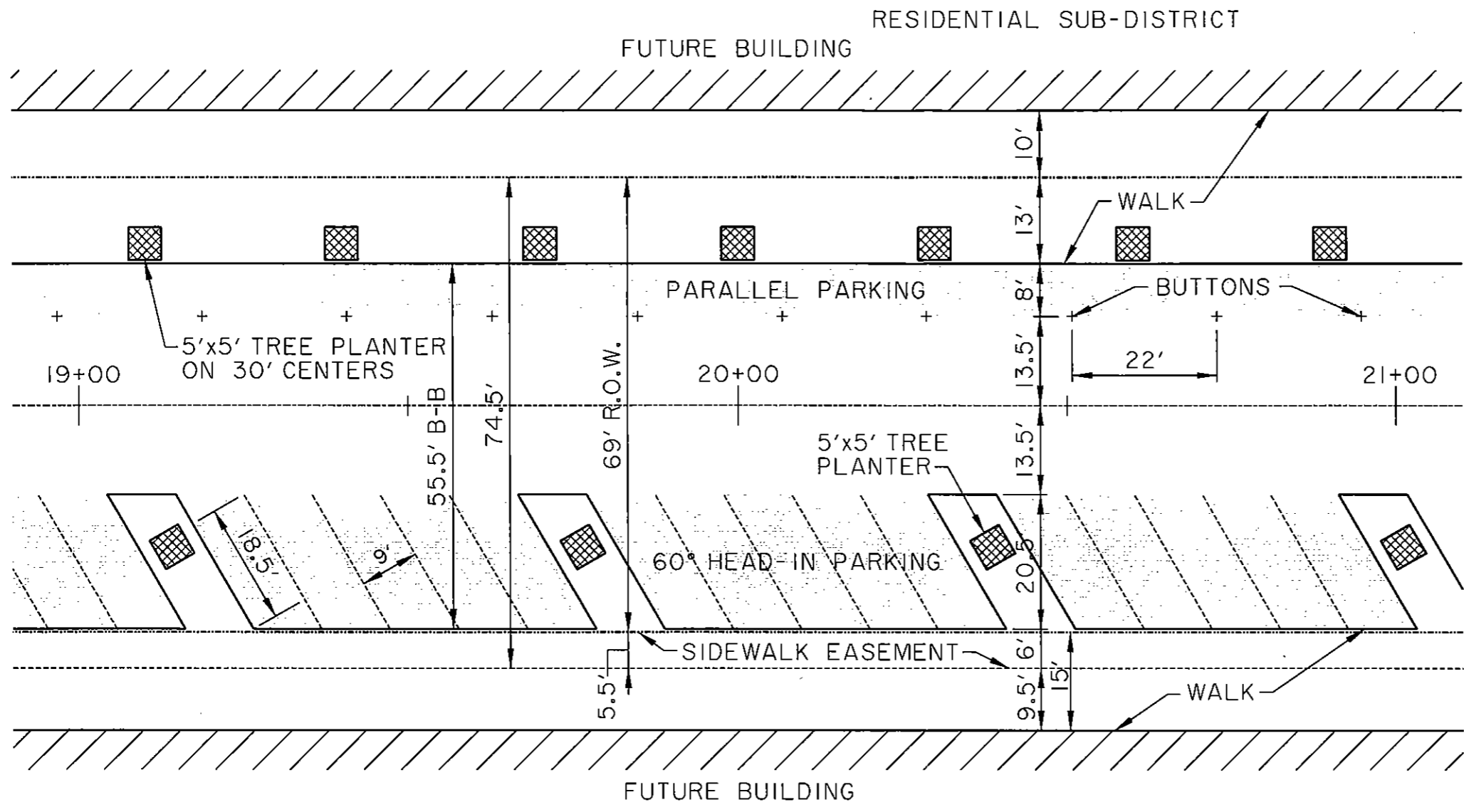
- Requires dedication of sidewalk easement by residential sub-district owners.
- No loss in residential sub-district buildable area if measure building setback from right-of-way line.
- Requires 11 feet of right-of-way dedication from commercial sub-district property owners. (Loss of buildable area)
- Assumes street centerline alignment remains 34.5 feet from west right-of-way line. (Matches existing Spectrum Drive)

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLIARS**  
 Huit-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=20'



**EXHIBIT "A"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

1. Requires dedication of sidewalk easement by commercial sub-district owners.
2. No loss in buildable area if measure building setback from right-of-way line.
3. No right-of-way dedication is required beyond the 69' mandated by the Addison Urban Center Ordinance.

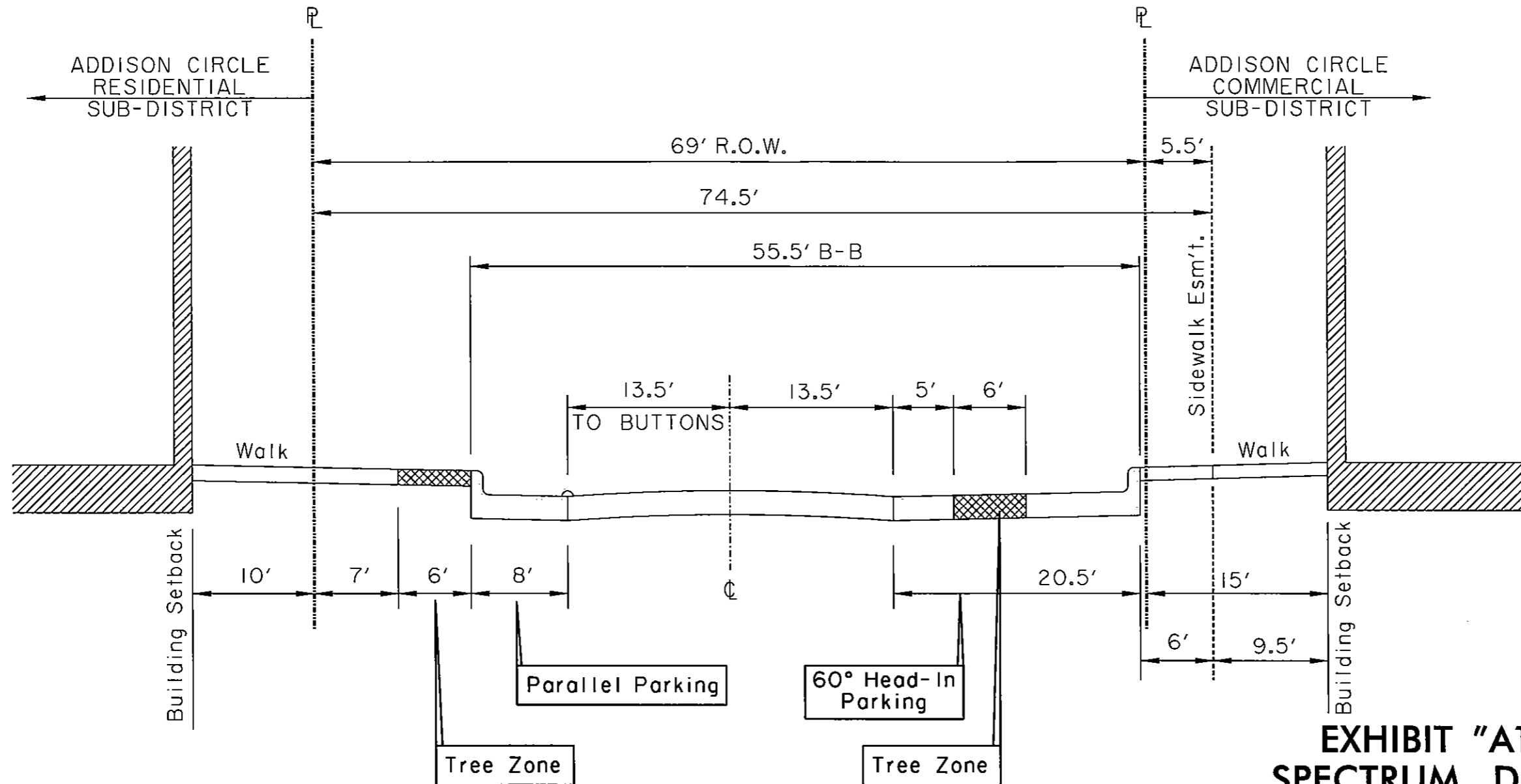
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APRIL, 2002

SCALE: 1"=20'

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	49
PARALLEL	33



**EXHIBIT "A1"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	49
PARALLEL	33

Prepared For:  
**TOWN OF ADDISON**

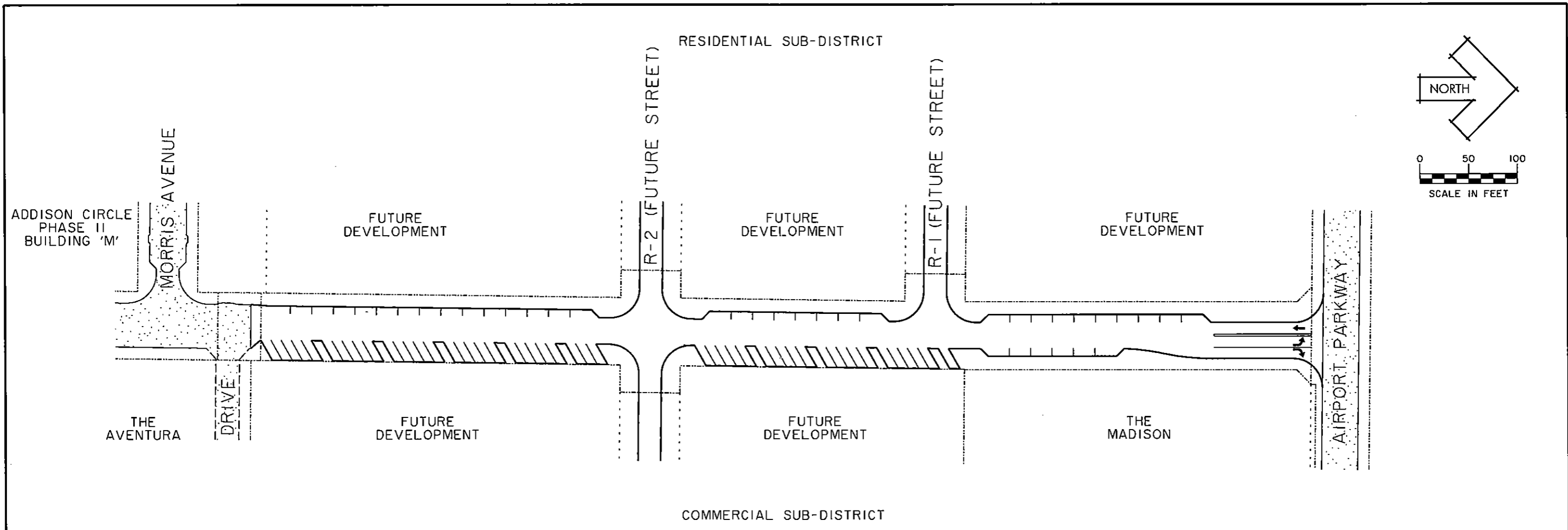
Prepared By:

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APRIL, 2002

NOT TO SCALE



**EXHIBIT "A2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

Prepared For:  
**TOWN OF ADDISON**

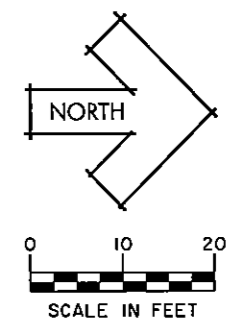
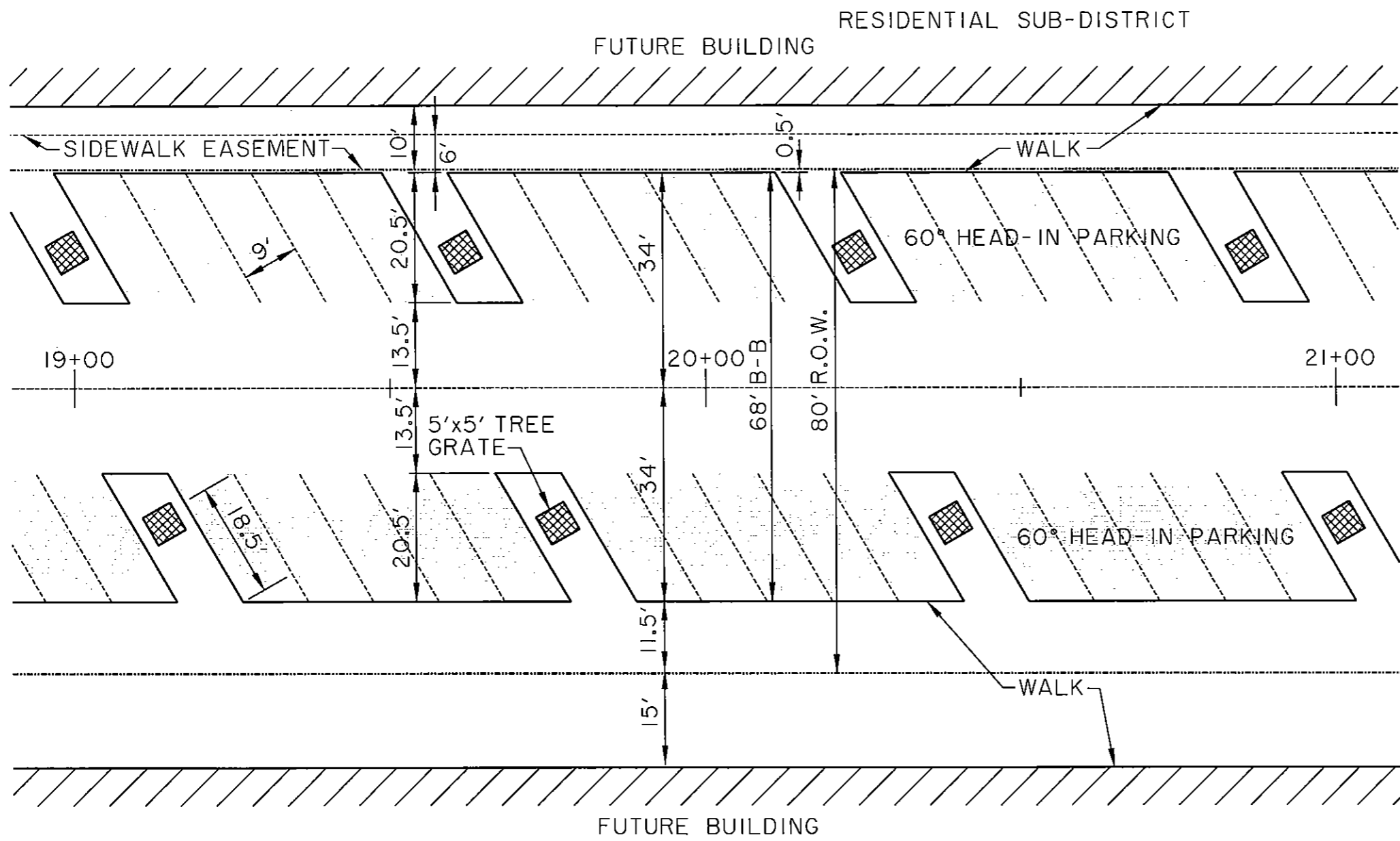
Prepared By:  
**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=100'

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	49
PARALLEL	33





**EXHIBIT "B"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

1. Requires dedication of sidewalk easement by residential sub-district owners.
2. No loss in residential sub-district buildable area if measure building setback from right-of-way line.
3. Requires 11 feet of right-of-way dedication from commercial sub-district property owners. (Loss of buildable area)
4. Assumes street centerline alignment remains 34.5 feet from west right-of-way line. (Matches existing Spectrum Drive)

Prepared For:  
**TOWN OF ADDISON**

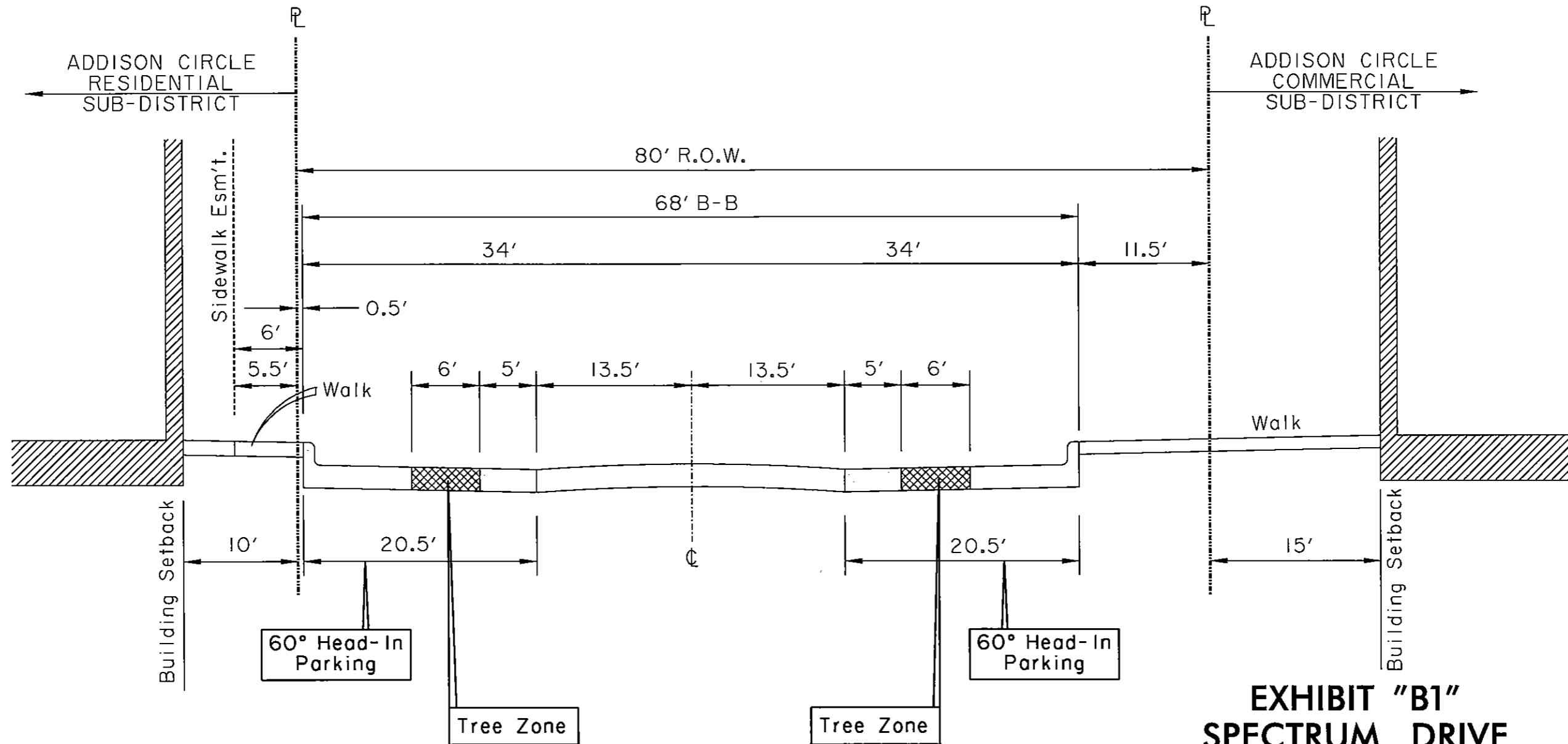
Prepared By:  
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 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=20'

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
*PARALLEL	6

\*Parallel adjacent to Madison Building



**EXHIBIT "B1"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
 TOWN OF ADDISON, TEXAS

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

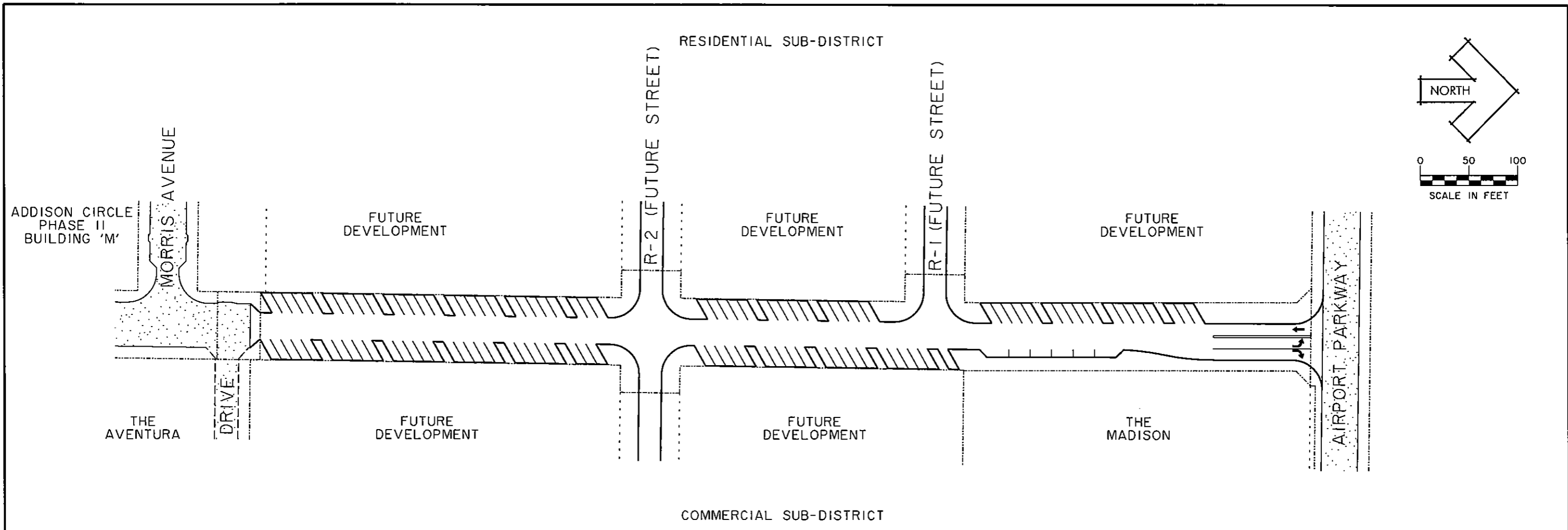
\*Parallel adjacent to Madison Building

Prepared For:  
 TOWN OF ADDISON

Prepared By:  
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APRIL, 2002

NOT TO SCALE



**EXHIBIT "B2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

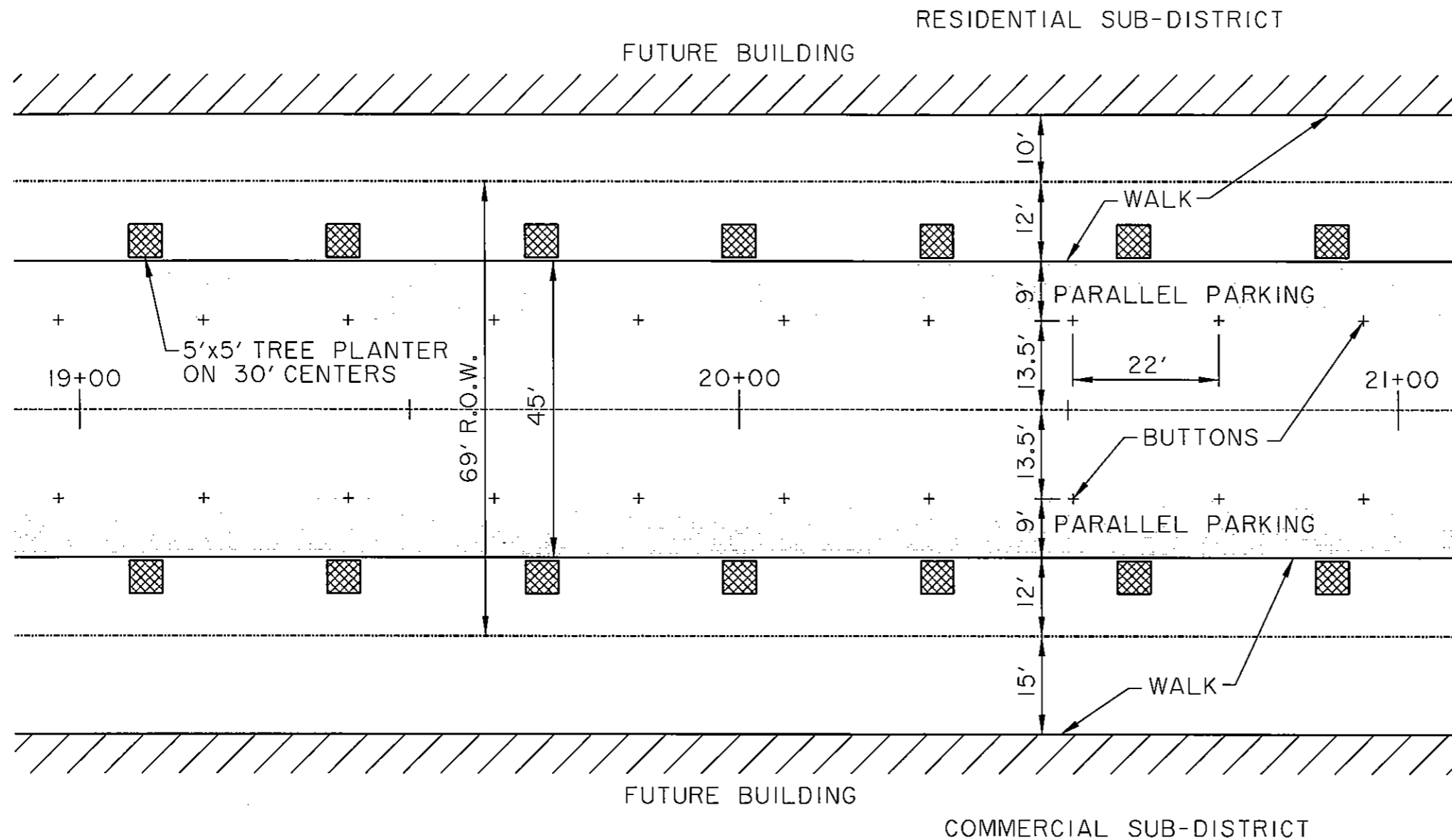
PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=100'



1. No sidewalk easement dedications necessary.
2. No loss in buildable area.
3. Using buttons to mark parallel parking makes street adaptable to the 45' B-B (4 lane) street section in the ADDISON CIRCLE Master Facilities Agreement.
4. No right-of-way dedication is required beyond the 69' mandated by the Addison Urban Center Ordinance.

**EXHIBIT "C"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

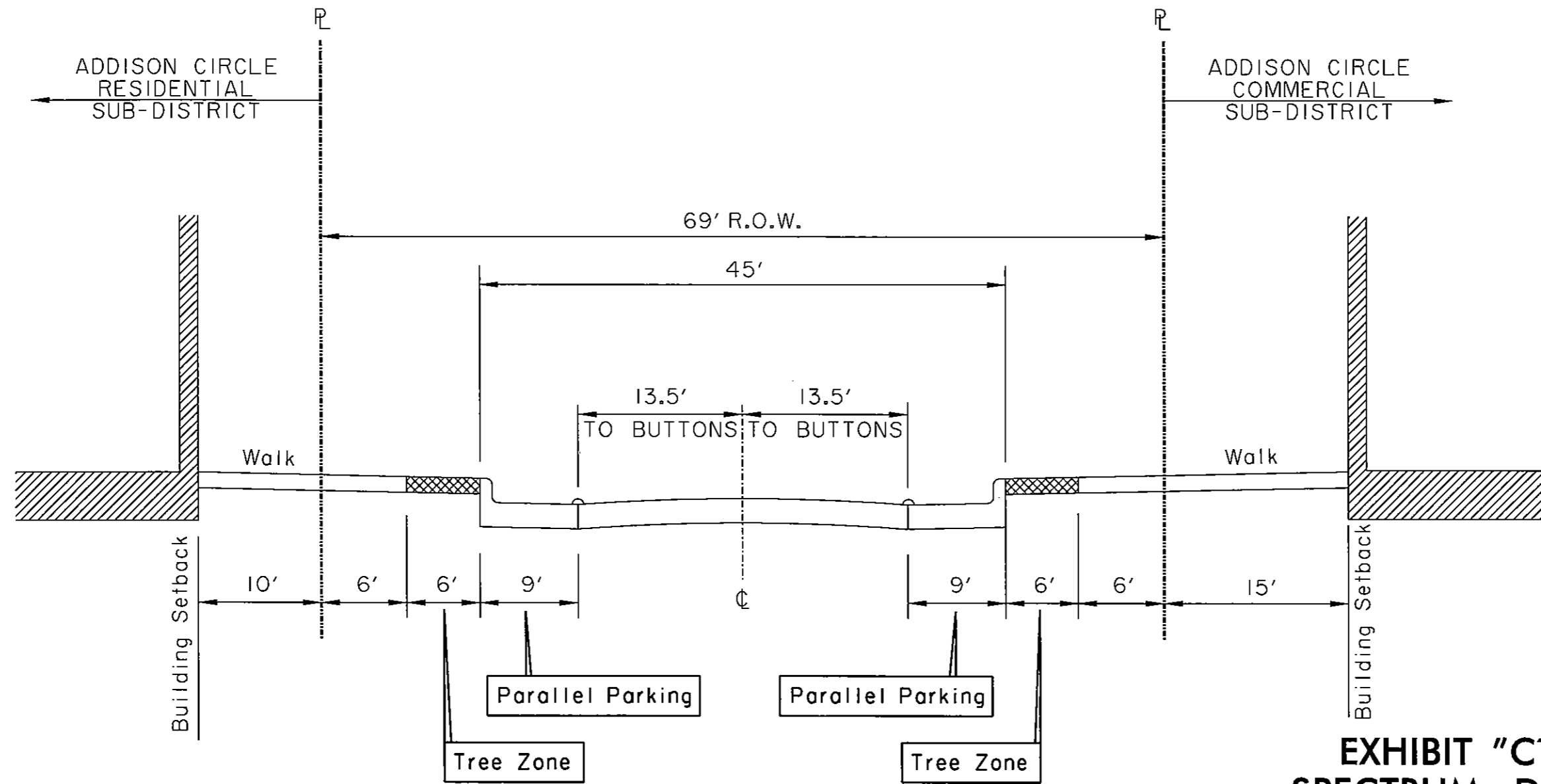
Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
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 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=20'

PARKING DATA	
TYPE	NO. OF SPACES
PARALLEL	62



**EXHIBIT "C1"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

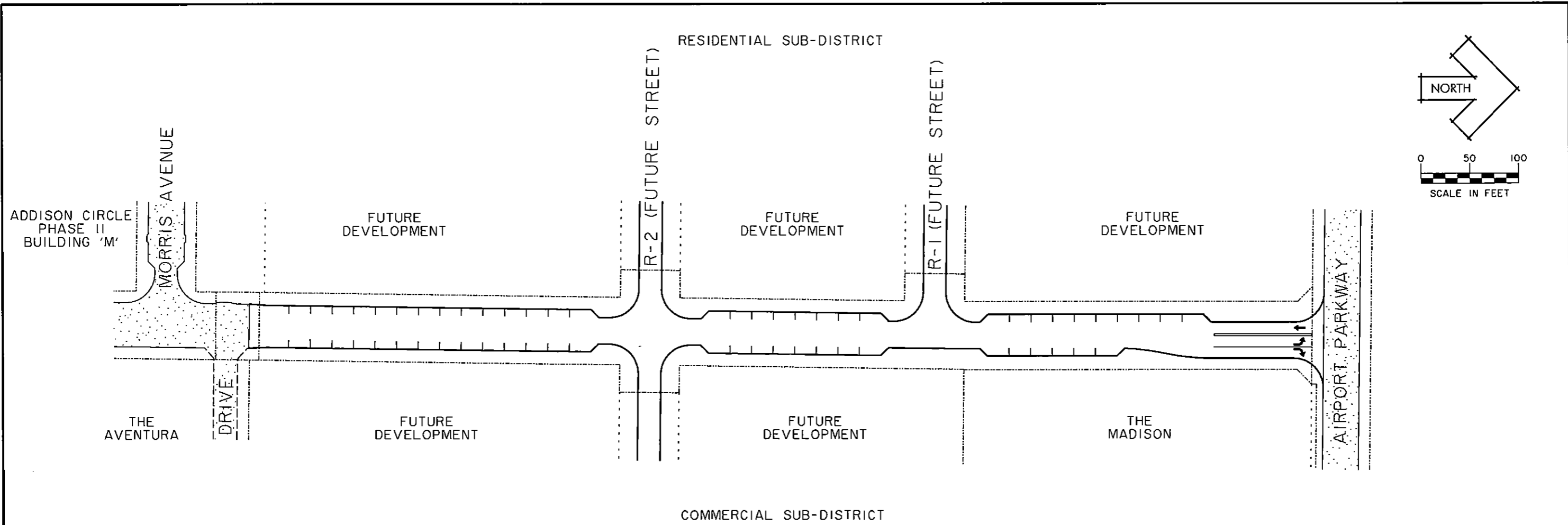
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Prepared By:  
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APRIL, 2002

NOT TO SCALE

PARKING DATA	
TYPE	NO. OF SPACES
PARALLEL	62



**EXHIBIT "C2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

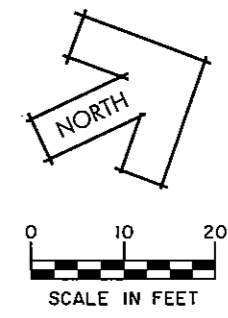
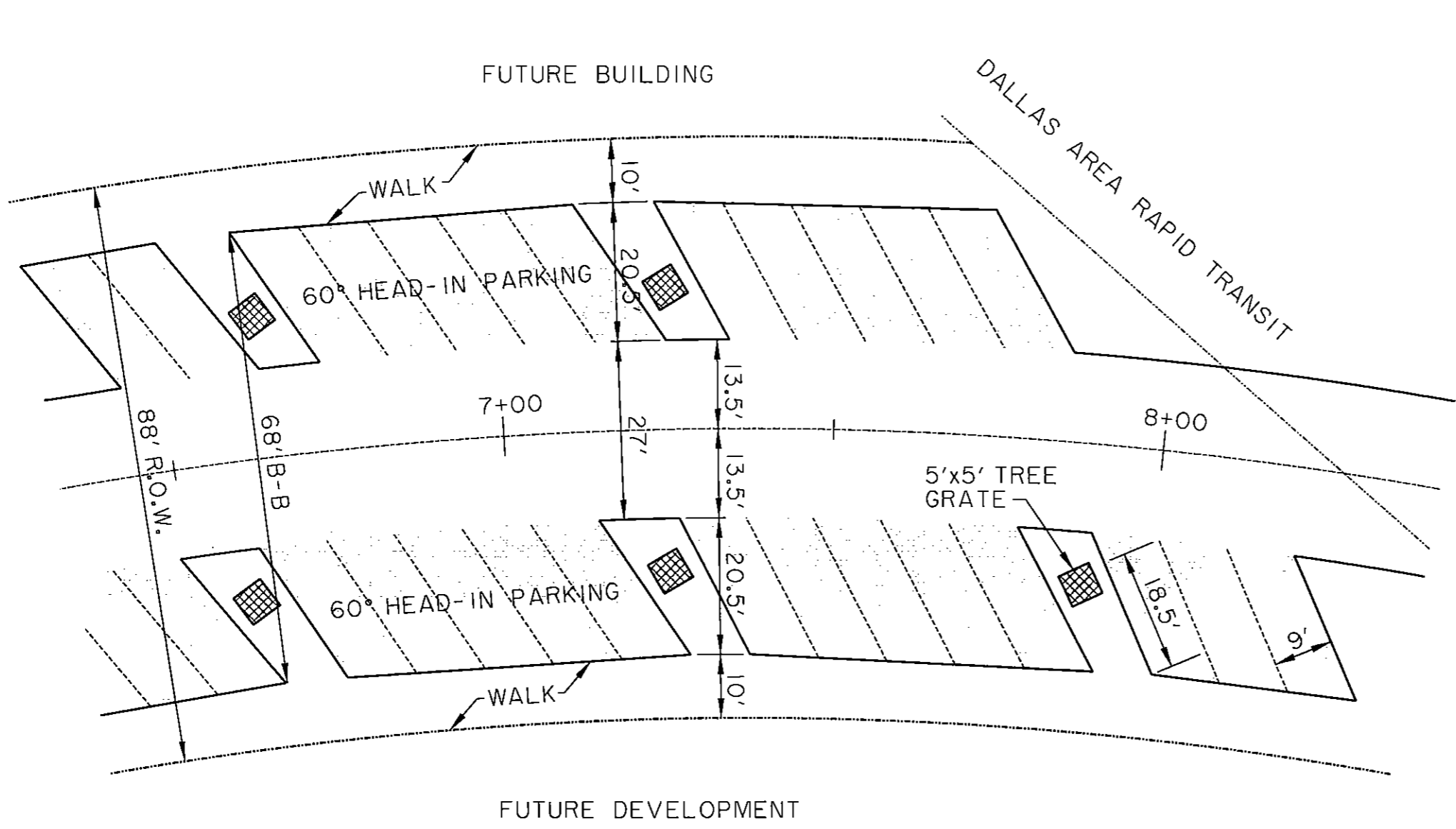
Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
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 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=100'

PARKING DATA	
TYPE	NO. OF SPACES
PARALLEL	62



**EXHIBIT "D"**  
**SPECTRUM DRIVE**  
**SOUTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

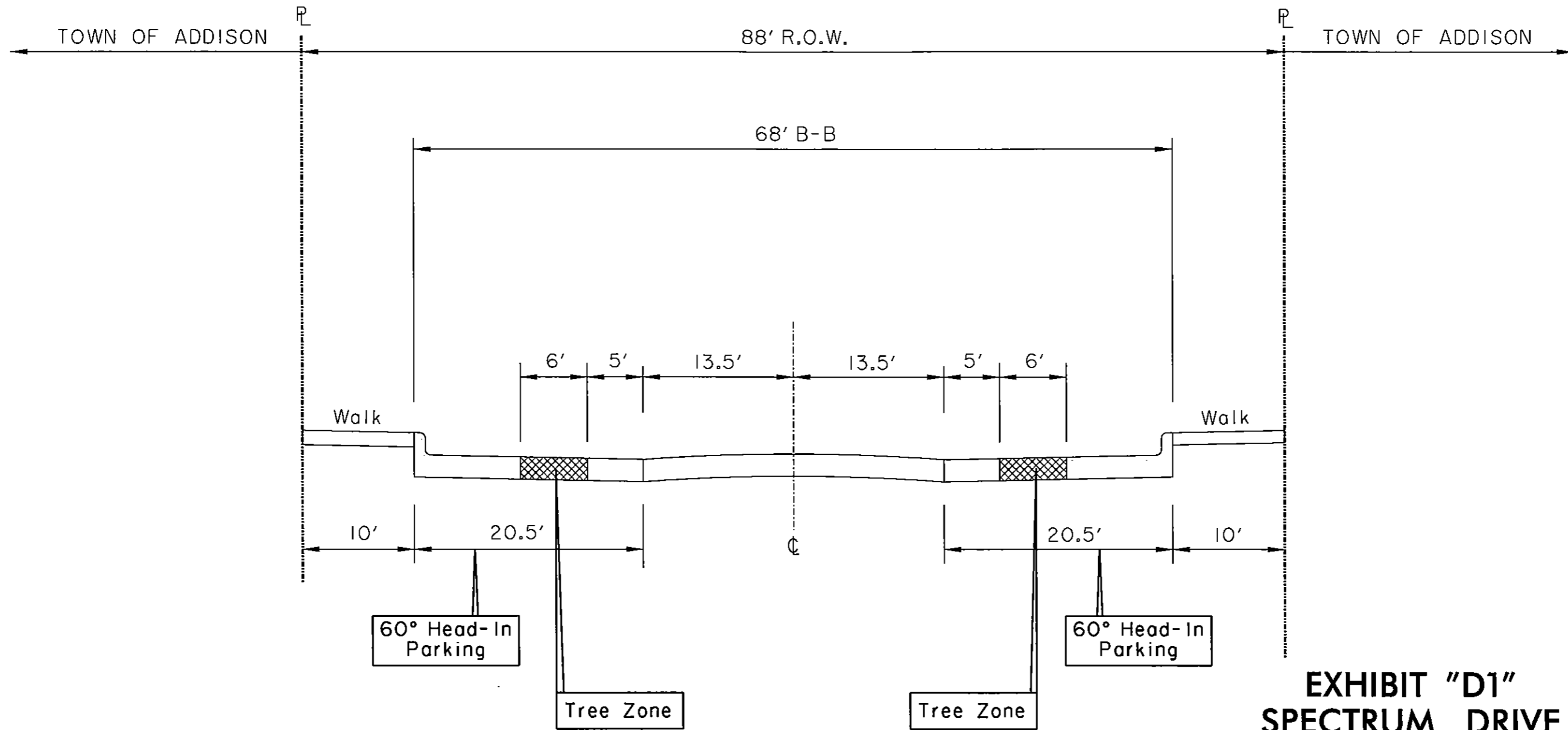
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Prepared By:  
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 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=20'

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	35



**EXHIBIT "D1"**  
**SPECTRUM DRIVE**  
**SOUTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

Prepared For:  
**TOWN OF ADDISON**

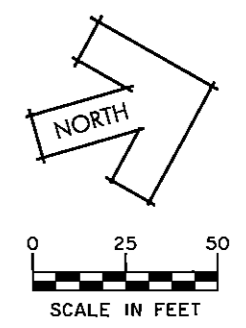
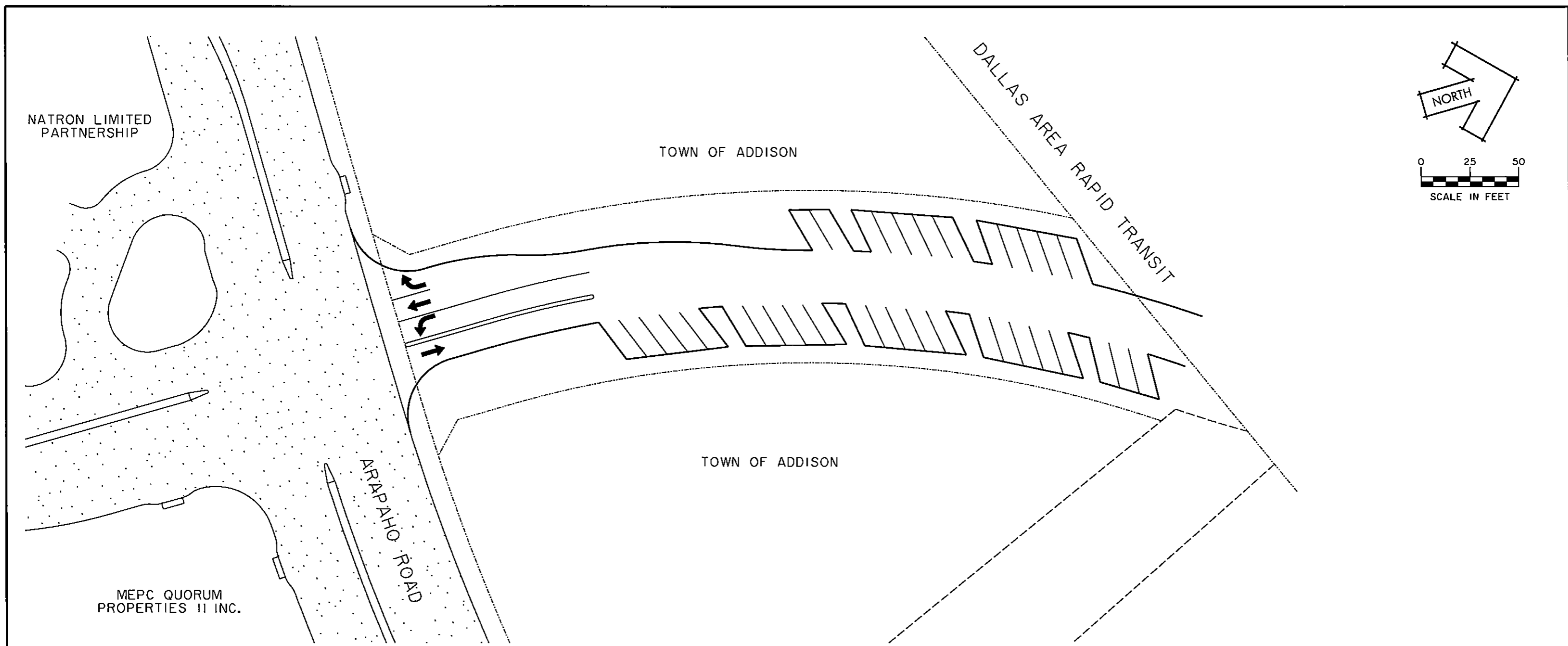
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 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

NOT TO SCALE

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	35





**EXHIBIT "D2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
 TOWN OF ADDISON, TEXAS

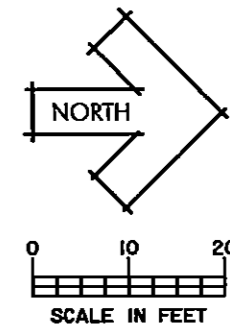
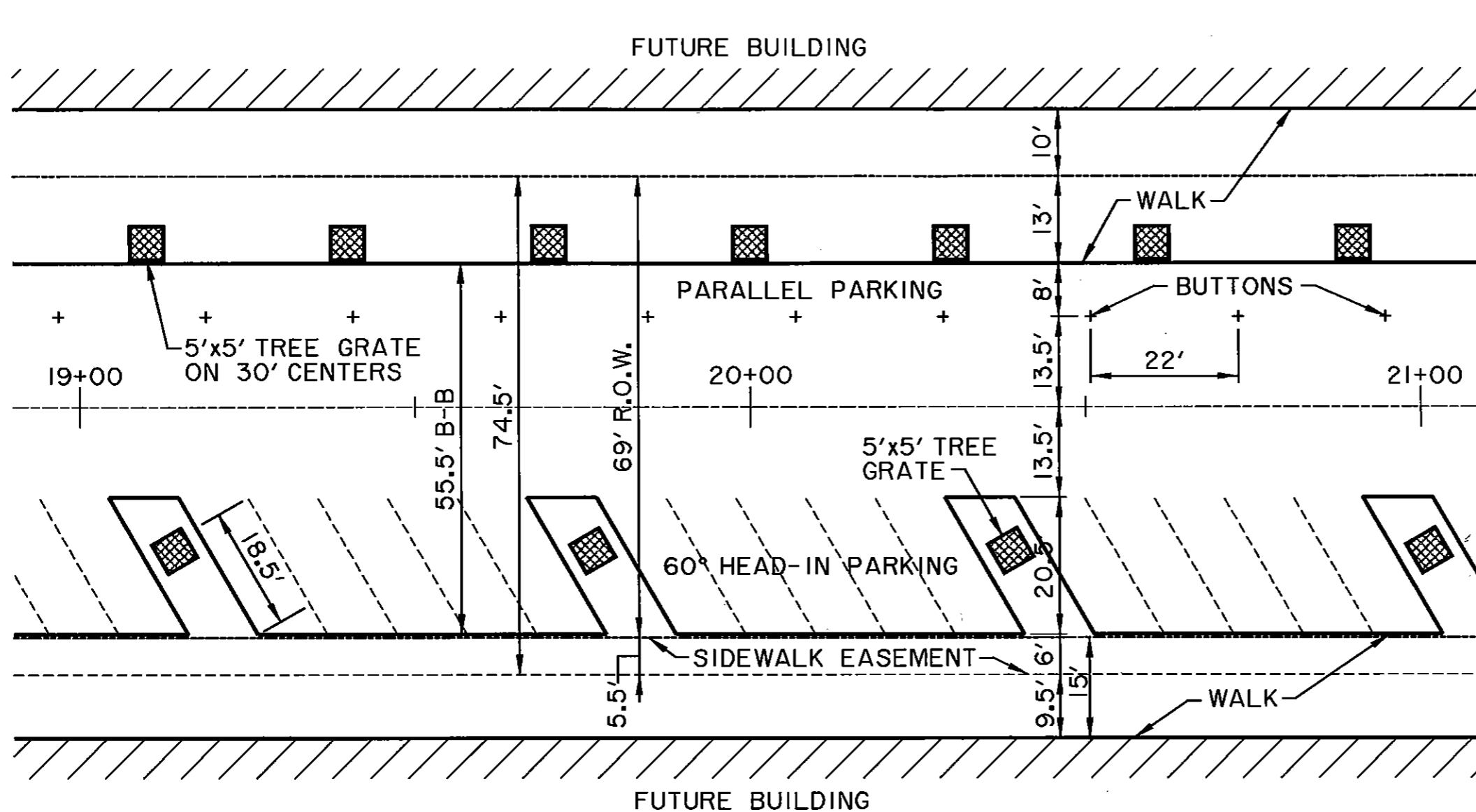
Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=50'

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	35



**EXHIBIT "A"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

1. Requires dedication of sidewalk easement by commercial sub-district owners.
2. No loss in buildable area if measure building setback from right-of-way line.

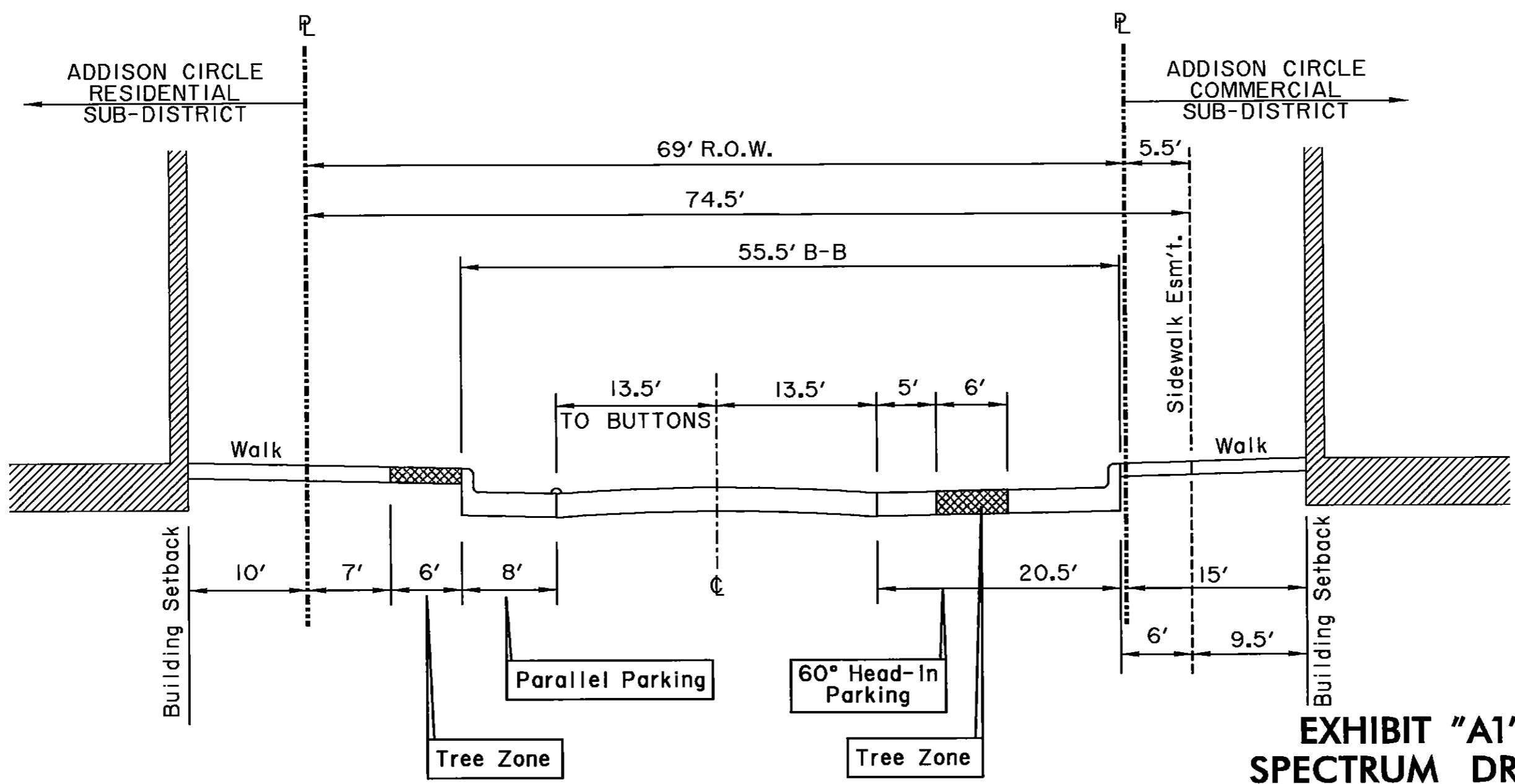
PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	49
PARALLEL	33

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=20'



**EXHIBIT "A1"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

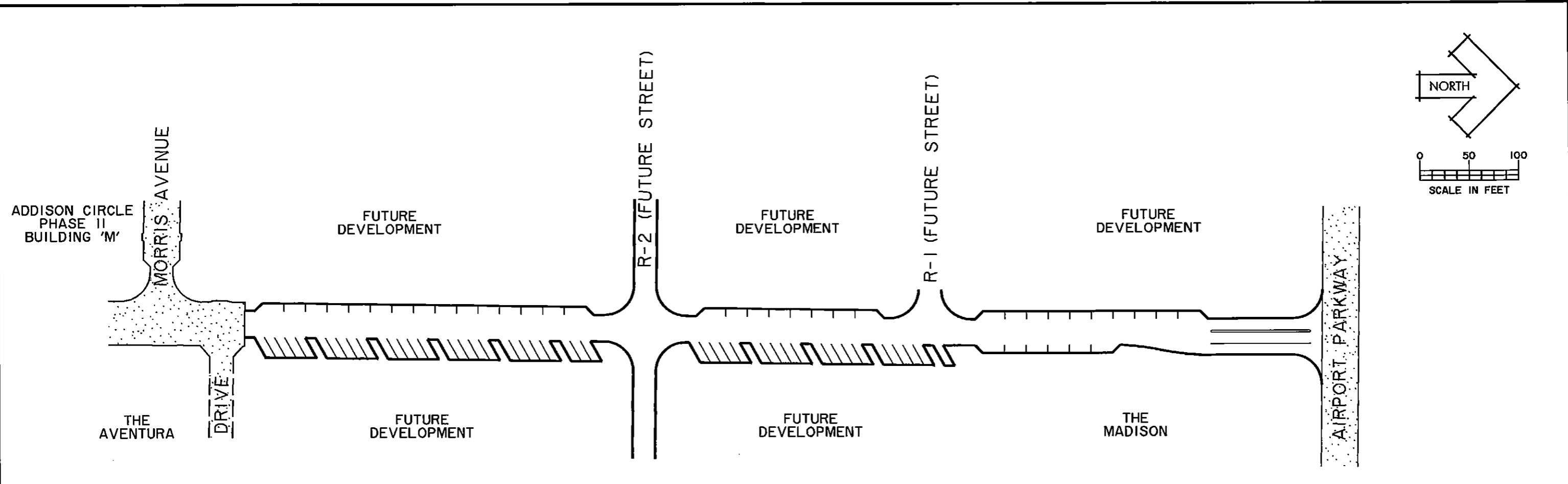
PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	49
PARALLEL	33

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
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APRIL, 2002

NOT TO SCALE



**EXHIBIT "A2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
 TOWN OF ADDISON, TEXAS

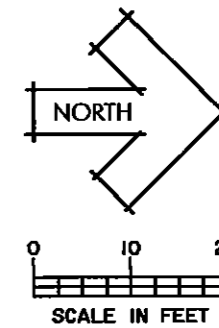
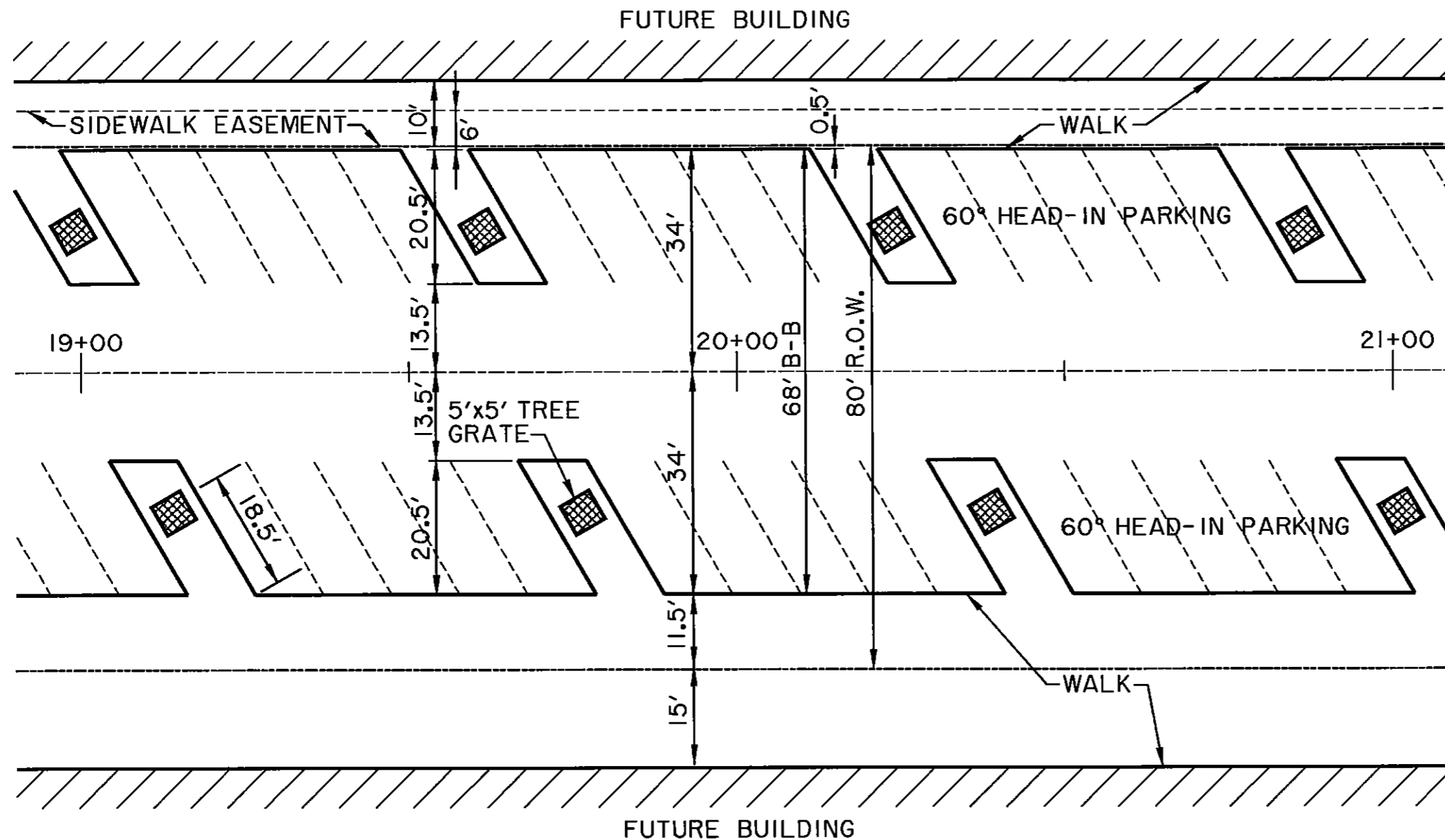
PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	49
PARALLEL	33

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
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 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=100'



**EXHIBIT "B"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

1. Requires dedication of sidewalk easement by residential sub-district owners.
2. No loss in residential sub-district buildable area if measure building setback from right-of-way line.
3. Requires 11 feet of right-of-way dedication from commercial sub-district property owners. (Loss of buildable area)
4. Assumes street centerline alignment remains 34.5 feet from west right-of-way line. (Matches existing Spectrum Drive)

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
*PARALLEL	6

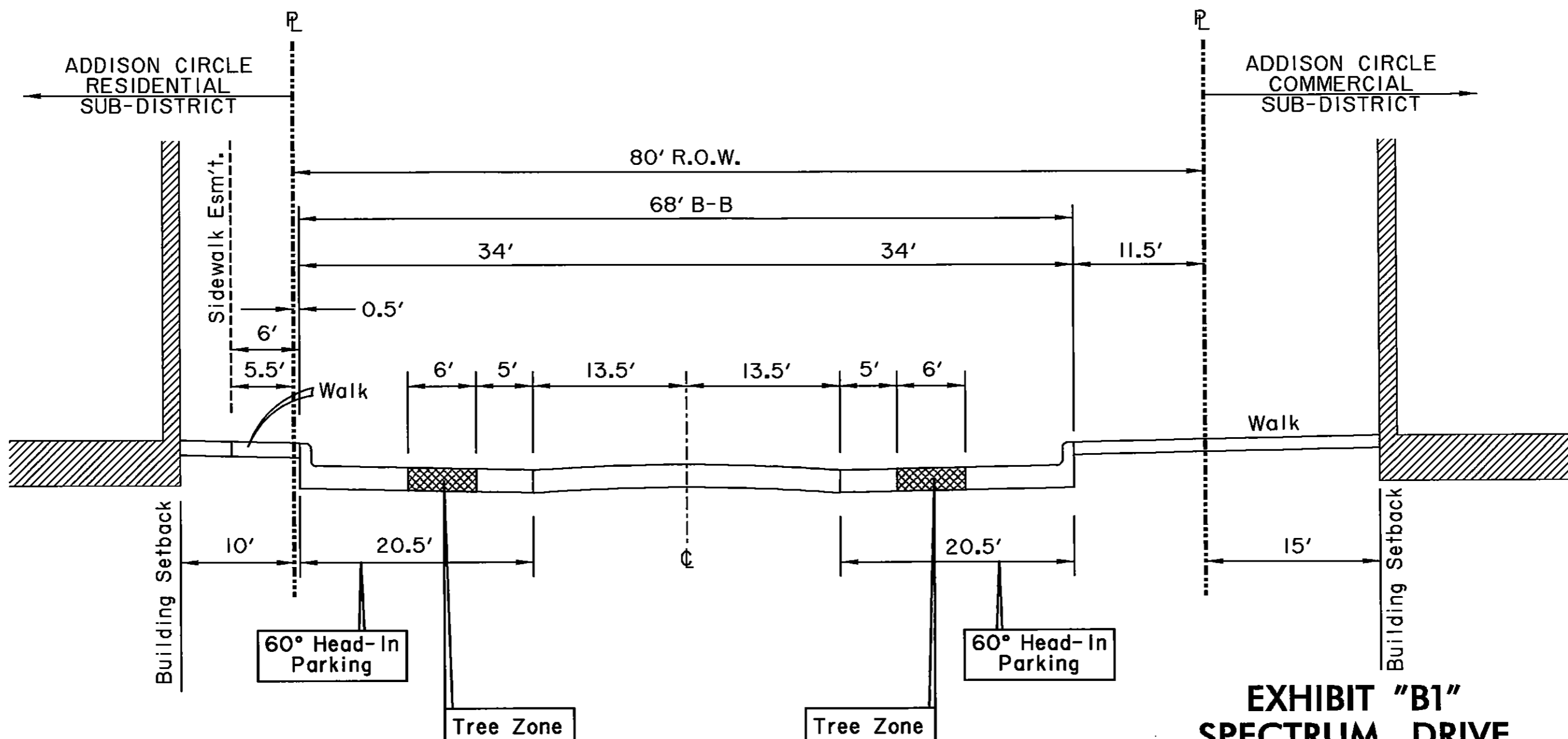
\*Parallel adjacent to Madison Building

Prepared For:  
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Prepared By:  
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APRIL, 2002

SCALE: 1"=20'



**EXHIBIT "B1"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
 TOWN OF ADDISON, TEXAS

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

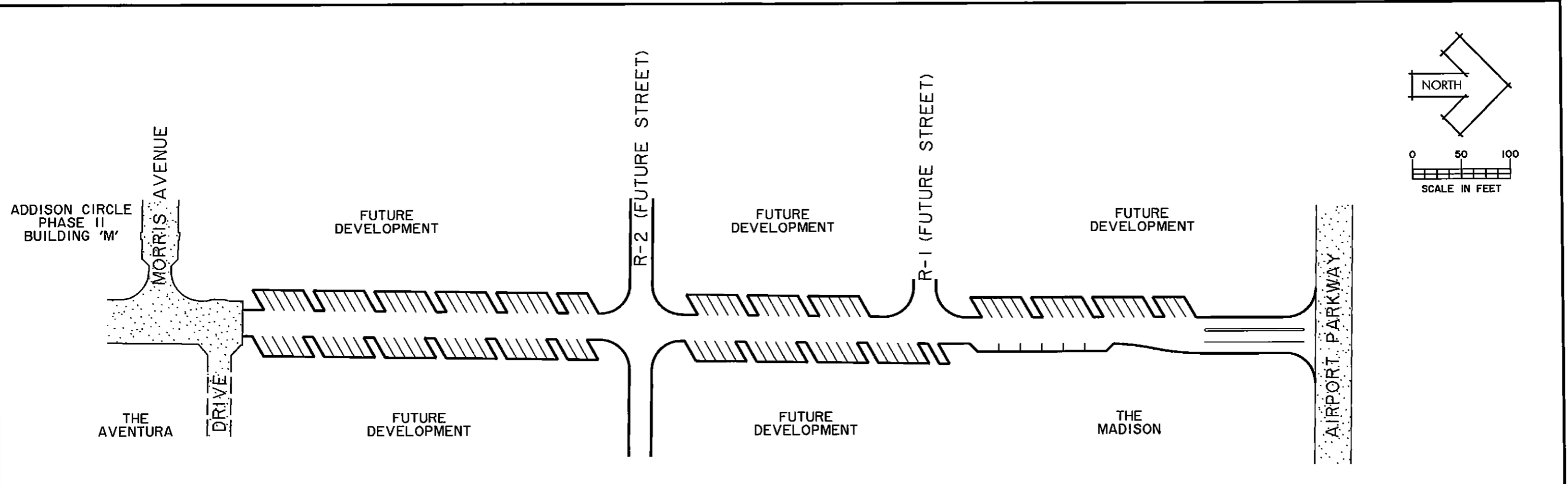
\*Parallel adjacent to Madison Building

Prepared For:  
 TOWN OF ADDISON

Prepared By:  
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APRIL, 2002

NOT TO SCALE



**EXHIBIT "B2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
 TOWN OF ADDISON, TEXAS

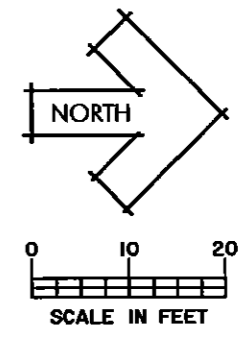
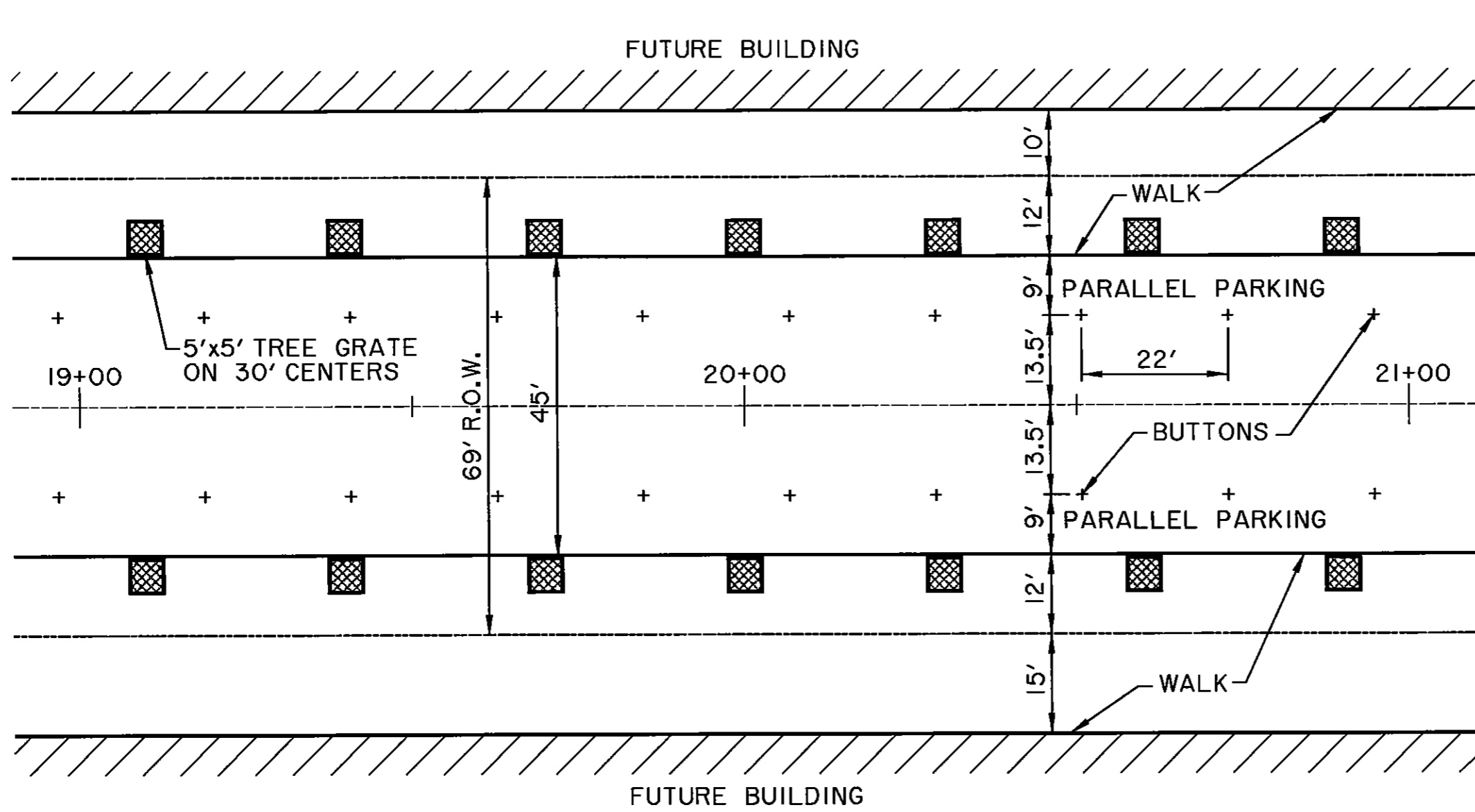
PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
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APRIL, 2002

SCALE: 1"=100'



1. No sidewalk or easement dedications necessary.
2. No loss in buildable area.
3. Using buttons to mark parallel parking makes street adaptable to the 45' B-B (4 lane) street section in the ADDISON CIRCLE Master Facilities Agreement.

**EXHIBIT "C"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

Prepared For:  
**TOWN OF ADDISON**

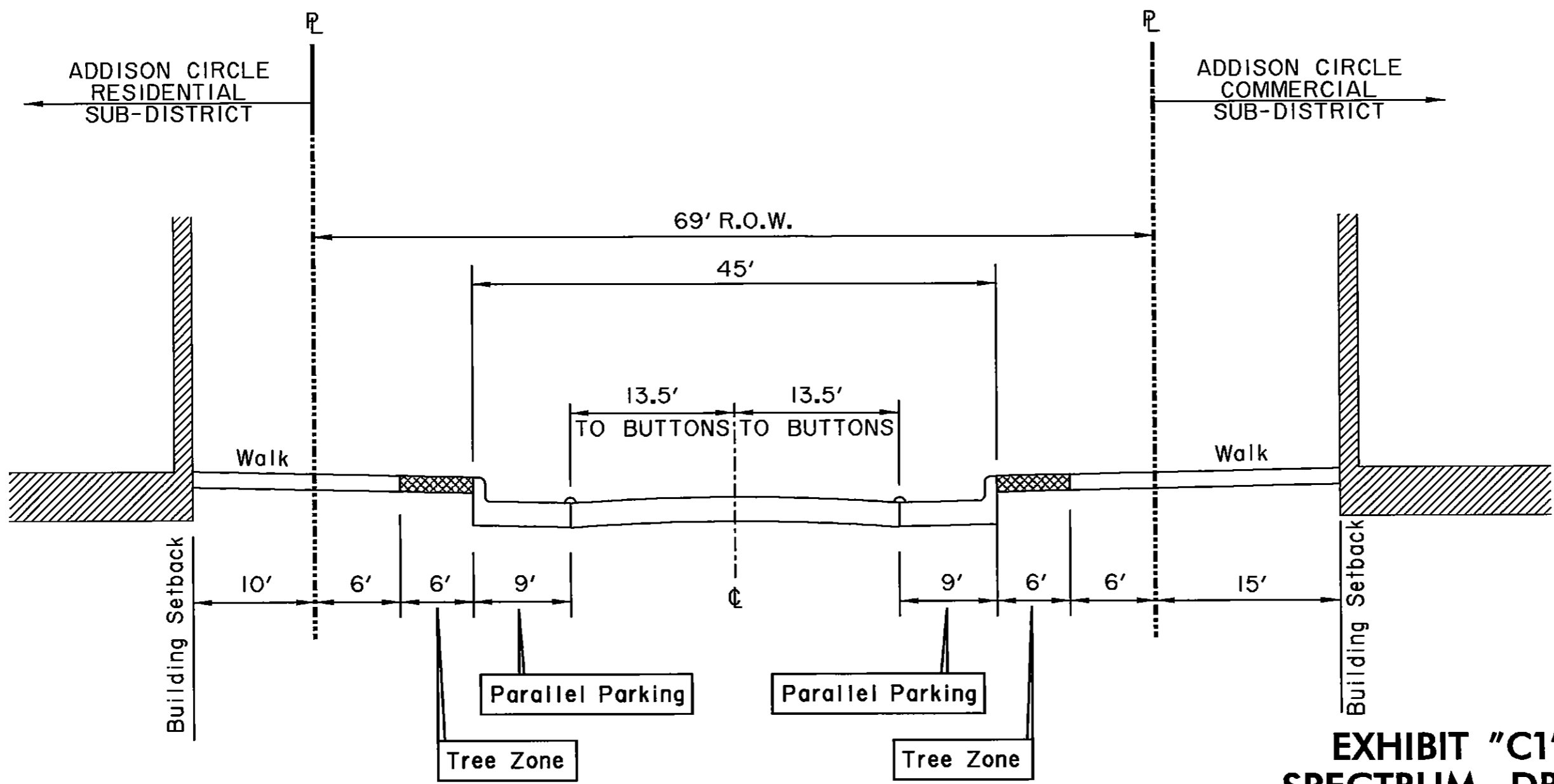
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 Phone (214) 871-3311 Fax (214) 871-0757

PARKING DATA	
TYPE	NO. OF SPACES
PARALLEL	62

APRIL, 2002

SCALE: 1"=20'





**EXHIBIT "C1"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
 TOWN OF ADDISON, TEXAS

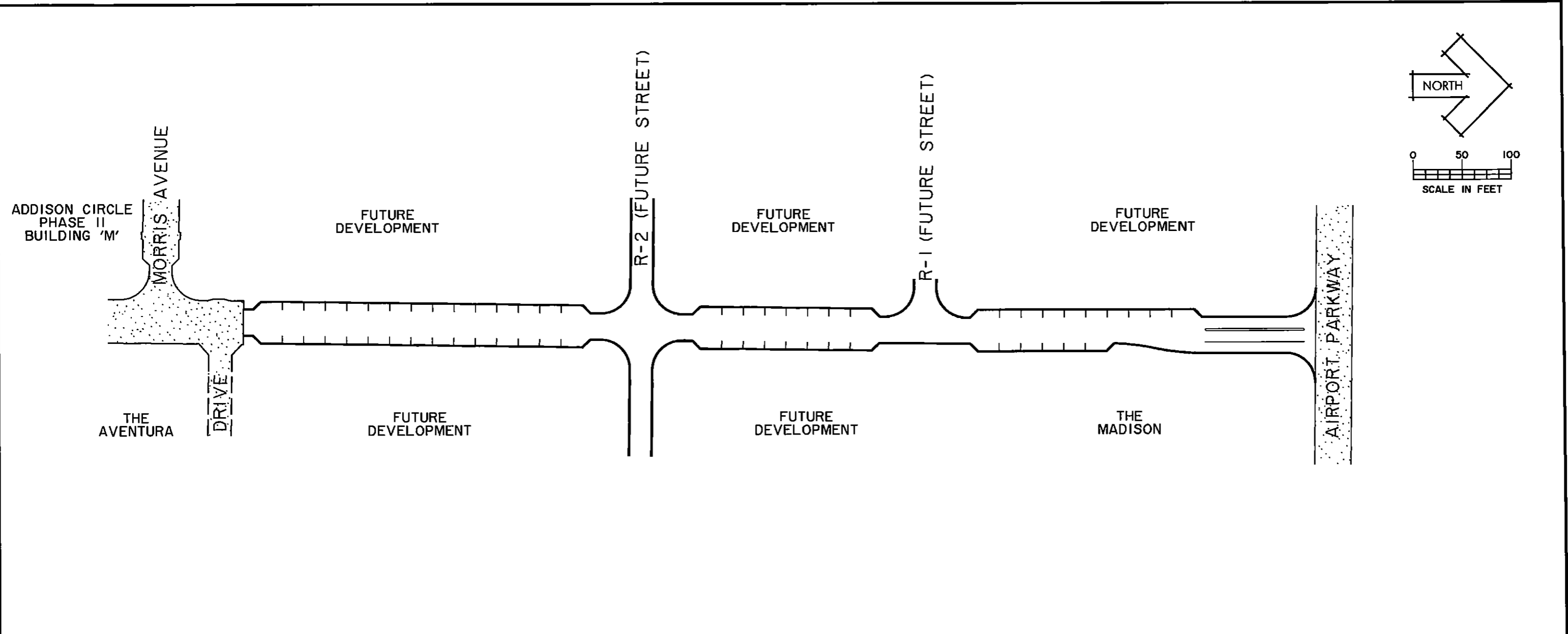
Prepared For:  
**TOWN OF ADDISON**

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PARKING DATA	
TYPE	NO. OF SPACES
PARALLEL	62

APRIL, 2002

NOT TO SCALE



**EXHIBIT "C2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 69' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
PARALLEL	62

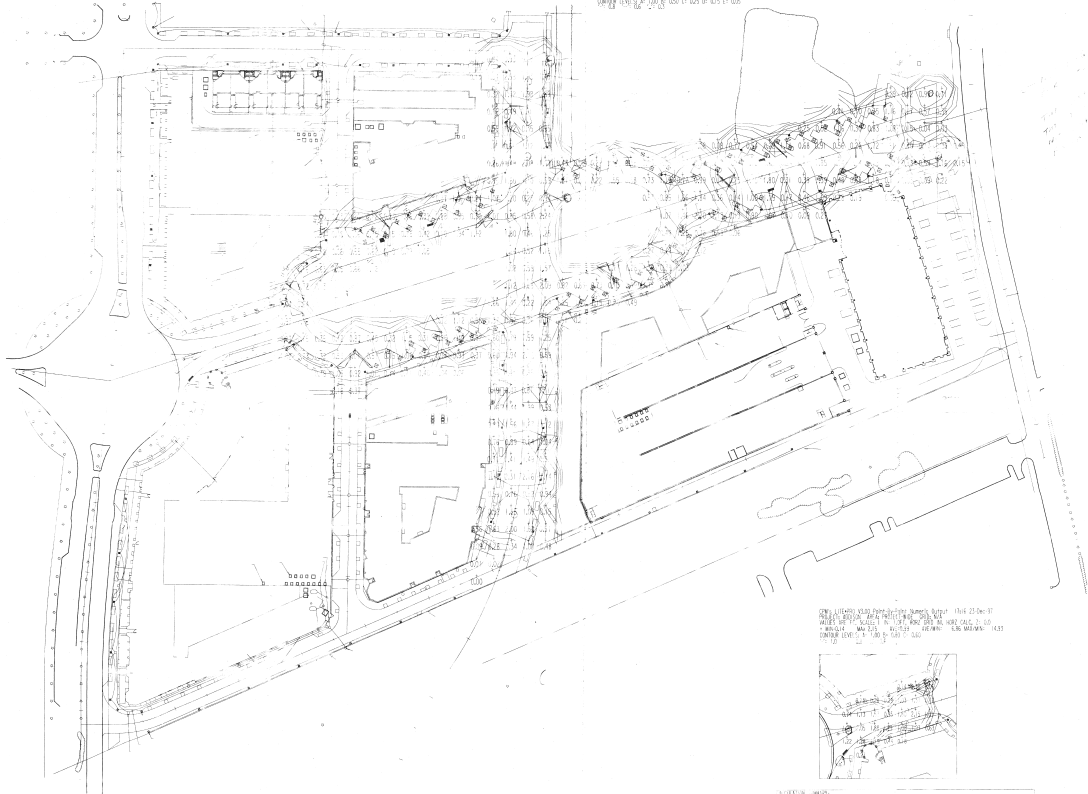
Prepared For:  
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APRIL, 2002

SCALE: 1"=100'

ONLY APPROVED FOR THE PURPOSES OF THE "DESIGN" GROUP - 1/28/23 10:00 AM  
 ALL OTHERS ARE TO BE KEPT OUT OF THE "DESIGN" GROUP - 1/28/23 10:00 AM  
 ANY OTHERS TO BE KEPT OUT OF THE "DESIGN" GROUP - 1/28/23 10:00 AM

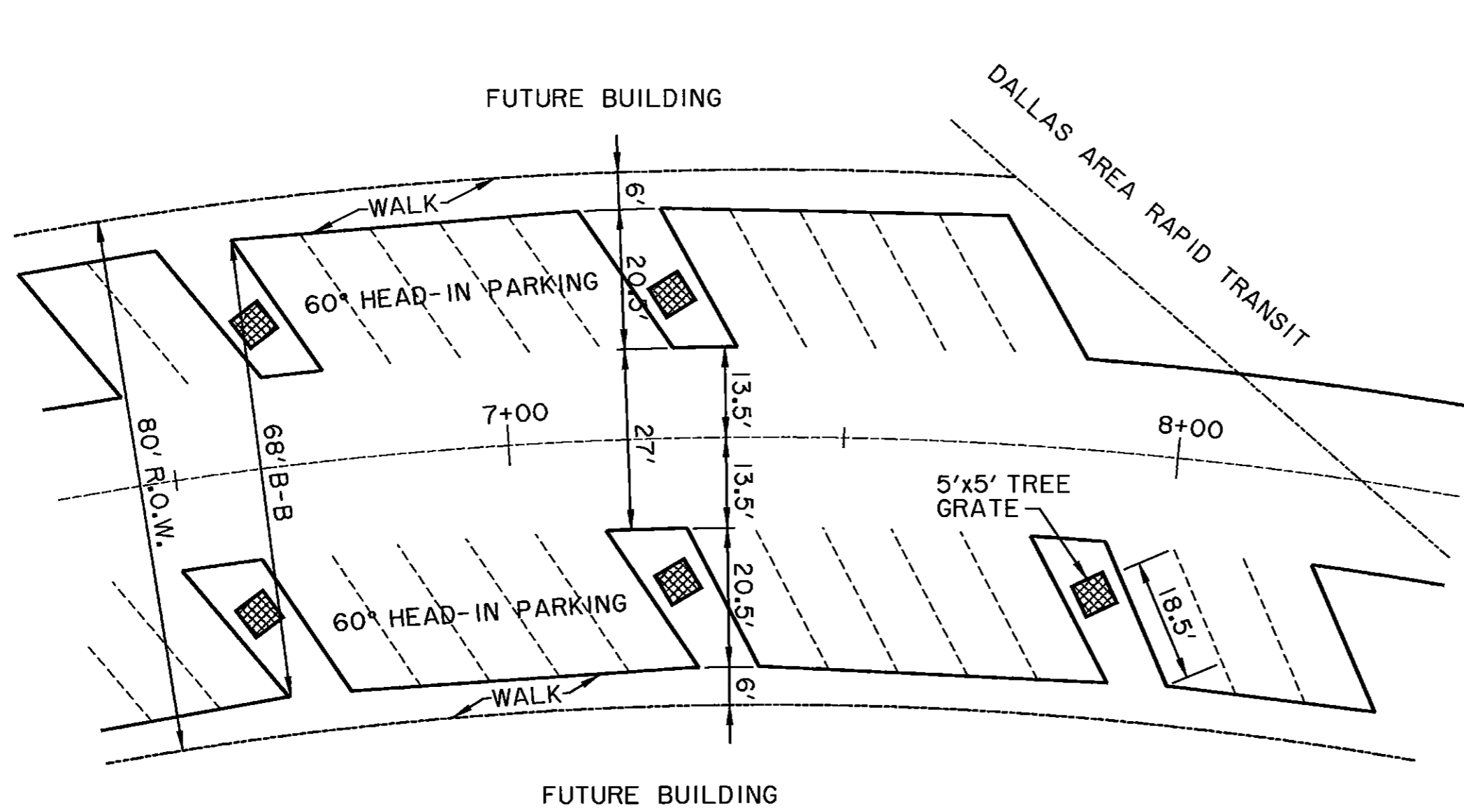


ONLY APPROVED FOR THE PURPOSES OF THE "DESIGN" GROUP - 1/28/23 10:00 AM  
 ALL OTHERS ARE TO BE KEPT OUT OF THE "DESIGN" GROUP - 1/28/23 10:00 AM  
 ANY OTHERS TO BE KEPT OUT OF THE "DESIGN" GROUP - 1/28/23 10:00 AM



1/28/23	10:00 AM	1/28/23	10:00 AM	1/28/23	10:00 AM
1/28/23	10:00 AM	1/28/23	10:00 AM	1/28/23	10:00 AM

1/28/23	10:00 AM	1/28/23	10:00 AM	1/28/23	10:00 AM
1/28/23	10:00 AM	1/28/23	10:00 AM	1/28/23	10:00 AM



**EXHIBIT "D"**  
**SPECTRUM DRIVE**  
**SOUTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

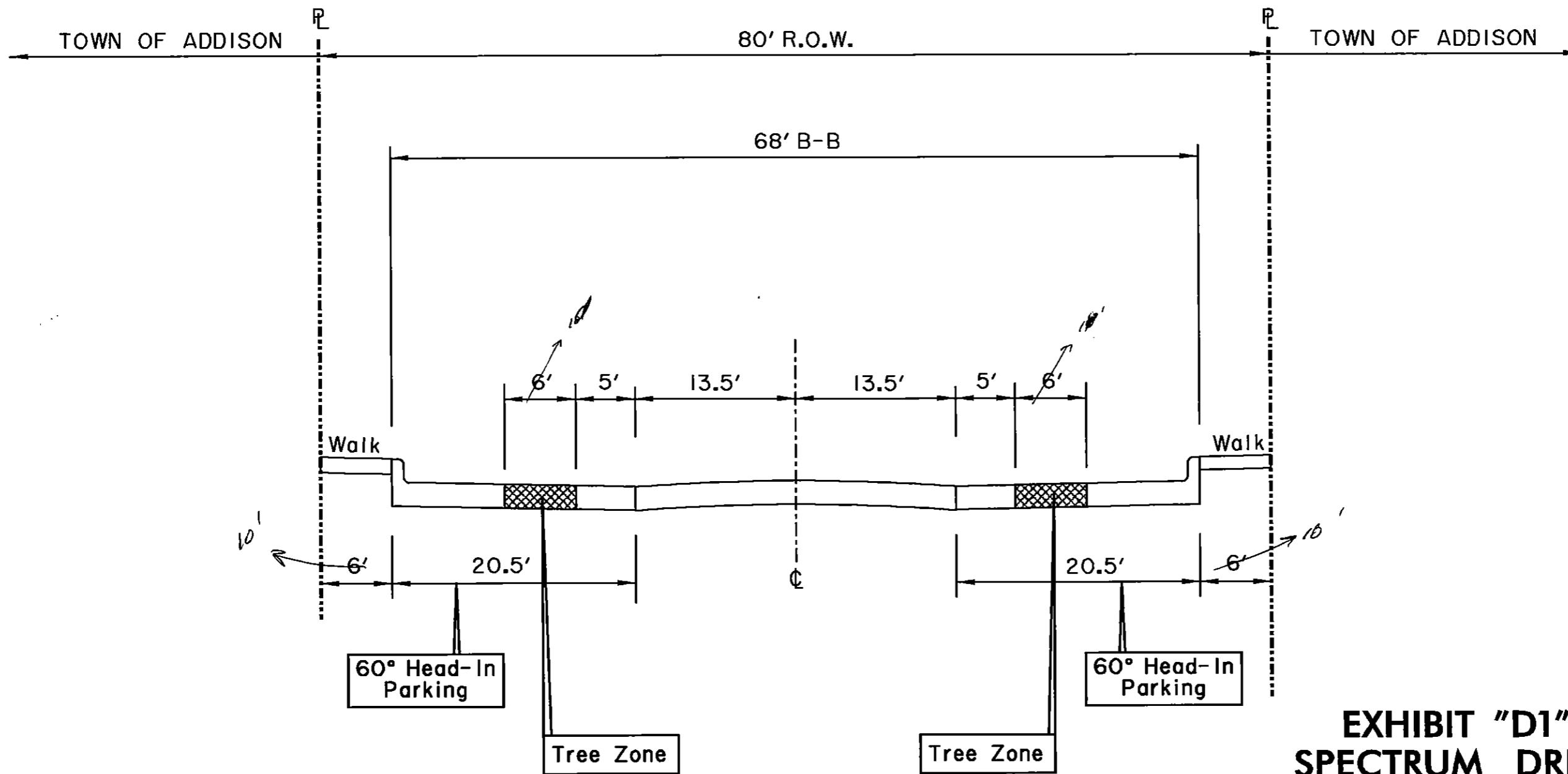
PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	35

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=20'



**EXHIBIT "D1"**  
**SPECTRUM DRIVE**  
**SOUTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

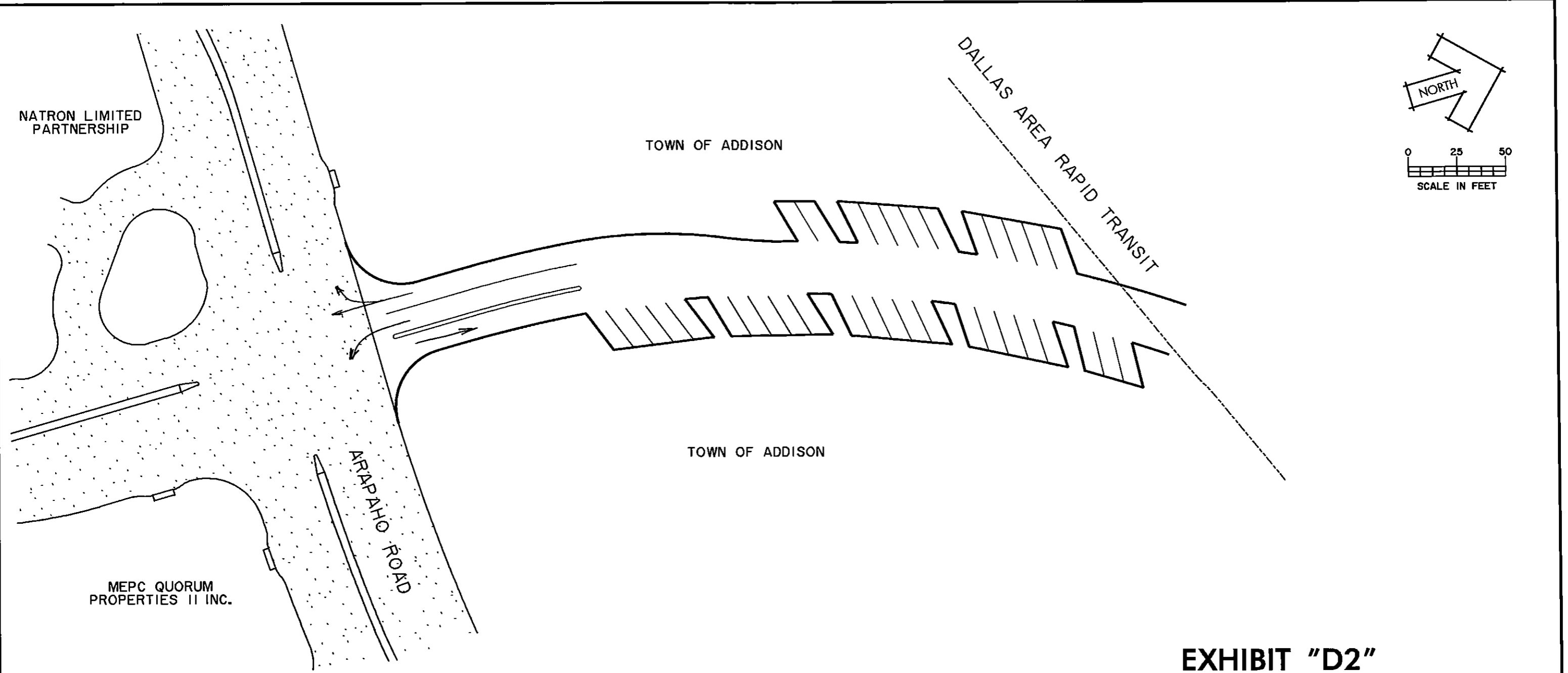
PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	35

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

NOT TO SCALE



**EXHIBIT "D2"**  
**SPECTRUM DRIVE**  
**NORTH EXTENSION**  
**PROPOSED 80' R.O.W.**  
**TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	35

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
 Phone (214) 871-3311 Fax (214) 871-0757

APRIL, 2002

SCALE: 1"=50'

## LETTER OF TRANSMITTAL

DATE: 6/13/02	JOB NO.: 01-3220-10	PROJECT: Spectrum Drive
TO: TOWN OF ADDISON 16801 WESTGROVE RD. P.O. Box 9010 SERVICE CENTER - FIRST FLOOR ADDISON, TX 75001		RE: Section Exhibits
		ATTENTION: MR. Steven Z. Chutchian, P.E.

WE ARE SENDING YOU  ATTACHED  UNDER SEPARATE COVER, VIA:

SHOP DRAWINGS  PRINTS  VIA: **Mail**

SAMPLES  SPECIFICATIONS  CHANGE ORDER

COPY OF LETTER  REQUEST FOR INFORMATION  OTHER:

COPIES	DATE	NO.	DESCRIPTION
5			Light Pole Base Exhibit
5			Alt. #2 for Exhibit B1
2			Phase 2 Photometric Study (for Mike Murphy)

*Steve → Jim - FOR YOUR CONSIDERATION. Steve C. COPY TO MIKE.*

Attached please find the noted exhibits. In particular, please distribute and review Alt. #2 of Exhibit B1. This alternate illustrates how we can accomplish head-in parking within the planned 69' R.O.W. Under this scenario the City would only need to obtain sidewalk easements from the adjacent property owners. The distance from building face to building face would remain at 94' as it is today therefore not taking away any developable area from the site provided the setback is measured from the right-of-way line. Please call if you have any questions.

<input type="checkbox"/> FOR APPROVAL	<input type="checkbox"/> NO EXCEPTIONS TAKEN	<input type="checkbox"/> RESUBMIT _____ COPIES FOR APPROVAL
<input checked="" type="checkbox"/> FOR YOUR USE	<input type="checkbox"/> EXCEPTIONS AS NOTED	<input type="checkbox"/> SUBMIT _____ COPIES FOR DISTRIBUTION
<input checked="" type="checkbox"/> AS REQUESTED	<input type="checkbox"/> RETURNED FOR CORRECTIONS	<input type="checkbox"/> RETURN _____ CORRECTED PRINTS
<input type="checkbox"/> FOR REVIEW AND COMMENT		<input type="checkbox"/> OTHER:
<input type="checkbox"/> FOR BIDS DUE ON (DATE):		<input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US

REMARKS:

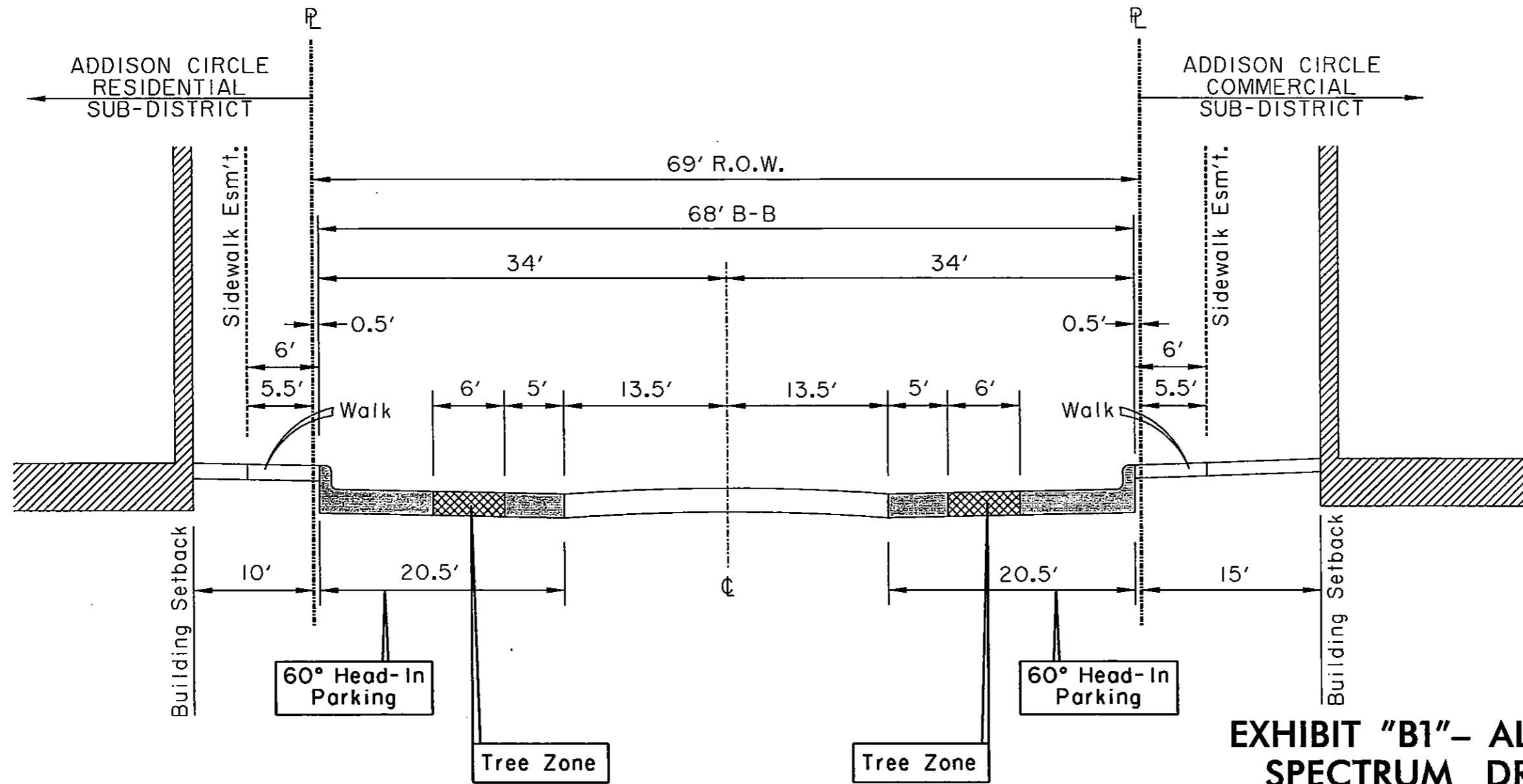
.....

.....

.....

IF ENCLOSURES ARE NOT AS NOTED, KINDLY NOTIFY US AT ONCE.

SIGNATURE: **David E. Meyers, P.E.** COPY TO:



**EXHIBIT "B1" - ALT. #2  
SPECTRUM DRIVE  
NORTH EXTENSION  
PROPOSED 80' R.O.W.  
TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

\*Parallel adjacent to Madison Building

Prepared For:  
**TOWN OF ADDISON**

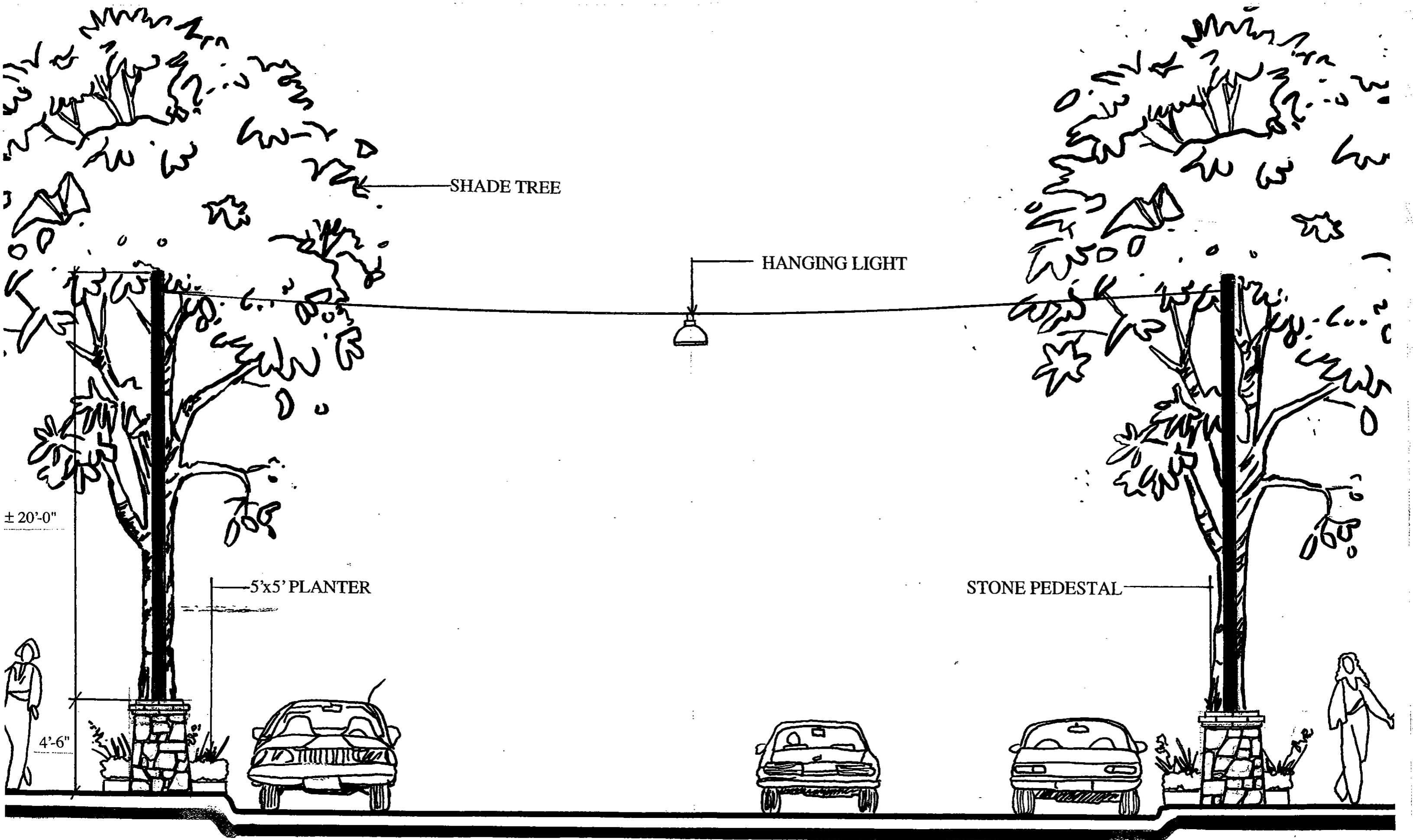
Prepared By:

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
Phone (214) 871-3311 Fax (214) 871-0757

JUNE, 2002

NOT TO SCALE





SHADE TREE

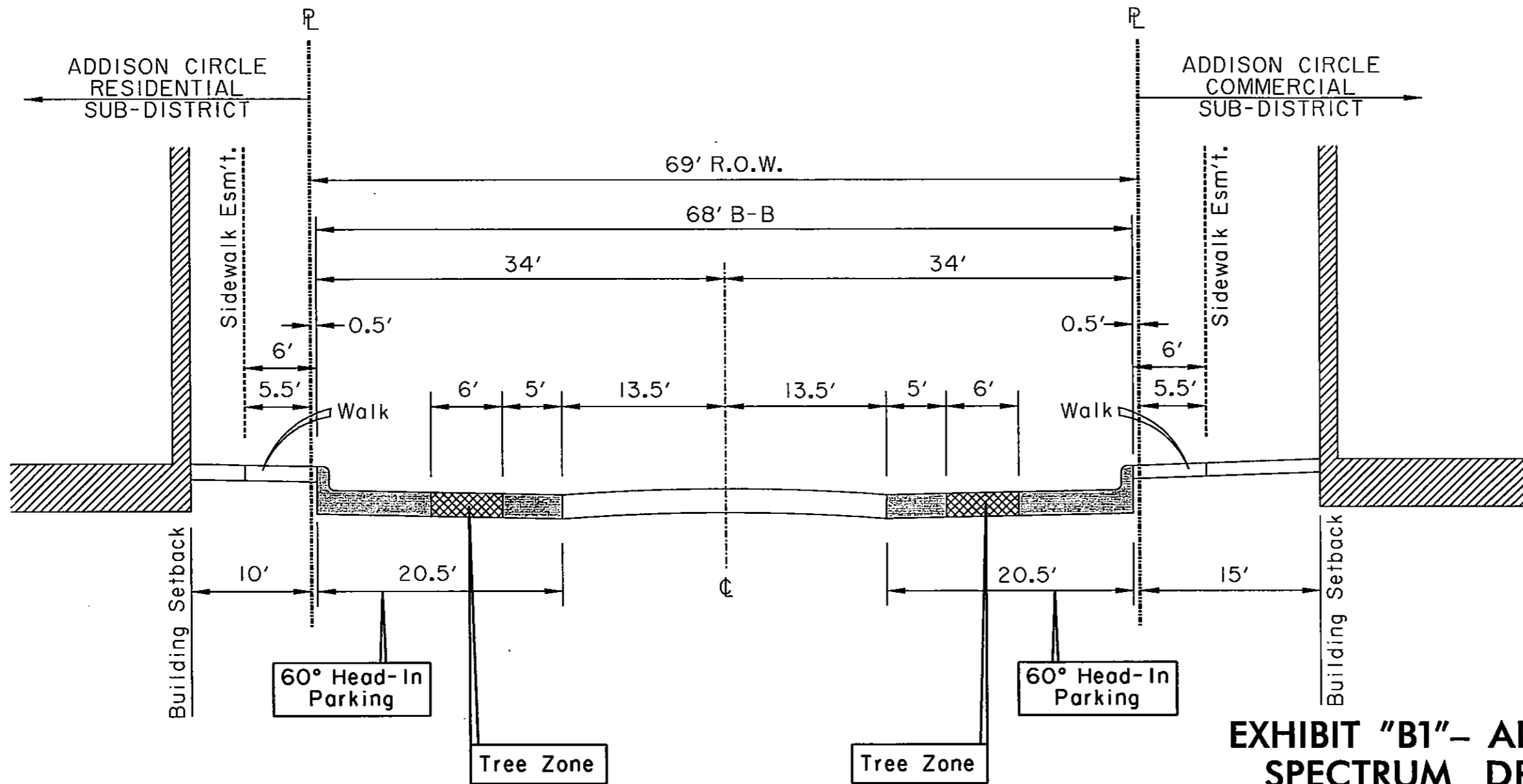
HANGING LIGHT

5'x5' PLANTER

STONE PEDESTAL

± 20'-0"

4'-6"



**EXHIBIT "B1" - ALT. #2  
SPECTRUM DRIVE  
NORTH EXTENSION  
PROPOSED 80' R.O.W.  
TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

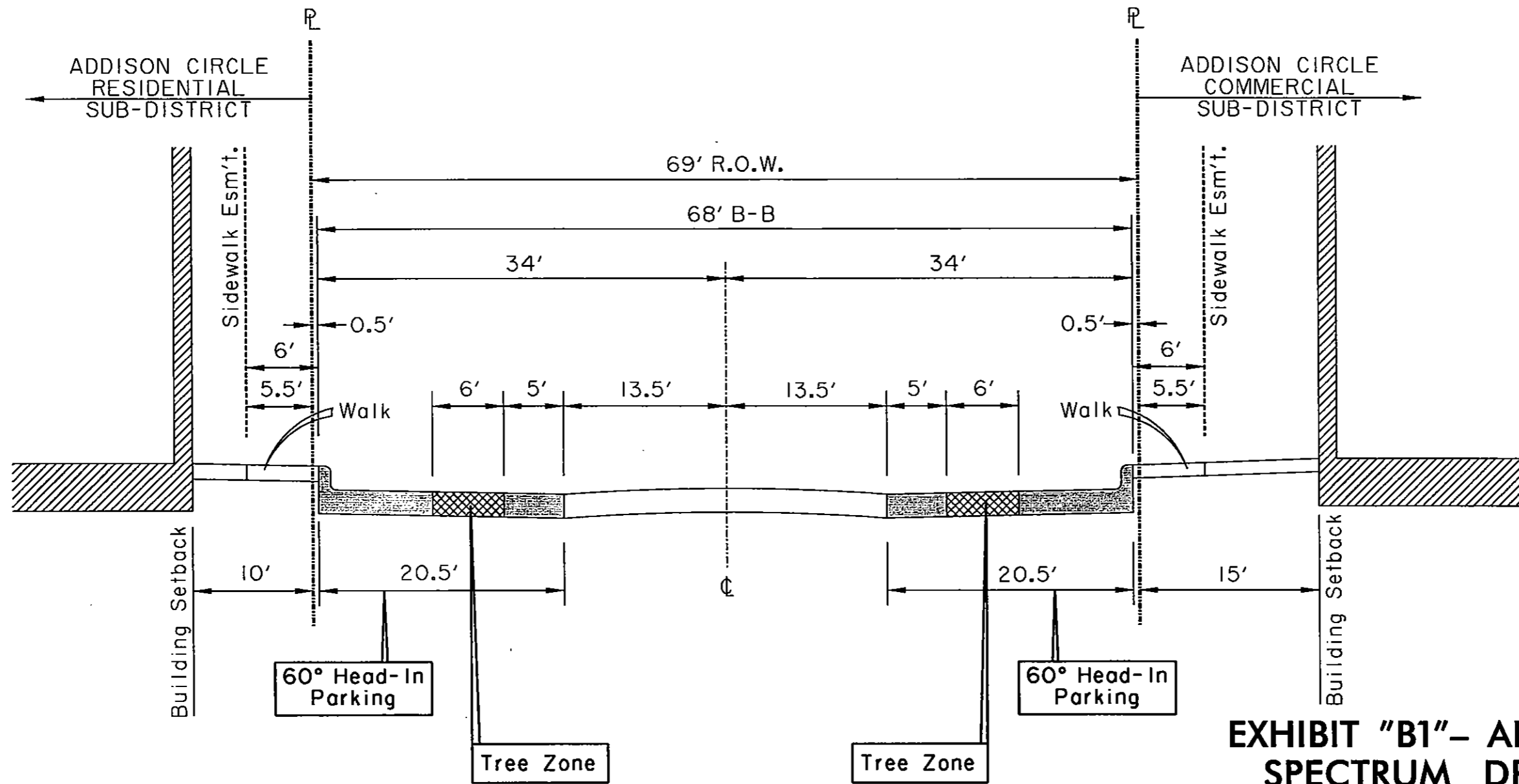
\*Parallel adjacent to Madison Building

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
**HUITT-ZOLLARS**  
Huit-Zollars, Inc. Dallas  
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204  
Phone (214) 871-3311 Fax (214) 871-0757

JUNE, 2002

NOT TO SCALE



**EXHIBIT "B1" - ALT. #2  
SPECTRUM DRIVE  
NORTH EXTENSION  
PROPOSED 80' R.O.W.  
TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

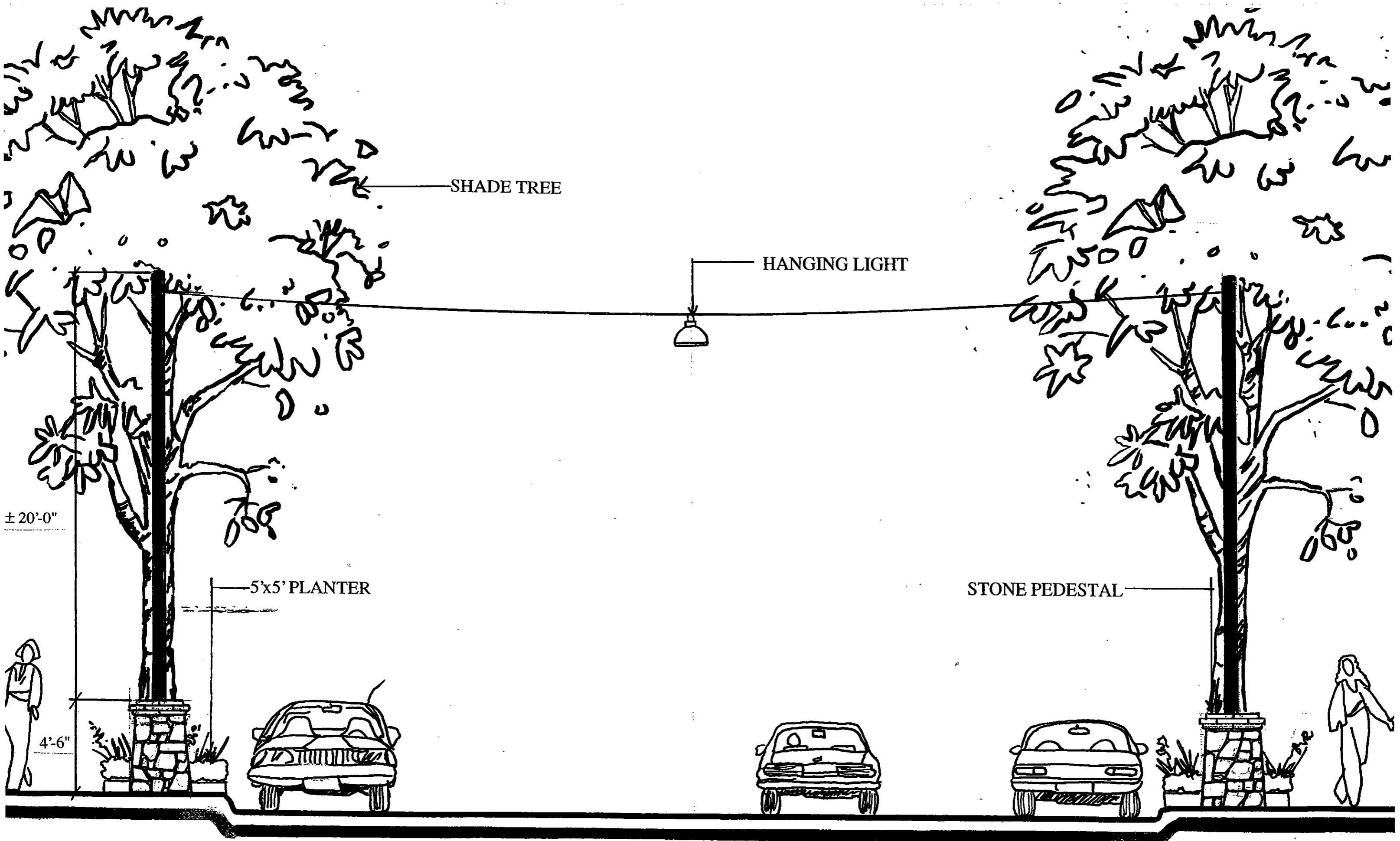
\*Parallel adjacent to Madison Building

Prepared For:  
**TOWN OF ADDISON**

Prepared By:  
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JUNE, 2002

NOT TO SCALE



SHADE TREE

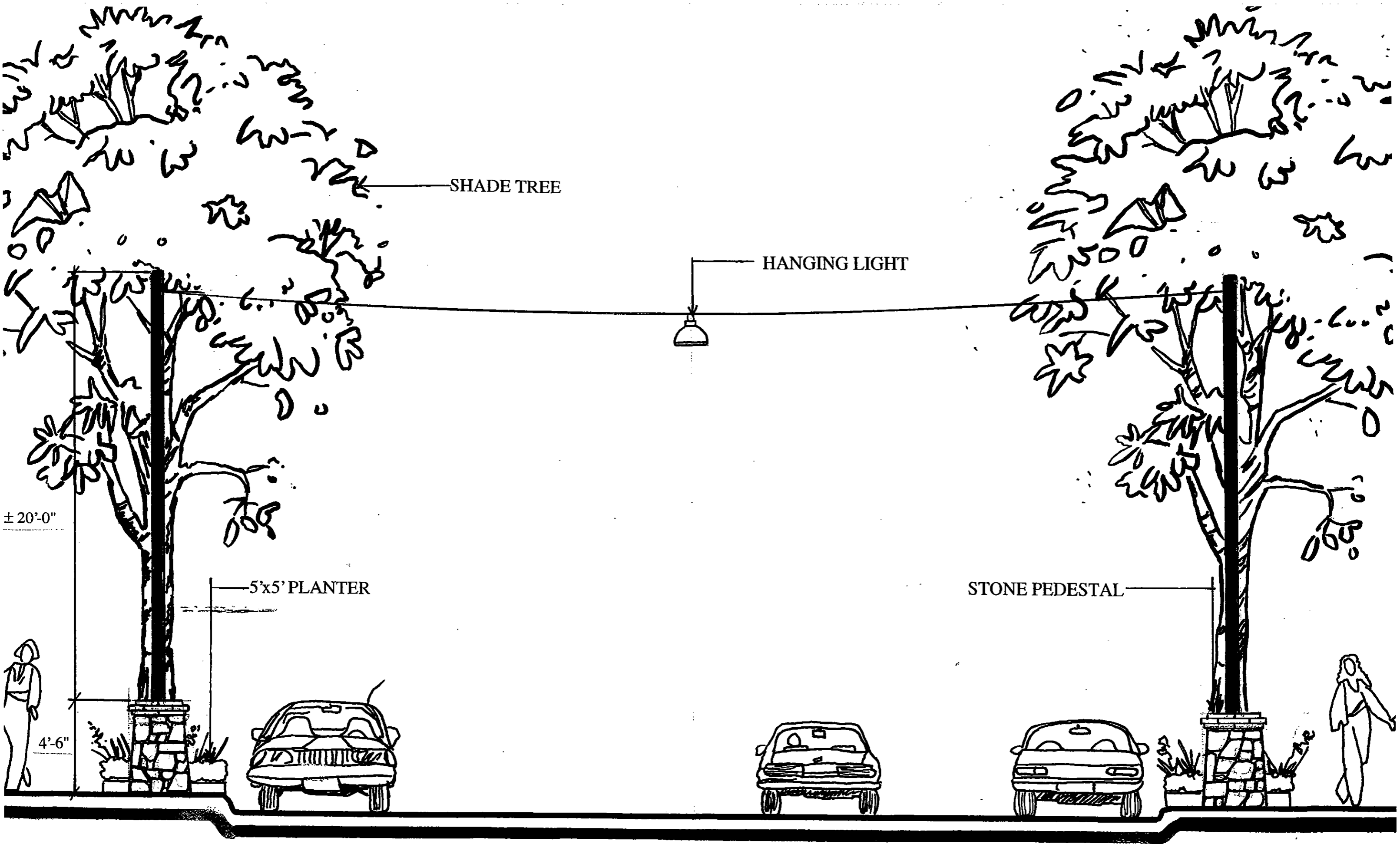
HANGING LIGHT

5'x5' PLANTER

STONE PEDESTAL

± 20'-0"

4'-6"



SHADE TREE

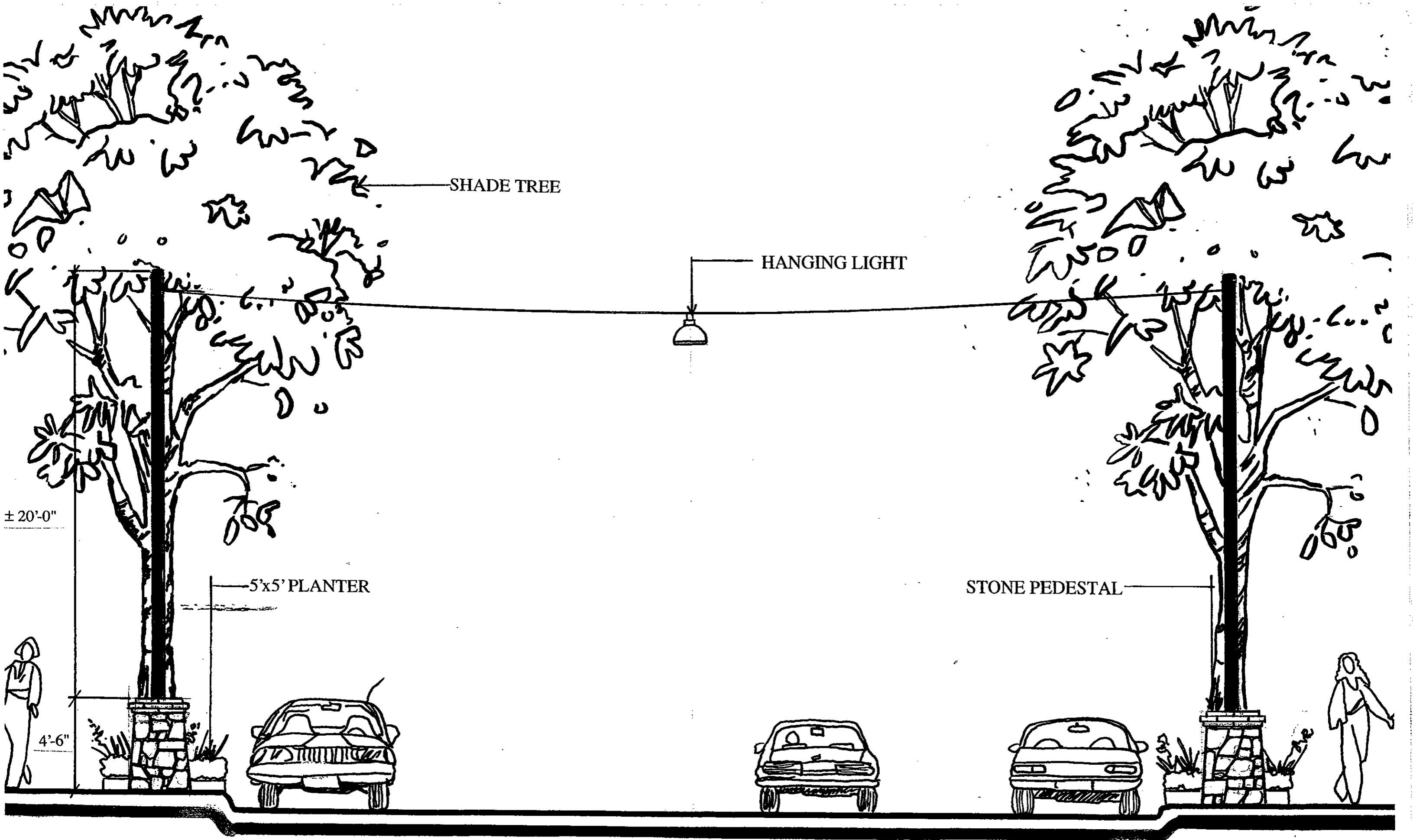
HANGING LIGHT

5'x5' PLANTER

STONE PEDESTAL

± 20'-0"

4'-6"



SHADE TREE

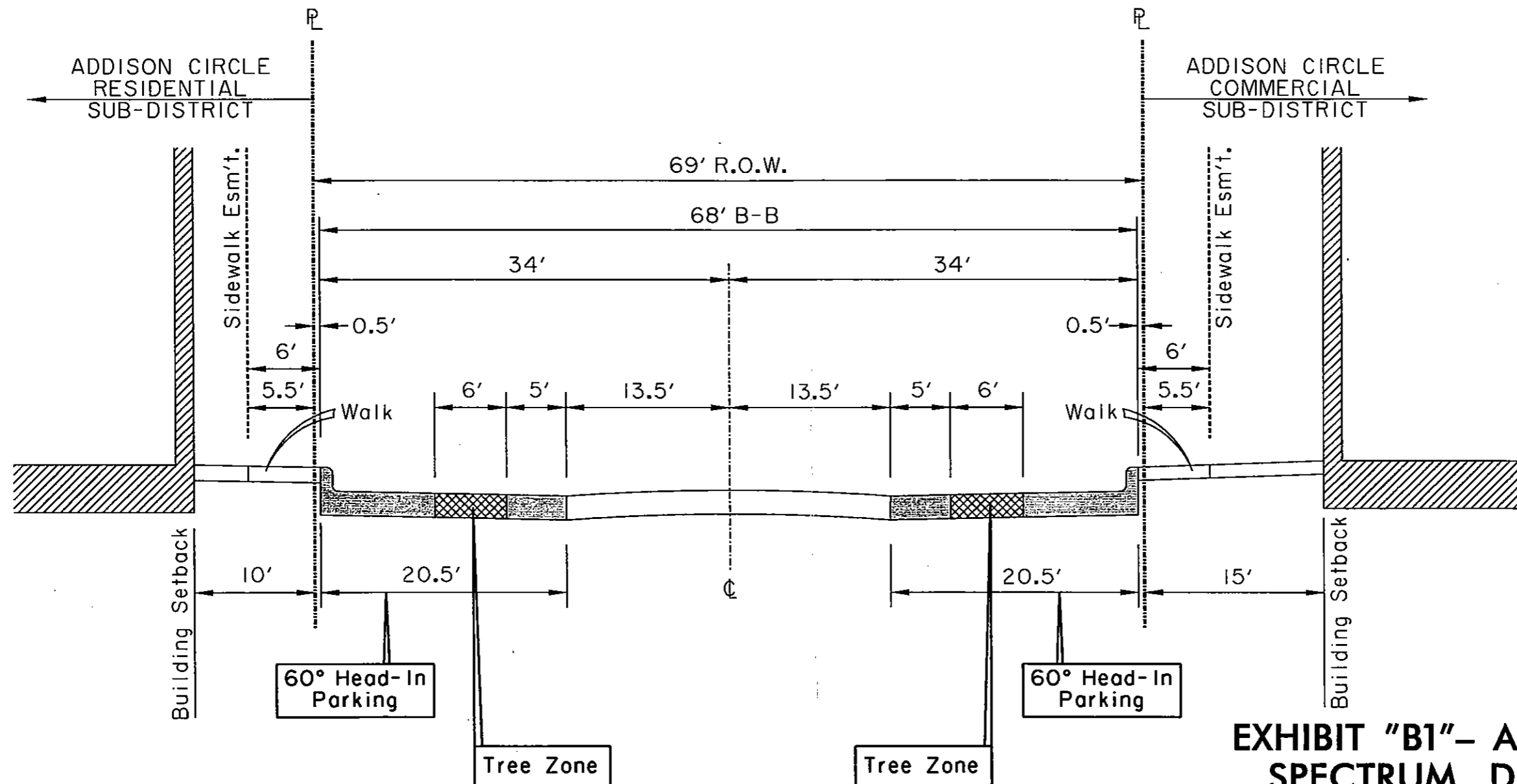
HANGING LIGHT

5'x5' PLANTER

STONE PEDESTAL

± 20'-0"

4'-6"



**EXHIBIT "B1" - ALT. #2  
SPECTRUM DRIVE  
NORTH EXTENSION  
PROPOSED 80' R.O.W.  
TOWN OF ADDISON, TEXAS**

PARKING DATA	
TYPE	NO. OF SPACES
60° HEAD-IN	110
PARALLEL	6

\*Parallel adjacent to Madison Building

Prepared For:  
TOWN OF ADDISON

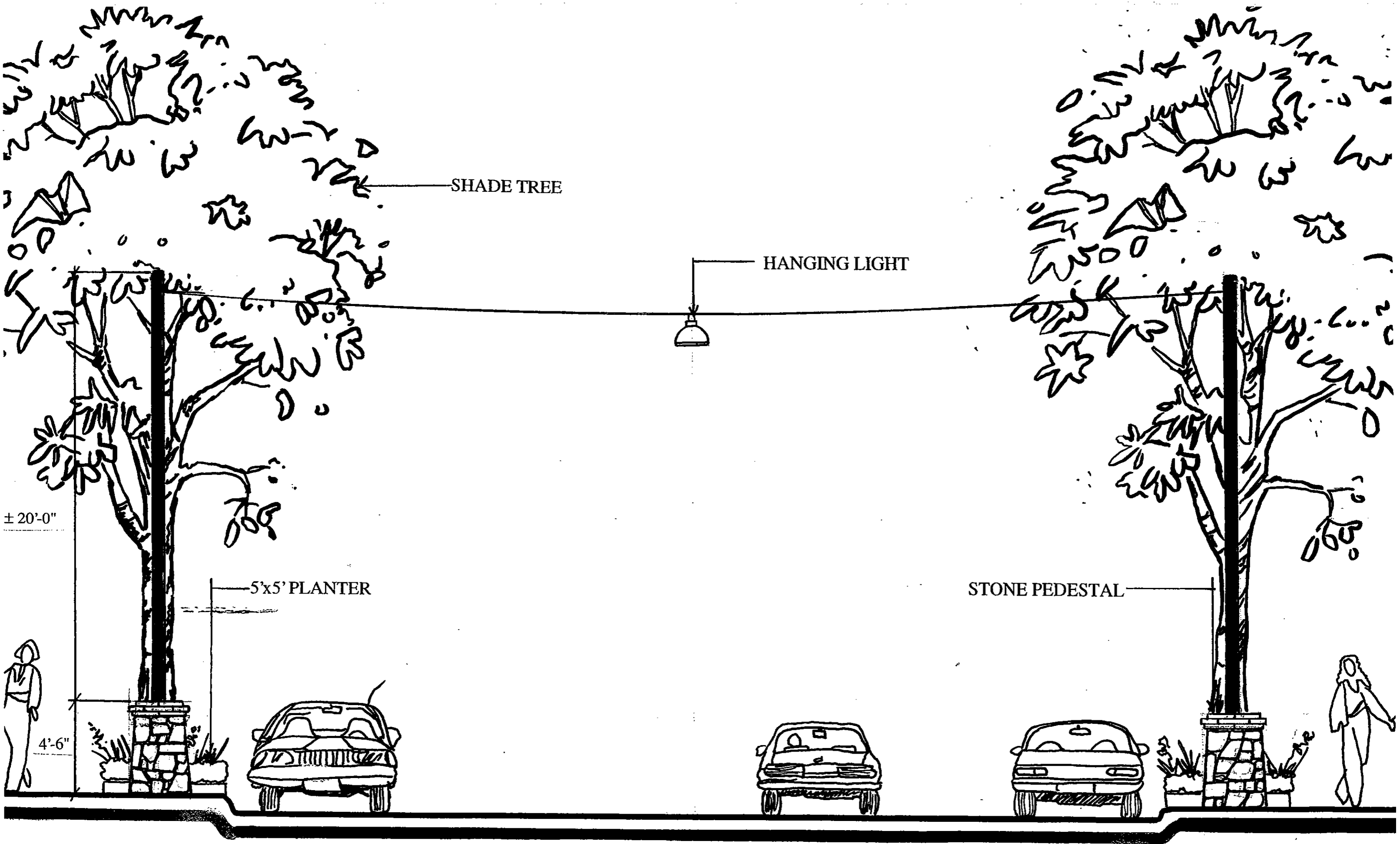
Prepared By:

**HUITT-ZOLIARS**

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JUNE, 2002

NOT TO SCALE



SHADE TREE

HANGING LIGHT

5'x5' PLANTER

STONE PEDESTAL

± 20'-0"

4'-6"





The contractor is well known and maintains a good reputation. Site Concrete, Inc. was also the low bidder on the Airport Apron Project.

**RECOMMENDATION:**

Staff recommends that Council authorize the City Manager to enter into a contract with Site Concrete, Inc., in the amount of \$2,536,979.50, for the Spectrum North/South Extension Project.

**Spectrum Dr North/South Extension  
 BID NO 04-03**

**DUE: December 2, 2003**

**3:00 PM**

BIDDER	SIGNED	Bid Bond	a1	(A) Standard Bid	calendar days	(B) calend ar Days x 2500.00	Total (A+B)	Street Lighting (Alternate Bid)
Site Concrete, Inc.	y	y	y	\$2,536,979.50	210	\$525,000.00	\$3,061,979.50	\$209,095.50
Jim Bowman	y	y	y	\$2,535,411.00	250	\$625,000.00	\$3,160,411.00	\$196,361.50
Rebcon	y	y	y	\$2,686,944.27	270	\$675,000.00	\$3,361,944.27	\$216,040.80
Tiseo	y	y	y	\$2,707,918.90	270	\$675,000.00	\$3,382,918.90	\$221,137.00
Texas Sterling	y	y	y	\$2,901,892.40	220	\$550,000.00	\$3,451,892.40	\$196,361.50

*Minok Suh*

Minok Suh, Purchasing Coordinator

*Corey Gayden*

Corey Gayden, Witness

**SPECTRUM DRIVE EXTENSION  
 BID TABULATION - BIDS RECEIVED 12/2/03**

	Engineer's Est.	Rebcon	Site Concrete, Inc.	Tiseo Paving Company	Jim Bowman Const. Comp.	Texas Straling Const.
<b>SOUTH SEGMENT</b>						
SCHEDULE 1 - PAVING	\$ 385,601.40	\$ 328,028.60	\$ 284,996.60	\$ 289,995.75	\$ 315,767.12	\$ 453,345.00
SCHEDULE 2 - UTILITIES	\$ 508,034.30	\$ 369,404.20	\$ 363,408.00	\$ 369,806.00	\$ 387,883.65	\$ 385,971.00
SCHEDULE 3 - STREETScape	\$ 248,833.20	\$ 263,856.81	\$ 234,769.25	\$ 282,380.00	\$ 213,184.57	\$ 250,577.70
SCHEDULE 4 - STREET SIGNALIZATION	\$ 208,668.00	\$ 111,518.25	\$ 123,911.00	\$ 115,309.00	\$ 101,374.50	\$ 118,729.50
SCHEDULE 5 - STREET LIGHT BASE BID	\$ 65,099.00	\$ 52,098.20	\$ 50,681.00	\$ 53,280.00	\$ 47,348.75	\$ 47,348.75
<b>SOUTH SEGMENT CONSTRUCTION TOTAL</b>	<b>\$ 1,395,933.90</b>	<b>\$ 1,124,901.96</b>	<b>\$ 1,057,735.75</b>	<b>\$ 1,110,770.75</b>	<b>\$ 1,045,558.59</b>	<b>\$ 1,253,971.95</b>
<b>NORTH SEGMENT</b>						
SCHEDULE 1 - PAVING	\$ 521,391.30	\$ 520,384.50	\$ 533,480.50	\$ 587,947.65	\$ 828,383.28	\$ 802,833.30
SCHEDULE 2 - UTILITIES	\$ 482,245.60	\$ 471,348.88	\$ 389,844.50	\$ 438,802.50	\$ 397,775.16	\$ 489,368.80
SCHEDULE 3 - STREETScape	\$ 416,606.60	\$ 399,795.05	\$ 390,765.75	\$ 418,058.00	\$ 308,706.98	\$ 420,733.55
SCHEDULE 4 - STREET SIGNALIZATION	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
SCHEDULE 5 - STREET LIGHT BASE BID	\$ 215,042.00	\$ 170,515.90	\$ 165,163.00	\$ 174,342.00	\$ 154,987.00	\$ 154,987.00
<b>NORTH SEGMENT #1 CONSTRUCTION TOTAL</b>	<b>\$ 1,635,285.40</b>	<b>\$ 1,562,042.31</b>	<b>\$ 1,479,243.75</b>	<b>\$ 1,597,148.15</b>	<b>\$ 1,486,852.41</b>	<b>\$ 1,647,920.45</b>
<b>TOTAL PROJECT</b>						
SCHEDULE 1 - PAVING	\$ 888,992.70	\$ 848,413.00	\$ 818,477.00	\$ 857,943.40	\$ 944,150.40	\$ 1,058,178.30
SCHEDULE 2 - UTILITIES	\$ 990,279.90	\$ 840,751.08	\$ 753,252.50	\$ 808,608.50	\$ 785,658.80	\$ 855,337.60
SCHEDULE 3 - STREETScape	\$ 685,239.70	\$ 683,851.88	\$ 825,515.00	\$ 698,438.00	\$ 521,891.55	\$ 671,311.25
SCHEDULE 4 - SIGNALIZATION	\$ 208,668.00	\$ 111,518.25	\$ 123,911.00	\$ 115,309.00	\$ 101,374.50	\$ 118,729.50
SCHEDULE 5 - STREET LIGHT BASE BID	\$ 280,141.00	\$ 222,612.10	\$ 215,824.00	\$ 227,622.00	\$ 202,335.75	\$ 202,335.75
<b>STANDARD BID "A" TOTAL</b>	<b>\$ 3,031,219.30</b>	<b>\$ 2,686,944.27</b>	<b>\$ 2,536,979.50</b>	<b>\$ 2,707,918.90</b>	<b>\$ 2,535,411.00</b>	<b>\$ 2,901,892.40</b>
Calendar Days		270	210	270	250	220
<b>Calendar Days at @ 2,500 per day - Time Bid "B" Total</b>	<b>\$0.00</b>	<b>\$675,000.00</b>	<b>\$525,000.00</b>	<b>\$675,000.00</b>	<b>\$625,000.00</b>	<b>\$550,000.00</b>
<b>PROJECT TOTAL BID</b>	<b>\$ 3,182,780.27</b>	<b>\$ 3,361,944.27</b>	<b>\$ 3,061,979.50</b>	<b>\$ 3,382,918.90</b>	<b>\$ 3,160,411.00</b>	<b>\$ 3,451,892.40</b>
Street Lighting Alternate Bid	\$ 272,336.00	\$ 216,040.80	\$ 209,095.50	\$ 221,137.00	\$ 198,381.50	\$ 198,381.50

NOTE: Engineers Project Total Bid Includes 5% estimating contingency



## Addison Spectrum Drive Shipping Schedule

Page 1 of 1

### Tim Keierleber

---

**From:** Bill Galvin [bgalvin@ala-inc.net]  
**Sent:** Friday, October 22, 2004 4:33 PM  
**To:** tim@melselectric.com  
**Subject:** FW: Addison Spectrum Drive Shipping Schedule

Tim,  
Here is the latest delivery information. Let's discuss if this is a problem.  
Bill

-----Original Message-----

**From:** Serge Fortin [mailto:SFortin@Lumec.com]  
**Sent:** Friday, October 22, 2004 2:09 PM  
**To:** Bill Galvin  
**Subject:** Addison Spectrum Drive Shipping Schedule

Dear Bill,

As per our previous telephone conversation the Addison Spectrum drive order was scheduled to ship on the week of November 22-04, in an effort to improve our delivery we have decided to split the order in two separate shipments. The Addison Spectrum drive order will ship as follows:

QTY: 30  
Type: Pedestrian unit  
Schedule to ship on the week of November 8, 2004  
An estimated date of arrival will be provided as we get closer to the shipping date.

Qty:37  
Type: Roadway and Pedestrian unit  
Scheduled to ship on the week of November 22, 2004  
An estimated date of arrival will be provided as we get closer to the shipping date.

We hope to facilitate the installation of the Addison Spectrum Drive project by providing two separate shipments. Should you have any questions concerning the production and shipment of this project do not hesitate to contact me.

Best Regards

Serge Fortin

Western Architectural Manager

Lumec/Lumec-Schreder

10/25/2004

**CONTRACTOR'S AFFIDAVIT OF BILLS PAID**

(To be executed prior to acceptance of project)

**STATE OF TEXAS**

**COUNTY OF DALLAS**

Personally, before me the undersigned authority, on this day appeared JEAN  
S. BONEY, who, being duly sworn, on oath, says that he is a legal  
representative of SITE CONCRETE, INC

(Full name of Contractor as in Contract)

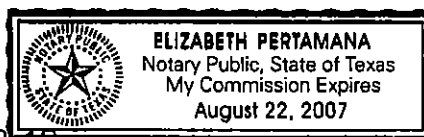
and that the contract for the construction of the project, designated as \_\_\_\_\_  
SPECTRUM DRIVE # 04-03  
TOWN OF ADDISON  
(Project No)

has been satisfactorily completed and that all bills for materials, apparatus, fixture,  
machinery and labor used in connection with the construction of this project have, to the  
best of my knowledge and belief, been fully paid.

Jean S Boney  
Signature  
President  
Title

Sworn to and subscribed before me this 19th day of OCTOBER,  
2004.

Elizabeth Pertamina  
Notary Public in and for  
DALLAS County, Texas



**CONSENT OF  
SURETY COMPANY  
TO FINAL PAYMENT**

OWNER   
ARCHITECT   
CONTRACTOR   
SURETY   
OTHER

**AIA DOCUMENT G707**

**PROJECT:**

(name, address) **Paving, Drainage, Streetscape and utility Improvements for the SPECTRUM DRIVE NORTH/SOUTH  
EXTENSION**

**TO (Owner)**

[ **Town of Addison  
5350 Belt Line Rd.  
  
Addison, TX 75240**

] **ARCHITECT'S PROJECT NO:  
CONTRACT FOR: Paving, Drainage,  
Streetscape and utility Improvements for the  
SPECTRUM DRIVE NORTH/SOUTH  
EXTENSION  
BOND NO: SU1004195  
CONTRACT DATE: 12/09/2003**

[  
**CONTRACTOR: Site Concrete, Inc.**

In accordance with the provision of the Contract between the Owner and the Contractor as indicated above, the  
(here insert name and address of Surety Company)

**Arch Insurance Company and Arch Reinsurance Company  
2911 Turtle Creek Blvd., Ste. 300, Dallas, TX, 75219**

, SURETY COMPANY,

on bond of (here insert name and address of Contractor)

**Site Concrete, Inc.  
3340 Roy Orr Blvd., Grand Prairie, TX 75050**

, CONTRACTOR,

hereby approves of the final payment to the Contractors, and agrees that final payment to the Contractor shall not relieve the Surety  
Company of any of its obligations to (here insert name and address of Owner)


**Town of Addison  
5350 Belt Line Rd., Addison, TX 75240**

, OWNER,

as set forth in the said Surety Company's bond.

IN WITNESS WHEREOF,  
the surety company has hereunto set its hand this 14th day of October, 2004

**Arch Insurance Company and Arch Reinsurance Company**  
Surety Company

  
Signature of Authorized Representative

**Michael B. Hill, Attorney-In-Fact**  
Title

Attest:  
(Seal)



NOTE: This form is to be used as a companion document to AIA DOCUMENT G706, CONTRACTOR'S AFFIDAVIT OF PAYMENT OF DEBTS AND CLAIMS,  
Current Edition



## POWER OF ATTORNEY

Know All Men By These Presents:

That the Arch Insurance Company, a corporation organized and existing under the laws of the State of Missouri, having its principal office in Kansas City, Missouri (hereinafter referred to as the "Company") does hereby appoint

Michael B. Hill, Cindy Fowler, William D. Baldwin, and Suzanne C. Bladwin of Richardson, TX (EACH)

its true and lawful Attorney(s)-in-Fact, to make, execute, seal, and deliver from the date of issuance of this power for and on its behalf as surety, and as its act and deed:

Any and all bonds and undertakings

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

This authority does not permit the same obligation to be split into two or more bonds in order to bring each such bond within the dollar limit of authority as set forth herein.

The Company may revoke this appointment at any time.

The execution of such bonds and undertakings in pursuance of these presents shall be as binding upon the said Company as fully and amply to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at its principal office in Kansas City, Missouri.

This Power of Attorney is executed by authority of resolutions adopted by unanimous consent of the Board of Directors of the Company on March 3, 2003, true and accurate copies of which are hereinafter set forth and are hereby certified to by the undersigned Secretary as being in full force and effect:

"VOTED, That the Chairman of the Board, the President, or any Vice President, or their appointees designated in writing and filed with the Secretary, or the Secretary shall have the power and authority to appoint agents and attorneys-in-fact, and to authorize them to execute on behalf of the Company, and attach the seal of the Company thereto, bonds and undertakings, recognizances, contracts of indemnity and other writings, obligatory in the nature thereof, and any such officers of the Company may appoint agents for acceptance of process."

This Power of Attorney is signed, sealed and certified by facsimile under and by authority of the following resolution adopted by the unanimous consent of the Board of Directors of the Company on March 3, 2003:

VOTED, That the signature of the Chairman of the Board, the President, or any Vice President, or their appointees designated in writing and filed with the Secretary, and the signature of the Secretary, the seal of the Company, and certifications by the Secretary, may be affixed by facsimile on any power of attorney or bond executed pursuant to the resolution adopted by the Board of Directors on March 3, 2003, and any such power so executed, sealed and certified with respect to any bond or undertaking to which it is attached, shall continue to be valid and binding upon the Company.

In Testimony Whereof, the Company has caused this instrument to be signed and its corporate seal to be affixed by their authorized officers, this 23rd day of May, 2003.

Arch Insurance Company

Attested and Certified



[Signature]  
Joseph S. Labell, Corporate Secretary

[Signature]  
Thomas P. Luckstone, Vice President

STATE OF CONNECTICUT SS

COUNTY OF FAIRFIELD SS

I Melissa B. Gilligan, a Notary Public, do hereby certify that Thomas P. Luckstone and Joseph S. Labell personally known to me to be the same persons whose names are respectively as Vice President and Corporate Secretary of the Arch Insurance Company, a Corporation organized and existing under the laws of the State of Missouri, subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that they being thereunto duly authorized signed, sealed with the corporate seal and delivered the said instrument as the free and voluntary act of said corporation and as their own free and voluntary acts for the uses and purposes therein set forth.



[Signature]  
Melissa B. Gilligan, Notary Public  
My commission expires 2-28-05

CERTIFICATION

I, Joseph S. Labell, Corporate Secretary of the Arch Insurance Company, do hereby certify that the attached Power of Attorney dated May 23, 2003 on behalf of the person(s) as listed above is a true and correct copy and that the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate; and I do further certify that the said Thomas P. Luckstone, who executed the Power of Attorney as Vice President, was on the date of execution of the attached Power of Attorney the duly elected Vice President of the Arch Insurance Company.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seal of the Arch Insurance Company on this 14th day of October, 2004.

[Signature]  
Joseph S. Labell, Corporate Secretary

This Power of Attorney limits the acts of those named therein to the bonds and undertakings specifically named therein and they have no authority to bind the Company except in the manner and to the extent herein stated.



Home Office: Kansas City, MO

## POWER OF ATTORNEY

Know All Men By These Presents:

That Arch Reinsurance Company, a corporation organized and existing under the laws of the State of Nebraska, having its home office in Omaha, Nebraska (hereinafter referred to as the "Company") does hereby appoint

Michael B. Hill, Cindy Fowler, William D. Baldwin and Glenn E. Ganci of Richardson, TX (EACH)

its true and lawful Attorney(s)-in-Fact, to make, execute, seal, and deliver from the date of issuance of this power for and on its behalf as surety, and as its act and deed:

Any and all bonds and undertakings

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

The Company may revoke this appointment at any time.

The execution of such bonds and undertakings in pursuance of these presents shall be as binding upon the said Company as fully and amply to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at its principal office in Omaha, Nebraska.

This Power of Attorney is executed by authority of resolutions adopted by unanimous consent of the Board of Directors of the Company on June 13, 2003, true and accurate copies of which are hereinafter set forth and are hereby certified to by the undersigned Secretary as being in full force and effect:

"VOTED, That the Chairman of the Board, the Managing Director, or any Vice President, or their appointees designated in writing and filed with the Secretary, or the Secretary shall have the power and authority to appoint agents and attorneys-in-fact, and to authorize them to execute on behalf of the Company, and attach the seal of the Company thereto, bonds and undertakings, recognizances, contracts of indemnity and other writings, obligatory in the nature thereof, and any such officers of the Company may appoint agents for acceptance of process."

This Power of Attorney is signed, sealed and certified by facsimile under and by authority of the following resolution adopted by the unanimous consent of the Board of Directors of the Company on June 13, 2003:

VOTED, That the signature of the Chairman of the Board, the Managing Director, or any Vice President, or their appointees designated in writing and filed with the Secretary, and the signature of the Secretary, the seal of the Company, and certifications by the Secretary, may be affixed by facsimile on any power of attorney or bond executed pursuant to the resolution adopted by the Board of Directors on June 13, 2003, and any such power so executed, sealed and certified with respect to any bond or undertaking to which it is attached, shall continue to be valid and binding upon the Company.

In Testimony Whereof, the Company has caused this instrument to be signed and its corporate seal to be affixed by their authorized officers, this 5th day of September, 2003.

Arch Reinsurance Company

Attested and Certified



John F. Rathgeber  
John F. Rathgeber, Managing Director and  
Chief Operating Officer

Mathilda A. Oostveen  
Mathilda A. Oostveen, Corporate Secretary

STATE OF NEW JERSEY SS

COUNTY OF MORRIS SS

I Elizabeth A. Rizzolo, a Notary Public, do hereby certify that John F. Rathgeber and Mathilda A. Oostveen personally known to me to be the same persons whose names are respectively as Managing Director and Chief Operating Officer and Corporate Secretary of Arch Reinsurance Company, a Corporation organized and existing under the laws of the State of Nebraska, subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that they being thereunto duly authorized signed, sealed with the corporate seal and delivered the said instrument as the free and voluntary act of said corporation and as their own free and voluntary acts for the uses and purposes therein set forth.

ELIZABETH A. RIZZOLO  
Notary Public of New Jersey  
My Commission Expires  
Aug. 21, 2006

Elizabeth A. Rizzolo  
Elizabeth A. Rizzolo, Notary Public of New Jersey  
My commission expires 8-21-06

CERTIFICATION

I, Mathilda A. Oostveen, Corporate Secretary of Arch Reinsurance Company, do hereby certify that the attached Power of Attorney dated September 5, 2003 on behalf of the person(s) as listed above is a true and correct copy and that the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate; and I do further certify that the said John F. Rathgeber, who executed the Power of Attorney as Managing Director and Chief Operating Officer, was on the date of execution of the attached Power of Attorney the duly elected Managing Director and Chief Operating Officer of Arch Reinsurance Company.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seal of Arch Reinsurance Company on this 14th day of October, 2004.

Mathilda A. Oostveen  
Mathilda A. Oostveen, Corporate Secretary

This Power of Attorney limits the acts of those named therein to the bonds and undertakings specifically named therein and they have no authority to bind the Company except in the manner and to the extent herein stated.



HOME OFFICE: Omaha, Nebraska



972-313-0733 • Fax 972-513-0825  
Estimating Fax 972-513-0661

October 22, 2004

Steve Chutchian, P.E.  
Town of Addison  
16801 Westgrove Dr.  
Addison, TX 75001

**RE: Spectrum Dr. North/ South Extension  
Bid # 04-03**

Dear Mr. Chutchian:

Per our agreement between Site Concrete, Inc. and Ron Lee with the Town of Addison, will do the following for final acceptance of the above referenced job:

1. We will ensure that the remainder of the plants are installed at the earliest possible time according to the correct season.
2. We will ensure that the irrigation system is fully operational when running on electrical service after removing the battery systems.
3. We will ensure the timely completion of installing a new lighted ballard at the Arapaho-Qurum intersection that was damaged by Site Concrete, Inc.

All of these items will be of now additional cost to The Town of Addison.

Should you have any question please feel free to call me at 214-226-1822.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bryan Piper', is written over a horizontal line.

Bryan Piper  
Estimator/Project Manager

Enclosures

Copy: Ron Lee, Town of Addison  
Jean Boney, Site Concrete, Inc.

# Fax Cover Sheet

Site Concrete

<b>Send to:</b> Addison	<b>From:</b> Bryan Piper
<b>Attention:</b> Steve Chutchian	<b>Date:</b> 10-22-04
<b>Office Location:</b>	<b>Office Location:</b>
<b>Fax Number:</b> 972-450-2837	<b>Phone Number:</b> 214-226-1822

- Urgent
- Reply ASAP
- Please comment
- Please Review
- For your information

Total pages, including cover: 2

**Comments.**

Steve per your request.



## ALPHA TESTING, INC.

2209 Wisconsin St., Suite 100  
Dallas, Texas 75229  
972/620-8911 - 972/263-4937 (Metro)  
FAX: 972/406-8023

## DAILY FIELD REPORT

TESTED FOR: SITE CONCRETE, INC.  
GRAND PRAIRIE, TEXAS

DATE: 01/21/04

PROJECT: SPECTRUM DRIVE NORTH/SOUTH EXTENSION  
ADDISON, TEXAS

OUR REPORT NO.: 04007-1

TECHNICIAN: O.A.

WEATHER: PARTLY CLOUDY

TEMPERATURE RANGE : 35 TO 45

THE ALPHA TECHNICIAN TRAVELED TO THE ABOVE REFERENCED SITE TO MONITOR ON-GOING WORK AND PERFORM FIELD TESTING AS REQUESTED.

WHILE ON SITE THE TECHNICIAN OBTAINED 2 SOIL SAMPLES FOR LABORATORY PROCTOR ANALYSIS. THE SAMPLES WERE OBTAINED FROM THE FOLLOWING LOCATIONS:

- 1.) 100' NORTH AND 100' WEST FROM SE CORNER OF PROPERTY LINE
- 2.) 300' NORTH AND 50' WEST FROM SE CORNER OF PROPERTY LINE

LABORATORY TEST RESULTS FOR ALL RELATED ITEMS REFERENCED ABOVE WILL FOLLOW ON A SEPARATE REPORT.

GREG WAS INFORMED OF ALL OBSERVATIONS AND FIELD TEST RESULTS.

AT THE COMPLETION OF THE SCHEDULED TESTING, THE TECHNICIAN RETURNED TO THE DALLAS OFFICE.

CC:

TOWN OF ADDISON  
HUITT-ZOLLARS CONSULTING

Respectfully Submitted,

  
ALPHA TESTING, INC.

Our test results and reports are for the exclusive use of the Client (and their designated recipients on file in our office) and shall not be reproduced and/or distributed except with express approval of ALPHA. The use of our name and test results must receive our written approval. Test results and reports apply only to the samples tested and/or observed, and are not indicative of the qualities of apparently identical or similar specimens.

PROPOSAL FORM

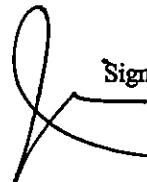
COPY 228.00 880.84

DEC. 2, 2003

TO: The Honorable Mayor and Town Council  
Town of Addison, Texas

Gentlemen:

The undersigned bidder, having examined the plans, specifications and contract documents, and the location of the proposed work, and being fully advised as to the extent and character of the work, proposes to furnish all equipment and to perform labor and work necessary for completion of the work described by and in accordance with the Plans, Specifications and Contract for the following prices, to wit:

Signed by:  G.M.

ACKNOWLEDGEMENT OF ADDENDA:

The Bidder acknowledges receipt of the following addenda:

Addendum No. 1 Dated

11/20/03

Addendum No. 2 Dated

\_\_\_\_\_

Addendum No. 3 Dated

\_\_\_\_\_

Addendum No. 4 Dated

\_\_\_\_\_

Addendum No. 5 Dated

\_\_\_\_\_

Addendum No. 6 Dated

\_\_\_\_\_



**Spectrum Drive North/South Extension**

Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Paving Improvements - Schedule I - North Extension</b>					
101	1	LS	Mobilization	\$ 206,200.00	\$ 206,200.00
102	114	LF	Full Depth Sawcut	\$ 2.00	\$ 228.00
103	19	SY	Rem & Disp Of Ex Conc & Asph Pave Incl Curb	\$ 50.00	\$ 950.00
104	6859	SY	6" Thick Lime Stabilized Subgrade	\$ 1.75	\$ 12,003.25
105	113.1	TON	Hydrated Lime	\$ 100.00	\$ 11,310.00
106	6229	SY	8" 5000psi @ 28 Days Concrete Pavement	\$ 42.00	\$ 261,618.00
107	152	SY	6" 5000psi @ 28 Days Concrete Drop Slab (Street)	\$ 45.00	\$ 6,840.00
108	112	SY	8" 5000psi @ 28 Days Concrete Drop Slab (Street)	\$ 47.00	\$ 5,264.00
109	3194	LF	6" 5000psi @ 28 Day Integral Concrete Curb	\$ 2.50	\$ 7,985.00
110	111	LF	Longitudinal Butt Joint	\$ 3.00	\$ 333.00
111	23	LF	Conc Street Header	\$ 20.00	\$ 460.00
112	2372	SF	Acme Vehicular Brick Paver Materials, Delivered To Site	\$ 4.13	\$ 9,796.36
113	2372	SF	Bedding Materials & Place Brick Pavers	\$ 2.20	\$ 5,218.40
114	23	LF	Thermo Stop Line 24" Wide	\$ 4.00	\$ 92.00
115	1942	LF	Thermo Stripe 4" Wide	\$ 0.90	\$ 1,747.80
116	21	EA	Refl Buttons, Ty 1-C, 4"	\$ 3.00	\$ 63.00
117	140	EA	Refl Buttons, Ty 11aa, 4"	\$ 3.00	\$ 420.00
118	5	EA	Street & Traffic Control Signs	\$ 300.00	\$ 1,500.00
119	1	EA	Street Name Sign & Mount Hardware & Appurtenances	\$ 135.00	\$ 135.00
120	1	EA	Unistrut-Telespar Sign Post, Foundation, Hardware, Appurt.	\$ 185.00	\$ 185.00
121	44	LF	Remove Existing Street Barricades & Posts	\$ 15.00	\$ 660.00
122	50	LF	Furnish & Install Street Barricades & Posts	\$ 25.00	\$ 1,250.00
123	1	LS	Barricades, Signs & Traffic Control	\$ 4,100.00	\$ 4,100.00
124	20400	CY	Unclassified Street Excavation Including Disposal	\$ 4.25	\$ 86,700.00
125	1	EA	Black Steel Stop Sign Pole w/ Break-Away Base	\$ 285.00	\$ 285.00
126	1	EA	Install Addison Circle Finial On Black Steel Pole	\$ 75.00	\$ 75.00
127	19	CY	Stabilized Construction Entrance	\$ 52.63	\$ 999.97
128	1050	LF	Silt Fence	\$ 1.25	\$ 1,312.50
129	5	EA	Inlet Protection	\$ 75.00	\$ 375.00
130	0	LS	Railroad Crossing		\$ -
131	0	SY	4" HMA CP Base Course		\$ -
132	0	SY	2" HMA CP Surf Course		\$ -
133	0	CY	Import Fill		\$ -
134	90	LF	6" Thermo Crosswalk Marker	\$ 1.30	\$ 117.00
135	2	EA	Thermo Directional Arrow	\$ 80.00	\$ 160.00
<b>Schedule I Total (Items 101-135)</b>					<b>\$ 628,383.28</b>



**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Utility Improvements - Schedule II - North Extension</b>					
<b>Water</b>					
201	9.8	CY	Concrete Blocking	\$ 88.00	\$ 862.40
202	1.1	TON	D.I. Fittings, CI 250	\$ 5,950.00	\$ 6,545.00
203	30	LF	6" PVC AWWA C909 DR18 CI 150 Water Pipe w/ embedment	\$ 16.50	\$ 495.00
204	489	LF	8" PVC AWWA C909 DR18 CI 150 Water Pipe w/ embedment	\$ 21.00	\$ 10,269.00
205	1087	LF	12" PVC AWWA C909 DR18 CI 150 Water Pipe w/ embedment	\$ 29.75	\$ 32,338.25
206	3	EA	6" Resilient Seat Gate Valve/Box	\$ 700.00	\$ 2,100.00
207	13	EA	8" Resilient Seat Gate Valve/Box	\$ 930.00	\$ 12,090.00
208	5	EA	12" Resilient Seat Gate Valve/Box	\$ 1,500.00	\$ 7,500.00
209	3	EA	Furnish & Install Fire Hydrant	\$ 1,950.00	\$ 5,850.00
210	2	EA	Connect To Existing Water Main	\$ 305.00	\$ 610.00
211	0	LF	24" Steel Casing Pipe By Bore		\$ -
212	1	EA	2" Type K Soft Copper Irrigation Service	\$ 1,240.00	\$ 1,240.00
213	1	EA	1.5" Hersey MVR 100 Turbine Meter	\$ 480.00	\$ 480.00
214	2	EA	Brooks Prod, #65 17" X 28" Precast Box	\$ 175.00	\$ 350.00
215	1	EA	1.5" Febco 805Y Double Check Valve Assembly	\$ 700.00	\$ 700.00
215	38	LF	2" CI 200 PVC Sleeve	\$ 10.00	\$ 380.00
217	1596	LF	Trench Safety	\$ 1.25	\$ 1,995.00
218	1	LS	Perform Water Test	\$ 1,825.00	\$ 1,825.00
219	0	EA	2" Air Release Valve		\$ -
220	0	LF	12" PVC AWWA C909 DR18 CI 150 Water Pipe In Bore Pipe		\$ -
<b>Water Subtotal</b>					<b>\$ 85,629.65</b>
<b>Storm Drainage</b>					
301	231	LF	18" CI III RCP, Including Embedment	\$ 30.50	\$ 7,045.50
302	59	LF	21" CI III RCP, Including Embedment	\$ 34.50	\$ 2,035.50
303	75	LF	24" CI III RCP, Including Embedment	\$ 41.00	\$ 3,075.00
304	188	LF	27" CI III RCP, Including Embedment	\$ 47.00	\$ 8,836.00
305	26	LF	30" CI III RCP, Including Embedment	\$ 54.00	\$ 1,404.00
306	46	LF	33" CI III RCP, Including Embedment	\$ 62.75	\$ 2,886.50
307	261	LF	36" CI III RCP, Including Embedment	\$ 71.25	\$ 18,596.25
308	428	LF	42" CI III RCP, Including Embedment	\$ 93.00	\$ 39,804.00
309	0	LF	48" CI III RCP, Including Embedment		\$ -
310	0	LF	6' x 3' CI III RCBC Including Embedment		\$ -
311	0	LF	6' x 4' CI III RCBC Including Embedment		\$ -
312	0	EA	24" RCP Flow Equalizer		\$ -
313	1	EA	Remove & Dispose Of Existing Concrete Inlet	\$ 265.00	\$ 265.00
314	0	LF	Remove & Dispose Of Existing RCP		\$ -
315	0	EA	Concrete Junction Box @ STA 1+59.41, Storm Drain Line T		\$ -
316	2	EA	6' Standard Inlet With Recessed Top	\$ 1,885.00	\$ 3,770.00
317	3	EA	6' Standard Inlet With Recessed Top For Brick, Extra Depth	\$ 2,085.00	\$ 6,255.00
318	0	EA	10' Standard Inlet With Recessed Top		\$ -
319	2	EA	Type B Manhole	\$ 4,250.00	\$ 8,500.00
320	0	EA	Type B Headwall		\$ -
321	15	EA	RCP 60 Degree Factory Wye Connection	\$ 30.00	\$ 450.00
322	3	EA	Connect To Existing Pipe	\$ 300.00	\$ 900.00
323	0	EA	Connect To Existing Structure		\$ -
324	11	EA	Precast Concrete Pipe Plug	\$ 125.00	\$ 1,375.00
325	0	LS	Remove & Dispose Of Existing Headwalls & Concrete Rip Rap		\$ -
<b>Storm Drainage Subtotal</b>					<b>\$ 105,197.75</b>
<b>Wastewater</b>					
401	1235	LF	8" SDR-26 PVC Wastewater Pipe	\$ 25.50	\$ 31,492.50
402	409	LF	6" SDR-26 PVC Wastewater Pipe	\$ 24.25	\$ 9,918.25
403	9	EA	2-Way Cleanout & Cast Iron Lid	\$ 715.00	\$ 6,435.00
404	3	EA	4' Diameter Wastewater Manhole	\$ 3,200.00	\$ 9,600.00
405	3	EA	8" Diameter Wastewater Pipe Plug	\$ 185.00	\$ 555.00
406	1235	LF	TV Inspection of Wastewater Lines	\$ 2.75	\$ 3,396.25
407	1235	LF	Trench Safety	\$ 1.25	\$ 1,543.75
408	1	EA	Connect To Existing Wastewater Lines	\$ 325.00	\$ 325.00
<b>Wastewater Subtotal</b>					<b>\$ 63,265.75</b>
<b>Electrical Ductbank</b>					
501	1052	LF	8-6" PVC Type DB Conduits, Encased In Concrete	\$ 96.00	\$ 100,992.00
502	1	EA	Connect To Existing Ductbank	\$ 2,265.00	\$ 2,265.00
503	2	EA	Standard 4-Way Electrical Ductbank Manhole	\$ 13,150.00	\$ 26,300.00
504	1	EA	Standard 3-Way Electrical Ductbank Manhole	\$ 13,000.00	\$ 13,000.00
505	3	EA	Concrete Ductbank End Plug	\$ 375.00	\$ 1,125.00
<b>Electrical Ductbank Subtotal</b>					<b>\$ 143,682.00</b>
<b>Schedule II Total (Items 201-505)</b>					<b>\$ 397,775.15</b>

**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Streetscape Improvements - Schedule III - North Extension</b>					
601	1	LS	Irrigation System Complete	\$ 10,792.32	\$ 10,792.32
602	23	EA	60" Square Tree Grate	\$ 1,225.00	\$ 28,175.00
603	1841	LF	4" PVC Schedule 40 Subdrain System	\$ 20.00	\$ 36,820.00
604	41	EA	200 Gallon Red Oak, 6", 18' Height, 12'-14' Spread	\$ 1,158.70	\$ 47,506.70
605	390	EA	Dwarf Yaupon Holly - 1 Gallon	\$ 5.00	\$ 1,950.00
606	130	EA	Daylily - 1 Gallon	\$ 5.00	\$ 650.00
607	130	EA	Yellow Beard ed Iris - 1 Gal	\$ 5.00	\$ 650.00
608	286	EA	Daffodil - 1 Gal	\$ 5.00	\$ 1,430.00
609	78	EA	Bleeding Heart - 1 Gal	\$ 5.00	\$ 390.00
610	9574	SF	4" 3000psi Concrete Subbase (Sidewalk)	\$ 2.90	\$ 27,764.60
611	9574	SF	Glen-Gery Pedestrian Brick Paver Materials Delivered To Site	\$ 2.93	\$ 28,051.82
612	9574	SF	Bedding Material For Pedestrian Brick Pavers (Sidewalk)	\$ 1.29	\$ 12,350.46
613	70	SF	Truncated Dome Pavers On New Ramps	\$ 3.00	\$ 210.00
614	0	CY	Concrete Retaining Wall, Backfill & Drains		\$ -
615	0	LF	Bike Rail On Retaining Wall		\$ -
<b>Schedule III Total (Items 601-615)</b>					<b>\$ 196,740.90</b>

**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Street Light Improvements - Schedule V - North Extension</b>					
801	2	EA	Meter Socket Base	\$ 110.00	\$ 220.00
802	1	EA	Enclosure to Support Meter, Panel, Contactor & Time Clock	\$ 3,390.00	\$ 3,390.00
803	1	EA	Service Ground	\$ 45.00	\$ 45.00
804	1	EA	Panel Board with Breakers 120/240, 80A MCB	\$ 1,170.00	\$ 1,170.00
805	1	EA	Enclosure & Contactor	\$ 885.00	\$ 885.00
806	1	EA	7 Day Time Clock	\$ 70.00	\$ 70.00
807	1	EA	Photo Cell & Connections	\$ 30.00	\$ 30.00
808	57	EA	2" GRC Elbow	\$ 15.00	\$ 855.00
809	2210	LF	2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit)	\$ 2.40	\$ 5,304.00
810	2510	LF	2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting)	\$ 2.50	\$ 6,275.00
811	156	LF	2" GRC Conduit	\$ 6.50	\$ 1,014.00
812	4	EA	3" GRC Elbow	\$ 11.50	\$ 46.00
813	300	LF	3" PVC Schedule 40 Conduit with Embedment	\$ 2.75	\$ 825.00
814	30	EA	3" GRC Conduit	\$ 3.25	\$ 97.50
815	50	EA	High Compression Tap	\$ 13.50	\$ 675.00
816	60	LF	#10 AWG Conductor	\$ 0.25	\$ 15.00
817	2610	LF	#8 AWG Conductor	\$ 0.35	\$ 913.50
818	0	LF	#6 AWG Conductor		\$ -
819	3040	LF	#4 AWG Conductor	\$ 0.55	\$ 1,672.00
820	11	EA	Steel Light Pull Box	\$ 220.00	\$ 2,420.00
821	27	EA	Pedestrian Pole Light Foundation	\$ 480.00	\$ 12,960.00
822	27	EA	Pedestrian Light Pole & Luminaries Fixtures (2 Fixtures Each Pole)	\$ 3,550.00	\$ 95,850.00
823	6	EA	Vehicular Pole Light Foundation	\$ 480.00	\$ 2,880.00
824	6	EA	Vehicular Pole & Single Luminaire	\$ 2,850.00	\$ 17,100.00
825	1	EA	30 Amp Disconnect Switch with Fuses	\$ 275.00	\$ 275.00
<b>Schedule V Total (Items 801-825)</b>					<b>\$ 154,987.00</b>

**Spectrum Drive North/South Extension**  
 Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Street Light Improvements (Alt. Bid) - Schedule VI - North Extension</b>					
801	2	EA	Meter Socket Base	\$ 110.00	\$ 220.00
802	1	EA	Enclose To Support Meter, Panel, Contactor, Time Clock	\$ 3,390.00	\$ 3,390.00
803	1	EA	Service Ground	\$ 45.00	\$ 45.00
804	1	EA	Panel Board with Breakers 120/240, 80A MCB	\$ 1,170.00	\$ 1,170.00
805	1	EA	Enclosure & Contactor	\$ 885.00	\$ 885.00
806	1	EA	7 Day Time Clock	\$ 70.00	\$ 70.00
807	1	EA	Photo Cell & Connections	\$ 30.00	\$ 30.00
808	56	EA	2" GRC Elbow	\$ 15.00	\$ 840.00
809	2285	LF	2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit)	\$ 2.40	\$ 5,484.00
810	425	LF	2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting)	\$ 2.45	\$ 1,041.25
811	156	LF	2" GRC Conduit	\$ 6.50	\$ 1,014.00
812	2	EA	3" GRC Elbow	\$ 11.50	\$ 23.00
813	150	LF	3" PVC Schedule 40 Conduit with Embedment	\$ 2.75	\$ 412.50
814	15	EA	3" GRC Conduit	\$ 3.25	\$ 48.75
815	50	EA	High Compression Tap	\$ 13.50	\$ 675.00
816	30	LF	#10 AWG Conductor	\$ 0.25	\$ 7.50
817	2630	LF	#8 AWG Conductor	\$ 0.35	\$ 920.50
818	2890	LF	#6 AWG Conductor	\$ 0.40	\$ 1,156.00
819	3040	LF	#4 AWG Conductor	\$ 0.55	\$ 1,672.00
820	15	EA	Steel Light Pull Box	\$ 235.00	\$ 3,525.00
821	27	EA	Pedestrian Pole Light Foundation	\$ 480.00	\$ 12,960.00
822	27	EA	Pedestrian Light Pole & Luminaries Fixtures (2 Fixtures Each Pole)	\$ 3,550.00	\$ 95,850.00
823	6	EA	Vehicular Pole Light Foundation	\$ 480.00	\$ 2,880.00
824	6	EA	Vehicular Pole & Single Luminare	\$ 2,850.00	\$ 17,100.00
825	0	EA	30 Amp Disconnect Switch with Fuses		\$ -
<b>Schedule VI Total (Items 801-825)</b>					<b>\$ 151,419.50</b>

**Spectrum Drive North/South Extension**  
 Proposal Form

<b>Bid Schedule Summary - North Extension</b>		
<b>Bid Schedule</b>	<b>Description</b>	<b>Total</b>
I	Paving Improvements	\$ 628,383.28
II	Utility Improvements	\$ 397,775.15
III	Streetscape Improvements	\$ 196,740.90
IV	Signalization Improvements	0
V	Street Lighting (Base Bid)	\$ 154,987.00
<b>Total Paving, Utility, Streetscape, Signalization, &amp; Street Lighting Base Bid</b>		<b>\$ 1,377,886.33</b>
VI	Street Lighting (Alternate Bid)	\$ 151,419.50



**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Paving Improvements - Schedule I - South Extension</b>					
101	1	LS	Mobilization	\$ 76,300.00	\$ 76,300.00
102	143	LF	Full Depth Sawcut	\$ 2.00	\$ 286.00
103	11	SY	Rem & Disp Of Ex Conc & Asph Pave Incl Curb	\$ 68.00	\$ 748.00
104	3115	SY	6" Thick Lime Stabilized Subgrade	\$ 1.75	\$ 5,451.25
105	51.4	TON	Hydrated Lime	\$ 100.00	\$ 5,140.00
106	3000	SY	8" 5000psi @ 28 Days Concrete Pavement	\$ 43.00	\$ 129,000.00
107	0	SY	6" 5000psi @ 28 Days Concrete Drop Slab (Street)		\$ -
108	0	SY	8" 5000psi @ 28 Days Concrete Drop Slab (Street)		\$ -
109	1834	LF	6" 5000psi @ 28 Day Integral Concrete Curb	\$ 2.50	\$ 4,585.00
110	118	LF	Longitudinal Butt Joint	\$ 3.00	\$ 354.00
111	0	LF	Conc Street Header		\$ -
112	0	SF	Acme Vehicular Brick Paver Materials, Delivered To Site		\$ -
113	0	SF	Bedding Materials & Place Brick Pavers		\$ -
114	35	LF	Thermo Stop Line 24" Wide	\$ 4.00	\$ 140.00
115	594	LF	Thermo Stripe 4" Wide	\$ 0.90	\$ 534.60
116	37	EA	Refl Buttons, Ty 1-C, 4"	\$ 3.00	\$ 111.00
117	76	EA	Refl Buttons, Ty 11aa, 4"	\$ 3.00	\$ 228.00
118	5	EA	Street & Traffic Control Signs	\$ 300.00	\$ 1,500.00
119	0	EA	Street Name Sign & Mount Hardware & Appurtenances		\$ -
120	0	EA	Unistrut-Telespar Sign Post, Foundation, Hardware, Appurt.		\$ -
121	0	LF	Remove Existing Street Barricades & Posts		\$ -
122	0	LF	Furnish & Install Street Barricades & Posts		\$ -
123	1	LS	Barricades, Signs & Traffic Control	\$ 4,100.00	\$ 4,100.00
124	0	CY	Unclassified Street Excavation Including Disposal		\$ -
125	0	EA	Black Steel Stop Sign Pole w/ Break-Away Base		\$ -
126	0	EA	Install Addison Circle Finial On Black Steel Pole		\$ -
127	19	CY	Stabilized Construction Entrance	\$ 52.63	\$ 999.97
128	350	LF	Silt Fence	\$ 1.25	\$ 437.50
129	2	EA	Inlet Protection	\$ 75.00	\$ 150.00
130	1	LS	Railroad Crossing	\$ 58,000.00	\$ 58,000.00
131	237	SY	4" HMA CP Base Course	\$ 11.20	\$ 2,654.40
132	237	SY	2" HMA CP Surf Course	\$ 6.20	\$ 1,469.40
133	3400	CY	Import Fill	\$ 6.50	\$ 22,100.00
134	460	LF	6" Thermo Crosswalk Marker	\$ 1.30	\$ 598.00
135	11	EA	Thermo Directional Arrow	\$ 80.00	\$ 880.00
<b>Schedule I Total (Items 101-133)</b>					<b>\$ 315,767.12</b>



**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Utility Improvements - Schedule II - South Extension</b>					
<b>Water</b>					
201	21.8	CY	Concrete Blocking	\$ 88.00	\$ 1,918.40
202	0.5	TON	D.I. Fittings, CI 250	\$ 5,950.00	\$ 2,975.00
203	24	LF	6" PVC AWWA C909 DR18 CI 150 Water Pipe w/ embedment	\$ 16.50	\$ 396.00
204	85	LF	8" PVC AWWA C909 DR18 CI 150 Water Pipe w/ embedment	\$ 21.00	\$ 1,785.00
205	640	LF	12" PVC AWWA C909 DR18 CI 150 Water Pipe w/ embedment	\$ 29.75	\$ 19,040.00
206	1	EA	6" Resilient Seat Gate Valve/Box	\$ 700.00	\$ 700.00
207	4	EA	8" Resilient Seat Gate Valve/Box	\$ 930.00	\$ 3,720.00
208	1	EA	12" Resilient Seat Gate Valve/Box	\$ 1,500.00	\$ 1,500.00
209	1	EA	Furnish & Install Fire Hydrant	\$ 1,950.00	\$ 1,950.00
210	2	EA	Connect To Existing Water Main	\$ 305.00	\$ 610.00
211	126	LF	24" Steel Casing Pipe By Bore	\$ 200.00	\$ 25,200.00
212	1	EA	2" Type K Soft Copper Irrigation Service	\$ 1,240.00	\$ 1,240.00
213	1	EA	1.5" Hersey MVR 100 Turbine Meter	\$ 480.00	\$ 480.00
214	2	EA	Brooks Prod, #65 17" X 28" Precast Box	\$ 175.00	\$ 350.00
215	1	EA	1.5" Febco 805Y Double Check Valve Assembly	\$ 700.00	\$ 700.00
216	30	LF	2" CI 200 PVC Sleeve	\$ 10.00	\$ 300.00
217	750	LF	Trench Safety	\$ 1.25	\$ 937.50
218	1	LS	Perform Water Test	\$ 1,825.00	\$ 1,825.00
219	2	EA	2" Air Release Valve	\$ 3,300.00	\$ 6,600.00
220	103	LF	12" PVC AWWA C909 DR18 CI 150 Water Pipe In Bore Pipe	\$ 15.00	\$ 1,545.00
				<b>Water Subtotal</b>	<b>\$ 73,771.90</b>
<b>Storm Drainage</b>					
301	153	LF	18" CI III RCP, Including Embedment	\$ 30.50	\$ 4,666.50
302	111	LF	21" CI III RCP, Including Embedment	\$ 34.50	\$ 3,829.50
303	0	LF	24" CI III RCP, Including Embedment		\$ -
304	0	LF	27" CI III RCP, Including Embedment		\$ -
305	0	LF	30" CI III RCP, Including Embedment		\$ -
306	0	LF	33" CI III RCP, Including Embedment		\$ -
307	0	LF	36" CI III RCP, Including Embedment		\$ -
308	0	LF	42" CI III RCP, Including Embedment		\$ -
309	740	LF	48" CI III RCP, Including Embedment	\$ 110.00	\$ 81,400.00
310	284	LF	6' x 3' CI III RCBC Including Embedment	\$ 198.00	\$ 56,232.00
311	450	LF	6' x 4' CI III RCBC Including Embedment	\$ 271.50	\$ 122,175.00
312	2	EA	24" RCP Flow Equalizer	\$ 285.00	\$ 570.00
313	0	EA	Remove & Dispose Of Existing Concrete Inlet		\$ -
314	233	LF	Remove & Dispose Of Existing RCP	\$ 8.75	\$ 2,038.75
315	1	EA	Concrete Junction Box @ STA 1+59.41, Storm Drain Line T	\$ 13,775.00	\$ 13,775.00
316	0	EA	6' Standard Inlet With Recessed Top		\$ -
317	0	EA	6' Standard Inlet With Recessed Top For Brick, Extra Depth		\$ -
318	2	EA	10' Standard Inlet With Recessed Top	\$ 2,785.00	\$ 5,570.00
319	0	EA	Type B Manhole		\$ -
320	3	EA	Type B Headwall	\$ 835.00	\$ 2,505.00
321	2	EA	RCP 60 Degree Factory Wye Connection	\$ 30.00	\$ 60.00
322	2	EA	Connect To Existing Pipe	\$ 300.00	\$ 600.00
323	1	EA	Connect To Existing Structure	\$ 300.00	\$ 300.00
324	1	EA	Precast Concrete Pipe Plug	\$ 125.00	\$ 125.00
325	1	LS	Remove & Dispose Of Existing Headwalls & Concrete Rip Rap	\$ 265.00	\$ 265.00
				<b>Storm Drainage Subtotal</b>	<b>\$ 294,111.75</b>
<b>Wastewater</b>					
401	0	LF	8" SDR-26 PVC Wastewater Pipe		\$ -
402	0	LF	6" SDR-26 PVC Wastewater Pipe		\$ -
403	0	EA	2-Way Cleanout & Cast Iron Lid		\$ -
404	0	EA	4' Diameter Wastewater Manhole		\$ -
405	0	EA	8" Diameter Wastewater Pipe Plug		\$ -
406	0	LF	TV Inspection of Wastewater Lines		\$ -
407	0	LF	Trench Safety		\$ -
408	0	EA	Connect To Existing Wastewater Lines		\$ -
				<b>Wastewater Subtotal</b>	<b>\$ -</b>
<b>Electrical Ductbank</b>					
501	0	LF	8-6" PVC Type DB Conduits, Encased In Concrete		\$ -
502	0	EA	Connect To Existing Ductbank		\$ -
503	0	EA	Standard 4-Way Electrical Ductbank Manhole		\$ -
504	0	EA	Standard 3-Way Electrical Ductbank Manhole		\$ -
505	0	EA	Concrete Ductbank End Plug		\$ -
				<b>Electrical Ductbank Subtotal</b>	<b>\$ -</b>
				<b>Schedule II Total (Items 201-505)</b>	<b>\$ 367,883.65</b>



**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Streetscape Improvements Schedule III South Extension</b>					
601	1	LS	Irrigation System Complete	\$ 7,229.34	\$ 7,229.34
602	11	EA	60" Square Tree Grate	\$ 1,225.00	\$ 13,475.00
603	544	LF	4" PVC Schedule 40 Subdrain System	\$ 20.00	\$ 10,880.00
604	11	EA	200 Gallon Red Oak, 6", 18' Height, 12'-14' Spread	\$ 1,158.70	\$ 12,745.70
605	0	EA	Dwarf Yaupon Holly - 1 Gallon		\$ -
606	0	EA	Daylilly - 1 Gallon		\$ -
607	0	EA	Yellow Beard ed Iris - 1 Gal		\$ -
608	0	EA	Daffodil - 1 Gal		\$ -
609	0	EA	Bleeding Heart - 1 Gal		\$ -
610	16379	SF	4" 3000psi Concrete Subbase (Sidewalk)	\$ 2.85	\$ 46,680.15
611	16379	SF	Glen-Gery Pedestrian Brick Paver Materials Delivered To Site	\$ 2.93	\$ 47,990.47
612	16379	SF	Bedding Material For Pedestrian Brick Pavers (Sidewalk)	\$ 1.29	\$ 21,128.91
613	70	SF	Truncated Dome Pavers On New Ramps	\$ 3.00	\$ 210.00
614	66	CY	Concrete Retaining Wall, Backfill & Drains	\$ 735.00	\$ 48,510.00
615	51	LF	Bike Rail On Retaining Wall	\$ 85.00	\$ 4,335.00
<b>Schedule III Total (Items 601-615)</b>					<b>\$ 213,184.57</b>

**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<b>Signalization Improvements Schedule IV South Extension</b>					
701	1	EA	TS-2 Cabinet & ASC/2S-1000 Signal Controller	\$ 13,950.00	\$ 13,950.00
702	1	EA	Traffic Signal Controller Foundation	\$ 1,485.00	\$ 1,485.00
703	4	EA	Type C Pull Box with Concrete Apron	\$ 400.00	\$ 1,600.00
704	1211	LF	Elect Conductor #6 XHHW Wire (Power)	\$ 0.60	\$ 726.60
705	717	LF	Elect Conductor #6 AWG CU Wire (Ground)	\$ 0.70	\$ 501.90
706	430	LF	Traffic Signal Cable, 16 Cond. #14 Cable	\$ 3.35	\$ 1,440.50
707	430	LF	Traffic Signal Cable, #18 AWG Video Cable	\$ 1.70	\$ 731.00
708	430	LF	Traffic Signal Cable, #18 AWG CU Wire, ILSNS	\$ 0.75	\$ 322.50
709	18	LF	3" PVC Conduit with Embedment	\$ 12.00	\$ 216.00
710	630	LF	4" PVC Conduit with Embedment	\$ 3.70	\$ 2,331.00
711	222	LF	4" PVC Bored Conduit	\$ 16.00	\$ 3,552.00
712	4	EA	Econolite MVP Solopro Video Detection Cameras	\$ 4,775.00	\$ 19,100.00
713	2	EA	Type 36-A Traffic Signal Foundation	\$ 1,980.00	\$ 3,960.00
714	2	EA	Type 48-A Traffic Signal Foundation	\$ 3,400.00	\$ 6,800.00
715	4	EA	Internally Lighted Street Name Signs	\$ 1,350.00	\$ 5,400.00
716	8	EA	Pedestrian Signal with Countdown LED	\$ 530.00	\$ 4,240.00
717	1	EA	Steel Traffic Signal Pole Assembly, 1 Arm, 36'	\$ 3,090.00	\$ 3,090.00
718	1	EA	Steel Traffic Signal Pole Assembly, 1 Arm, 40'	\$ 3,173.00	\$ 3,173.00
719	1	EA	Steel Traffic Signal Pole Assembly, 1 Arm, 50'	\$ 8,980.00	\$ 8,980.00
720	1	EA	Steel Traffic Signal Pole Assembly, 1 Arm, 55'	\$ 9,272.00	\$ 9,272.00
721	8	EA	Pedestrian Detector Push Button	\$ 110.00	\$ 880.00
722	13	EA	12" LED Red Traffic Signal Lamp	\$ 85.00	\$ 1,105.00
723	13	EA	12" LED Yellow Traffic Signal Lamp	\$ 98.00	\$ 1,274.00
724	13	EA	12" LED Green Traffic Signal Lamp	\$ 164.00	\$ 2,132.00
725	4	EA	12" LED Green & Yellow Arrow Traffic Signal Lamp	\$ 183.00	\$ 732.00
726	4	EA	Furnish & Install Opticom	\$ 1,095.00	\$ 4,380.00
<b>Schedule IV Total (Items 701-726)</b>					<b>\$ 101,374.50</b>

**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<del>Street Light Improvements - Schedule V - South Extension</del>					
801	2	EA	Meter Socket Base	\$ 110.00	\$ 220.00
802	1	EA	Enclosure to Support Meter, Panel, Contactor & Time Clock	\$ 3,390.00	\$ 3,390.00
803	1	EA	Service Ground	\$ 45.00	\$ 45.00
804	1	EA	Panel Board with Breakers 120/240, 80A MCB	\$ 1,170.00	\$ 1,170.00
805	1	EA	Enclosure & Contactor	\$ 885.00	\$ 885.00
806	1	EA	7 Day Time Clock	\$ 70.00	\$ 70.00
807	1	EA	Photo Cell & Connections	\$ 30.00	\$ 30.00
808	20	EA	2" GRC Elbow	\$ 15.00	\$ 300.00
809	530	LF	2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit)	\$ 2.40	\$ 1,272.00
810	620	LF	2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting)	\$ 2.45	\$ 1,519.00
811	40	LF	2" GRC Conduit	\$ 6.50	\$ 260.00
812	2	EA	3" GRC Elbow	\$ 11.50	\$ 23.00
813	370	LF	3" PVC Schedule 40 Conduit with Embedment	\$ 2.75	\$ 1,017.50
814	15	EA	3" GRC Conduit	\$ 3.25	\$ 48.75
815	36	EA	High Compression Tap	\$ 13.50	\$ 486.00
816	10	LF	#10 AWG Conductor	\$ 0.25	\$ 2.50
817	1500	LF	#8 AWG Conductor	\$ 0.35	\$ 525.00
818	0	LF	#6 AWG Conductor		\$ -
819	0	LF	#4 AWG Conductor		\$ -
820	4	EA	Steel Light Pull Box	\$ 235.00	\$ 940.00
821	7	EA	Pedestrian Pole Light Foundation	\$ 480.00	\$ 3,360.00
822	7	EA	Pedestrian Light Pole & Luminaries Fixtures (2 Fixtures Each Pole)	\$ 3,550.00	\$ 24,850.00
823	2	EA	Vehicular Pole Light Foundation	\$ 480.00	\$ 960.00
824	2	EA	Vehicular Pole & Single Luminaire	\$ 2,850.00	\$ 5,700.00
825	1	EA	30 Amp Disconnect Switch with Fuses	\$ 275.00	\$ 275.00
<b>Schedule V Total (Items 801-825)</b>					<b>\$ 47,348.75</b>

**Spectrum Drive North/South Extension**  
Proposal Form

Item Number	Quantity	Unit of Measure	Description	Unit Price	Extended Amount
<del>Street Light Improvements (Alt. Bid) - Schedule VI - South Extension</del>					
801	2	EA	Meter Socket Base	\$ 110.00	\$ 220.00
802	1	EA	Enclose To Support Meter, Panel, Contactor, Time Clock	\$ 3,390.00	\$ 3,390.00
803	1	EA	Service Ground	\$ 45.00	\$ 45.00
804	1	EA	Panel Board with Breakers 120/240, 80A MCB	\$ 1,170.00	\$ 1,170.00
805	1	EA	Enclosure & Contactor	\$ 885.00	\$ 885.00
806	1	EA	7 Day Time Clock	\$ 70.00	\$ 70.00
807	1	EA	Photo Cell & Connections	\$ 30.00	\$ 30.00
808	21	EA	2" GRC Elbow	\$ 15.00	\$ 315.00
809	665	LF	2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit)	\$ 2.40	\$ 1,596.00
810	185	LF	2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting)	\$ 2.45	\$ 453.25
811	80	LF	2" GRC Conduit	\$ 6.50	\$ 520.00
812	2	EA	3" GRC Elbow	\$ 11.50	\$ 23.00
813	30	LF	3" PVC Schedule 40 Conduit with Embedment	\$ 2.75	\$ 82.50
814	15	EA	3" GRC Conduit	\$ 3.25	\$ 48.75
815	36	EA	High Compression Tap	\$ 13.50	\$ 486.00
816	10	LF	#10 AWG Conductor	\$ 0.25	\$ 2.50
817	2100	LF	#8 AWG Conductor	\$ 0.35	\$ 735.00
818	0	LF	#6 AWG Conductor		\$ -
819	0	LF	#4 AWG Conductor		\$ -
820	0	LF	Steel Light Pull Box		\$ -
821	7	EA	Pedestrian Pole Light Foundation	\$ 480.00	\$ 3,360.00
822	7	EA	Pedestrian Light Pole & Luminaries Fixtures (2 Fixtures Each Pole)	\$ 3,550.00	\$ 24,850.00
823	2	EA	Vehicular Pole Light Foundation	\$ 480.00	\$ 960.00
824	2	EA	Vehicular Pole & Single Luminaire	\$ 2,850.00	\$ 5,700.00
825	0	EA	30 Amp Disconnect Switch with Fuses		\$ -
<b>Schedule VI Total (Items 801-825)</b>					<b>\$ 44,942.00</b>

**Spectrum Drive North/South Extension**  
 Proposal Form

<b>Bid Schedule Summary - South Extension</b>		
<b>Bid Schedule</b>	<b>Description</b>	<b>Total</b>
I	Paving Improvements	\$ 315,767.12
II	Utility Improvements	\$ 367,883.65
III	Streetscape Improvements	\$ 213,184.57
IV	Signalization Improvements	\$ 101,374.50
V	Street Lighting (Base Bid)	\$ 47,348.75
<b>Total Paving, Utility, Streetscape, Signalization, &amp; Street Lighting Base Bid</b>		<b>\$ 1,045,558.59</b>
VI	Street Lighting (Alternate Bid)	\$ 44,942.00

**Spectrum Drive North/South Extension**  
 Proposal Form

<b>Bid Schedule Summary - Total Project</b>		
<b>Bid Schedule</b>	<b>Description</b>	<b>Total</b>
I	Paving Improvements	\$ 944,150.40
II	Utility Improvements	\$ 765,658.80
III	Streetscape Improvements	\$ 409,925.47
IV	Signalization Improvements	\$ 101,374.50
V	Street Lighting (Base Bid)	\$ 202,335.75
<b>Total Paving, Utility, Streetscape, Signalization, &amp; Street Lighting Base Bid - Standard Bid "A"</b>		<b>\$ 2,423,444.92</b>
Calendar Days		250
Time Bid "B" (Days x \$2,500/day)		625000
<b>Total Bid</b>		<b>\$ 3,048,444.92</b>
VI	Street Lighting (Alternate Bid)	\$ 196,361.50

PAVING, UTILITIES, STREETScape, SIGNALIZATION & STREET LIGHTING  
**BID SCHEDULE SUMMARY**  
 SPECTRUM DRIVE EXTENSION - TOTAL PROJECT

Bid Schedule & Description	Total Amount Materials & Services
I Paving Improvements	\$ <u>944,150<sup>90</sup></u>
II Utility Improvements	\$ <u>767,658<sup>80</sup></u>
III Streetscape Improvements	\$ <u>409,925<sup>47</sup></u>
IV Signalization Improvements	\$ <u>101,374<sup>50</sup></u>
V Street Lighting (Base Bid)	\$ <u>202,335<sup>75</sup></u>
<b>TOTAL PAVING, UTILITY, STREETScape, SIGNALIZATION &amp; STREET LIGHTING BASE BID STANDARD BID "A"</b>	\$ <u>2,423,444<sup>92</sup></u>
CALENDAR DAYS <u>250</u> X \$2,500 PER DAY TIME BID "B"	\$ <u>625,000<sup>00</sup></u>
<b>TOTAL BID (STANDARD BID "A" + TIME BID "B")</b>	\$ <u>3,048,444<sup>92</sup></u>
VI Street Lighting (Alternate Bid)	\$ <u>196,361<sup>50</sup></u>

12/2/03 JIM DOWMAN CONSTRUCTION CO., L.P.  
 1111 SUMMIT AVE, STE. 1, PLANO, TX 75074  
 (972) 423-1313 ; FAX (972) 423-9447

By JIM DOWMAN GEN. MGR.

*25th*  
*Anniversary*  
1978-2003

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

January 29, 2004

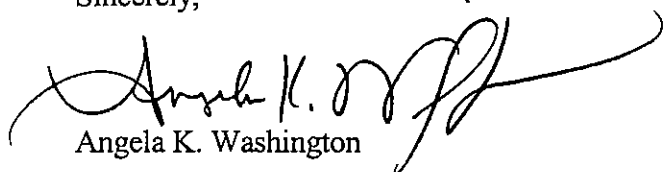
Ms. Carmen Moran  
City Secretary  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 5A, Spectrum Drive Right-of-Way Project**

Dear Carmen:

Enclosed for the Town's records is the recorded Special Warranty Deed for the above-referenced property. If you have any questions, please give me a call.

Sincerely,



Angela K. Washington

AKW/yjr  
Enclosure

c(w/o Enc.): Mr. Steve Chutchian  
(w/o Enc.) Mr. Kenneth C. Dippel



26

After Recording Return To:

Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

STATE OF TEXAS           §  
  §  
COUNTY OF DALLAS       §

TOWN OF ADDISON

2656390

SPECIAL WARRANTY DEED

4306718  
12/02/03

\$26.00 Deed

DATE: November 14, 2003

GRANTOR: Post Services, Inc.  
One Riverside  
4401 Northside Pkwy S-800  
Atlanta, GA 30327

GRANTEE: Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.
- (3) Representations and warranties of Grantee provided herein.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description for Parcel 5A) and Exhibit B (Survey Depiction for Parcel 5A) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a corporation organized and existing under the laws of the State of Georgia for the consideration described above grants, sells, and conveys to Grantee the Property (subject to the Reservations from Conveyance described herein), together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's

heirs, executors, administrators, successors, and assigns forever. Grantor does hereby bind itself and Grantor's heirs, executors, administrators, successors, and assigns to Warrant and forever Defend all and singular the premises herein conveyed unto Grantee and its heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through or under Grantor, but not otherwise.

**RESERVATIONS FROM CONVEYANCE:**

(a) Grantor reserves all of the oil, gas and sulfur in and under the land herein conveyed, but waives all rights of ingress and egress to the surface thereof for the purpose of exploring, developing, mining or drilling for same. Nothing in this reservation shall affect the title and rights of Grantee to take and use all other minerals and materials thereon, therein and thereunder.

(b) Grantor reserves the right to use the Property for access to and from the Remainder and to install driveways and other facilities necessary for such access subject to Grantee's reasonable approval of the location and extent of same.

**REPRESENTATIONS AND WARRANTIES:**

As an inducement to execute and deliver this Deed, Grantee agrees, represents and warrants to Grantor that:

(a) The Property hereby conveyed may be used as a public right-of-way for the passage of pedestrian traffic, including (without limitation) sidewalks, landscaping, utilities and drainage, or for any other customary use of public right-of-way as Grantee determines necessary or desirable.

(b) No additional assessments or fees for this Project in excess of those established prior to the date of this agreement shall be required of Grantor. For purposes of this paragraph, the term "this Project" means the Spectrum Drive Right-of-Way Project approved by the Town of Addison 2000 Bond Program.

(c) The Property is part of a lot governed by a plat approved by Grantee on December 9, 1997. Nothing in this conveyance shall require replatting or additional plat dedications prior to development of the remainder of the lot pursuant to the lot configuration approved by said plat, and Grantee agrees that the Property shall continue to be a part of the platted lot or development site for purposes of measuring or calculating lot area, setbacks, permissible floor area ratio, landscape area, sign placement or for the application of any and all other applicable development or zoning regulations.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The consideration described above shall be deemed full compensation for the conveyance of the Property and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(c) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.


**GRANTOR:**

**POST SERVICES, INC.**  
a Georgia Corporation

By:   
Print Name: John B. Meers  
Print Title: Executive Vice President

**GRANTEE:**

**TOWN OF ADDISON**  
a Texas Municipal Corporation

By:   
Print Name: Ron Whitehead  
Print Title: City Manager

STATE OF Georgia §  
COUNTY OF Fulton §

BEFORE ME, the undersigned notary public in and for said county and state, on this 14 day of November, 2003, personally appeared John B. Mears, Executive Vice President on behalf of Post Services, Inc., a Georgia corporation, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

Jennifer D. Benne  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

June 25, 2007

[SEAL]



STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned notary public in and for said county and state, on this 20<sup>th</sup> day of November, 2003, personally appeared Ron Whitehead, City Manager for the Town of Addison, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

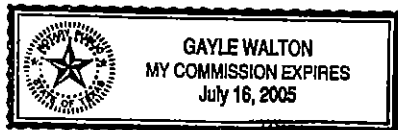
GIVEN UNDER my hand and seal of office the day and year last above written.

Gayle Walton  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

July 16, 2005

[SEAL]



**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 5**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner, from which a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap bears South 00 degrees 08 minutes 23 seconds West at a distance of 334.90 feet;

THENCE North 44 degrees 30 minutes 38 seconds West departing said westerly line of the Town of Addison tract a distance of 28.46 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the said southerly right-of-way line of Airport Parkway;

THENCE South 89 degrees 09 minutes 39 seconds East along the southerly right-of-way line of said Airport Parkway a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 5A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the westerly side of Spectrum Drive and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for THE POINT OF BEGINNING;

THENCE continuing South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 334.90 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the platted southerly line of said Quorum East Addition;

THENCE North 89 degrees 04 minutes 54 seconds West along the southerly line of said Quorum East Addition a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 08 minutes 23 seconds East departing the southerly line of said Quorum East Addition a distance of 339.90 feet to a point for a corner;

THENCE South 44 degrees 30 minutes 38 seconds East a distance of 7.11 feet to the POINT OF BEGINNING and containing 0.0387 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

POINT OF BEGINNING

5/8" IRS WITH HUITT-ZOLLARS YELLOW CAP

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

AIRPORT PARKWAY

POINT OF COMMENCING - PARCEL 5A

60' R.O.W. (EXISTING)

55' R.O.W. (EXISTING)

5/8" IRS

L3

1/2" IRF

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033

PARCEL 5  
0.0046 AC.

POINT OF BEGINNING - PARCEL 5A  
5/8" IRS  
S 44°30'38"E 7.11'

69.65' R.O.W.

(PARCEL 5A - 0.0387 AC.)

A B S T. F I S H E R S U R V E Y

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

UTAH STATE RETIREMENT INVESTMENT FUND  
VOL.96003 PG.1968

G. W. A B S T. F I S H E R S U R V E Y

(PROPOSED) SPECTRUM DRIVE

TOWN OF ADDISON  
VOL.99002 PG.00016

10' TEXAS POWER & LIGHT CO. EASEMENT  
VOL.85021 PG.1686

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 00° 08' 23" W	20.00'
L2	N 44° 30' 38" W	28.46'
L3	S 89° 09' 39" E	20.00'

N 89°04'54"W 5.00'

5/8" IRF WITH HUITT-ZOLLARS YELLOW CAP

1/2" IRF WITH POWELL & POWELL CAP

200236 00033

PAGE 3 OF 3

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

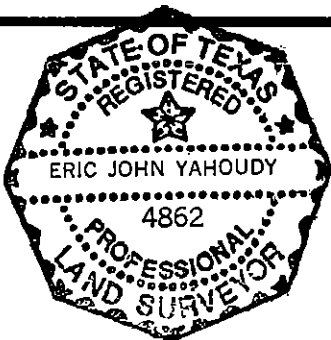
0 50 100



SCALE: 1" = 50'

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862  
Revised: November 25, 2003

HUITT-ZOLLARS

Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY  
EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 5 & 5A  
OWNER: POST SERVICES, INC.  
AREA: 0.0046 AC. DATE: 11/05/2002

FILED AND RECORDED  
OFFICIAL PUBLIC RECORDS

2003 DEC -2 AM 10:57

*Cynthia D. Blackburn*  
COUNTY CLERK  
DALLAS CO., TEXAS

2003 DEC 02 10:57 AM





T O W N O F  
**ADDISON**  
®

FINANCE DEPARTMENT/PURCHASING DIVISION

E-mail [mshub@ci.addison.tx.us](mailto:mshub@ci.addison.tx.us)

Facsimile (972) 450-7096

5350 Belt Line Road (972) 450-7091

P.O. Box 9010

Addison, Texas 75001

December 9, 2003

Jodie Couch  
Site Concrete, Inc.  
3340 Roy Orr  
Grand Prairie, TX 75050

**NOTICE OF AWARD: Spectrum Drive North/South Extension**

Dear Ms. Couch:

Receipt of this document authorizes your company to provide all labor and materials as outlined in the specifications, and under the terms and conditions of the contract documents for Bid No: 04-03.

Enclosed please find four completed copies of the contract to be signed by an authorized officer or principal of your firm.

Please send the signed contracts along with the necessary insurance certificates and bonds as soon as possible, but no later than December 19, 2003. Once we receive these items a Notice to Proceed will be issued.

If you have any questions or if I can be of assistance to you, please contact me at 972-450-7091.

Sincerely,

Minok Suh  
Purchasing Coordinator

Enclosures

Copy: Steve Chutchian  
Luke Jalbert  
Bryan Piper, Site Concrete, Inc.

SECTION CA  
AGREEMENT

STATE OF TEXAS

COUNTY OF DALLAS

THIS AGREEMENT is made and entered into this 9 day of December, 2003, by and between the Town of Addison, of the County of Dallas and State of Texas, acting through its Mayor, thereunto duly authorized so to do, Party of the First Part, hereinafter termed the OWNER, and Site Concrete, Inc., of the City of Grand Prairie, County of Dallas, State of TX, Party of the Second Part, hereinafter termed CONTRACTOR.

WITNESSETH: That for and in consideration of the payment and agreement hereinafter mentioned, to be made and performed by the OWNER, the said CONTRACTOR hereby agrees with the said OWNER to commence and complete construction of certain improvements as follows:

**Spectrum Drive North/South Extension**

and all extra work in connection therewith, under the terms as stated in the General and Specific Provisions of the AGREEMENT; and at his own proper cost and expense to furnish all the materials, supplies, machinery, equipment, tools, superintendence, labor, insurance and other accessories and services necessary to complete the said construction, in accordance with the conditions and prices stated in the Proposal attached hereto and in accordance with the Advertisement for Bids, Instructions to Bidders, General Provisions, Special Provisions, Plans, and other drawings and printed or written explanatory matter thereof, and the Technical Specifications and Addenda thereto, as prepared by the OWNER, each of which has been identified by the endorsement of the CONTRACTOR and the OWNER thereon, together with the CONTRACTOR's written Proposal and the General Provisions, all of which are made a part hereof and collectively evidence and constitute the entire AGREEMENT.

The CONTRACTOR hereby agrees to commence work within five (5) calendar days after the date of written notice to do so shall have been given to him, and to substantially complete the work within 210 calendar days after he commences work, subject to such extensions of time as are provided by the General Provisions.

The OWNER agrees to pay the CONTRACTOR \$ 2,536,979.50 in current funds for the performance of the Contract in accordance with the Proposal submitted thereof, subject to additions and deductions, as provided in the General Provisions, and to make payments of account thereof as provided therein.

IN WITNESS WHEREOF, the parties of these presents have executed this AGREEMENT in the year and day first above written.

TOWN OF ADDISON  
(OWNER)

ATTEST:

By: \_\_\_\_\_

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
Party of the Second Part  
(CONTRACTOR)

ATTEST:

\_\_\_\_\_

By: \_\_\_\_\_

The following to be executed if the CONTRACTOR is a corporation:

I, \_\_\_\_\_, certify that I am the secretary of the corporation named as CONTRACTOR herein; that \_\_\_\_\_, who signed this Contract on behalf of the CONTRACTOR is the \_\_\_\_\_ of said corporation; that said     (offical title)     Contract was duly signed for and in behalf of said corporation by authority of its governing body, and is within the scope of its corporate powers.

Signed: \_\_\_\_\_

Corporate Seal

STEVE,  
PLEASE PUT  
IN YOUR FILE

nh

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

December 19, 2002

Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 1 - Spectrum Drive Right-of-Way Project**

Dear Steve:

Republic Title Company has confirmed that Parcel 1 of the Spectrum Drive Right-of-Way Project does in fact belong to the Town of Addison. Thus we will not be obtaining a title commitment on this parcel. We have, of course, ordered title commitments on Parcels 2 through 6 of the project. If you have any questions, please give me a call.

Sincerely,

Angela K. Washington

AKW/yjr

c: Mr. Kenneth C. Dippel, w/firm

**TOWN OF ADDISON  
PAYMENT AUTHORIZATION MEMO**

DATE: 12/20/02 Claim # \_\_\_\_\_ Check \$ 1,800.00

Vendor No. \_\_\_\_\_  
 Vendor Name HUITT-ZOLLARS, INC.  
 Address 3131 MCKINNEY AVE.  
 Address SUITE 600  
 Address DALLAS, TEXAS  
 Zip Code 75204-2489

INVOICE # OR DESCRIPTION	FUND	DEPT	OBJ	PROJ	SAC	AMOUNT
	(00)	(000)	(00000)	(00000)	(000)	(\$000,000.00)
1322 00104	46	000	56570	05301		1800.00

TOTAL \$ 1,800.00

EXPLANATION SPECTRUM DR. NORTH/SOUTH EXTENSION  
ENGINEERING DESIGN

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---

Steve Chubb  
 Authorized Signature

Finance

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • [huitt-zollars.com](http://huitt-zollars.com)

## INVOICE

DECEMBER 11, 2002

INVOICE # 132200104

TO: MR. STEVEN CHUTCHIAN, P.E.  
TOWN OF ADDISON  
16801 WESTGROVE ROAD  
P.O. BOX 9010  
ADDISON, TX 75001-9010

PROJECT: 01322001 SPECTRUM DRIVE EXT.  
SURVEYING

FOR PROFESSIONAL SERVICES RENDERED THROUGH THE PERIOD ENDED NOVEMBER 30, 2002

<u>CONTRACT AMOUNT</u>	<u>% WORK TO DATE</u>	<u>TOTAL AMT BILLED</u>	<u>PREVIOUSLY BILLED</u>	<u>AMOUNT BILLED THIS INVOICE</u>
20,000.00	100.00%	20,000.00	18,200.00	<u>1,800.00</u>

TOTAL FEE THIS INVOICE 1,800.00

---

TOTAL DUE THIS INVOICE \$ 1,800.00

---

*O.K. to PAY!  
SZC  
12/20/02*







## FUGRO SOUTH, INC.

Report No. 0702-1011A  
November 20, 2002

2880 Virgo Lane  
Dallas, TX 75229  
Phone: 972-484-8301  
Fax: 972-620-7328

Huitt-Zollars, Inc.  
3131 Mckinney Avenue  
Suite 600  
Dallas, Texas 75204-2489

Attn: David Meyers, P.E.

**Geotechnical Investigation  
Spectrum Drive Extension  
Dart R.O.W. to Arapaho Road  
Addison, Texas**

Dear Mr. Meyers:

This report presents the results of the supplemental geotechnical investigation performed at the referenced site from the Dart right-of-way south to Arapaho Road in Addison, Texas. This report supplements our original geotechnical engineering study report, Fugro No. 0702-1011 dated August 20, 2002. The scope of work included in the original report was used in this supplemental report. The proposed extension is located south of the previous Borings B-1 through B-6 advanced in the original report. The site topography is relatively flat, and the ground surface is generally covered with grass and weeds. A ditch running parallel to the proposed extension exists to the east. The general location and orientation of the site is shown in Plates A and B.

Two test borings (Borings B-7 and B-8) were performed for this supplement investigation. The borings were advanced with a truck-mounted rig at the general locations shown on Plate B. The subsurface stratigraphy and laboratory test results, including moisture content, Atterberg limits, minus No. 200 sieve, dry unit weight and unconfined compressive strength, are shown on the attached Log of Borings, Plates 1A through 2A. A key to terms and symbols on the logs is presented on Plates 3A and 4A. The results of free swell are shown on Plate 5A. The results of soil lime/pH series test were presented on Plate 6A.





Groundwater was encountered in Boring B-8 at depths between 7.5 and 9 feet at the time of this investigation. It is expected that groundwater fluctuations may occur with seasonal variations. Changes in groundwater elevations may be altered during construction activities.

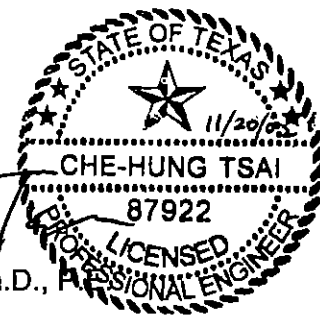
Subsurface conditions, as indicated by Borings B-7 and B-8, consisted of 4 to 4.5 feet of dark brown clay (CH), about 7.5 feet of light brown clay (CL), and 2 to 4 feet of tan weathered limestone underlain by the gray limestone extending to the maximum depths of boring penetrations of 14 to 20 feet below existing grade. Clay soils encountered in the test borings are generally considered as having moderate to high plasticity and a low swell potential at in-situ moisture conditions. A PVR calculation with a dry moisture condition indicated a value on the order of 3 inches in the area of Borings B-7 and B-8 which is less than the PVR (3.75 inches) estimated in the original report. This is due to the presence of some higher plasticity clays with a greater thickness encountered in the previous borings.

Based upon the evaluation of the laboratory and field data, it is our opinion that the subsurface conditions encountered in the test borings (B-7 and B-8) are very similar to those encountered in the previous study for the north section of the proposed extension. Because of the similarity between this site and the original alignment to the north, all the recommendations provided in the original report can be used for the proposed extension from Dart R.O.W. to Arapaho Road.

We appreciate the opportunity to be of assistance on this project. Please contact us if you need any additional information or if we can be of further service.

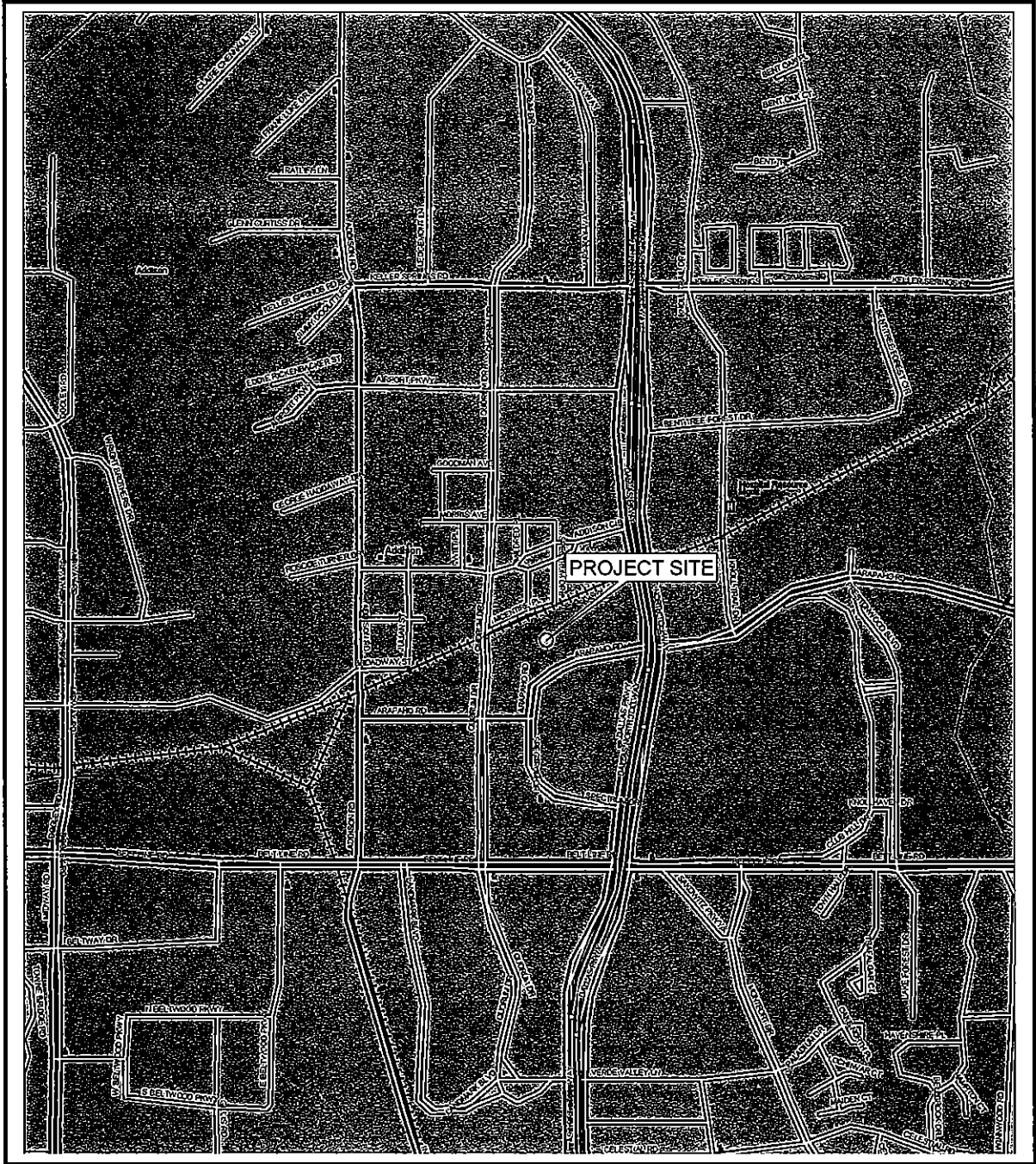
Sincerely,  
**FUGRO SOUTH, INC.**

Che-Hung (Chris) Tsai, Ph.D.,  
Project Engineer



Saad M. Hineidi, P.E.  
Senior Vice President

CHT/SMH/kp  
Copies submitted: (4)



**FUGRO SOUTH, INC.**  
 Geotechnical Engineering  
 and Materials Testing

**SPECTRUM DRIVE EXTENSION**

**Site Vicinity Map**

**DART R.O.W. to Arapaho Road**

**Addison, Texas**

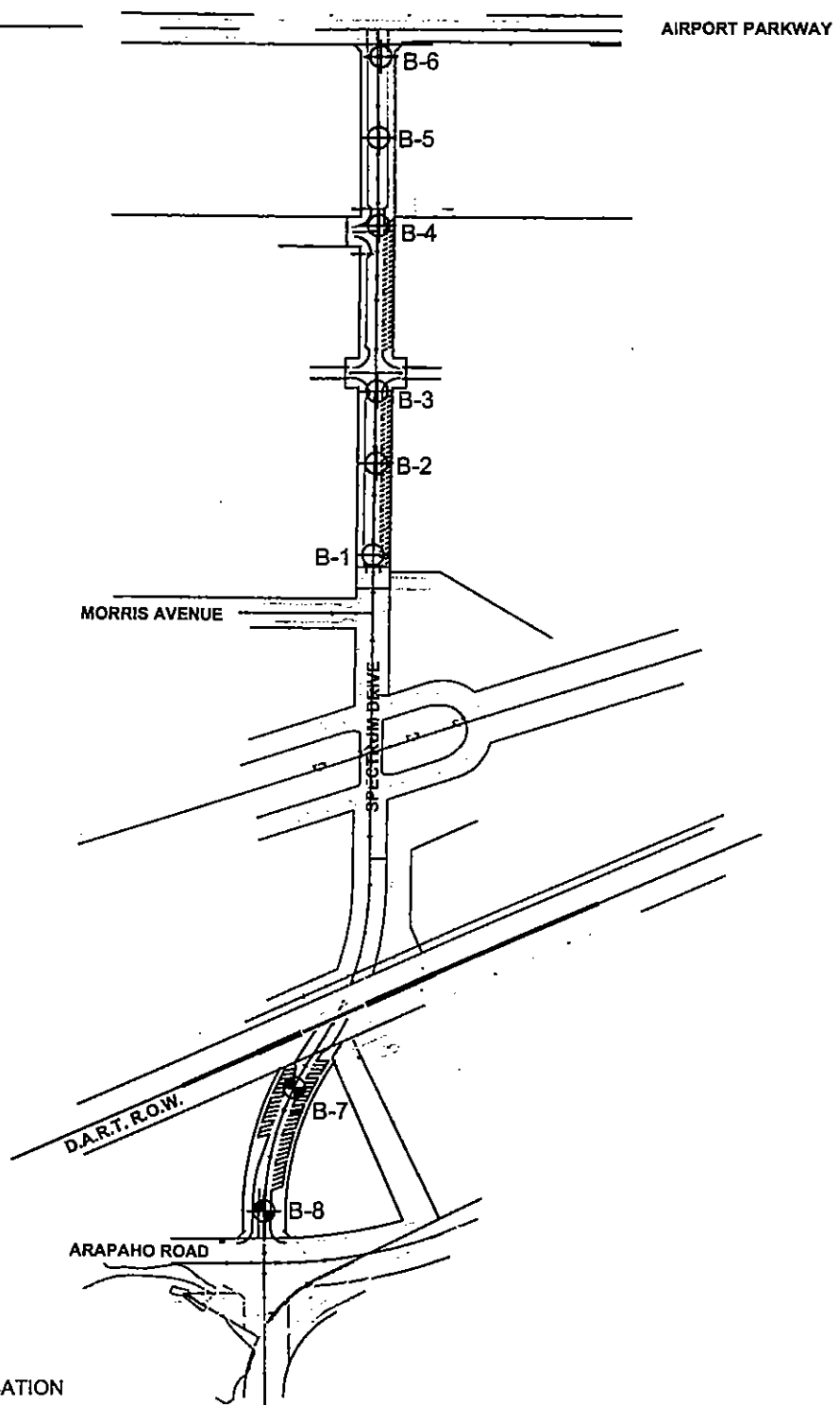
Date:  
5 Nov 02

Scale:  
Not to Scale



Map Source:  
DeLorme Street Atlas

Project No.  
0702-1011a

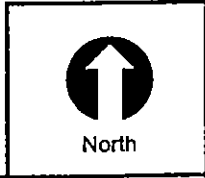
**PLATE A**



**LEGEND:**

-  APPROXIMATE BORING LOCATION
-  PREVIOUS BORING LOCATION  
FUGRO REPORT No. 0702-1011

NOT TO SCALE



AUTOCAD LT - W:\0702-1011.dwg



<b>SPECTRUM DRIVE EXTENSION</b>			<b>Plan Of Borings</b>
<b>D.A.R.T. R.O.W. to Arapaho Road</b>			<b>Addison, Texas</b>
Date:	11/5/02	Drawn By:	WR
		Project No.:	0702-1011A
			PLATE B

**LOG OF BORING NO. B-7**  
**SPECTRUM DRIVE EXTENSION**  
**DART R.O.W. to Arapaho Road**  
**ADDISON, TEXAS**  
**PROJECT NO. 0702-1011A**

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./RQD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER	LIQUID	PLASTIC	PLASTICITY	PASSING NO.	UNIT DRY	UNCONFINED
						CONTENT, %	LIMIT, %	LIMIT, %	INDEX (PI), %	200 SIEVE, %	WEIGHT, PCF	STRENGTH TSF
			P 2.0	CLAY (CH), Dark Brown  -with calcareous deposits		32						
			P 2.0									
			P 2.0			34	63	28	35	92		
			P 3.5			32						
5			63/11"	LIMESTONE, Tan, weathered	4.0							
			100/0.75"	LIMESTONE, Gray	8.0							
10												
			100/0.75"		14.0							
15												
20												

COMPLETION DEPTH: 14.0  
 DATE DRILLED: 10-30-02

WATER LEVEL / SEEPAGE: DRY  
 UPON COMPLETION: DRY

KEY:  
 P = Pocket Penetrometer  
 Note: All depths are measured in feet.

GEO3 02-1011A.GPJ GEO1.GDT 11/20/02

**LOG OF BORING NO. B- 8**  
**SPECTRUM DRIVE EXTENSION**  
**DART R.O.W. to Arapaho Road**  
**ADDISON, TEXAS**  
**PROJECT NO. 0702-1011A**

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./REQD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER CONTENT, %	LIQUID LIMIT, %	PLASTIC LIMIT, %	PLASTICITY INDEX (PI), %	PASSING NO. 200 SIEVE, %	UNIT DRY WEIGHT, PCF	UNCONFINED STRENGTH TSF		
													SURF. ELEVATION: UNKNOWN	
5	[Hatched]	[Hatched]	P 1.75	CLAY (CH), Dark Brown, with calcareous deposits	4.5	32	64	27	37					
			P 2.25			31				89	1.2			
			P 2.0											
			P 3.0			31	67	26	41					
			P 2.5											
			P 3.25	CLAY (CL), Light Brown, with calcareous deposits	4.5	25								
			P 2.25											
			P 1.75			33	43	18	25	88				
			P 2.5											
			P 4.0			23								
10	[Hatched]	[Hatched]		LIMESTONE, Tan, weathered	12.0									
15	[Hatched]	[Hatched]	100/0.1"	LIMESTONE, Gray	14.0									
20	[Hatched]	[Hatched]	100/0.1"	-soft seams, at 17.5' to 18.5'	20.0									

COMPLETION DEPTH: 20.0  
 DATE DRILLED: 10-30-02













WATER LEVEL / SEEPAGE: 9.0  
 UPON COMPLETION: 7.5

KEY:  
 P = Pocket Penetrometer  
 Note: All depths are measured in feet.

GEO3-02-1011A.GPJ.GEO1.GDT 11/20/02

## TERMS AND SYMBOLS USED ON BORING LOGS FOR SOIL

### SOIL TYPES

 CLAY (CH)	 SHALY CLAY (CH)	 CLAY (CL)	 SANDY CLAY (CL)
 Well-Graded SAND (SW)	 Poorly-Graded SAND (SP)	 SILTY SAND (SM)	 CLAYEY SAND (SC)
 Well-Graded GRAVEL (GW)	 Poorly-Graded GRAVEL (GP)	 SILTY GRAVEL (GM)	 FILL Material

### SOIL GRAIN SIZE

U.S. STANDARD SIEVE								
	6"	3"	3/4"	4	10	40	200	
BOULDERS	COBBLES	GRAVEL		SAND			SILT	CLAY
		COARSE	FINE	COARSE	MEDIUM	FINE		
	152	76.2	19.1	4.76	2.00	0.420	0.074	0.002
SOIL GRAIN SIZE IN MILLIMETERS								

#### STRENGTH OF COHESIVE SOILS <sup>(2)</sup>

#### DENSITY OF GRANULAR SOILS <sup>(2)</sup>

CONSISTENCY	UNDRAINED COMPRESSIVE STRENGTH Tons Per Sq. Ft.	NUMBER OF BLOWS PER FT., N	RELATIVE DENSITY
Very Soft	Less Than 0.25	0-4	Very Loose
Soft	0.25 to 0.50	4-10	Loose
Firm	0.5 to 1.00	10-30	Medium
Stiff	1.00 to 2.00	30-50	Dense
Very Stiff	2.00 to 4.00	Over 50	Very Dense
Hard	greater than 4.00		

### DESCRIPTIVE TERMS FOR SOIL <sup>(1)</sup>

DESCRIPTION	CRITERIA	MOISTURE	
Stratified	Alternating layers of varying material or color with layers at least 6 mm thick.	Dry	No water evident in sample; fines less than plastic limit.
Laminated	Alternating layers of varying material or color with the layers less than 6 mm thick.	Moist	Sample feels damp; fines near the plastic limit
Fissured	Breaks along definite planes of fracture with little resistance to fracturing.	Very Moist	Water visible on sample; fines greater plastic limit and less than liquid limit
Slickensided	Fracture planes appear polished or glossy, sometimes striated.	Wet	Sample bears free water; fines greater than liquid limit.
Blocky	Cohesive soil that can be broken down into small angular lumps which resist further breakdown.	INCLUSIONS <sup>(1)</sup>	
Lensed	Inclusions of small pockets of different soils.	Parting	Inclusion <1/8" thick extending through sample
		Seam	Inclusion 1/8" to 3" thick extending through sample.
		Layer	Inclusion >3" thick extending through sample.
		Trace	<5% of sample.
		Few	5% to 10% of sample.
		Some	10 to 25% of sample.
		With	30% to 45% of sample.
















#### REFERENCES:

- 1) ASTM D 2488
- 2) Peck, Hanson and Thornburn, (1974), Foundation Engineering.

#### NOTE:

Information on each boring log is a compilation of subsurface conditions and soil and rock classifications obtained from the field as well as from laboratory testing of samples. Strata have been interpreted by commonly accepted procedures. The stratum lines on the logs may be transitional and approximate in nature. Water level measurements refer only to those observed at the times and places indicated, and may vary with time, geologic condition or construction activity.

# TERMS AND SYMBOLS USED ON BORING LOGS FOR ROCK

ROCK TYPES			SAMPLER TYPES	
 LESTONE	 SHALE	 SANDSTONE	 Thin-walled Tube	 Rock Core
 WEATHERED LESTONE	 WEATHERED SHALE	 WEATHERED SANDSTONE	 Standard Penetration Test	 Auger Sample
 HIGHLY WEATHERED LESTONE	 ARGILLACEOUS LESTONE	 MARL	 THD Cone Penetration Test	 Bag Sample

SOLUTION & VOID CONDITIONS		WEATHERING GRADES OF ROCKMASS <sup>(1)</sup>	
<p>Void                      Interstice; a general term for pore space or other openings in rock.</p> <p>Cavities                      Small solutional concavities.</p> <p>Vuggy                      Containing small cavities, usually lined with a mineral of different composition from that of the surrounding rock.</p> <p>Vesicular                      Containing numerous small, unlined cavities, formed by expansion of gas bubbles or steam during solidification of the rock.</p> <p>Porous                      Containing pore, interstices, or other openings which may or may not interconnect.</p> <p>Cavernous                      Containing cavities or caverns, sometimes quite large. Most frequent in limestones and dolomites.</p>		<p>Slightly                      Discoloration indicates weathering of rock material and discontinuity surfaces.</p> <p>Moderately                      Less than half of the rock material is decomposed or disintegrated to a soil.</p> <p>Highly                      More than half of the rock material is decomposed or disintegrated to a soil.</p> <p>Completely                      All rock material is decomposed and/or disintegrated to soil. The original mass structure is still largely intact.</p> <p>Residual Soil                      All rock material is converted to soil. The mass structure and material fabric are destroyed.</p>	

HARDNESS		BEDDING THICKNESS <sup>(2)</sup>	
<p>Friable                      Crumbles under hand pressure</p> <p>Low Hardness                      Can be carved with a knife</p> <p>Moderately Hard                      Can be scratched easily with a knife</p> <p>Very Hard                      Cannot be scratched with a knife</p>		<p>Very Thick                      &gt;4'</p> <p>Thick                      2'-4'</p> <p>Thin                      2"-2'</p> <p>Very Thin                      1/2"-2"</p> <p>Laminated                      0.08"-1/2"</p> <p>Thinly-Laminated                      &lt;0.08"</p>	

JOINT DESCRIPTION					
SPACING		INCLINATION		SURFACES	
Very Close	<2"	Horizontal	0-5	Slickensided	Polished, grooved
Close	2"-12"	Shallow	5-35	Smooth	Planar
Medium Close	12"-3'	Moderate	35-65	Irregular	Undulating or granular
Wide	>3'	Steep	65-85	Rough	Jagged or pitted
		Vertical	85-90		

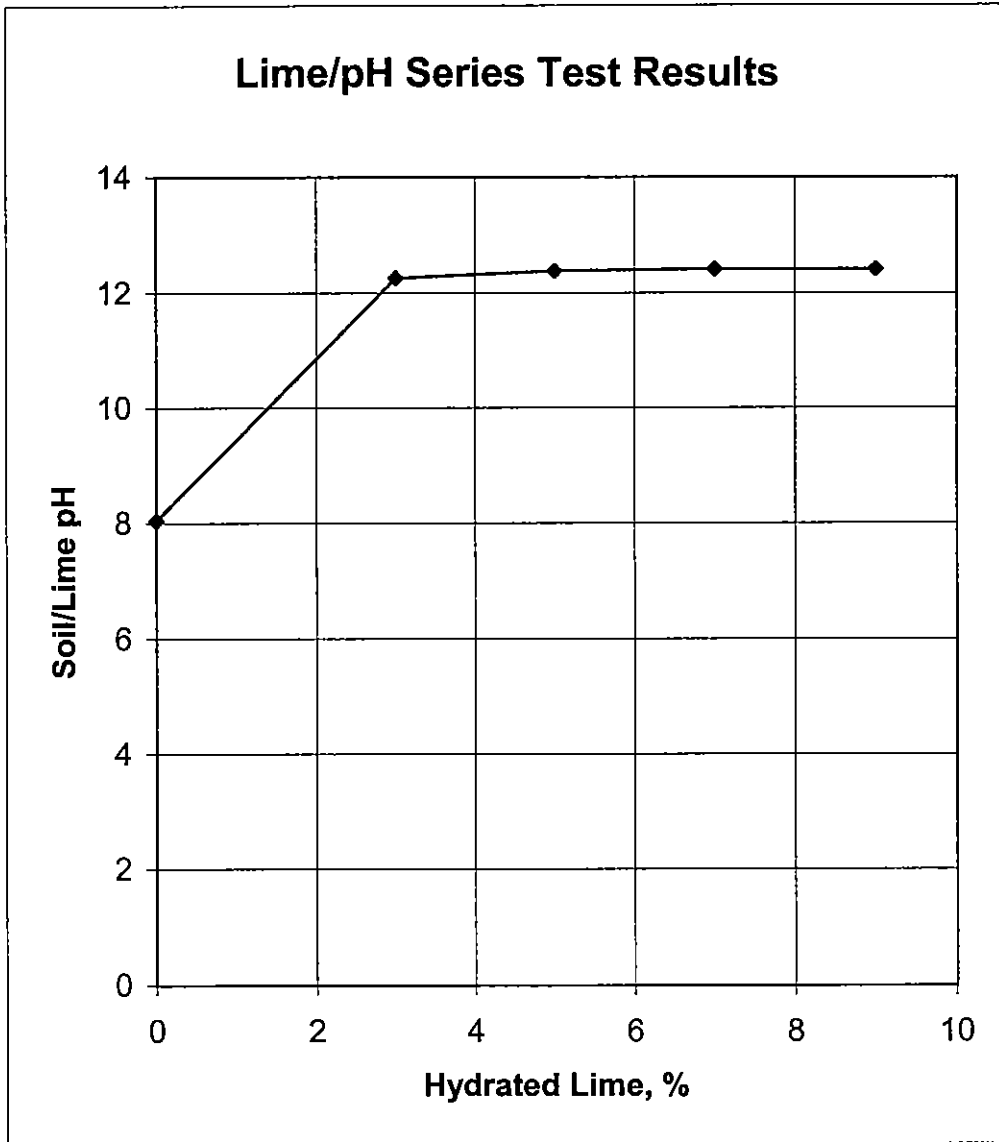
<p><b>REFERENCES:</b></p> <p>1) British Standard(1981) <u>Code of Practice for Site Investigation</u> BS 5930.</p> <p>2) The Bridge Division, Texas Highway Dept. <u>Foundation Exploration &amp; Design Manual</u> 2nd Edition, revised June, 1974.</p>	<p><b>NOTE:</b></p> <p>Information on each boring log is a compilation of subsurface conditions and soil and rock classifications obtained from the field as well as from laboratory testing of samples. Strata have been interpreted by commonly accepted procedures. The stratum lines on the logs may be transitional and approximate in nature. Water level measurements refer only to those observed at the times and places indicated, and may vary with time, geologic condition or construction activity.</p>
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Graph12ROCK 11/20/2002 9:02:55 AM



**SPECTRUM DRIVE EXTENSION  
DART R.O.W. TO ARAPAHO ROAD  
ADDISON, TEXAS**

SUMMARY OF FREE SWELL TEST RESULTS								
Boring Number	Sample Depth, feet	Liquid Limit	Plastic Limit	Plasticity Index	Initial Moisture Content, %	Final Moisture Content, %	Applied Surcharge Pressure, psf	Percent Vertical Swell, %
B-7	2-3	63	28	35	34	36	375	0.8
B-8	7-8	43	18	25	33	34	1,000	0.1



Hydrated Lime, %	0	3	5	7	9
pH	7.72	12.2	12.37	12.42	12.42



FUGRO SOUTH, INC.

Results of Lime Series Test

Sample I.D.: Boring B-8, 0-1'

Spectrum Drive Extension

Dart R.O.W. to Arapaho Road

Addison, Texas



## FUGRO SOUTH, INC.

Report No. 0702-1011A  
November 20, 2002

2880 Virgo Lane  
Dallas, TX 75229  
Phone: 972-484-8301  
Fax: 972-620-7328

Huitt-Zollars, Inc.  
3131 Mckinney Avenue  
Suite 600  
Dallas, Texas 75204-2489

Attn: David Meyers, P.E.

**Geotechnical Investigation  
Spectrum Drive Extension  
Dart R.O.W. to Arapaho Road  
Addison, Texas**

Dear Mr. Meyers:

This report presents the results of the supplemental geotechnical investigation performed at the referenced site from the Dart right-of-way south to Arapaho Road in Addison, Texas. This report supplements our original geotechnical engineering study report, Fugro No. 0702-1011 dated August 20, 2002. The scope of work included in the original report was used in this supplemental report. The proposed extension is located south of the previous Borings B-1 through B-6 advanced in the original report. The site topography is relatively flat, and the ground surface is generally covered with grass and weeds. A ditch running parallel to the proposed extension exists to the east. The general location and orientation of the site is shown in Plates A and B.

Two test borings (Borings B-7 and B-8) were performed for this supplement investigation. The borings were advanced with a truck-mounted rig at the general locations shown on Plate B. The subsurface stratigraphy and laboratory test results, including moisture content, Atterberg limits, minus No. 200 sieve, dry unit weight and unconfined compressive strength, are shown on the attached Log of Borings, Plates 1A through 2A. A key to terms and symbols on the logs is presented on Plates 3A and 4A. The results of free swell are shown on Plate 5A. The results of soil lime/pH series test were presented on Plate 6A.






Groundwater was encountered in Boring B-8 at depths between 7.5 and 9 feet at the time of this investigation. It is expected that groundwater fluctuations may occur with seasonal variations. Changes in groundwater elevations may be altered during construction activities.

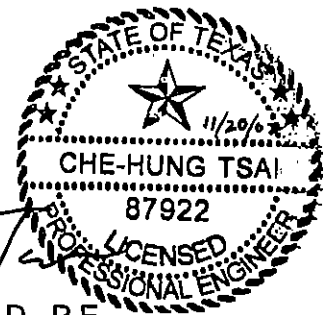
Subsurface conditions, as indicated by Borings B-7 and B-8, consisted of 4 to 4.5 feet of dark brown clay (CH), about 7.5 feet of light brown clay (CL), and 2 to 4 feet of tan weathered limestone underlain by the gray limestone extending to the maximum depths of boring penetrations of 14 to 20 feet below existing grade. Clay soils encountered in the test borings are generally considered as having moderate to high plasticity and a low swell potential at in-situ moisture conditions. A PVR calculation with a dry moisture condition indicated a value on the order of 3 inches in the area of Borings B-7 and B-8 which is less than the PVR (3.75 inches) estimated in the original report. This is due to the presence of some higher plasticity clays with a greater thickness encountered in the previous borings.

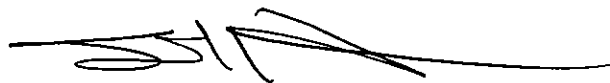
Based upon the evaluation of the laboratory and field data, it is our opinion that the subsurface conditions encountered in the test borings (B-7 and B-8) are very similar to those encountered in the previous study for the north section of the proposed extension. Because of the similarity between this site and the original alignment to the north, all the recommendations provided in the original report can be used for the proposed extension from Dart R.O.W. to Arapaho Road.

We appreciate the opportunity to be of assistance on this project. Please contact us if you need any additional information or if we can be of further service.

Sincerely,  
**FUGRO SOUTH, INC.**

  
Che-Hung (Chris) Tsai, Ph.D., P.E.  
Project Engineer

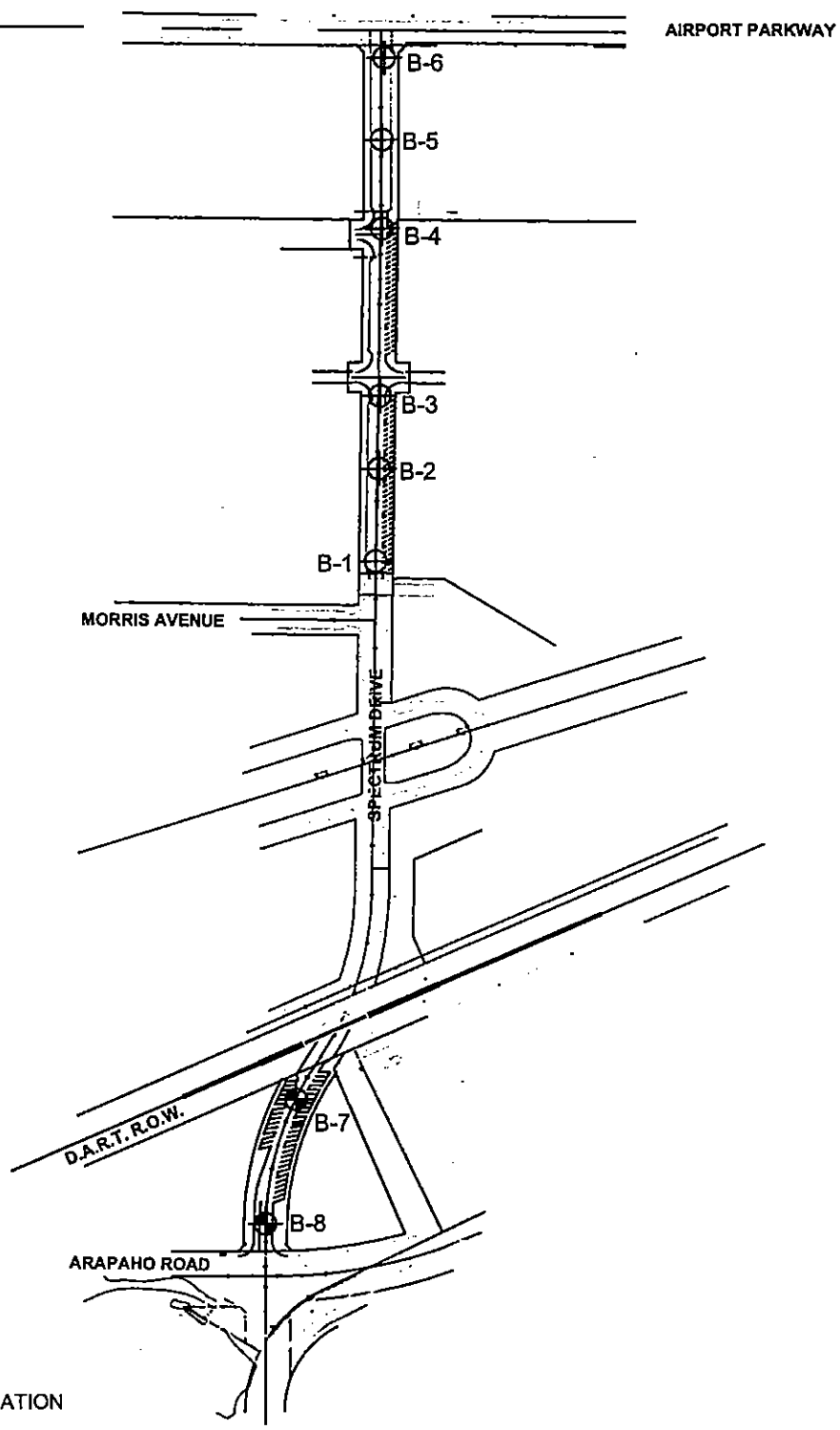






Saad M. Hineidi, P.E.  
Senior Vice President

CHT/SMH/kp  
Copies submitted: (4)

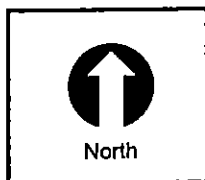





**LEGEND:**

-  APPROXIMATE BORING LOCATION
-  PREVIOUS BORING LOCATION  
FUGRO REPORT No. 0702-1011

NOT TO SCALE



AUTOCAD LT - V14.0702-1011.dwg

 <b>FUGRO SOUTH, INC.</b>	<b>SPECTRUM DRIVE EXTENSION</b>		<b>Plan Of Borings</b>		
	<b>D.A.R.T. R.O.W. to Arapaho Road</b>		<b>Addison, Texas</b>		
Date:	11/5/02	Drawn By:	WR	Project No.:	0702-1011A
<b>PLATE B</b>					

**LOG OF BORING NO. B-7**  
**SPECTRUM DRIVE EXTENSION**  
**DART R.O.W. to Arapaho Road**  
**ADDISON, TEXAS**  
**PROJECT NO. 0702-1011A**

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./RQD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER CONTENT, %	LIQUID LIMIT, %	PLASTIC LIMIT, %	PLASTICITY INDEX (PI), %	PASSING NO. 200 SIEVE, %	UNIT DRY WEIGHT, PCF	UNCONFINED STRENGTH TSF	
													SURF. ELEVATION: UNKNOWN
			P 2.0	CLAY (CH), Dark Brown  -with calcareous deposits		32							
			P 2.0										
			P 2.0			34	63	28	35	92			
			P 3.5			32							
5			63/11"	LIMESTONE, Tan, weathered	4.0								
			100/0.75"	LIMESTONE, Gray	8.0								
			100/0.75"		14.0								
15													
20													
COMPLETION DEPTH: 14.0				WATER LEVEL / SEEPAGE: DRY				KEY:					
DATE DRILLED: 10-30-02				UPON COMPLETION: DRY				P = Pocket Penetrometer					
												Note: All depths are measured in feet.	













GEO3 02-1011A.GPJ GEO1.GDT 11/20/02





# TERMS AND SYMBOLS USED ON BORING LOGS FOR SOIL

## SOIL TYPES

 CLAY (CH)	 SHALY CLAY (CH)	 CLAY (CL)	 SANDY CLAY (CL)
 Well-Graded SAND (SW)	 Poorly-Graded SAND (SP)	 SILTY SAND (SM)	 CLAYEY SAND (SC)
 Well-Graded GRAVEL (GW)	 Poorly-Graded GRAVEL (GP)	 SILTY GRAVEL (GM)	 FILL Material

## SOIL GRAIN SIZE

U.S. STANDARD SIEVE									
	6"	3"	3/4"	4	10	40	200		
BOULDERS	COBBLES	GRAVEL		SAND			SILT	CLAY	
		COARSE	FINE	COARSE	MEDIUM	FINE			
		152	76.2	19.1	4.76	2.00	0.420	0.074	0.002
SOIL GRAIN SIZE IN MILLIMETERS									

### STRENGTH OF COHESIVE SOILS <sup>(2)</sup>

### DENSITY OF GRANULAR SOILS <sup>(2)</sup>

CONSISTENCY	UNDRAINED COMPRESSIVE STRENGTH Tons Per Sq. Ft.	NUMBER OF BLOWS PER FT., N	RELATIVE DENSITY
Very Soft	Less Than 0.25	0-4	Very Loose
Soft	0.25 to 0.50	4-10	Loose
Firm	0.5 to 1.00	10-30	Medium
Stiff	1.00 to 2.00	30-50	Dense
Very Stiff	2.00 to 4.00	Over 50	Very Dense
Hard	greater than 4.00		

## DESCRIPTIVE TERMS FOR SOIL <sup>(1)</sup>
















DESCRIPTION	CRITERIA	MOISTURE	
Stratified	Alternating layers of varying material or color with layers at least 6 mm thick.	Dry	No water evident in sample; fines less than plastic limit.
		Moist	Sample feels damp; fines near the plastic limit
Laminated	Alternating layers of varying material or color with the layers less than 6 mm thick.	Very Moist	Water visible on sample; fines greater plastic limit and less than liquid limit
		Wet	Sample bears free water; fines greater than liquid limit.
Fissured	Breaks along definite planes of fracture with little resistance to fracturing.	INCLUSIONS <sup>(1)</sup>	
Slickensided	Fracture planes appear polished or glossy, sometimes striated.	Parting	Inclusion <1/8" thick extending through sample
		Seam	Inclusion 1/8" to 3" thick extending through sample.
Blocky	Cohesive soil that can be broken down into small angular lumps which resist further breakdown.	Layer	Inclusion >3" thick extending through sample.
		Trace	<5% of sample.
Lensed	Inclusions of small pockets of different soils.	Few	5% to 10% of sample.
		Some	10 to 25% of sample.
		With	30% to 45% of sample.

#### REFERENCES:

- 1) ASTM D 2488
- 2) Peck, Hanson and Thornburn, (1974), Foundation Engineering.

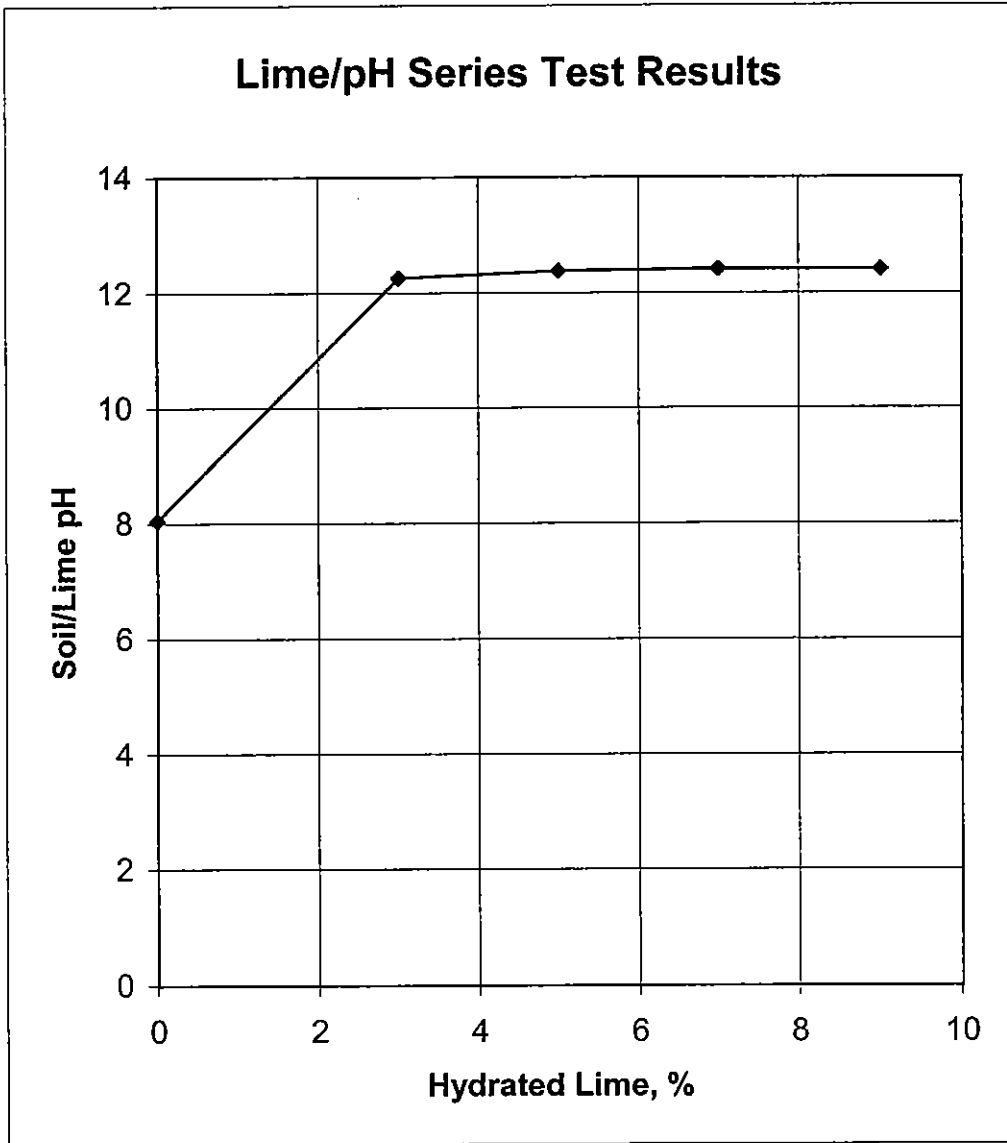
#### NOTE:

Information on each boring log is a compilation of subsurface conditions and soil and rock classifications obtained from the field as well as from laboratory testing of samples. Strata have been interpreted by commonly accepted procedures. The stratum lines on the logs may be transitional and approximate in nature. Water level measurements refer only to those observed at the times and places indicated, and may vary with time, geologic condition or construction activity.

<b>TERMS AND SYMBOLS USED ON BORING LOGS FOR ROCK</b>					
<b>ROCK TYPES</b>			<b>SAMPLER TYPES</b>		
 <b>LIMESTONE</b>	 <b>SHALE</b>	 <b>SANDSTONE</b>	 <b>Thin-walled Tube</b>	 <b>Rock Core</b>	
 <b>WEATHERED LIMESTONE</b>	 <b>WEATHERED SHALE</b>	 <b>WEATHERED SANDSTONE</b>	 <b>Standard Penetration Test</b>	 <b>Auger Sample</b>	
 <b>HIGHLY WEATHERED LIMESTONE</b>	 <b>ARGILLACEOUS LIMESTONE</b>	 <b>MARL</b>	 <b>THD Cone Penetration Test</b>	 <b>Bag Sample</b>	
<b>SOLUTION &amp; VOID CONDITIONS</b>			<b>WEATHERING GRADES OF ROCKMASS <sup>(1)</sup></b>		
<b>Void</b>	Interstice; a general term for pore space or other openings in rock.		<b>Slightly</b>	Discoloration indicates weathering of rock material and discontinuity surfaces.	
<b>Cavities</b>	Small solutional concavities.		<b>Moderately</b>	Less than half of the rock material is decomposed or disintegrated to a soil.	
<b>Vuggy</b>	Containing small cavities, usually lined with a mineral of different composition from that of the surrounding rock.		<b>Highly</b>	More than half of the rock material is decomposed or disintegrated to a soil.	
<b>Vesicular</b>	Containing numerous small, unlined cavities, formed by expansion of gas bubbles or steam during solidification of the rock.		<b>Completely</b>	All rock material is decomposed and/or disintegrated to soil. The original mass structure is still largely intact.	
<b>Porous</b>	Containing pore, interstices, or other openings which may or may not interconnect.		<b>Residual Soil</b>	All rock material is converted to soil. The mass structure and material fabric are destroyed.	
<b>Cavernous</b>	Containing cavities or caverns, sometimes quite large. Most frequent in limestones and dolomites.				
<b>HARDNESS</b>			<b>BEDDING THICKNESS <sup>(2)</sup></b>		
<b>Friable</b>	Crumbles under hand pressure		<b>Very Thick</b>	>4'	
<b>Low Hardness</b>	Can be carved with a knife		<b>Thick</b>	2'-4'	
<b>Moderately Hard</b>	Can be scratched easily with a knife		<b>Thin</b>	2"-2'	
<b>Very Hard</b>	Cannot be scratched with a knife		<b>Very Thin</b>	1/2"-2"	
			<b>Laminated</b>	0.08"-1/2"	
			<b>Thinly-Laminated</b>	<0.08"	
<b>JOINT DESCRIPTION</b>					
<b>SPACING</b>		<b>INCLINATION</b>		<b>SURFACES</b>	
Very Close	<2"	Horizontal	0-5	Slickensided	Polished, grooved
Close	2"-12"	Shallow	5-35	Smooth	Planar
Medium Close	12"-3'	Moderate	35-65	Irregular	Undulating or granular
Wide	>3'	Steep	65-85	Rough	Jagged or pitted
		Vertical	85-90		
<b>REFERENCES:</b>			<b>NOTE:</b>		
1) British Standard(1981) <u>Code of Practice for Site Investigation</u> BS 5930.			Information on each boring log is a compilation of subsurface conditions and soil and rock classifications obtained from the field as well as from laboratory testing of samples. Strata have been interpreted by commonly accepted procedures. The stratum lines on the logs may be transitional and approximate in nature. Water level measurements refer only to those observed at the times and places indicated, and may vary with time, geologic condition or construction activity.		
2) The Bridge Division, Texas Highway Dept. <u>Foundation Exploration &amp; Design Manual</u> 2nd Edition, revised June, 1974.					

**SPECTRUM DRIVE EXTENSION  
DART R.O.W. TO ARAPAHO ROAD  
ADDISON, TEXAS**

SUMMARY OF FREE SWELL TEST RESULTS								
Boring Number	Sample Depth, feet	Liquid Limit	Plastic Limit	Plasticity Index	Initial Moisture Content, %	Final Moisture Content, %	Applied Surcharge Pressure, psf	Percent Vertical Swell, %
B-7	2-3	63	28	35	34	36	375	0.8
B-8	7-8	43	18	25	33	34	1,000	0.1



Hydrated Lime, %	0	3	5	7	9
pH	7.72	12.2	12.37	12.42	12.42



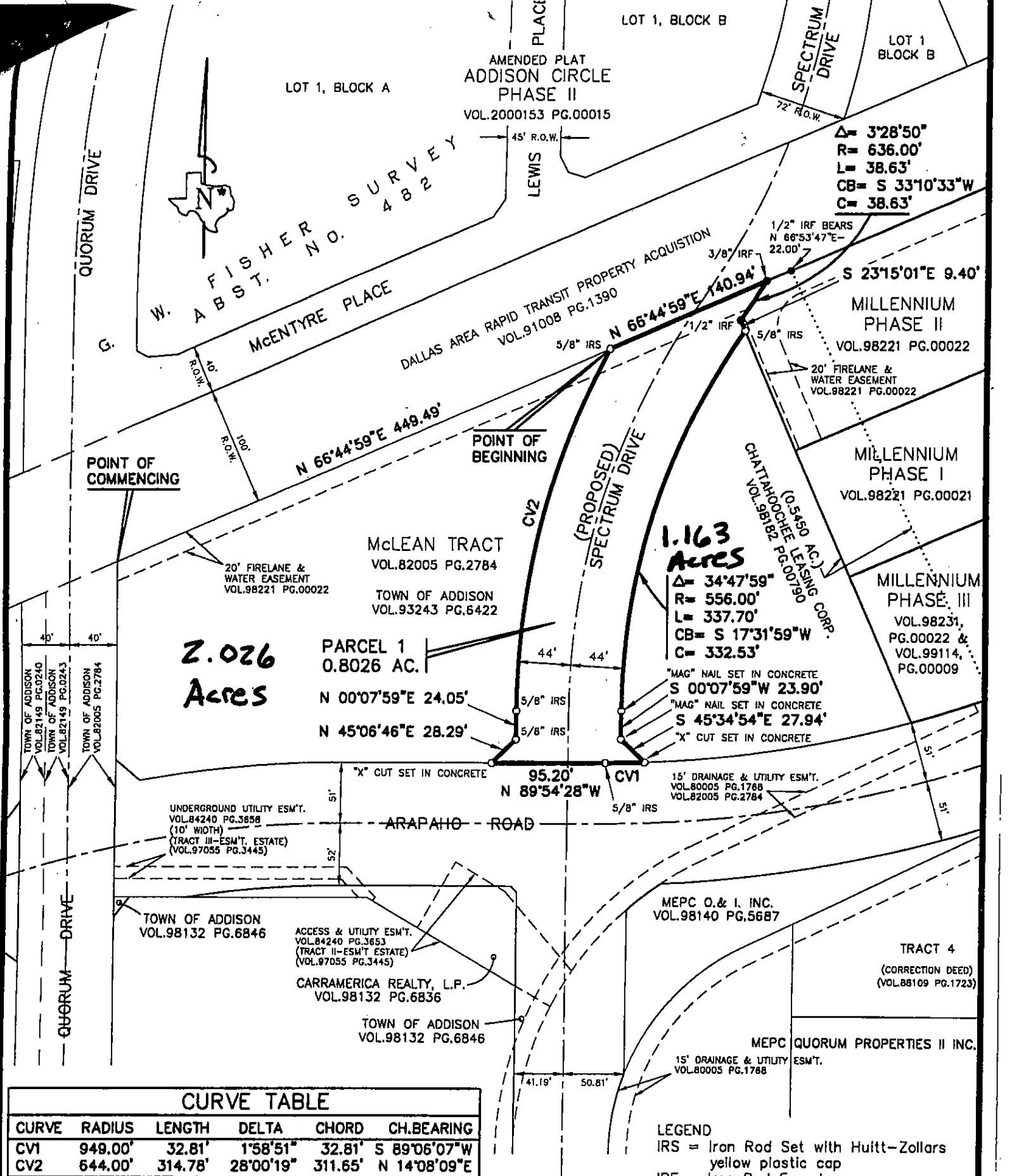
FUGRO SOUTH, INC.

Results of Lime Series Test

Sample I.D.: Boring B-8, 0-1'

Spectrum Drive Extension  
Dart R.O.W. to Arapaho Road

Addison, Texas



**2.026 Acres**

**1.163 Acres**

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH.BEARING
CV1	949.00'	32.81'	1°58'51"	32.81'	S 89°06'07"W
CV2	644.00'	314.78'	28°00'19"	311.65'	N 14°08'09"E

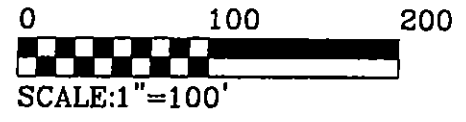
PAGE 3 OF 3

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
 Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

LEGEND  
 IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
 IRF = Iron Rod Found

Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.



BASIS OF BEARINGS:  
 The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Dallas  
 3131 McKinney Avenue, Suite 600  
 Dallas, Texas 75204-2489  
 Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
 RIGHT-OF-WAY EXHIBIT  
 TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
 16801 Westgrove Dr., Addison, TX 75001  
 EXHIBIT PARCEL NO. 1  
 OWNER: TOWN OF ADDISON  
 AREA: 0.8026 AC. DATE: 11/05/2002

## Steve Chutchian

---

**To:** Carmen Moran  
**Cc:** Michael Murphy; Jim Pierce; Luke Jalbert; awashington@cowlesthompson.com  
**Subject:** Spectrum Drive R.O.W.

**Importance:** High

Carmen - Angela Washington, with Ken Dippel's office, is working on the preparation of legal instruments for the Spectrum Drive right-of-way/sidewalk easements. She is going to set up a title search on each property. However, she also asked if you have the names of each property owner involved and a contact phone number. When the forms are completed and ready for signatures & notarization, we will forward them to you for disposition. Your assistance is appreciated. Thanks.

Steve C.

**TOWN OF ADDISON  
PAYMENT AUTHORIZATION MEMO**

DATE: 11/21/02 Claim # \_\_\_\_\_ Check \$ 5,000.00

Vendor No. HUITT-ZOLLARS, INC.  
 Vendor Name 3131 MCKINNEY AVE.  
 Address SUITE 600  
 Address DALLAS, TEXAS 75204-2489  
 Address \_\_\_\_\_  
 Zip Code \_\_\_\_\_

INVOICE # OR DESCRIPTION	FUND	DEPT	OBJ	PROJ	SAC	AMOUNT
	(00)	(000)	(00000)	(00000)	(000)	(\$000,000.00)
	46	000	56570	05301		5,000.00

TOTAL \$ 5,000.00

EXPLANATION SURVEYING WORK ON SPECTRUM DR.  
DESIGN

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Steve Chutehain  
 Authorized Signature

\_\_\_\_\_  
 Finance

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com

## INVOICE

NOVEMBER 20, 2002

INVOICE # 132200103

TO: MR. STEVEN CHUTCHIAN, P.E  
TOWN OF ADDISON  
16801 WESTGROVE ROAD  
P.O. BOX 9010  
ADDISON, TX 75001-9010

PROJECT: 01322001 SPECTRUM DRIVE EXT.  
SURVEYING

FOR PROFESSIONAL SERVICES RENDERED THROUGH THE PERIOD ENDED NOVEMBER 2, 2002

<u>CONTRACT AMOUNT</u>	<u>% WORK TO DATE</u>	<u>TOTAL AMT BILLED</u>	<u>PREVIOUSLY BILLED</u>	<u>AMOUNT BILLED THIS INVOICE</u>
20,000.00	91.00%	18,200.00	13,200.00	5,000.00

TOTAL FEE THIS INVOICE 5,000.00

**TOTAL DUE THIS INVOICE \$ 5,000.00**

o.k. 1  
PAY!  
SFC  
11/21/02



**TOWN OF ADDISON  
PAYMENT AUTHORIZATION MEMO**

DATE: 8/22/02

Claim # \_\_\_\_\_

Check \$ 1,500.00

Vendor No. \_\_\_\_\_  
 Vendor Name HUITT-ZOLLARS, INC.  
 Address 3131 MCKINNEY AVE., SUITE 600  
 Address DALLAS, TEXAS 75204-2489  
 Address \_\_\_\_\_  
 Zip Code \_\_\_\_\_

INVOICE # OR DESCRIPTION	FUND	DEPT	OBJ	PROJ	SAC	AMOUNT
	(00)	(000)	(00000)	(00000)	(000)	(\$000,000.00)
1322 00205	46	000	56570	05301		1,500.00

TOTAL: 1,500.00

EXPLANATION: SPECTRUM DRIVE DESIGN BY  
HUITT-ZOLLARS, INC.

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Stan Chutkan  
 Authorized Signature

\_\_\_\_\_  
 Finance

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com

## INVOICE

AUGUST 19, 2002

INVOICE # 132200205

TO: MR. STEVEN CHUTCHIAN, P.E.  
TOWN OF ADDISON  
16801 WESTGROVE ROAD  
P.O. BOX 9010  
ADDISON, TX 75001-9010

PROJECT: 01322002 SPECTRUM DRIVE EXT.  
CIVIL SERVICES

FOR PROFESSIONAL SERVICES RENDERED THROUGH THE PERIOD ENDED JULY 27, 2002

<u>CONTRACT AMOUNT</u>	<u>% WORK TO DATE</u>	<u>TOTAL AMT BILLED</u>	<u>PREVIOUSLY BILLED</u>	<u>AMOUNT BILLED THIS INVOICE</u>
150,000.00	16.00%	24,000.00	22,500.00	1,500.00
TOTAL FEE THIS INVOICE				1,500.00
<b>TOTAL DUE THIS INVOICE</b>				<b>\$ 1,500.00</b>

O.K. to AMY  
S2C  
8/22/02

I like it!

LET'S PRESENT TO

ROW & CITY

LETTER OF TRANSMITTAL

DATE: 6/13/02	JOB NO.: 01-3220-10	PROJECT: Spectrum Drive
TO: TOWN OF ADDISON 16801 WESTGROVE RD. Box 9010 SERVICE CENTER - FIRST FLOOR ADDISON, TX 75001		RE: Section Exhibits
		ATTENTION: MR. Steven Z. Chutchian, P.E.

WE ARE SENDING YOU  ATTACHED  UNDER SEPARATE COVER, VIA:

SHOP DRAWINGS  PRINTS  VIA: **Mail**

SAMPLES  SPECIFICATIONS  CHANGE ORDER

COPY OF LETTER  REQUEST FOR INFORMATION  OTHER:

COPIES	DATE	NO.	DESCRIPTION
5			Light Pole Base Exhibit
5			Alt. #2 for Exhibit B1
2			Phase 2 Photometric Study (for Mike Murphy)

*Steve: MIKE - FOR YOUR CONSIDERATION. Steve E. copy to Jim.*

Attached please find the noted exhibits. In particular, please distribute and review Alt. #2 of Exhibit B1. This alternate illustrates how we can accomplish head-in parking within the planned 69' R.O.W. Under this scenario the City would only need to obtain sidewalk easements from the adjacent property owners. The distance from building face to building face would remain at 94' as it is today therefore not taking away any developable area from the site provided the setback is measured from the right-of-way line. Please call if you have any questions.

FOR APPROVAL  NO EXCEPTIONS TAKEN  RESUBMIT \_\_\_\_\_ COPIES FOR APPROVAL

FOR YOUR USE  EXCEPTIONS AS NOTED  SUBMIT \_\_\_\_\_ COPIES FOR DISTRIBUTION

AS REQUESTED  RETURNED FOR CORRECTIONS  RETURN \_\_\_\_\_ CORRECTED PRINTS

FOR REVIEW AND COMMENT  OTHER:

FOR BIDS DUE ON (DATE):  PRINTS RETURNED AFTER LOAN TO US

REMARKS:

.....

.....

.....

IF ENCLOSURES ARE NOT AS NOTED, KINDLY NOTIFY

SIGNATURE: **David E. Meyers, P.E.** COPY TO: 6/25/02

**HUITT-ZOLLARS, INC.**  
3131 McKinney Ave. • Suite 600 • Dallas, Texas 75204-2489 • (214) 871-3311 • Fax (214) 871-0757

AS PER DISCUSSION  
w/ JIM P. on 6/25/02,  
THESE DRAWINGS WERE  
FILED, WITHOUT ANY  
ACTION TAKEN!  
szc

25th  
Anniversary  
1978-2003

COWLES & THOMPSON  
A Professional Corporation  
ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

August 22, 2003

Ms. Gayle Walton  
Department Secretary  
City Manager's Office  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Spectrum Drive Right-of-Way Project - Parcels 2 and 2A**

Dear Gayle:

Enclosed for the Town's files are the file-marked Right-of-Way Deed and Sidewalk Easement for the above-referenced parcels. I note that the documents are different from those included in my last correspondence to the Town regarding this matter. By copy of this letter, I am asking Steve Chutchian to give me a call to ensure that all is in order. Please let me know if you have any questions.

Sincerely,

Angela K. Washington

AKW/yjr  
Enclosures

c(w/Enclosures): Mr. Steve Chutchian  
(w/o Enclosures) Ms. Carmen Moran  
(w/o Enclosures) Mr. Kenneth Dippel

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**RIGHT-OF-WAY DEED**

DATE:         May 21  , 2003

2353144

GRANTOR: TexOK Properties, L.P.  
          2005 Faircloud Drive  
          Edmond, OK 73034

3920755       \$15.00 Deed  
06/02/03

GRANTEE: Town of Addison, Texas  
          5300 Belt Line Road  
          Addison, TX 75001  
          (Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

2003 105 00050

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

Hurst Holdings LLC  
General Partner of TexOK Properties, L.P.

By: [Signature]  
Print Name: Steve Hurst  
Print Title: Sole Member

Oklahoma  
STATE OF ~~TEXAS~~ §  
Logan §  
COUNTY OF ~~DALLAS~~ §

Before Me, the undersigned notary public in and for said county and state, on this 21<sup>st</sup> day of May, 2003, personally appeared Steve Hurst, Sole Member of Hurst Holdings LLC on behalf of TexOK Properties LP, a Oklahoma Limited Partnership and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

[Signature]  
Notary Public, State of Texas Oklahoma  
Print Name: Vicki S. Wells

My Commission Expires:

07250/2004 #00014300  
PUBLIC  
11 31 04  
WARRANTY DEED - Page 2  
Parcel 2, Summit Drive  
Document #: 1094288

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of Tract II as described in instrument to TEXOK Properties, L.P., as recorded in Volume 2002240, Page 03529 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 719.97 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for a corner on north line of said Tract II;

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract II of TEXOK Properties, L. P. a distance of 34.50 feet to the northeast corner of said Tract II from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract II of TEXOK Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.5702 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

Exhibit B

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	S 89° 05' 45" E	34.50'
L3	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

PARCEL 2  
0.5702 AC.

(TRACT II)  
TEXOK PROPERTIES, L.P.  
VOL.2002240 PG.03529

(TRACT III)  
TEXOK PROPERTIES, L.P.  
VOL.2002240 PG.03529

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0832 AC.)

FISHER  
NO.

POINT OF  
BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF  
COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

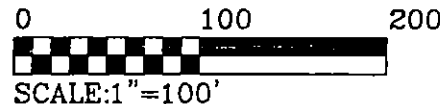
LOT 1, BLOCK D

PAGE 3 OF 3

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.



*E. J. Yahoudy* 5-1-03  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862  
Revised owner's name: 3/14/2003  
Revised Parcel: 5/01/2003



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: TEXOK PROPERTIES, L.P.  
AREA: 0.5702 AC. REV. DATE: 5/1/2003



FILED

2003 JUN -2 PM 12: 33

CYNTHIA FIGUEROA CALHOUN  
COUNTY CLERK  
DALLAS COUNTY

Any provision herein which restricts the sale, rental, or use of the described real property because of color or race is invalid and unenforceable under federal law.  
STATE OF TEXAS COUNTY OF DALLAS  
I hereby certify this instrument was filed on the date and time stamped hereon by me and was duly recorded in the volume and page of the named records of Dallas County, Texas as stamped hereon by me.

JUN 2 2003



*Cynthia Figueroa Calhoun*  
COUNTY CLERK, Dallas County, Texas

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**

**SIDEWALK EASEMENT**

**2353145**

**STATE OF TEXAS**

§  
§  
§

3920756      \$15.00 Deed  
06/02/03

**KNOW ALL MEN BY THESE PRESENTS:**

**COUNTY OF DALLAS**

That **TexOK Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this 21 day of May, 2003

**TEXOK PROPERTIES, L.P.**

By Hurst Holdings L.L.C.  
General Partner of TexOK Properties, L.P.

By [Signature]  
Print Name Steve Hurst

Title Sole Member

*Oklahoma*  
STATE OF TEXAS §  
COUNTY OF DALLAS *Logan* §

BEFORE ME, the undersigned notary public in and for said county and state, on this 21<sup>st</sup> day of May, 2003, personally appeared Steve Hurst Sole Member of Hurst Holdings LLC on behalf of Tex Ok Properties LP, a Oklahoma Ltd. Partnership and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

*Nicki S. Skells*  
\_\_\_\_\_  
Notary Public in and for the State of ~~Texas~~ *Oklahoma*

MY COMMISSION EXPIRES:  
08/25/2004 #00014200



**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of Tract II as described in instrument to TEXOK Properties, L.P. as recorded in Volume 2002240, Page 03529 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 724.97 feet to a point for a corner on the north line of said Tract II;

THENCE South 89 degrees 05 minutes 45 seconds East a distance of 5.00 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 719.97 feet to the POINT OF BEGINNING and containing 0.0832 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.B5021 PG.1686

Exhibit B

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	S 89° 05' 45" E	34.50'
L3	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

PARCEL 2  
0.5702 AC.

(TRACT II)  
TEXOK PROPERTIES, L.P.  
VOL.2002240 PG.03529

(TRACT III)  
TEXOK PROPERTIES, L.P.  
VOL.2002240 PG.03529

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0832 AC.)

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

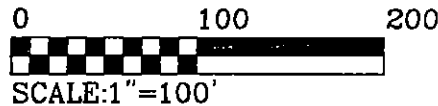
THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



BASIS OF BEARINGS:

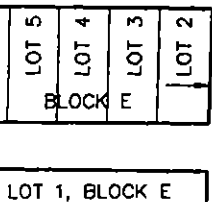
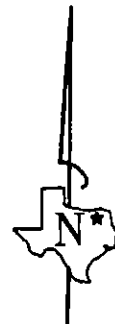
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

85001 5011 8007

G. W. A. B. S. T.

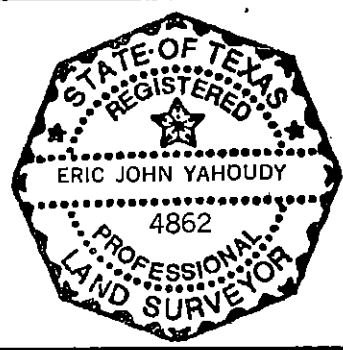
FISHER  
N.O.

SURVEY



AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 3 OF 3



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy* 5-1-03  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862  
Revised owner's name: 3/14/2003  
Revised Parcel: 5/01/2003

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: TEXOK PROPERTIES, L.P.  
AREA: 0.5702 AC. REV. DATE: 5/1/2003

FILED

2003 JUN -2 PM 12: 33

CYNTHIA FIGUEROA CALHOUN  
COUNTY CLERK  
DALLAS COUNTY

Any provision herein which restricts the sale, rental, or use of the described real property because of color or race is invalid and unenforceable under federal law.  
STATE OF TEXAS COUNTY OF DALLAS  
I hereby certify this instrument was filed on the date and time stamped hereon by me and was duly recorded in the volume and page of the named records of Dallas County, Texas as stamped hereon by me.

JUN 2 2003



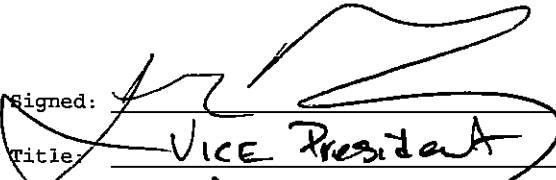
*Cynthia Figueroa Calhoun*  
COUNTY CLERK, Dallas County, Texas

PAVING, UTILITIES, STREETSCAPE, SIGNALIZATION & STREET LIGHTING  
BID SCHEDULE SUMMARY  
 SPECTRUM DRIVE EXTENSION-TOTAL PROJECT

COPY

BID SCHEDULE & DESCRIPTION	TOTAL AMOUNT MATERIAL & SERVICES
<u>1</u> PAVING IMPROVEMENTS	\$ 811,115.00
<u>2</u> UTILITIES IMPROVEMENTS	\$ 753,252.50
<u>3</u> STREETSCAPE IMPROVEMENTS	\$ 487,313.75
<u>4</u> SIGNALIZATION IMPROVEMENTS	\$ 123,911.00
<u>5</u> STREET LIGHTING (BASE BID)	\$ 215,824.00
TOTAL PAVING, UTILITY, STREETSCAPE, SIGNALIZATION & STREET LIGHTING BASE BID STANDARD BID "A"	\$ 2,391,416.25
CALENDAR DAYS <u>210</u> X \$2500 PER DAY TIME BID "B"	\$ 525,000.00
Total Bid (Standard Bid "A" + Time Bid "B")	\$ 2,916,416.25
<u>6</u> STREET LIGHTING (ALT BID)	\$ 209,095.50

Site Concrete, Inc. certifies that the unit prices shown on this complete computer print-out for all of the bid items and the alternates contained in this proposal are the unit prices intended and that its bid will be tabulated using these unit prices and no other information from this print-out. Site Concrete, Inc. acknowledges and agrees that the total bid amount shown will be read as its total bid and further agrees that the official total bid amount will be determined by multiplying the unit bid prices shown in this print-out by the respective estimated quantities shown in the proposal and then totaling all of the extended

Signed:   
 Title: Vice President  
 Date: Dec 2 2003

PROPOSAL FORM

Dec. 2, 2003

TO: The Honorable Mayor and Town Council  
Town of Addison, Texas

Gentlemen:

The undersigned bidder, having examined the plans, specifications and contract documents, and the location of the proposed work, and being fully advised as to the extent and character of the work, proposes to furnish all equipment and to perform labor and work necessary for completion of the work described by and in accordance with the Plans, Specifications and Contract for the following prices, to wit:

Signed by:



ACKNOWLEDGEMENT OF ADDENDA:

The Bidder acknowledges receipt of the following addenda:

- Addendum No. 1 Dated
- Addendum No. 2 Dated
- Addendum No. 3 Dated
- Addendum No. 4 Dated
- Addendum No. 5 Dated
- Addendum No. 6 Dated

11/21 AD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



General Notes and Supplemental Specifications For Bidding

THE FOLLOWING NOTES PROVIDE ADDITIONAL CLARIFICATION OF CERTAIN BID ITEMS SUPPLEMENTAL TO THE PLANS AND TECHNICAL SPECIFICATIONS.

General

All excess trench spoil from utility installations are to be disposed of off-site. All excess unclassified street excavation is to be disposed of off-site.

All unit prices for utility lines shall include value for required embedment. No separate pay item.

Unit prices shall include value for required bonds, insurance, taxes, etc. No separate pay items are provided for these elements.

Mobilization

An item for mobilization is included in bid package. The amount bid for this item will not be limited by a percentage of the total bid amount.

SCHEDULE I

Item No. 102 - Full Depth Sawcut

The quantity indicated for full depth sawcut is only the amount needed to isolate all pavement removal sections at one time. Sequencing of the project may, however, necessitate additional interim sawcuts and removals which will be incidental to the contract.

Item No. 104 - 6" Thick Lime Stabilized Subgrade

Item No. 105 - Hydrated Lime

Based on geotechnical investigation for the area, there should be no excavation for streets that encounters gray limestone. Tan limestone may be present in some areas but it can be a desirable material if properly processed and compacted. The contractor should not assume that subgrade material must be undercut and replaced with select fill. If such conditions are encountered, they will be dealt with by change order.

Item No. 107 - 6" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

Item No. 108 - 8" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

Item No. 112 - Furnish Vehicular Brick Paver Materials, Delivered to Site

This item consists of the specified vehicular bricks "C". Note that many dimensions are noted in increments of brick (or "wythe"). Vehicular bricks shall meet or exceed ASTM C1272-94 for Heavy Vehicular Paving Brick Type R. An acceptable material has been identified as equal to the following:

Type "C" - 2 1/4" x 3 1/2" x 7 1/2" Acme Color "Tulsa Blend 2, Garnet Red

The unit cost for this item shall include only the purchase and delivery of the pavers to the site

Contractor's price shall reflect supplying one extra pallet of vehicular pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

Item No. 113 - Furnish Bedding Materials and Install Vehicular Brick Pavers

This item is for the costs associated with furnishing and installing the bedding materials and the cost associated with installing the pavers. The materials and delivery costs of the pavers is covered in Item No.'s 112.

SCHEDULE V & VI

The contractor shall bid Schedule V and Schedule VI. Schedule V is the Base Bid for Street Lighting assuming that Oncor owns and maintains the vehicular street lights. Schedule VI is the Alternate bid assuming that the Town owns

and operates the vehicular street lights. For the purposes of determining the successful bidder the Town will use a comparison of bids utilizing the Base Bid for Street Lighting (Schedule V).

Item No. 611 -- Furnish Glen-Gery Pedestrian Brick Pavers

Contractor's price shall reflect supplying one extra pallet of pedestrian pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

PAVE IMPRVTS, SCH 1, "SOUTH"

101	MOBILIZATION	LS	1.000	\$ 75,000.00	\$	75,000.00
102	FULL DEPTH SAWCUT EX CONC	LF	143.000	\$ 10.00	\$	1,430.00
103	REM & DISP OF EX CONC & ASPH PAVE INCL CURB	SY	11.000	\$ 25.00	\$	275.00
104	6" LIME STAB	SY	3115.000	\$ 2.00	\$	6,230.00
105	HYDRATED LIME	TON	51.400	\$ 90.00	\$	4,626.00
106	8" 5000# CONC PAVE	SY	3000.000	\$ 28.00	\$	84,000.00
107	NO ITEM					
108	NO ITEM					
109	6" 5000# CONC CURB	LF	1834.000	\$ 3.00	\$	5,502.00
110	LONGITUDINAL BUTT JOINT	LF	118.000	\$ 10.00	\$	1,180.00
111	NO ITEM					
112	NO ITEM					
113	NO ITEM					
114	THERMO STOP LINE 24" WIDE	LF	35.000	\$ 12.00	\$	420.00
115	THERMO STRIPE, 4" WIDE	LF	594.000	\$ 3.00	\$	1,782.00
116	REFL BUTTONS, TY 1-C, 4"	EA	37.000	\$ 6.50	\$	240.50
117	REFL BUTTONS, TY II-A-A, 4"	EA	76.000	\$ 9.00	\$	684.00
118	ST & TRAFF CTRL SIGNS	EA	5.000	\$ 350.00	\$	1,750.00
119	NO ITEM					
120	NO ITEM					
121	NO ITEM					
122	NO ITEM					
123	BARRICADES, SIGNS & TRAFF CTRL	LS	1.000	\$ 7,500.00	\$	7,500.00
124	NO ITEM					
125	NO ITEM					
126	NO ITEM					
127	STAB CONST ENTR	CY	19.000	\$ 100.00	\$	1,900.00
128	SILT FENCE	LF	350.000	\$ 1.50	\$	525.00
129	INLET PROTECT	EA	2.000	\$ 125.00	\$	250.00
130	RR CROSSING	LS	1.000	\$ 50,000.00	\$	50,000.00
131	4" HMACP BASE COURSE	SY	70.000	\$ 20.00	\$	1,400.00
132	2" HMACP SURF COURSE	SY	70.000	\$ 16.00	\$	1,120.00
133	IMPORT FILL	CY	3400.000	\$ 9.00	\$	30,600.00
134	PLACE 6" WIDE THERMOPLASTIC CROSSWALK MARKER	LF	460.000	\$ 2.00	\$	920.00
135	PLACE WITH THERMOPLASTIC ARROW	EA	2.000	\$ 150.00	\$	300.00

PAVING IMPROVMENTS SCH. 1 "SOUTH" \$ 277,634.50

UTIL IMPRVTS, SCH 2

201	CONC BLOCKING	CY	21.800	\$ 175.00	\$	3,815.00
202	DI FITTINGS	TON	0.500	\$ 3,500.00	\$	1,750.00
203	AWWA C909 DR18 CL 150 PVC WTR PIPE, 6"	LF	24.000	\$ 45.00	\$	1,080.00
204	PVC AWWA C900 DR18 CL 150 WTR PIPE W/EMBED, 08"	LF	85.000	\$ 17.00	\$	1,445.00
205	AWWA C909 DR18 CL 150 PVC WTR PIPE, 12"	LF	640.000	\$ 21.00	\$	13,440.00
206	RES SEAT GATE VALVE/BOX 6"	EA	1.000	\$ 575.00	\$	575.00
207	RES SEAT GATE VALVE/BOX 8"	EA	4.000	\$ 675.00	\$	2,700.00
208	RES SEAT GATE VALVE/BOX 12"	EA	1.000	\$ 1,200.00	\$	1,200.00
209	FIRE HYDRANT	EA	1.000	\$ 2,000.00	\$	2,000.00
210	CONNECT TO EX WTR MAIN	EA	2.000	\$ 1,500.00	\$	3,000.00
211	STL CASING PIPE BY BORE, 24"	LF	126.000	\$ 225.00	\$	28,350.00
212	2" TY K SOFT COPPER IRRIGA SERV	EA	1.000	\$ 750.00	\$	750.00
213	1.5" HERSEY MVR 100 TURBINE METER	EA	1.000	\$ 775.00	\$	775.00
214	BROOKS PROD #65 17" X 28" PRECAST BOX	EA	2.000	\$ 250.00	\$	500.00
215	1.5" FEBCO 805Y DBL CHECK VALVE ASSY	EA	1.000	\$ 750.00	\$	750.00
215	2" CL 200 PVC SLEEVE	LF	30.000	\$ 7.50	\$	225.00
216	*MISS MARKED - NO ITEM					
217	TRENCH SAFETY	LF	750.000	\$ 1.00	\$	750.00
218	PERFORM WTR TEST	LS	1.000	\$ 3,000.00	\$	3,000.00
219	2" AIR REL VALVE	EA	2.000	\$ 1,600.00	\$	3,200.00
220	12" PVC AWWA C909 DR18 CL 150 WTR PIPE IN BORE PIPE	LF	103.000	\$ 12.00	\$	1,236.00

--STRM DRAINAGE--

301	CL III RCP 18"	LF	153.000	\$ 28.00	\$	4,284.00
302	CL III RCP 21"	LF	111.000	\$ 33.00	\$	3,663.00
303	NO ITEM					
304	NO ITEM					
305	NO ITEM					
306	NO ITEM					
307	NO ITEM					
308	NO ITEM					
309	CL III RCP 48"	LF	740.000	\$ 110.00	\$	81,400.00
310	CL II RCBC 6' X 3' INCL EMBED	LF	284.000	\$ 210.00	\$	59,640.00
311	CL III RCBC 6' X 4' INCL EMBED	LF	450.000	\$ 238.00	\$	107,100.00

312	RCP FLOW EQUALIZER 24"	EA	2.000	\$ 1,500.00	\$ 3,000.00
313	NO ITEM				
314	REM & DISP OF EXIST RCP	LF	233.000	\$ 10.00	\$ 2,330.00
315	CONC JUNCTION BOX	EA	1.000	\$ 14,000.00	\$ 14,000.00
316	NO ITEM				
317	NO ITEM				
318	10' STD INLET W/RECESS TOP	EA	2.000	\$ 2,800.00	\$ 5,600.00
319	NO ITEM				
320	TY B HEADWALL	EA	3.000	\$ 1,500.00	\$ 4,500.00
321	RCP 60 DEG FACTORY WYE CONNECT	EA	2.000	\$ 500.00	\$ 1,000.00
322	CONNECT TO EX PIPE	EA	2.000	\$ 1,500.00	\$ 3,000.00
323	CONNECT TO EX STRUCT	EA	1.000	\$ 1,500.00	\$ 1,500.00
324	PRECAST CONC PIPE PLUG	EA	1.000	\$ 350.00	\$ 350.00
325	REM & DISP OF EX HEADWALLS & CONC RIP RAP	LS	1.000	\$ 1,500.00	\$ 1,500.00

--WASTEWATER--

401	NO ITEM				
402	NO ITEM				
403	NO ITEM				
404	NO ITEM				
405	NO ITEM				
406	NO ITEM				
407	NO ITEM				
408	NO ITEM				

--ELECT DUCTBANK--

501	NO ITEM				
502	NO ITEM				
503	NO ITEM				
504	NO ITEM				
505	NO ITEM				

UTILITY IMPROVMENTS SCH. 2 "SOUTH" \$ 363,408.00

STREETSCAPE IMPRVTS, SCH 3

601	IRRIGA SYS, COMPLETE	LS	1.000	\$ 15,000.00	\$ 15,000.00
602	60" SQ TREE GRATE	EA	11.000	\$ 1,200.00	\$ 13,200.00
603	4" PVC SCH 40 SUBDRAIN SYS	LF	544.000	\$ 22.00	\$ 11,968.00
604	RED OAK, 200 GAL	EA	11.000	\$ 1,600.00	\$ 17,600.00
605	NO ITEM				
606	NO ITEM				
607	NO ITEM				
608	NO ITEM				
609	NO ITEM				
610	4" 3000# CONC SUBBAE, SW	SF	16379.000	\$ 2.75	\$ 45,042.25
611	GLEN-GARY PED BRICK PAVER MATLS DEL TO SITE	SF	16379.000	\$ 3.50	\$ 57,326.50
612	FURN & PLACE BEDD MATLS & BRICK PAVERS	SF	16379.000	\$ 2.50	\$ 40,947.50
613	TRUNCATED DOME PAVERS ON NEW RAMPS	SF	70.000	\$ 7.50	\$ 525.00
614	CONC RETAIN WALL, BACKFILL & DRAINS	CY	66.000	\$ 425.00	\$ 28,050.00
615	BIKE RAIL ON RETAIN WALL	LF	51.000	\$ 100.00	\$ 5,100.00

STREETSCAPE IMPROVMENTS SCH. 3 "SOUTH" \$ 234,759.25

SIGNALIZATION IMPRVTS, SCH 4

701	TS-2 CABINET & SIG CTRL	EA	1.000	\$ 14,000.00	\$ 14,000.00
702	TRAFF SIG CTRL FOUNDATION	EA	1.000	\$ 1,500.00	\$ 1,500.00
703	TY C PULL BOX W/CONC APRON	EA	4.000	\$ 450.00	\$ 1,800.00
704	ELECT CONDUCTOR #6 XHHW WIRE, POWER	LF	1211.000	\$ 1.00	\$ 1,211.00
705	ELECT CONDUCTOR #6 AWG CU WIRE, GRND	LF	717.000	\$ 1.00	\$ 717.00
706	TRAFF SIG CABLE, 16 COND, #14 CABLE	LF	430.000	\$ 4.00	\$ 1,720.00
707	TRAFF SIG CABLE, 18 AWG, VIDEO CABLE	LF	430.000	\$ 2.50	\$ 1,075.00
708	TRAFF SIG CABLE, #18 AWG CU WIRE	LF	430.000	\$ 1.00	\$ 430.00
709	PVC CONDUIT W/EMBED, 3"	LF	18.000	\$ 13.00	\$ 234.00
710	PVC CONDUIT W/EMBED, 4"	LF	630.000	\$ 4.00	\$ 2,520.00
711	PVC CONDUIT BORED, 4"	LF	222.000	\$ 17.00	\$ 3,774.00

712	ECONOLITE MVP SOLOPRO VIDEO DETECTION CAMERAS	EA	4.000	\$ 4,800.00	\$ 19,200.00
713	TY 36-A TRAFF SIG FOUND	EA	2.000	\$ 4,800.00	\$ 9,600.00
714	TY 48-A TRAFF SIG FOUND	EA	2.000	\$ 2,000.00	\$ 4,000.00
715	INTERNAL LIGHT ST NAME SIGNS	EA	4.000	\$ 3,500.00	\$ 14,000.00
716	PED SIG W/COUNTDOWN LED	EA	8.000	\$ 1,500.00	\$ 12,000.00
717	STL TRAFF SIG POLE ASSY, 1 ARM, 36'	EA	1.000	\$ 3,200.00	\$ 3,200.00
718	STL TRAFF SIG POLE ASSY, 1 ARM, 40'	EA	1.000	\$ 3,200.00	\$ 3,200.00
719	STL TRAFF SIG POLE ASSY, 1 ARM, 50'	EA	1.000	\$ 8,700.00	\$ 8,700.00
720	STL TRAFF SIG POLE ASSY, 1 ARM, 55'	EA	1.000	\$ 8,700.00	\$ 8,700.00
721	PED DETECTOR PUSH BUTTON	EA	8.000	\$ 125.00	\$ 1,000.00
722	12" LED RED TRAFF SIG LAMP	EA	13.000	\$ 100.00	\$ 1,300.00
723	12" LED YEL TRAFF SIG LAMP	EA	13.000	\$ 110.00	\$ 1,430.00
724	12" LED GRN TRAFF SIG LAMP	EA	13.000	\$ 200.00	\$ 2,600.00
725	12" LED GRN & YEL ARROW TRAFF SIG LAMP	EA	4.000	\$ 250.00	\$ 1,000.00
726	F&I OPTICOM	EA	4.000	\$ 1,250.00	\$ 5,000.00

SIGNALIZATION IMPROVMENTS SCH. 4 "SOUTH" \$ 123,911.00

ST LIGHT IMPRVTS, SCH 5

801	METER SOCKET BASE	EA	2.000	\$ 125.00	\$ 250.00
802	ENCLOS TO SUPPORT METER, PANEL, CONTACTOR, TIME CLOCK	EA	1.000	\$ 3,500.00	\$ 3,500.00
803	SERV GRND	EA	1.000	\$ 50.00	\$ 50.00
804	PANEL BRD W/BREAKERS	EA	1.000	\$ 1,200.00	\$ 1,200.00
805	ENCLOS & CONTACTOR	EA	1.000	\$ 900.00	\$ 900.00
806	7 DAY TIME CLOCK	EA	1.000	\$ 75.00	\$ 75.00
807	PHOTO CELL & CONNECTIONS	EA	1.000	\$ 50.00	\$ 50.00
808	2" GRC ELBOW	EA	20.000	\$ 17.00	\$ 340.00
809	2" PVC SCH 40 CONDUIT	LF	530.000	\$ 3.00	\$ 1,590.00
810	2" PVC SCH 40 CONDUIT W/PULL ROPE	LF	620.000	\$ 3.00	\$ 1,860.00
811	2" GRC CONDUIT	LF	40.000	\$ 7.00	\$ 280.00
812	3" GRC ELBOW	EA	2.000	\$ 13.00	\$ 26.00
813	3" PVC SCH 40 CONDUIT W/EMBED	LF	370.000	\$ 3.00	\$ 1,110.00
814	3" GRC CONDUIT	EA	15.000	\$ 4.00	\$ 60.00
815	HI COMPRESSION TAP	EA	36.000	\$ 15.00	\$ 540.00
816	#10 AWG CONDUCTOR	LF	10.000	\$ 0.50	\$ 5.00
817	#08 AWG CONDUCTOR	LF	1500.000	\$ 0.75	\$ 1,125.00
818	NO ITEM				
819	NO ITEM				
820	STL LIGHT PULL BOX	EA	4.000	\$ 250.00	\$ 1,000.00
821	PED POLE LIGHT FOUND	EA	7.000	\$ 500.00	\$ 3,500.00
822	PED LIGHT POLE & LUM FIXTURES, 2 EA	EA	7.000	\$ 3,700.00	\$ 25,900.00
823	VEHICULAR POLE LIGHT FOUND	EA	2.000	\$ 500.00	\$ 1,000.00
824	VEHICULAR POLE & SGL LUM	EA	2.000	\$ 3,000.00	\$ 6,000.00
825	30 AMP DISCONNECT SWITCH W/FUSES	EA	1.000	\$ 300.00	\$ 300.00

ST. LIGHT IMPROVMENTS SCH. 5 "SOUTH" (BASE BID) \$ 50,661.00

ST LIGHT IMPRVTS, ALT BID, SCH 6

801	METER SOCKET BASE	EA	2.000	\$ 125.00	\$ 250.00
802	ENCLOS TO SUPPORT METER, PANEL, CONTACTOR, TIME CLOCK	EA	1.000	\$ 3,500.00	\$ 3,500.00
803	SERV GRND	EA	1.000	\$ 50.00	\$ 50.00
804	PANEL BRD W/BREAKERS	EA	1.000	\$ 1,200.00	\$ 1,200.00
805	ENCLOS & CONTACTOR	EA	1.000	\$ 900.00	\$ 900.00
806	7 DAY TIME CLOCK	EA	1.000	\$ 75.00	\$ 75.00
807	PHOTO CELL & CONNECTIONS	EA	1.000	\$ 50.00	\$ 50.00
808	2" GRC ELBOW	EA	21.000	\$ 17.00	\$ 357.00
809	2" PVC SCH 40 CONDUIT W/EMBED	LF	665.000	\$ 3.00	\$ 1,995.00
810	2" PVC SCH 40 CONDUIT W/PULL ROPE	LF	185.000	\$ 3.00	\$ 555.00
811	2" GRC CONDUIT	LF	80.000	\$ 7.00	\$ 560.00
812	3" GRC ELBOW	EA	2.000	\$ 13.00	\$ 26.00
813	3" PVC SCH 40 CONDUIT W/EMBED	LF	30.000	\$ 3.00	\$ 90.00
814	3" GRC CONDUIT	EA	15.000	\$ 4.00	\$ 60.00
815	HI COMPRESSION TAP	EA	36.000	\$ 15.00	\$ 540.00
816	#10 AWG CONDUCTOR	LF	10.000	\$ 1.00	\$ 10.00
817	#08 AWG CONDUCTOR	LF	2100.000	\$ 0.50	\$ 1,050.00
818	NO ITEM				
819	NO ITEM				
820	NO ITEM				
821	PED POLE LIGHT FOUND	EA	7.000	\$ 500.00	\$ 3,500.00
822	PED LIGHT POLE & LUM FIXTURES, 2 EA	EA	7.000	\$ 3,700.00	\$ 25,900.00
823	VEHICULAR POLE LIGHT FOUND	EA	2.000	\$ 500.00	\$ 1,000.00
824	VEHICULAR POLE & SGL LUM	EA	2.000	\$ 3,000.00	\$ 6,000.00
825	NO ITEM....				

ST. LIGHT IMPROVMENTS SCH. 6 "SOUTH" (ALT BID) \$ 47,668.00



PROPOSAL FORM

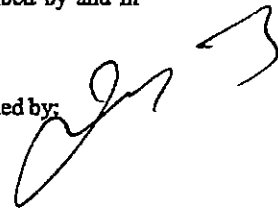
Dec. 2, 2003

TO: The Honorable Mayor and Town Council  
Town of Addison, Texas

Gentlemen:

The undersigned bidder, having examined the plans, specifications and contract documents, and the location of the proposed work, and being fully advised as to the extent and character of the work, proposes to furnish all equipment and to perform labor and work necessary for completion of the work described by and in accordance with the Plans, Specifications and Contract for the following prices, to wit:

Signed by:



ACKNOWLEDGEMENT OF ADDENDA:

The Bidder acknowledges receipt of the following addenda:

Addendum No. 1 Dated

11/21 PD

Addendum No. 2 Dated

\_\_\_\_\_

Addendum No. 3 Dated

\_\_\_\_\_

Addendum No. 4 Dated

\_\_\_\_\_

Addendum No. 5 Dated

\_\_\_\_\_

Addendum No. 6 Dated

\_\_\_\_\_

General Notes and Supplemental Specifications For Bidding

THE FOLLOWING NOTES PROVIDE ADDITIONAL CLARIFICATION OF CERTAIN BID ITEMS SUPPLEMENTAL TO THE PLANS AND TECHNICAL SPECIFICATIONS.

General

All excess trench spoil from utility installations are to be disposed of off-site. All excess unclassified street excavation is to be disposed of off-site.

All unit prices for utility lines shall include value for required embedment. No separate pay item.

Unit prices shall include value for required bonds, insurance, taxes, etc. No separate pay items are provided for these elements.

Mobilization

An item for mobilization is included in bid package. The amount bid for this item will not be limited by a percentage of the total bid amount.

SCHEDULE I

Item No. 102 - Full Depth Sawcut

The quantity indicated for full depth sawcut is only the amount needed to isolate all pavement removal sections at one time. Sequencing of the project may, however, necessitate additional interim sawcuts and removals which will be incidental to the contract.

Item No. 104 - 6" Thick Lime Stabilized Subgrade

Item No. 105 - Hydrated Lime

Based on geotechnical investigation for the area, there should be no excavation for streets that encounters gray limestone. Tan limestone may be present in some areas but it can be a desirable material if properly processed and compacted. The contractor should not assume that subgrade material must be undercut and replaced with select fill. If such conditions are encountered, they will be dealt with by change order.

Item No. 107 - 6" thick 5,000 PSI Compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

Item No. 108 - 8" thick 5,000 PSI Compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

Item No. 112 - Furnish Vehicular Brick Paver Materials, Delivered to Site

This item consists of the specified vehicular bricks "C". Note that many dimensions are noted in increments of brick (or "wythe"). Vehicular bricks shall meet or exceed ASTM C1272-94 for Heavy Vehicular Paving Brick Type R. An acceptable material has been identified as equal to the following:

Type "C" - 2 1/4" x 3 1/2" x 7/8" Acme Color "Tulsa Blend 2, Garnet Red

The unit cost for this item shall include only the purchase and delivery of the pavers to the site

Contractor's price shall reflect supplying one extra pallet of vehicular pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

Item No. 113 - Furnish Bedding Materials and Install Vehicular Brick Pavers

This item is for the costs associated with furnishing and installing the bedding materials and the cost associated with installing the pavers. The materials and delivery costs of the pavers is covered in Item No.'s 112.



**SCHEDULE V & VI**

The contractor shall bid Schedule V and Schedule VI. Schedule V is the Base Bid for Street Lighting assuming that Oncor owns and maintains the vehicular street lights. Schedule VI is the Alternate bid assuming that the Town owns and operates the vehicular street lights. For the purposes of determining the successful bidder the Town will use a comparison of bids utilizing the Base Bid for Street Lighting (Schedule V).

**Item No. 611 – Furnish Glen-Gery Pedestrian Brick Pavers**

Contractor's price shall reflect supplying one extra pallet of pedestrian pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

AM.1201A ADDISON - SPECTRUM DR NORTH/SOUTH EXTENSION; BID #RFB 04-03  
 ADD INFO:  
 ESTIMATE: \$3,000,000. ADDENDUM: 1  
 PREBID: 11/17/2003 10AM @ SERV CENTER, 16801 WESTGROVE, ADDISON  
 BID DATE: 12/02/2003 3 PM TO OWNER (PP FRM 12/01, 10AM)  
 ARCH/ENG: CITY OF ADDISON, PURCH DEPT, 5350 BELTLINE RD, ADDISON 75001  
 972 450-7091, FAX 972 450-7096  
 ENGR OF RECORD: HUITT-ZOLLARS, DALLAS 214 871-3311, D MEYERS, PE  
 PLANS: PLANS AVAIL ON CD ONLY FRM CITY SERV CENTER @ N/C  
 NOTES1: 5% BID BOND CD ON FILE  
 NOTES2: \*MUST RESERVE IN ADVANCE TO CHECK OUT OF PLANROOM!!

BOI	DESCRIPTION	UN	QUANTITY	UNIT BI	EXTENSION
<u>PAVING IMPRVTS, SCH 1 "NORTH"</u>					
101	MOBILIZATION	LS	1.000	\$ 75,000.00	\$ 75,000.00
102	FULL DEPTH SAWCUT	LF	114.000	\$ 10.00	\$ 1,140.00
103	REM & DISP OF EX CONC & ASPH PAVE INCL CURB	SY	19.000	\$ 25.00	\$ 475.00
104	6" THICK LIME STAB SUBGRD	SY	6859.000	\$ 2.00	\$ 13,718.00
105	HYDRATED LIME	TON	113.100	\$ 90.00	\$ 10,179.00
106	8" 5000# COMPRESSIVE @ 28 DAYS REINF CONC PAVE	SY	6229.000	\$ 28.00	\$ 174,412.00
107	6" 5000# COMPRESSIVE @ 28 DAY REINF CONC DROP SLAB, ST	SY	152.000	\$ 30.00	\$ 4,560.00
108	8" 5000# COMPRESSIVE @ 28 DAY REINF CONC DROP SLAB, ST	SY	112.000	\$ 35.00	\$ 3,920.00
109	6" 5000# COMPRESSIVE @ 28 DAY INTEGRAL CONC CURB	LF	3194.000	\$ 3.00	\$ 9,582.00
110	LONGITUDINAL BUTT JOINT	LF	111.000	\$ 10.00	\$ 1,110.00
111	CONC ST HEADER	LF	23.000	\$ 10.00	\$ 230.00
112	ACME VEHICULAR BRICK PAVER MATLS, DEL TO SITE	SF	2372.000	\$ 5.00	\$ 11,860.00
113	BEDDING MATLS & PLACE BRICK PAVERS	SF	2372.000	\$ 3.00	\$ 7,116.00
114	THERMO STOP LINE 24" WIDE	LF	23.000	\$ 12.00	\$ 276.00
115	THERMO STRIPE 4" WIDE	LF	1942.000	\$ 3.00	\$ 5,826.00
116	REFL BUTTONS, TY 1-C, 4"	EA	21.000	\$ 6.50	\$ 136.50
117	REFL BUTTONS, TY 11AA, 4"	EA	140.000	\$ 9.00	\$ 1,260.00
118	ST & TRAFF CTRL SIGNS	EA	5.000	\$ 350.00	\$ 1,750.00
119	ST NAME SIGN & MOUNT HDWR & APPURT	EA	1.000	\$ 250.00	\$ 250.00
120	UNISTRUT-TELESPAR ST SIGN POST, FOUND, ETC	EA	1.000	\$ 250.00	\$ 250.00
121	REM EX ST BARRICADES & POSTS	LF	44.000	\$ 25.00	\$ 1,100.00
122	F&I ST BARRICADES & POSTS	LF	50.000	\$ 55.00	\$ 2,750.00
123	BARRICADES, SIGNS & TRAFF CTRL	LS	1.000	\$ 7,500.00	\$ 7,500.00
124	UNCLASS ST EXCAVA, DISP	CY	20400.000	\$ 9.50	\$ 193,800.00
125	BLACK STL STOP SIGN POLE	EA	1.000	\$ 350.00	\$ 350.00
126	ADDISON CIRCLE FINIAL ON BLACK STL POLE	EA	1.000	\$ 350.00	\$ 350.00
127	STAB CONST ENTR	CY	19.000	\$ 100.00	\$ 1,900.00
128	SILT FENCE	LF	1050.000	\$ 1.50	\$ 1,575.00
129	INLET PROTECT	EA	5.000	\$ 125.00	\$ 625.00
130	NO ITEM				
131	NO ITEM				
132	NO ITEM				
133	NO ITEM				
134	PLACE 6" WIDE THERMOPLASTIC CROSSWALK MARKER	LF	90	\$ 2.00	\$ 180.00
135	PLACE WITH THERMOPLASTIC ARROW	EA	2	\$ 150.00	\$ 300.00
<b>PAVING IMPROVMENTS SCH. 1 "NORTH"</b>					<b>\$ 533,480.50</b>

<u>UTIL IMPRVTS, SCH 2</u>					
201	CONC BLOCKING	CY	9.800	\$ 175.00	\$ 1,715.00
202	DI FITTINGS, CL 250	TON	1.100	\$ 3,500.00	\$ 3,850.00
203	PVC AWWA C900 DR18 CL 150 WTR PIPE W/EMBED, 06"	LF	30.000	\$ 45.00	\$ 1,350.00
204	PVC AWWA C900 DR18 CL 150 WTR PIPE W/EMBED, 08"	LF	489.000	\$ 17.00	\$ 8,313.00
205	PVC AWWA C900 DR18 CL 150 WTR PIPE W/EMBED, 12"	LF	1087.000	\$ 21.00	\$ 22,827.00
206	RES SEAT GATE VALVE/BOX, 06"	EA	3.000	\$ 575.00	\$ 1,725.00
207	RES SEAT GATE VALVE/BOX, 08"	EA	13.000	\$ 675.00	\$ 8,775.00
208	RES SEAT GATE VALVE/BOX, 12"	EA	5.000	\$ 1,200.00	\$ 6,000.00
209	FIRE HYDRANT F&I	EA	3.000	\$ 2,000.00	\$ 6,000.00
210	CONNECT TO EX WTR MAIN	EA	2.000	\$ 1,500.00	\$ 3,000.00
211	NO ITEM				
212	2" TY K SOFT COPPER IRRIGA SERV	EA	1.000	\$ 750.00	\$ 750.00
213	1.5" HERSEY MVR 100 TURBINE METER	EA	1.000	\$ 775.00	\$ 775.00
214	BROOKS PROD, #65 17" X 28" PRECAST BOX	EA	2.000	\$ 250.00	\$ 500.00
215	1.5" FEBCO 805Y DBL CHK VALVE ASSY	EA	1.000	\$ 750.00	\$ 750.00
215	2" CL 200 PVC SLEEVE	LF	38.000	\$ 7.50	\$ 285.00
217	TRENCH SAFETY	LF	1596.000	\$ 1.00	\$ 1,596.00
218	PERFORM WTR TEST	LS	1.000	\$ 3,500.00	\$ 3,500.00
219	NO ITEM				
220	NO ITEM				

STRM DRAINAGE

301	CL III RCP INCL EMBED, 18"	LF	231.000	\$	28.00	\$	6,468.00
302	CL III RCP INCL EMBED, 21"	LF	59.000	\$	33.00	\$	1,947.00
303	CL III RCP INCL EMBED, 24"	LF	75.000	\$	39.00	\$	2,925.00
304	CL III RCP INCL EMBED, 27"	LF	188.000	\$	45.00	\$	8,460.00
305	CL III RCP INCL EMBED, 30"	LF	26.000	\$	51.00	\$	1,326.00
306	CL III RCP INCL EMBED, 33"	LF	46.000	\$	60.00	\$	2,760.00
307	CL III RCP INCL EMBED, 36"	LF	261.000	\$	69.00	\$	18,009.00
308	CL III RCP INCL EMBED, 42"	LF	428.000	\$	92.00	\$	39,376.00
309	NO ITEM						
310	NO ITEM						
311	NO ITEM						
312	NO ITEM						
313	REM & DISP OF EX CONC INLET	EA	1.000	\$	750.00	\$	750.00
314	NO ITEM						
315	NO ITEM						
316	6' STD INLET W/RECESS TOP	EA	2.000	\$	2,000.00	\$	4,000.00
317	6' STD INLET W/RECESS TOP, EXTRA DEPTH	EA	3.000	\$	2,400.00	\$	7,200.00
318	NO ITEM						
319	TY B MH	EA	2.000	\$	3,500.00	\$	7,000.00
320	NO ITEM						
321	RCP 60 DEG FACTORY WYE CONNECT	EA	15.000	\$	500.00	\$	7,500.00
322	CONNECT TO EX PIPE	EA	3.000	\$	1,500.00	\$	4,500.00
323	NO ITEM						
324	PRECAST CONC PIPE PLUG	EA	11.000	\$	350.00	\$	3,850.00
324	NO ITEM						
325	NO ITEM						

--WWTR--

401	SDR26 PVC WWTR PIPE, 08"	LF	1235.000	\$	16.00	\$	19,760.00
402	SDR26 PVC WWTR PIPE, 06"	LF	409.000	\$	15.00	\$	6,135.00
403	2 WAY CLEANOUT & CI LID	EA	9.000	\$	350.00	\$	3,150.00
404	4' DIA WWTR MH	EA	3.000	\$	2,000.00	\$	6,000.00
405	8" DIA WWTR PIPE PLUG	EA	3.000	\$	150.00	\$	450.00
406	TV INSPECT OF WWTR LINES	LF	1235.000	\$	1.50	\$	1,852.50
407	TRENCH SAFETY	LF	1235.000	\$	1.00	\$	1,235.00
408	CONNECT TO EX WWTR LINES	EA	1.000	\$	1,500.00	\$	1,500.00

--ELECT DUCTBANK--

501	8-6" PVC TY DB CONDUITS, ENCASE IN CONC	LF	1052.000	\$	115.00	\$	120,980.00
502	CONNECT TO EX DUCTBANK	EA	1.000	\$	3,000.00	\$	3,000.00
503	STD 4 WAY ELECT DUCTBANK MH	EA	2.000	\$	12,000.00	\$	24,000.00
504	STD 3 WAY ELECT DUCTBANK MH	EA	1.000	\$	12,500.00	\$	12,500.00
505	CONC DUCTBANK END PLUG	EA	3.000	\$	500.00	\$	1,500.00

UTILITY IMPROVMENTS SCH. 2 "NORTH" \$ 389,844.50

STREETSCAPE, SCH 3

601	IRRIGA SYS COMPLETE	LS	1.000	\$	30,000.00	\$	30,000.00
602	60" SQ TREE GRATE	EA	23.000	\$	1,200.00	\$	27,600.00
603	4" PVC SCH 40 SUBDRAIN SYS	LF	1841.000	\$	21.00	\$	38,661.00
604	RED OAK, 200 GAL	EA	41.000	\$	1,600.00	\$	65,600.00
605	DWARF YAUPON HOLLY 1 GAL	EA	390.000	\$	5.00	\$	1,950.00
606	DAYLILLY 1 GAL	EA	130.000	\$	7.00	\$	910.00
607	YELLOW BEARD IRIS 1 GAL	EA	130.000	\$	7.00	\$	910.00
608	DAFFODIL 1 GAL	EA	286.000	\$	7.00	\$	2,002.00
609	BLEEDING HEART 1 GAL	EA	78.000	\$	8.00	\$	624.00
610	4" 3000# CONC SUBBASE, SW	SF	9574.000	\$	2.75	\$	26,328.50
611	GLEN-GARY PED BRICK PAVE MATLS DEL TO SITE	SF	9574.000	\$	3.50	\$	33,509.00
612	BEDDING MATLS FOR PED BRICK PAVERS	SF	9574.000	\$	2.50	\$	23,935.00
613	TRUNCATED DOME PAVERS ON NEW RAMPS	SF	70.000	\$	7.50	\$	525.00
614	NO ITEM						
615	NO ITEM						

STREETSCAPE IMPROVMENTS SCH. 3 "NORTH" \$ 252,554.50

ST LIGHT IMPRVTS, SCH 5

801	METER SOCKET BASE	EA	2.000	\$	125.00	\$	250.00
802	ENCLOSE TO SUPPORT METER, PANEL, CONTR & TIME CLOCK	EA	1.000	\$	3,500.00	\$	3,500.00
803	SERV GROUND	EA	1.000	\$	50.00	\$	50.00
804	PANEL BOARD W/BREAKERS	EA	1.000	\$	1,200.00	\$	1,200.00
805	ENCL & CONTACTOR	EA	1.000	\$	900.00	\$	900.00
806	7 DAY TIME CLOCK	EA	1.000	\$	75.00	\$	75.00
807	PHOTO CELL & CONNECTIONS	EA	1.000	\$	50.00	\$	50.00

808	2" GRC ELBOW	EA	57.000	\$	17.00	\$	969.00
809	2" PVC SCH 40 CONDUIT	LF	2210.000	\$	3.00	\$	6,630.00
810	2" PVC SCH 40 CONDUIT W/PULL ROPE	LF	2510.000	\$	3.00	\$	7,530.00
811	2" GRC CONDUIT	LF	156.000	\$	7.00	\$	1,092.00
812	3" GRC ELBOW	EA	4.000	\$	13.00	\$	52.00
813	3" PVC SCH 40 CONDUIT W/EMBED	LF	300.000	\$	3.00	\$	900.00
814	3" GRC CONDUIT	EA	30.000	\$	4.00	\$	120.00
815	HI COMPRESSION TAP	EA	50.000	\$	15.00	\$	750.00
816	#10 AWG CONDUCTOR	LF	60.000	\$	1.00	\$	60.00
817	#08 AWG CONDUCTOR	LF	2610.000	\$	0.50	\$	1,305.00
818	NO ITEM						
819	#04 AWG CONDUCTOR	LF	3040.000	\$	0.75	\$	2,280.00
820	STL LIGHT PULL BOX	EA	11.000	\$	250.00	\$	2,750.00
821	PED POLE LIGHT FOUND	EA	27.000	\$	500.00	\$	13,500.00
822	PED LIGHT POLE & LUMINARIES FIX, 2 EA	EA	27.000	\$	3,700.00	\$	99,900.00
823	VEHICULAR POLE LIGHT FOUND	EA	6.000	\$	500.00	\$	3,000.00
824	VEHICULAR POLE & SGL LIMINARE	EA	6.000	\$	3,000.00	\$	18,000.00
825	30 AMP DISCONNECT SWITCH W/FUSES	EA	1.000	\$	300.00	\$	300.00

ST. LIGHT IMPROVMENTS SCH. 5 "NORTH" (BASE BID) \$ 165,163.00

ST LIGHT IMPRVTS, ALT BID, SCH 6

801	METER SOCKET BASE	EA	2.000	\$	125.00	\$	250.00
802	ENCLOSE TO SUPPORT METER, PANEL, CONTACTOR, TIME CLOCK	EA	1.000	\$	3,500.00	\$	3,500.00
803	SERV GRND	EA	1.000	\$	50.00	\$	50.00
804	PANEL BRD W/BREAKERS	EA	1.000	\$	1,200.00	\$	1,200.00
805	ENCLOS & CONTACTOR	EA	1.000	\$	900.00	\$	900.00
806	7 DAY TIME CLOCK	EA	1.000	\$	75.00	\$	75.00
807	PHOTO CELL & CONNECTIONS	EA	1.000	\$	50.00	\$	50.00
808	2" GRC ELBOW	EA	56.000	\$	17.00	\$	952.00
809	2" PVC SCH 40 CONUIT	LF	2285.000	\$	3.00	\$	6,855.00
810	2" PVC SCH 40 CONDUIT W/PULL ROPE	LF	425.000	\$	3.00	\$	1,275.00
811	2" GRC CONDUIT	LF	156.000	\$	7.00	\$	1,092.00
812	3" GRC ELBOW	EA	2.000	\$	13.00	\$	26.00
813	3" PVC SCH 40 CONDUIT W/EMBED	LF	150.000	\$	3.00	\$	450.00
814	3" GRC CONDUIT	EA	15.000	\$	4.00	\$	60.00
815	HI COMPRESSION TAP	EA	50.000	\$	15.00	\$	750.00
816	#10 AWG CONDUCTOR	LF	30.000	\$	1.00	\$	30.00
817	#08 AWG CONDUCTOR	LF	2630.000	\$	0.50	\$	1,315.00
818	#06 AWG CONDUCTOR	LF	2890.000	\$	0.75	\$	2,167.50
819	#04 AWG CONDUCTOR	LF	3040.000	\$	0.75	\$	2,280.00
820	ST LIGHT PULL BOX	EA	15.000	\$	250.00	\$	3,750.00
821	PED POLE LIGHT FOUNDATION	EA	27.000	\$	500.00	\$	13,500.00
822	PED LIGHT POLE LUMINARIERS FIXTURES, 2 EA	EA	27.000	\$	3,700.00	\$	99,900.00
823	VEHICULAR POLE LIGHT FOUND	EA	6.000	\$	500.00	\$	3,000.00
824	VEHICULAR POLE & SGL LUM	EA	6.000	\$	3,000.00	\$	18,000.00
825	NO ITEM						

ST. LIGHT IMPROVMENTS SCH. 6 "NORTH" (ALT BID) \$ 161,427.50

PAVING, UTILITIES, STREETScape, SIGNALIZATION & STREET LIGHTING  
BID SCHEDULE SUMMARY  
SPECTRUM DRIVE EXTENSION-NORTH

BID SCHEDULE & DESCRIPTION

<u>1</u>	<u>PAVING IMPROVEMENTS</u>	\$ 533,480.50	
<u>2</u>	<u>UTILITIES IMPROVEMENTS</u>	\$ 389,844.50	
<u>3</u>	<u>STREETScape IMPROVEMENTS</u>	\$ 252,554.50	
<u>4</u>	<u>SIGNALIZATION IMPROVEMENTS</u>	<u>NO ITEM</u>	
<u>5</u>	<u>STREET LIGHTING (BASE BID)</u>	\$ 165,163.00	
	 TOTAL PAVING, UTILITY, STREETScape, SIGNALIZATION & STREET LIGHTING BASE BID	 <table border="1"><tr><td>\$ 1,341,042.50</td></tr></table>	\$ 1,341,042.50
\$ 1,341,042.50			
<u>6</u>	<u>STREET LIGHTING (ALT BID)</u>	\$ 161,427.50	

DATE SUBMITTED: February 18, 2002  
FOR COUNCIL MEETING: February 26, 2002

### **Council Agenda Item**

#### **SUMMARY:**

This item is for the approval of an Engineering Services Contract for the design of the Spectrum Drive-North & South Extensions.

#### **FINANCIAL IMPACT:**

Budgeted Amount: \$3,000,000 Total - \$2,600,000 from Bond Sale  
Remaining amount from Developer contributions

Cost: \$228,000 (Engineering Only)

Source of Funds: Funds for engineering design of this project are available from the Year 2000 General Obligation Bond Program, Project No. 25300.

#### **BACKGROUND:**

This project was established as part of the current Capital Improvements Program. The portion of Spectrum Drive, from Morris Avenue to Airport Parkway, is a continuation of the second phase of the Addison Circle project. Spectrum Drive will also be extended south, from the DART railroad right-of-way to Arapaho Road. The design of a Quiet Zone at the railroad crossing and streetscape improvements are also included in the project. The attached proposal for engineering services was negotiated with the firm of Huitt-Zollars, Inc., in the amount not to exceed \$228,000.00, for the design of this project.

#### **RECOMMENDATION:**

It is recommended that Council authorize the City Manager to enter into a contract with Huitt-Zollars, Inc., in the amount of \$228,000.00, for engineering services associated with the design of Spectrum Drive-North & South Extensions.

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com

February 11, 2002

Mr. Steven Z. Chutchian, P.E.  
Assistant City Engineer  
Town of Addison  
16801 Westgrove Drive  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Spectrum Drive-North & South Extensions  
Proposal for Professional Services**

Dear Mr. Chutchian

Huitt-Zollars is pleased to submit this proposal for professional services associated with the above referenced public improvement project located in Addison, Texas. This proposal encompasses civil engineering, surveying, landscape architecture, irrigation and traffic signal design for the project. There should be no additional tasks, services or fees required in these disciplines to complete the project as we currently understand it with the exception of a railroad crossing design to be coordinated with D.A.R.T and DGNO as described later in this proposal.

This project generally consists of civil engineering, surveying and landscape architecture design for public infrastructure associated with Spectrum Drive-North and South Extensions. The limits of the work are as follows:

- North Extension - From a point approximately 85 feet north of the centerline intersection of Spectrum Drive and Morris Avenue north approximately 1,100 linear feet to Airport Parkway.
- South Extension - From railroad (D.A.R.T. right-of-way) south approximately 540 linear feet to Arapaho Road.

Plans and specifications will be produced to the standards for public infrastructure of the Town of Addison and the Addison Urban Center Development Guidelines with the intent of publicly bidding the construction work. Plans will specifically provide for paving, water, wastewater, drainage, electric ductbank, streetscape elements, planting and irrigation. It is our understanding that Huitt-Zollars will design and prepare bid documents will be for the North and South Extension as a single project for the limits of work described above. In the event that the Town decides to Phase the project, a separate proposal for additional services will be prepared at that time. That is the basis for our scope and fees. Projects of this nature fall into the following major categories, any or all of which you may deem necessary for your purposes.

- I. SURVEYING
- II. CIVIL SERVICES
- III. LANDCAPE SERVICES
- IV. GEO-TECHNICAL SERVICES
- V. RAILROAD CROSSING DESIGN
- VI. TRAFFIC SIGNAL DESIGN
- VII. REIMBURSABLE EXPENSES

**Our detailed scope is as follows:**

**I. SURVEYING**

**A. TOPOGRAPHIC SURVEY**

1. Perform the field work necessary to locate existing features within and adjacent to the proposed alignment of Spectrum Drive from Morris Avenue to Airport Parkway and from Arapaho Road to the railroad. (25 feet either side of proposed R.O.W. line of Spectrum) This will include topographic shots at key locations of change in grade, driveways, swales and other distinct features that can be used in the paving design. In addition we will locate surface features such as valves, fire hydrants, manholes and other pertinent items to be used in the generation of a topographic map to be used for design.

**B. RIGHT-OF-WAY DEDICATION DOCUMENTS**

1. Establish existing right-of-way of Spectrum Drive, Morris Avenue and Airport Parkway and prepare a right-of-way plan based on deed and plat research, and an on the ground survey of existing property corners.
2. Based on deed and plat research, survey of existing right-of-way and property corners, establish the horizontal alignment for the extension of Spectrum Drive. Based on the established alignment and after approved by the Town of Addison, we will prepare a right-of-way strip map for effected parcels and legal descriptions and associated exhibits for each individual parcel including metes and bounds descriptions of Spectrum Drive right-of-way dedications (Assumes three property owners).
3. Attend necessary staff meetings, public hearings, etc.. for the processing and approval of the right-of-way dedication. Provide the Town with the required legal descriptions and exhibits for recordation in the Dallas County Deed Records.
4. In the event that there are more than three property owners, Huitt-Zollars will provide required legal descriptions and exhibits for the additional property owners on an hourly rate basis. In addition, Huitt-Zollars will provide revised descriptions and maps, as required, to accommodate changes in ownership during the design phase. This task item is subject to situations beyond our control and therefore must be addressed on an hourly basis with an initial budget allowance.

**C. MISCELLANEOUS SURVEYING**

1. In addition to the above services our surveyors will set all centerline PC's, PT's and PI's one time for construction control. It will be the responsibility of the contractor to maintain this control. No other construction staking is anticipated under this contract.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$20,000** plus the Hourly Not-to-Exceed amount of **\$5,000** for Task Item B.4.

**II. CIVIL SERVICES**

**A. CONSTRUCTION DOCUMENTS**

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. The plans will include the following elements, grouped as necessary for the various submittal and review processes:



Mr. Steven Z. Chutchian, P.E.  
 Spectrum Drive-North & South Extension  
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- Cover Sheet and General Notes
  - Construction Quantities (in bid/specification book)
  - Horizontal Control/R.O.W. Map
  - Paving Plans and Profiles
  - Paving Details
  - Sleeving Plan
  - Drainage Area Map
  - Storm Sewer Plans and Profiles
  - Storm Sewer Details
  - Water Plans and Profiles
  - Water Details
  - Wastewater Plans and Profiles
  - Wastewater Details
  - Streetscape Plans Showing Tree Locations, Light Locations, Sub-Drain System, Sidewalk Patterns, Crosswalk Details, Paver/Concrete Details etc.
  - Electrical Design for Pedestrian Lighting
  - Streetscape Details
  - Electric Ductbank Plans, Profiles and Details
  - Erosion Control Plan (SWPPP) and Details
2. Basic services for preparation and processing of plans also includes the following tasks:
- Prepare specifications to supplement Addison standard specifications and construction details where applicable.
  - Prepare quantity take-offs and opinions of probable construction cost at the time plans are submitted for Town review.
  - Prepare documents for advertisement and bidding.
  - Provide up to 35 bid sets and up to 10 construction sets. (These quantities are the basis for reimbursable expenses as estimated below and may be adjusted as desired with comparable adjustments in the allowance for reimbursables)
  - Necessary coordination with the Town and franchised utilities is included in the above-listed services; however, no designs or plans for construction of franchised utilities are included except for TXU electric ductbank design. The engineer will submit paving and city utility design plans to each franchise utility company with a request for a design from each company representing their existing facilities, plans for relocating facilities in conflict and plans for new facilities. The engineer will maintain contact with the franchise companies throughout the design process and obtain a relocation plan for each company or at a minimum a letter stating that the company has no new facilities to install or any plans to relocate or upgrade existing facilities.

**B. CONSTRUCTION SUPPORT**

Huitt-Zollars will provide construction support services as distinguished from an on-site representative provided by the Town of Addison. The combined tasks for all personnel will be as follows:

1. Assist the Town in preparing documents for advertisement and bidding; conduct pre-bid meeting; prepare and issue addenda; evaluate bids; make recommendation for award; and assist the Town in preparation of construction contract. Subsequent to the award of the contract the engineer will provide final specifications and contract documents to the Town. The Town will be responsible for obtaining contractor signatures.
2. Make periodic visits to the site (as distinguished from the continuous service of a resident Project representative) to observe the progress and quality of the executed work and to determine in general if

Mr. Steven Z. Chutchian, P.E.  
Spectrum Drive-North & South Extension  
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the work is proceeding in accordance with the Contract Documents. In performing these services the Engineer will endeavor to protect the Town against defects and deficiencies in the work of the contractor, but engineer cannot guarantee the performance of the contractor, nor be responsible for the actual supervision of construction operations or for the safety measures that the contractor takes or should take.

3. Consult and advise the Town; issue instructions to the contractor requested by the Town; and prepare and issue routine change orders with Town approval
4. The engineer will prepare a list of shop drawings and submittals that will be required for the project. We will review samples, catalog data, schedules, shop drawings, laboratory, shop and mill tests of material and equipment and other data which the contractor submits. This review is for the benefit of the Town and covers only general conformance with the information given by the Contract Documents. The contractor is to review and stamp his approval on submittals prior to submitting to Engineer, and review by the Engineer does not relieve the contractor of any responsibility such as dimensions to be confirmed and correlated at the job site, appropriate safety measures to protect workers and the public, or the necessity to construct a complete and workable facility in accordance with the Contract Documents.
5. Schedule and conduct, in conjunction with Town and Contractor, required final inspection walk-through and follow up on contractor's punch list items.
6. Compile and submit documentation for final acceptance of public facilities, including mylar record drawings and electronic files.
7. Assist Town and Contractor in locating and tagging street trees. This is limited to a maximum of 2 trips.

All work is assumed to supplement the primary inspection activities of the Town of Addison and the franchised utility companies.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$150,000**.

### **III. LANDSCAPE SERVICES**

#### **A. CONSTRUCTION DOCUMENTS**

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. It is assumed that the streetscape scheme already established in the Urban Center district will be implemented for this project. The Civil services scope includes the layout of the hardscape and hardscape details. The Landscape services scope is limited to planting and furniture plans, irrigation plans and associated specifications. The plans will include the following elements, grouped as necessary for the various submittal and review processes:
  - Landscape Plans Showing Tree Species, Planting and Turf areas, Details and Specifications for Planting in the Public right-of-way
  - Irrigation Plans and Details
  - Furniture Plans illustrating location and specifications for street furniture including benches and bike racks.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$18,000**.

### **IV. GEO-TECHNICAL SERVICES**

Huitt-Zollars will enlist the services of a qualified geo-technical engineering firm to perform the following tasks.

1. Meet with Town officials to review and identify bore locations.
2. Stake the bore hole locations in the filed.

Mr. Steven Z. Chutchian, P.E.  
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3. Obtain soil samples from bore holes for material testing. The bore holes and subsequent tests will identify the depth of the tan and gray limestone, plasticity and other properties of the soil.
4. Prepare a written report of findings including the following:
  - a) Plan of borings, boring logs (to be included in final specifications), laboratory test results and water level observations.
  - b) General soil and subsurface water conditions at the boring locations.
  - c) Evaluation of the swell characteristics of the subsurface soils.
  - d) Earthwork recommendations
  - e) Guidelines for pavement design and concrete pavement sections.

Huitt-Zollars compensation for the above referenced services shall be the Hourly Not-to-Exceed amount of **\$8,500**.

#### **V. RAILROAD CROSSING DESIGN**

Huitt-Zollars will prepare and coordinate design plans for a railroad crossing across D.A.R.T. right-of-way. It is our understanding that this crossing will be a two track crossing for future D.A.R.T. rail lines. The plans will generally consist of the following:

- Railroad Crossing Plan
- Railroad Crossing Details

This scope also includes coordination with D.A.R.T., DGNO, the Town of Addison and other governing agencies that may have jurisdiction on the existing rail.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$8,000**.

#### **VI. TRAFFIC SIGNAL DESIGN**

Huitt-Zollars will prepare a traffic signal design at the intersection of proposed Spectrum Drive and existing Arapaho Road. The plans will generally consist of the following:

- Signalization Plan – Identifying horizontal layout of signals, conduit runs, signal head placement diagrams, mast arm signing, and video detection.
- Phase Diagram Plan
- Traffic signal pole, arms, heads, mast arm, transformer base controller cabinet and signal foundation details.

This scope also includes coordination with the Town of Addison, DGNO and D.A.R.T. to determine proper interconnecting of signals to existing traffic signals and the D.A.R.T. rail crossing. It is assumed that traffic counts and or a traffic study will be provided to Huitt-Zollars by others.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$10,000**.

#### **VII. REIMBURSABLE EXPENSES**

Reimbursable expenses accrued through printing for distribution outside our office, photocopies, computer plotting, deliveries, travel, long distance calls, express mail, postage and similar out of pocket expenses shall be reimbursed at cost plus ten percent and are estimated to be **\$8,500**. This includes the bidding and construction sets as noted above.

Assumptions:

1. Traffic control and detour plans, if required, will be provided by the contractor prior to construction activities. These plans are not included in the design fee.
2. Traffic Studies, if required, are not included in this proposal.
3. Construction Support services, beyond the services noted above, are not included in this proposal but can be provided for additional compensation.
4. Franchise utility burial plans, if required, will be provided by the respective franchise companies except for the TXU duct design as noted in the scope.
5. The specifications and details necessary to construct the civil elements will be provided by note or drawing on the construction documents. Primarily the civil elements will be constructed per the North Central Texas Council of Governments (NCTCOG) specifications and details or the Town of Addison standard details.
6. There are no substantial environmental, habitat or endangered species issues with respect to this site.
7. The client will provide all submittal fees, review fees, permit fees and all other regulatory fees required for this project in advance of their need and in addition to the stated budget for reimbursable expenses.
8. The Town will obtain and review monthly and final estimates for payments to contractors, and recommend payments to contractors; assemble written guarantees which are required by the Contract documents.
9. The contractor will be responsible for all testing during construction of improvements.

Summary of Services and Compensation

	<u>Description</u>	<u>Fee Basis</u>	<u>Amount</u>
Item I.	Surveying	Lump Sum	\$20,000.00
	Surveying	Hourly (Not to Exceed)	\$5,000.00
Item II.	Civil Services	Lump Sum	\$150,000.00
Item III.	Landscape Services	Lump Sum	\$18,000.00
Item IV.	Geo-technical Services	Hourly (Not to Exceed)	\$8,500.00
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Item VI.	Traffic Signal Design	Lump Sum	\$10,000.00
Item VII.	Reimbursable Expenses	Estimate	<u>\$8,500.00</u>
	<b>Total Services</b>		<b>\$228,000.00</b>

Previous experience indicates that revisions and alterations are inevitable. However, if properly tended in the design stage, revisions incurred will be considered minor and incidental to the base contract. Major alterations to the design development, construction staking, and field inspection program are, of course, beyond our control. In this event, our office will notify you in advance of approximate cost and we will proceed upon receipt of signed Work Authorization. All additional work shall be invoiced monthly and reimbursed on a "Time and Materials" basis using actual direct salary cost for the persons working on the project, times a multiplier which is an overhead factor, including profit. The general range of direct salary cost for various employees is provided on the attached schedule. Following Town approval of the plans, no changes will be made without additional compensation unless such changes are required due to our oversight.

Mr. Steven Z. Chutchian, P.E.  
Spectrum Drive-North & South Extension  
February 11, 2002  
Page 7 of 7

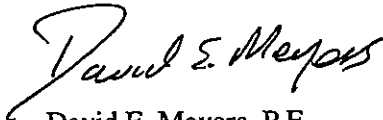
A copy of our current rate schedule is enclosed as Exhibit "A" and our standard contract provisions are enclosed as Exhibit "B". If this proposal is acceptable, please sign below, initial the exhibits and return one copy for our records.

Thank you for this opportunity to be of service.

Sincerely,

HUITT-ZOLLARS, INC.

Accepted for **TOWN OF ADDISON**



David E. Meyers, P.E.  
Associate

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name and Title



Robert L. Phillips  
Senior Vice President

\_\_\_\_\_  
Date

**DALLAS**

**HUITT-ZOLLARS, INC.  
BASIS FOR PROFESSIONAL FEES AND CHARGES  
April 1, 2000**

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Senior Officer, Principal	\$55.00 to \$110.00
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Architect/Engineer I, II, III	\$21.00 to \$ 45.00
Designer I through Design Manager	\$21.00 to \$ 45.00
CADD Tech I through Supervisor	\$10.00 to \$ 35.00
Project Support: Includes Clerical, Computer Systems, Document Control, and Accounting Support	\$ 7.00 to \$ 28.00

**SURVEY CREWS WILL BE INVOICED ON AN HOURLY RATE BASIS:**

1 Person Robotic Total Station Crew	\$75.00
2 Person Total Station Crew	\$95.00
3 Person Total Station Crew	\$115.00
4 Person Total Station Crew	\$135.00
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**HOURLY BILLING RATES  
EXPERT WITNESS**

Testimony	\$260.00
Standby	\$130.00
Preparation	\$130.00

**REIMBURSABLE EXPENSES WILL BE INVOICED AS FOLLOWS:**

In House Blue Prints	\$ 0.20/ft2
In House Photocopies	\$ 0.10/page
Outside Services	Cost + 10%
Mileage	\$ 0.325/mile

Client Int. \_\_\_\_\_

**HUITT-ZOLLARS, INC.**  
**TERMS AND CONDITIONS**

**"EXHIBIT B"**

**1. AUTHORIZATION FOR WORK TO PROCEED**

Signing of this AGREEMENT for services shall be authorization by the CLIENT for Huitt-Zollars, Inc. (HZI) to proceed with the work, unless stated otherwise in the WORK AUTHORIZATION/AGREEMENT.

**2. COST ESTIMATES FOR PROPOSED CONSTRUCTION**

Construction cost estimates provided by HZI are prepared from experience and judgement. HZI has no control over market conditions or construction procedures and does not warrant that proposals, bids, or actual construction costs will not vary from HZI estimates.

**3. STANDARD OF PRACTICE**

Services performed by HZI under this AGREEMENT will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended in this AGREEMENT, or in any report, opinion, document or otherwise.

**4. SALES TAXES**

All sales taxes required to be paid by HZI will be billed to the client in addition to fees.

**5. BILLING AND PAYMENT**

The CLIENT, recognizing that timely payment is a material part of the consideration of this AGREEMENT, shall pay HZI for services performed in accordance with the rates and charges set forth herein. Invoices will be submitted by HZI on a monthly basis and shall be due and payable within thirty (30) calendar days of invoice date. If the CLIENT objects to all or any portion of an invoice, the CLIENT shall so notify HZI in writing within ten (10) calendar days of receipt of the bill in question, and pay when due that portion of the invoice, not in dispute.

The CLIENT shall pay an additional charge of one-and-one-half (1.5) percent (or the maximum percentage allowed by law, whichever is lower) of the invoiced amount per month for any payment received by HZI more than thirty (30) calendar days from receipt of the invoice, excepting any portion of the invoiced amount in dispute and resolved in favor of CLIENT. Payment thereafter shall first be applied to accrued interest and then to the principal unpaid amount.

If CLIENT for any reason fails to pay the undisputed portion of Huitt-Zollars, Inc. (HZI) invoices within 30 days of presentation, HZI shall cease work on the project and CLIENT shall waive any claim against HZI, and shall defend and indemnify HZI from and against any claims for injury or loss stemming from HZI's cessation of service. CLIENT shall also pay HZI the cost associated with premature project demobilization. In the event the project is remobilized, CLIENT shall also pay the cost of remobilization, and shall renegotiate appropriate contract terms and conditions, such as those associated with budget, schedule or scope of service.

In the event any bill or portion thereof is disputed by CLIENT, CLIENT shall notify HZI within ten days of receipt of the bill

in question, and CLIENT and HZI shall work together to resolve the matter within 60 days of its being called to HZI's attention. If resolution of the matter is not attained within 60 days, either party may terminate this AGREEMENT.

**6. LIMITATION OF LIABILITY**

In order for the CLIENT to obtain the benefits of a fee which includes a lesser allowance for risk funding, the CLIENT agrees to limit HZI's liability arising from HZI's professional acts, errors or omissions, such that the total aggregate liability of HZI shall not exceed HZI's total fee for the services rendered on this project.

**7. CONSEQUENTIAL DAMAGES**

The CLIENT shall not be liable to HZI and HZI shall not be liable to the CLIENT for any consequential damages incurred by either due to the fault of the other, regardless of the nature of this fault, or whether it was committed by the CLIENT or HZI, their employees, agents or subcontractors. Consequential damages include, but are not limited to loss of use and loss of profit.

**8. TERMINATION**

In the event termination becomes necessary, the party (CLIENT or HZI) effecting termination shall so notify the other party, and termination will become effective fourteen (14) calendar days after receipt of the termination notice. Irrespective of which party shall effect termination or the cause of termination, the CLIENT shall within thirty (30) calendar days of termination remunerate HZI for services rendered and costs incurred up to the effective time of termination, in accordance with HZI's prevailing fee schedule and expense reimbursement policy.

**9. ADDITIONAL SERVICES**

Any services beyond those specified will be provided for separately under an additional Work Authorization or amended Work Authorization.

**IF ANY ONE OR MORE OF THE PROVISIONS CONTAINED IN THIS AGREEMENT SHALL BE HELD UNENFORCEABLE, THE ENFORCEABILITY OF THE REMAINING PROVISIONS SHALL NOT BE IMPAIRED.**

Client Int. \_\_\_\_\_

Passed

#2d-1

Council Agenda Item #2d

**SUMMARY:**

This item is for the approval of an Engineering Services Contract for the design of the Spectrum Drive-North & South Extensions.

**FINANCIAL IMPACT:**

Budgeted Amount: \$3,000,000 Total - \$2,600,000 from Bond Sale  
Remaining amount from Developer contributions

Cost: \$228,000 (Engineering Only)

Source of Funds: Funds for engineering design of this project are available from the Year 2000 General Obligation Bond Program, Project No. 25300.

**BACKGROUND:**

This project was established as part of the current Capital Improvements Program. The portion of Spectrum Drive, from Morris Avenue to Airport Parkway, is a continuation of the second phase of the Addison Circle project. Spectrum Drive will also be extended south, from the DART railroad right-of-way to Arapaho Road. The design of a Quiet Zone at the railroad crossing and streetscape improvements are also included in the project. The attached proposal for engineering services was negotiated with the firm of Huitt-Zollars, Inc., in the amount not to exceed \$228,000.00, for the design of this project.

**RECOMMENDATION:**

It is recommended that Council authorize the City Manager to enter into a contract with Huitt-Zollars, Inc., in the amount of \$228,000.00, for engineering services associated with the design of Spectrum Drive-North & South Extensions.



#2d-2

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com

February 11, 2002

Mr. Steven Z. Chutchian, P.E.  
Assistant City Engineer  
Town of Addison  
16801 Westgrove Drive  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Spectrum Drive-North & South Extensions  
Proposal for Professional Services**

Dear Mr. Chutchian

Huitt-Zollars is pleased to submit this proposal for professional services associated with the above referenced public improvement project located in Addison, Texas. This proposal encompasses civil engineering, surveying, landscape architecture, irrigation and traffic signal design for the project. There should be no additional tasks, services or fees required in these disciplines to complete the project as we currently understand it with the exception of a railroad crossing design to be coordinated with D.A.R.T and DGNO as described later in this proposal.

This project generally consists of civil engineering, surveying and landscape architecture design for public infrastructure associated with Spectrum Drive-North and South Extensions. The limits of the work are as follows:

- North Extension - From a point approximately 85 feet north of the centerline intersection of Spectrum Drive and Morris Avenue north approximately 1,100 linear feet to Airport Parkway.
- South Extension - From railroad (D.A.R.T. right-of-way) south approximately 540 linear feet to Arapaho Road.

Plans and specifications will be produced to the standards for public infrastructure of the Town of Addison and the Addison Urban Center Development Guidelines with the intent of publicly bidding the construction work. Plans will specifically provide for paving, water, wastewater, drainage, electric ductbank, streetscape elements, planting and irrigation. It is our understanding that Huitt-Zollars will design and prepare bid documents will be for the North and South Extension as a single project for the limits of work described above. In the event that the Town decides to Phase the project, a separate proposal for additional services will be prepared at that time. That is the basis for our scope and fees. Projects of this nature fall into the following major categories, any or all of which you may deem necessary for your purposes.

- I. SURVEYING
- II. CIVIL SERVICES
- III. LANDSCAPE SERVICES
- IV. GEO-TECHNICAL SERVICES
- V. RAILROAD CROSSING DESIGN
- VI. TRAFFIC SIGNAL DESIGN
- VII. REIMBURSABLE EXPENSES

Our detailed scope is as follows:

I. SURVEYING

A. TOPOGRAPHIC SURVEY

1. Perform the field work necessary to locate existing features within and adjacent to the proposed alignment of Spectrum Drive from Morris Avenue to Airport Parkway and from Arapaho Road to the railroad. (25 feet either side of proposed R.O.W. line of Spectrum) This will include topographic shots at key locations of change in grade, driveways, swales and other distinct features that can be used in the paving design. In addition we will locate surface features such as valves, fire hydrants, manholes and other pertinent items to be used in the generation of a topographic map to be used for design.

B. RIGHT-OF-WAY DEDICATION DOCUMENTS

1. Establish existing right-of-way of Spectrum Drive, Morris Avenue and Airport Parkway and prepare a right-of-way plan based on deed and plat research, and an on the ground survey of existing property corners.
2. Based on deed and plat research, survey of existing right-of-way and property corners, establish the horizontal alignment for the extension of Spectrum Drive. Based on the established alignment and after approved by the Town of Addison, we will prepare a right-of-way strip map for effected parcels and legal descriptions and associated exhibits for each individual parcel including metes and bounds descriptions of Spectrum Drive right-of-way dedications (Assumes three property owners).
3. Attend necessary staff meetings, public hearings, etc.. for the processing and approval of the right-of-way dedication. Provide the Town with the required legal descriptions and exhibits for recordation in the Dallas County Deed Records.
4. In the event that there are more than three property owners, Huitt-Zollars will provide required legal descriptions and exhibits for the additional property owners on an hourly rate basis. In addition, Huitt-Zollars will provide revised descriptions and maps, as required, to accommodate changes in ownership during the design phase. This task item is subject to situations beyond our control and therefore must be addressed on an hourly basis with an initial budget allowance.

C. MISCELLANEOUS SURVEYING

1. In addition to the above services our surveyors will set all centerline PC's, PT's and PI's one time for construction control. It will be the responsibility of the contractor to maintain this control. No other construction staking is anticipated under this contract.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of \$20,000 plus the Hourly Not-to-Exceed amount of \$5,000 for Task Item B.4.

II. CIVIL SERVICES

A. CONSTRUCTION DOCUMENTS

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. The plans will include the following elements, grouped as necessary for the various submittal and review processes:

Mr. Steven Z. Chutchian, P.E.  
 Spectrum Drive-North & South Extension  
 February 11, 2002  
 Page 3 of 7

- Cover Sheet and General Notes
  - Construction Quantities (in bid/specification book)
  - Horizontal Control/R.O.W. Map
  - Paving Plans and Profiles
  - Paving Details
  - Sleeving Plan
  - Drainage Area Map
  - Storm Sewer Plans and Profiles
  - Storm Sewer Details
  - Water Plans and Profiles
  - Water Details
  - Wastewater Plans and Profiles
  - Wastewater Details
  - Streetscape Plans Showing Tree Locations, Light Locations, Sub-Drain System, Sidewalk Patterns, Crosswalk Details, Paver/Concrete Details etc.
  - Electrical Design for Pedestrian Lighting
  - Streetscape Details
  - Electric Ductbank Plans, Profiles and Details
  - Erosion Control Plan (SWPPP) and Details
2. Basic services for preparation and processing of plans also includes the following tasks:
- Prepare specifications to supplement Addison standard specifications and construction details where applicable.
  - Prepare quantity take-offs and opinions of probable construction cost at the time plans are submitted for Town review.
  - Prepare documents for advertisement and bidding.
  - Provide up to 35 bid sets and up to 10 construction sets. (These quantities are the basis for reimbursable expenses as estimated below and may be adjusted as desired with comparable adjustments in the allowance for reimbursables)
  - Necessary coordination with the Town and franchised utilities is included in the above-listed services; however, no designs or plans for construction of franchised utilities are included except for TXU electric ductbank design. The engineer will submit paving and city utility design plans to each franchise utility company with a request for a design from each company representing their existing facilities, plans for relocating facilities in conflict and plans for new facilities. The engineer will maintain contact with the franchise companies throughout the design process and obtain a relocation plan for each company or at a minimum a letter stating that the company has no new facilities to install or any plans to relocate or upgrade existing facilities.

**B. CONSTRUCTION SUPPORT**

Huitt-Zollars will provide construction support services as distinguished from an on-site representative provided by the Town of Addison. The combined tasks for all personnel will be as follows:

1. Assist the Town in preparing documents for advertisement and bidding; conduct pre-bid meeting; prepare and issue addenda; evaluate bids; make recommendation for award; and assist the Town in preparation of construction contract. Subsequent to the award of the contract the engineer will provide final specifications and contract documents to the Town. The Town will be responsible for obtaining contractor signatures.
2. Make periodic visits to the site (as distinguished from the continuous service of a resident Project representative) to observe the progress and quality of the executed work and to determine in general if

Mr. Steven Z. Chutchian, P.E.  
Spectrum Drive-North & South Extension  
February 11, 2002  
Page 4 of 7

the work is proceeding in accordance with the Contract Documents. In performing these services the Engineer will endeavor to protect the Town against defects and deficiencies in the work of the contractor, but engineer cannot guarantee the performance of the contractor, nor be responsible for the actual supervision of construction operations or for the safety measures that the contractor takes or should take.

3. Consult and advise the Town; issue instructions to the contractor requested by the Town; and prepare and issue routine change orders with Town approval
4. The engineer will prepare a list of shop drawings and submittals that will be required for the project. We will review samples, catalog data, schedules, shop drawings, laboratory, shop and mill tests of material and equipment and other data which the contractor submits. This review is for the benefit of the Town and covers only general conformance with the information given by the Contract Documents. The contractor is to review and stamp his approval on submittals prior to submitting to Engineer, and review by the Engineer does not relieve the contractor of any responsibility such as dimensions to be confirmed and correlated at the job site, appropriate safety measures to protect workers and the public, or the necessity to construct a complete and workable facility in accordance with the Contract Documents.
5. Schedule and conduct, in conjunction with Town and Contractor, required final inspection walk-through and follow up on contractor's punch list items.
6. Compile and submit documentation for final acceptance of public facilities, including mylar record drawings and electronic files.
7. Assist Town and Contractor in locating and tagging street trees. This is limited to a maximum of 2 trips.

All work is assumed to supplement the primary inspection activities of the Town of Addison and the franchised utility companies.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$150,000**.

### **III. LANDSCAPE SERVICES**

#### **A. CONSTRUCTION DOCUMENTS**

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. It is assumed that the streetscape scheme already established in the Urban Center district will be implemented for this project. The Civil services scope includes the layout of the hardscape and hardscape details. The Landscape services scope is limited to planting and furniture plans, irrigation plans and associated specifications. The plans will include the following elements, grouped as necessary for the various submittal and review processes:
  - Landscape Plans Showing Tree Species, Planting and Turf areas, Details and Specifications for Planting in the Public right-of-way
  - Irrigation Plans and Details
  - Furniture Plans illustrating location and specifications for street furniture including benches and bike racks.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$18,000**.

### **IV. GEO-TECHNICAL SERVICES**

Huitt-Zollars will enlist the services of a qualified geo-technical engineering firm to perform the following tasks.

1. Meet with Town officials to review and identify bore locations.
2. Stake the bore hole locations in the field.

Mr. Steven Z. Chutchian, P.E.  
Spectrum Drive-North & South Extension  
February 11, 2002  
Page 5 of 7

3. Obtain soil samples from bore holes for material testing. The bore holes and subsequent tests will identify the depth of the tan and gray limestone, plasticity and other properties of the soil.
4. Prepare a written report of findings including the following:
  - a) Plan of borings, boring logs (to be included in final specifications), laboratory test results and water level observations.
  - b) General soil and subsurface water conditions at the boring locations.
  - c) Evaluation of the swell characteristics of the subsurface soils.
  - d) Earthwork recommendations .
  - e) Guidelines for pavement design and concrete pavement sections.

Huitt-Zollars compensation for the above referenced services shall be the Hourly Not-to-Exceed amount of **\$8,500**.

## V. RAILROAD CROSSING DESIGN

Huitt-Zollars will prepare and coordinate design plans for a railroad crossing across D.A.R.T. right-of-way. It is our understanding that this crossing will be a two track crossing for future D.A.R.T. rail lines. The plans will generally consist of the following:

- Railroad Crossing Plan
- Railroad Crossing Details

This scope also includes coordination with D.A.R.T., DGNO, the Town of Addison and other governing agencies that may have jurisdiction on the existing rail.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$8,000**.

## VI. TRAFFIC SIGNAL DESIGN

Huitt-Zollars will prepare a traffic signal design at the intersection of proposed Spectrum Drive and existing Arapaho Road. The plans will generally consist of the following:

- Signalization Plan – Identifying horizontal layout of signals, conduit runs, signal head placement diagrams, mast arm signing, and video detection.
- Phase Diagram Plan
- Traffic signal pole, arms, heads, mast arm, transformer base controller cabinet and signal foundation details.

This scope also includes coordination with the Town of Addison, DGNO and D.A.R.T. to determine proper interconnecting of signals to existing traffic signals and the D.A.R.T. rail crossing. It is assumed that traffic counts and or a traffic study will be provided to Huitt-Zollars by others.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$10,000**.

## VII. REIMBURSABLE EXPENSES

Reimbursable expenses accrued through printing for distribution outside our office, photocopies, computer plotting, deliveries, travel, long distance calls, express mail, postage and similar out of pocket expenses shall be reimbursed at cost plus ten percent and are estimated to be **\$8,500**. This includes the bidding and construction sets as noted above.

Assumptions:

1. Traffic control and detour plans, if required, will be provided by the contractor prior to construction activities. These plans are not included in the design fee.
2. Traffic Studies, if required, are not included in this proposal.
3. Construction Support services, beyond the services noted above, are not included in this proposal but can be provided for additional compensation.
4. Franchise utility burial plans, if required, will be provided by the respective franchise companies except for the TXU duct design as noted in the scope.
5. The specifications and details necessary to construct the civil elements will be provided by note or drawing on the construction documents. Primarily the civil elements will be constructed per the North Central Texas Council of Governments (NCTCOG) specifications and details or the Town of Addison standard details.
6. There are no substantial environmental, habitat or endangered species issues with respect to this site.
7. The client will provide all submittal fees, review fees, permit fees and all other regulatory fees required for this project in advance of their need and in addition to the stated budget for reimbursable expenses.
8. The Town will obtain and review monthly and final estimates for payments to contractors, and recommend payments to contractors; assemble written guarantees which are required by the Contract documents.
9. The contractor will be responsible for all testing during construction of improvements.

Summary of Services and Compensation

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Mr. Steven Z. Chutchian, P.E.  
Spectrum Drive-North & South Extension  
February 11, 2002  
Page 7 of 7

HUITT-ZOLLARS

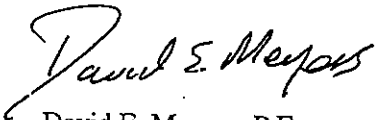
A copy of our current rate schedule is enclosed as Exhibit "A" and our standard contract provisions are enclosed as Exhibit "B". If this proposal is acceptable, please sign below, initial the exhibits and return one copy for our records.

Thank you for this opportunity to be of service.

Sincerely,

HUITT-ZOLLARS, INC.

Accepted for **TOWN OF ADDISON**



David E. Meyers, P.E.  
Associate

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name and Title

\_\_\_\_\_  
Date



Robert L. Phillips  
Senior Vice President

**DALLAS**

**HUITT-ZOLLARS, INC.  
BASIS FOR PROFESSIONAL FEES AND CHARGES  
April 1, 2000**

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EXPERT WITNESS**

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Client Int. \_\_\_\_\_



**HUITT-ZOLLARS, INC.**  
**TERMS AND CONDITIONS**

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The CLIENT shall pay an additional charge of one-and-one-half (1.5) percent (or the maximum percentage allowed by law, whichever is lower) of the invoiced amount per month for any payment received by HZI more than thirty (30) calendar days from receipt of the invoice, excepting any portion of the invoiced amount in dispute and resolved in favor of CLIENT. Payment thereafter shall first be applied to accrued interest and then to the principal unpaid amount.

If CLIENT for any reason fails to pay the undisputed portion of Huitt-Zollars, Inc. (HZI) invoices within 30 days of presentation, HZI shall cease work on the project and CLIENT shall waive any claim against HZI, and shall defend and indemnify HZI from and against any claims for injury or loss stemming from HZI's cessation of service. CLIENT shall also pay HZI the cost associated with premature project demobilization. In the event the project is remobilized, CLIENT shall also pay the cost of remobilization, and shall renegotiate appropriate contract terms and conditions, such as those associated with budget, schedule or scope of service.

In the event any bill or portion thereof is disputed by CLIENT, CLIENT shall notify HZI within ten days of receipt of the bill

in question, and CLIENT and HZI shall work together to resolve the matter within 60 days of its being called to HZI's attention. If resolution of the matter is not attained within 60 days, either party may terminate this AGREEMENT.

**6. LIMITATION OF LIABILITY**

In order for the CLIENT to obtain the benefits of a fee which includes a lesser allowance for risk funding, the CLIENT agrees to limit HZI's liability arising from HZI's professional acts, errors or omissions, such that the total aggregate liability of HZI shall not exceed HZI's total fee for the services rendered on this project.

**7. CONSEQUENTIAL DAMAGES**

The CLIENT shall not be liable to HZI and HZI shall not be liable to the CLIENT for any consequential damages incurred by either due to the fault of the other, regardless of the nature of this fault, or whether it was committed by the CLIENT or HZI, their employees, agents or subcontractors. Consequential damages include, but are not limited to loss of use and loss of profit.

**8. TERMINATION**

In the event termination becomes necessary, the party (CLIENT or HZI) effecting termination shall so notify the other party, and termination will become effective fourteen (14) calendar days after receipt of the termination notice. Irrespective of which party shall effect termination or the cause of termination, the CLIENT shall within thirty (30) calendar days of termination remunerate HZI for services rendered and costs incurred up to the effective time of termination, in accordance with HZI's prevailing fee schedule and expense reimbursement policy.

**9. ADDITIONAL SERVICES**

Any services beyond those specified will be provided for separately under an additional Work Authorization or amended Work Authorization.

**IF ANY ONE OR MORE OF THE PROVISIONS CONTAINED IN THIS AGREEMENT SHALL BE HELD UNENFORCEABLE, THE ENFORCEABILITY OF THE REMAINING PROVISIONS SHALL NOT BE IMPAIRED.**

Client Int. \_\_\_\_\_

DAND - BREAK OUT PRELIMINARY COST OF EACH SIDE!!!

CITY MANAGER WANTS TO BE INVOLVED IN ALL PHASES OF DESIGN!

(a) GOOD RENDERING OF WHAT IT WILL LOOK LIKE ~~TO~~ COLOR DRAWING & INCLUDE X-SECTIONS

(b) ~~SET UP VISION MEETING w/ RON WHITEHEAD, CARMEN, SCARLE, DAND & REYES~~  
AMENDMENT TO CONTRACT

DESIGN "A" - SOUTH SIDE ONLY

NORTHERN - NORTH SECTION - WE HAVE R.O.W.

FUNDING - 1/3 DOWN - 1/3 DEVELOP - 1/3 -?

DESIGN "B"

SOUTHERN - NORTH SECTION - R.O.W. NOT DEDICATED

NEED COST OF A, THEN COST OF B, THEN A+B IN PROPOSAL

~~DESIGN "B"~~

OPEN

**DART**

Dallas Area Rapid Transit  
P.O. Box 660163  
Dallas, Texas 75266-0163  
214/749-3278

September 5, 1997

Mr. John R. Baumgartner, P.E.  
Director of Public Works  
Town of Addison  
P. O. Box 144  
Addison, Texas 75001

Re: License Agreement No. 970904 covering the proposed Spectrum Drive crossing

Dear Mr. Baumgartner:

Enclosed is a fully-executed agreement as referenced above. Should you need to contact us in the future regarding this document, please reference the agreement number above.

Please contact me at (214) 749-2917 if I can be of assistance with any future crossings of DART-owned railroad properties.

Sincerely,



Jan Seidner  
Manager, Railroad Facilities  
Commuter Rail & Railroad Management

JMS:  
Enclosure

Steve -  
The terms of  
this license agree-  
ment must be met  
for the Spectrum RR  
crossing - Jim

Design should be  
4 quadrant gates  
with provisions made for  
wayside horn installation  
(Quiet Zone)

## LICENSE AGREEMENT

THIS AGREEMENT, by and between DALLAS AREA RAPID TRANSIT, ("DART"), a regional transportation authority, created, organized and existing pursuant to Chapter 452, Texas Transportation Code, as amended (the "Act"), and the TOWN OF ADDISON, a home rule city ("Licensee"), acting herein by and through its duly authorized city manager, whose mailing address is P. O. Box 144, Addison, Texas 75001,

## WITNESSETH:

1. **Purpose.** DART hereby grants a license to Licensee for the purpose of constructing, installing, and maintaining a paved four-lane Public Road Crossing (the "Permitted Improvements"), forty-eight (48) feet in width, extending Spectrum Drive across DART's tracks on the DART right-of-way at Mile Post 598.09 in Addison, Dallas County, Texas, more particularly described and shown on the plat marked Exhibit "A" attached hereto and incorporated herein for all pertinent purposes, (the "Property").

The term Permitted Improvements shall include the concrete pre-cast crossing material, pavement, grading, barricades, street lighting, drainage facilities, signs, warning protection devices and approaches as designated by DART.

The Property shall be used by Licensee solely for construction of the Permitted Improvements and use by the public, **EXCEPT, HOWEVER, AND IT IS UNDERSTOOD BY BOTH DART AND LICENSEE THAT THE GRANTING OF THIS LICENSE SHALL NOT BE CONSTRUED IN ANY WAY TO CONSTITUTE A DEDICATION OF THE PROPERTY TO THE PUBLIC.** Licensee's right to enter upon and use the Property shall be entirely subject to the terms and provisions of this License Agreement.

2. **Consideration.** The consideration for the granting of this License shall be the following:

2.01. The performance by Licensee of each of the obligations undertaken by Licensee in this License.

2.02. As further consideration for the granting of this License, and in lieu of closure of two (2) public or private at-grade highway/rail crossings within the town limits of Addison, Licensee shall place the sum of \$300,000.00 into a special fund (the "Crossing Fund") to be used for providing additional warning/median protection devices at certain high traffic count highway-rail crossings within the Town of Addison as mutually determined and agreed upon between DART and Licensee. Licensee shall monitor all expenditures from the Crossing Fund until money is depleted, subject to audit by DART.

3. **Term.** The term of this license shall be perpetual subject, however, to termination by either party as provided herein.

4. **Non Exclusive License.** This license is non-exclusive and is subject to (a) any existing utility, drainage or communication facility located in, on, under, or upon the Property owned by DART, any railroad, utility, or communication company, public or private; (b) to all vested rights presently owned by any railroad, utility or communication company, public or private, for the use of the Property for facilities

presently located within the boundaries of the Property; and (c) to any existing lease, license or other interest in the Property granted by DART to any individual, corporation or other entity, public or private.

5. Design, Construction, Operation and Maintenance. DART's use of the Property and adjoining property may include the use of electrically powered equipment. Notwithstanding DART's inclusion within its system of measures designed to reduce stray current which may cause corrosion, Licensee is hereby warned that such measures may not prevent electrical current being present in proximity to the Permitted Improvements and that such presence could produce corrosive effects to the Permitted Improvements.

5.01. All design, construction, reconstruction, replacement, removal, operation and maintenance of the Permitted Improvements on the Property shall be done in such a manner so as not to interfere in any way with the operations of DART or other railroad operations, (the "Railroad", whether one or more). In particular, cathodic protection or other stray current corrosion control measures of the Permitted Improvements as required shall be made a part of the design and construction of the Permitted Improvements.

5.02. During the design phase and prior to commencing any construction or installation on the Property, a copy of the construction plans showing the exact location, type and depth of the construction, any cathodic protection measures and any working area, shall be submitted for written approval to DART and the Railroad when the construction is going to be within the area of Railroad operations. Such approval shall not be unreasonably withheld. No work shall commence until said plans have been approved by DART and Railroad.

~~5.03. By acceptance of this license, Licensee agrees to design, construct, install and~~ maintain the Permitted Improvements in such a manner so as not to create a hazard to the use of the Property, and further agrees to pay any damages which may arise by reason of Licensee's use of the Property under this Agreement.

5.04. By acceptance of this license, Licensee covenants and agrees to institute and maintain a reasonable testing program to determine whether or not additional cathodic protection of its Permitted Improvements is necessary and if it is or should become necessary, such protection shall be immediately instituted by Licensee at its sole cost and expense.

5.05. Absence of markers does not constitute a warranty by DART that there are no subsurface installations on the Property.

5.06. If at any time, traffic volume or other circumstances should warrant a grade separation for the crossing licensed hereunder, Licensee shall be responsible for the installation of such grade separation to DART's standards, at no cost to DART.

6. Governmental Approvals. Licensee, at its sole cost and expense, shall be responsible for and shall obtain, any and all licenses, permits, or other approvals from any and all governmental agencies, federal, state or local, required to carry on any activity permitted herein.

7. DART's Standard Contract and Insurance. No work on the Property shall be commenced by Licensee or any contractor for Licensee until such Licensee or contractor shall have executed DART's Standard Contractors Agreement covering such work, and has furnished insurance coverage in such amounts and types as shall be satisfactory to DART.

8. Duty of Care in Construction, Operation and Maintenance. Licensee or its contractor shall use reasonable care during the construction, operation and maintenance period and thereafter, to avoid damaging any existing buildings, equipment and vegetation on or about the Property and any adjacent property owned by or under the control of DART. If the failure to use reasonable care by the Licensee or its contractor causes damage to the Property or such adjacent property, the Licensee and/or its contractor shall immediately replace or repair the damage at no cost or expense to DART. If Licensee or its contractor fails or refuses to make such replacement, DART shall have the right, but not the obligation, to make or effect any such repair or replacement at the sole cost and expense of Licensee, which cost and expense Licensee agrees to pay to DART upon demand.

9. Environmental Protection.

9.01 Licensee shall not use or permit the use of the Property for any purpose that may be in violation of any laws pertaining to health or the environment, including without limitation, the Comprehensive Environmental Response, Compensation and Liability Act of 1980 ("CERCLA"), the Resource Conservation and Recovery Act of 1976 ("RCRA"), the Texas Water Code and the Texas Solid Waste Disposal Act.

9.02. Licensee warrants that the Permitted Use of the Property will not result in the disposal or other release of any hazardous substance or solid waste on or to the Property, and that it will take all steps necessary to insure that no such hazardous substance or solid waste will ever be discharged onto the Property by Licensee or its Contractors.

9.03. The terms "hazardous substance" and "release" shall have the meanings specified in CERCLA and the terms "solid waste" and "disposal" (or "disposed") shall have the meanings specified in the RCRA; PROVIDED, HOWEVER, that in the event either CERCLA or RCRA is amended so as to broaden the meaning of any term defined thereby, such broader meaning shall apply subsequent to the effective date of such amendment; and PROVIDED FURTHER, that to the extent that the laws of the State of Texas establish a meaning for "hazardous substance", "release", "solid waste", or "disposal", which is broader than that specified in either CERCLA or RCRA, such broader meaning shall apply.

9.04. Licensee shall indemnify and hold DART harmless against all cost of environmental clean up to the Property resulting from Licensee's use of the Property under this Agreement.

10. Mechanic's Liens Not Permitted. Licensee shall fully pay for all labor and materials used in, on, or about the Property and will not permit or suffer any mechanic's or materialmen's liens of any nature to be affixed against the Property by reason of any work done or materials furnished to the Property at Licensee's instance or request.

11. Maintenance of Completed Improvements. After the Permitted Improvements have been constructed, they shall be maintained by the Licensee in such a manner as to keep the Property in a good and safe condition with respect to Licensee's use; PROVIDED, HOWEVER, with respect to the warning protection devices installed as Permitted Improvements, such devices shall be maintained by the Railroad, upon acceptance of installation in accordance with approved plans, subject to reimbursement therefor by Licensee. In the event the Licensee fails to maintain the Property as required, upon discovery, DART shall notify Licensee of such occurrence in writing. In the event Licensee shall not have remedied the failure within ten (10) days from the date of such notice, DART shall have the right, but not the obligation to remedy such failure at the sole cost and expense of Licensee. In the event DART exercises its right to

remedy Licensee's failure, Licensee agrees to immediately pay to DART all costs incurred by DART upon demand.

12. Future Use by DART.

12.01. This license is made expressly subject and subordinate to the right of DART to use the Property for any purpose whatsoever.

12.02. In the event that DART shall, at any time subsequent to the date of this Agreement, at its sole discretion, determine that the relocation of the Permitted Improvements shall be necessary or convenient for DART's use of the Property, or that the crossing must be modified, including but not limited to the installation of grade crossing signals, Licensee shall, at its sole cost and expense make such modifications or relocate said Permitted Improvements so as not to interfere with DART's or DART's assigns use of the Property. In this regard, DART may, but is not obligated to, designate other property for the relocation of the Permitted Improvements. A minimum of thirty (30) days written notice for the exercise of one or more of the above actions shall be given by DART, and Licensee shall promptly commence to make the required changes and complete them as quickly as possible.

13. Duration of License. This license shall terminate and be of no further force and effect (a) in the event Licensee shall discontinue or abandon the use of the Permitted Improvements; (b) in the event Licensee shall relocate the Permitted Improvements from the Property; (c) upon termination in accordance with paragraph 18 of this Agreement, whichever event first occurs.

14. Compliance With Laws and Regulations. Licensee agrees to abide by and be governed by all laws, ordinances and regulations of any and all governmental entities having jurisdiction over the Licensee and by railroad regulations, policies and operating procedures established by the Railroad, or other applicable railroad regulating bodies, and Licensee agrees to indemnify and hold DART harmless from any failure to so abide and all actions resulting therefrom. Licensee acknowledges the current applicability of federal and state railroad regulatory agency requirements for the blowing of whistles when approaching at-grade public and private road crossings.

15. Indemnification.

15.01. Licensee shall defend, protect and keep DART and Railroad forever harmless and indemnified against and from any penalty, or damage, or charge, imposed for any violation of any law, ordinance, rule or regulation arising out of the use of the Property by Licensee, whether occasioned by the neglect of Licensee, its employees, officers, agents, contractors or assigns, or those holding under Licensee;

15.02. Licensee shall at all times protect, indemnify and it is the intention of the parties hereto that Licensee hold DART and Railroad harmless against and from any and all loss, cost, damage or expense, including attorney's fees, arising out of, or from any accident or other occurrence on or about the Property causing personal injury, death, or property damage, except when caused by the willful misconduct or negligence of DART or Railroad, their officers, employees or agents, and then only to the extent of the proportion of any fault determined against DART for its willful misconduct or negligence;

15.03. Licensee shall at all times protect, indemnify and hold DART and Railroad harmless against and from any and all loss, cost, damage or expense, including attorney's fees, arising out of or from any and all claims or causes of action resulting from any failure of Licensee, its officers,

employees, agents, contractors or assigns in any respect to comply with and perform all the requirements and provisions hereof.

16. Action Upon Termination of License. At such time as this license may be terminated or cancelled for any reason whatever, Licensee, upon request by DART, shall remove all improvements and appurtenances owned by it, situated in, under or attached to the Property and shall restore the Property to the condition existing at the date of execution of this License, at Licensee's sole expense.

17. Assignment. Licensee shall not assign or transfer its rights under this Agreement in whole or in part, or permit any other person or entity to use the License hereby granted without the prior written consent of DART which DART is under no obligation to grant.

18. Methods of Termination. This Agreement may be terminated in any of the following ways:

18.01. Written Agreement of both parties;

18.02. By either party giving the other party thirty (30) days written notice.

18.03. By either party, upon failure of the other party to perform its obligations as set forth in this Agreement.

19. Miscellaneous.

19.01. Notice. When notice is permitted or required by this Agreement, it shall be in writing and shall be deemed delivered when delivered in person or when placed, postage prepaid, in the U.S. Mail, Certified, Return Receipt Requested, and addressed to the parties at the following addresses:

LICENSOR: Dallas Area Rapid Transit  
P. O. Box 660163  
Dallas, Texas 75266-7210  
Attn: Railroad Management

LICENSEE: Town of Addison  
P. O. Box 144  
Addison, Texas 75001  
Attn: Director of Public Works

Either party may from time to time designate another and different address for receipt of notice by giving notice of such change of address.

19.02. Attorney Fees. Any signatory to this Agreement who is the prevailing party in any legal proceeding against any other signatory brought under or with relation to this Agreement shall be entitled to recover court costs and reasonable attorney fees from the non-prevailing party.

19.03 Governing Law. This Agreement shall be construed under and in accordance with the laws of the State of Texas.

19.04 Entirety and Amendments. This Agreement embodies the entire agreement between the parties and supersedes all prior agreements and understandings, if any, relating to the Property and the matters addressed herein, and may be amended or supplemented only by a written instrument executed by the party against whom enforcement is sought.



19.05. Parties Bound. This Agreement shall be binding upon and inure to the benefit of the executing parties and their respective heirs, personal representatives, successors and assigns.

19.06. Number and Gender. Words of any gender used in this Agreement shall be held and construed to include any other gender; and words in the singular shall include the plural and vice versa, unless the text clearly requires otherwise.

IN WITNESS WHEREOF, the parties have executed this Agreement in multiple originals this 4th day of September, 1997.

LICENSOR:

DALLAS AREA RAPID TRANSIT

By: [Signature]  
Roger Snoble  
President/Executive Director

LICENSEE:

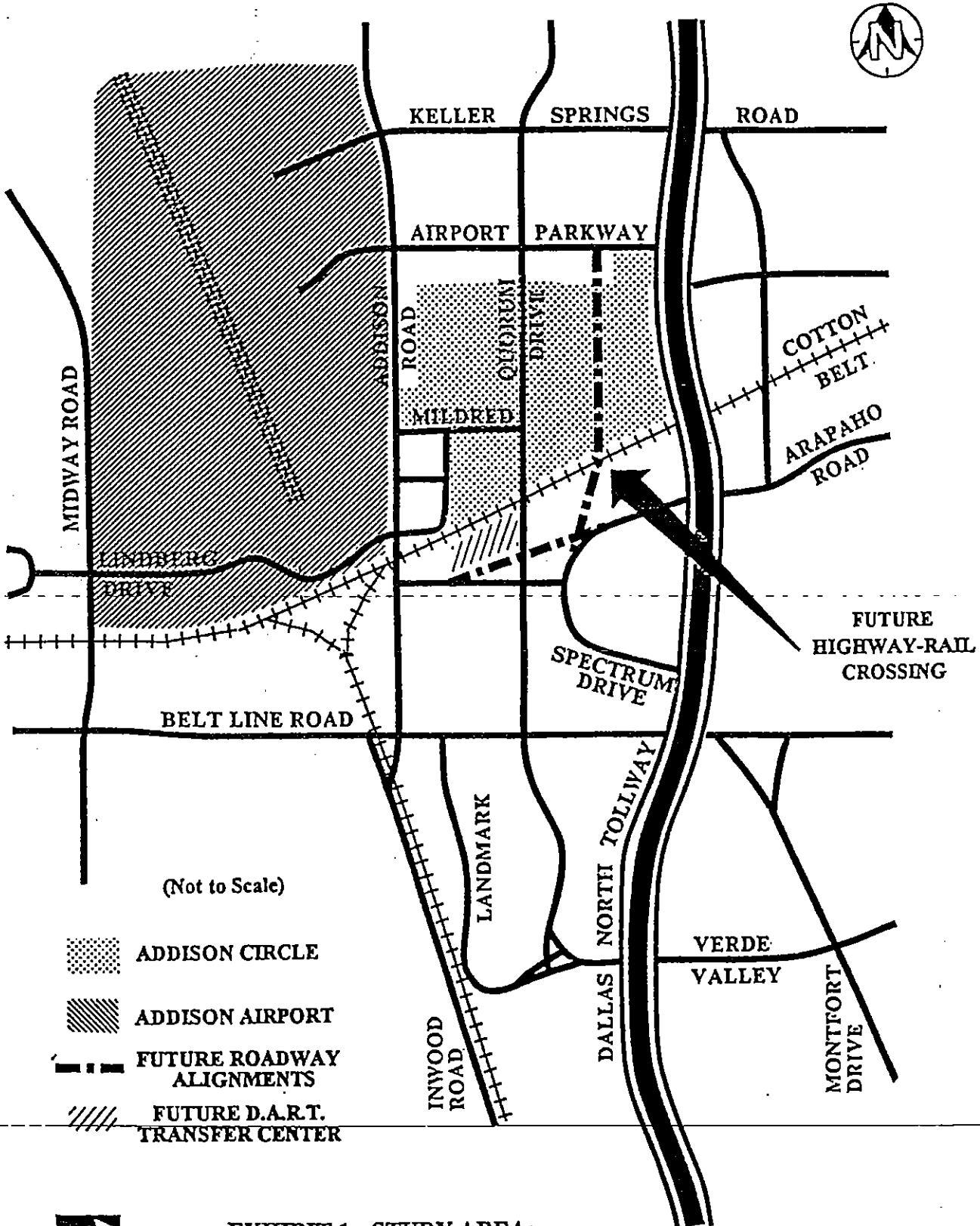
TOWN OF ADDISON

By: [Signature]  
Printed Name: RON WHITEHEAD  
Title: CITY MANAGER

APPROVED AS TO FORM:

[Signature]  
Office of DART General Counsel

# EXHIBIT A



**EXHIBIT 1 - STUDY AREA:  
FUTURE SPECTRUM DRIVE EXTENSION**

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com  
March 25, 2002

Mr. Steven Z. Chutchian, P.E.  
Assistant City Engineer  
Town of Addison  
16801 Westgrove Drive  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Spectrum Drive-North & South Extensions  
Proposal for Professional Services**

Dear Mr. Chutchian

Pursuant to our meeting on March 18, 2002, Huitt-Zollars is pleased to submit this proposal for additional services associated with the above referenced public improvement project located in Addison, Texas.

Huitt-Zollars will evaluate up to three plan and section alternatives incorporating a combination of head-in and parallel parking for the north and south extensions of Spectrum Drive. It is our understanding that the goal of the alternatives is to create as many on-street parking spaces as practical. Per your direction the alternatives will reduce the driving lanes on Spectrum Drive from 4 lanes to 2 lanes (one in each direction) of approximately 13 feet in width for this analysis. We will present the alternatives to staff for review and incorporate staff comments before preparing a final version for presentation to City Council if required.

Huitt-Zollars compensation for the above listed services shall be the Hourly Not-to-Exceed amount of **\$8,500** plus and allowance of **\$500** for reimbursable expenses.

Assumptions:

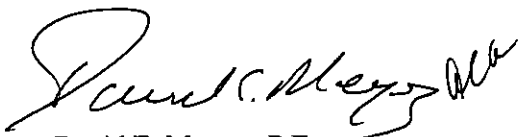
1. A traffic study to determine the merit of reducing Spectrum from four lanes to two lanes has not been conducted and is not part of this proposal.

A copy of our current rate schedule is enclosed as Exhibit "A" and our standard contract provisions are enclosed as Exhibit "B". If this proposal is acceptable, please sign below, initial the exhibits and return one copy for our records.

Thank you for this opportunity to be of service.

Sincerely,

HUITT-ZOLLARS, INC.

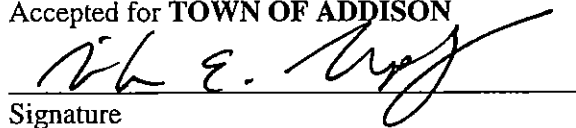


David E. Meyers, P.E.  
Associate



Robert L. Phillips  
Senior Vice President

Accepted for TOWN OF ADDISON



Signature

Michael E. Murphy

Printed Name and Title

3/27/02

Date

**DALLAS**  
**HUITT-ZOLLARS, INC.**  
**BASIS FOR PROFESSIONAL FEES AND CHARGES**  
**April 1, 2000**

Projects indicated to be performed on a "Time and Materials" basis will be invoiced monthly using actual direct salary cost for the persons working on the project times a multiplier which is an overhead factor, including profit. The current year multiplier is 2.44. The general ranges of direct salary cost for various employees are as follows:

Senior Officer, Principal	\$55.00 to \$110.00
Architect/Engineer VII, VIII, Officer	\$35.00 to \$ 70.00
Architect/Engineer IV, V, VI	\$25.00 to \$ 50.00
Architect/Engineer I, II, III	\$21.00 to \$ 45.00
Designer I through Design Manager	\$21.00 to \$ 45.00
CADD Tech I through Supervisor	\$10.00 to \$ 35.00
Project Support: Includes Clerical, Computer Systems, Document Control, and Accounting Support	\$ 7.00 to \$ 28.00

**SURVEY CREWS WILL BE INVOICED ON AN HOURLY RATE BASIS:**

1 Person Robotic Total Station Crew	\$75.00
2 Person Total Station Crew	\$95.00
3 Person Total Station Crew	\$115.00
4 Person Total Station Crew	\$135.00
1 Person GPS Crew	\$140.00
2 Person GPS Crew	\$160.00
3 Person GPS Crew	\$185.00

**HOURLY BILLING RATES  
EXPERT WITNESS**

Testimony	\$260.00
Standby	\$130.00
Preparation	\$130.00

**REIMBURSABLE EXPENSES WILL BE INVOICED AS FOLLOWS:**

In House Blue Prints	\$ 0.20/ft <sup>2</sup>
In House Photocopies	\$ 0.10/page
Outside Services	Cost + 10%
Mileage	\$ 0.325/mile

Client Int. \_\_\_\_\_

**HUITT-ZOLLARS, INC.**  
**TERMS AND CONDITIONS**

**"EXHIBIT B"**

**1. AUTHORIZATION FOR WORK TO PROCEED**

Signing of this AGREEMENT for services shall be authorization by the CLIENT for Huitt-Zollars, Inc. (HZI) to proceed with the work, unless stated otherwise in the WORK AUTHORIZATION/AGREEMENT.

**2. COST ESTIMATES FOR PROPOSED CONSTRUCTION**

Construction cost estimates provided by HZI are prepared from experience and judgement. HZI has no control over market conditions or construction procedures and does not warrant that proposals, bids, or actual construction costs will not vary from HZI estimates.

**3. STANDARD OF PRACTICE**

Services performed by HZI under this AGREEMENT will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended in this AGREEMENT, or in any report, opinion, document or otherwise.

**4. SALES TAXES**

All sales taxes required to be paid by HZI will be billed to the client in addition to fees.

**5. BILLING AND PAYMENT**

The CLIENT, recognizing that timely payment is a material part of the consideration of this AGREEMENT, shall pay HZI for services performed in accordance with the rates and charges set forth herein. Invoices will be submitted by HZI on a monthly basis and shall be due and payable within thirty (30) calendar days of invoice date. If the CLIENT objects to all or any portion of an invoice, the CLIENT shall so notify HZI in writing within ten (10) calendar days of receipt of the bill in question, and pay when due that portion of the invoice, not in dispute.

The CLIENT shall pay an additional charge of one-and-one-half (1.5) percent (or the maximum percentage allowed by law, whichever is lower) of the invoiced amount per month for any payment received by HZI more than thirty (30) calendar days from receipt of the invoice, excepting any portion of the invoiced amount in dispute and resolved in favor of CLIENT. Payment thereafter shall first be applied to accrued interest and then to the principal unpaid amount.

If CLIENT for any reason fails to pay the undisputed portion of Huitt-Zollars, Inc. (HZI) invoices within 30 days of presentation, HZI shall cease work on the project and CLIENT shall waive any claim against HZI, and shall defend and indemnify HZI from and against any claims for injury or loss stemming from HZI's cessation of service. CLIENT shall also pay HZI the cost associated with premature project demobilization. In the event the project is remobilized, CLIENT shall also pay the cost of remobilization, and shall renegotiate appropriate contract terms and conditions, such as those associated with budget, schedule or scope of service.

In the event any bill or portion thereof is disputed by CLIENT, CLIENT shall notify HZI within ten days of receipt of the bill

in question, and CLIENT and HZI shall work together to resolve the matter within 60 days of its being called to HZI's attention. If resolution of the matter is not attained within 60 days, either party may terminate this AGREEMENT.

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In order for the CLIENT to obtain the benefits of a fee which includes a lesser allowance for risk funding, the CLIENT agrees to limit HZI's liability arising from HZI's professional acts, errors or omissions, such that the total aggregate liability of HZI shall not exceed HZI's total fee for the services rendered on this project.

**7. CONSEQUENTIAL DAMAGES**

The CLIENT shall not be liable to HZI and HZI shall not be liable to the CLIENT for any consequential damages incurred by either due to the fault of the other, regardless of the nature of this fault, or whether it was committed by the CLIENT or HZI, their employees, agents or subcontractors. Consequential damages include, but are not limited to loss of use and loss of profit.

**8. TERMINATION**

In the event termination becomes necessary, the party (CLIENT or HZI) effecting termination shall so notify the other party, and termination will become effective fourteen (14) calendar days after receipt of the termination notice. Irrespective of which party shall effect termination or the cause of termination, the CLIENT shall within thirty (30) calendar days of termination remunerate HZI for services rendered and costs incurred up to the effective time of termination, in accordance with HZI's prevailing fee schedule and expense reimbursement policy.

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Any services beyond those specified will be provided for separately under an additional Work Authorization or amended Work Authorization.

**IF ANY ONE OR MORE OF THE PROVISIONS CONTAINED IN THIS AGREEMENT SHALL BE HELD UNENFORCEABLE, THE ENFORCEABILITY OF THE REMAINING PROVISIONS SHALL NOT BE IMPAIRED.**

Client Int. \_\_\_\_\_

3-18-07

Spectrum Drive -

Interesting Street

Parking allowed now -

South Side - head in parking?

Spectrum a more local street?

We need to figure this out -

Do we continue to allow parking?

Go for head in parking on the South Side

N. Side - Look @ head in & parallel &

a combination of both -

Layout the intersection

Meeting Notes - Meeting with City Mgr, David Meyers  
et al.

J.P.

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

February 14, 2003

***VIA HAND DELIVERY***


Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison - Service Center  
16801 Westgrove Drive  
Addison, TX 75001

**RE: Spectrum Drive Project**

Dear Steve:

Enclosed are right-of-way deeds and sidewalk easements for Parcels 3 through 6 of the above-referenced project. Documents for Parcel 2 were forwarded to you on December 23, 2002 and, as you will recall, Parcel 1 is the property of the Town of Addison. If you have any questions or need anything further, please give me a call.

Sincerely,

  
Angela K. Washington

AKW/yjr  
Enclosures

c(w/o Enclosures): Mr. Mike Murphy  
Mr. Kenneth C. Dippel, w/firm

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Gaylord Properties, L.P.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.



**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
  
\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 3**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of Tract 4 as described in instrument to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas, and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northeast corner of a platted 0.0697 acre tract of land for right-of-way dedication of Spectrum Drive (69 foot right-of-way) as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said platted 0.0697 acre tract for Spectrum Drive a distance of 34.50 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for corner on the westerly line of said Tract 4 of Gaylord Properties, L.P. ;

THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said Gaylord Properties, L.P. Tract 4 and 3.815 acre tracts a distance of 719.98 feet to the northwest corner of said 3.815 acre tract from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said Gaylord Properties, L.P. 3.815 acre tract a distance of 34.50 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said Gaylord Properties, L.P. 3.815 acre tract, passing at a distance of 535.93 feet a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap for the northwest corner of a 3.371 acre tract of land described in instrument to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and continuing along the westerly line of said 3.371 acre Staubach Company tract in all a distance of 719.99 feet to the POINT OF BEGINNING and containing 0.5702 of an acre of land, more or less.

QUORUM EAST ADDITION

VOL.98001 PG.00033

POST SERVICES, INC.  
VOL.98060 PG.03404

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

EXHIBIT B

15851 DALLAS NORTH PARKWAY ADDITION

VOL.85021 PG.1686

S 89°05'45"E 5.00'

61' R.O.W. (PROPOSED)

(FUTURE STREET R-1)

L1

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT (PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W. (PROPOSED)

(FUTURE STREET R-2)

(PROPOSED) DRIVE

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

SPECTRUM DRIVE

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER NO.

POINT OF BEGINNING - PARCEL 3A

G. W. A. B. S. T.

N 89°04'47"W 5.00'

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

5/8" IRS

POINT OF BEGINNING  
5/8" IRS WITH HUITT-ZOLLARS CAP

TXU ELECTRIC COMPANY EASEMENT BY PLAT VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

61' R.O.W.

SPECTRUM DRIVE

AMENDED PLAT ADDISON CIRCLE PHASE II  
VOL.2000153 PG.00015

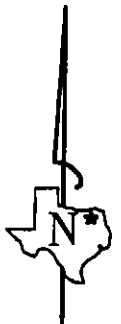
LOT 1, BLOCK D

PAGE 3 OF 3

LOT 5  
LOT 4  
LOT 3  
LOT 2  
BLOCK E

LOT 1, BLOCK E

45' DRED R.O.W.



0 100 200



SCALE: 1"=100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 3  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS** §  
**COUNTY OF DALLAS** § **KNOW ALL MEN BY THESE PRESENTS:**  
§

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 3A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a tract of land described as Tract 4 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 535.93 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the northerly line of said 3.815 acre Gaylord Properties, L.P. tract;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 5.00 feet to a point for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 535.93 feet to a point for a corner on the northerly line of said 3.371 acre Staubach Company tract;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0615 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

**EXHIBIT B**  
15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

S 89°05'45"E 5.00'

61' R.O.W. (PROPOSED)

(FUTURE STREET R-1)

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT (PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W. (PROPOSED)

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(PROPOSED) DRIVE

SPECTRUM DRIVE

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER N.D.

POINT OF BEGINNING - PARCEL 3A

G. W. A B S T.

N 89°04'47"W 5.00'

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
5/8" IRS WITH HUITT-ZOLLARS CAP

TXU ELECTRIC COMPANY EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

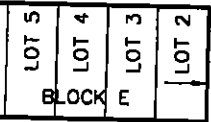
10' PRIVATE COMMUNICATIONS EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = iron Rod Found

MORRIS AVENUE

61' R.O.W.

MILDRED PLACE



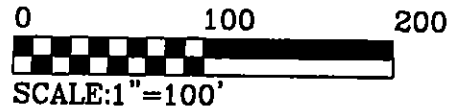
AMENDED PLAT ADDISON CIRCLE PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

PAGE 3 OF 3

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 3  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

December 23, 2002

Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 2 - Spectrum Drive Right-of-Way Project**

Dear Steve:

Enclosed are the Right-of-Way Deed for Parcel 2 and the Sidewalk Easement documents for Parcels 2A and 2B, Spectrum Drive Right-of-Way Project. Should you have any questions or need anything further, please let me know.

Sincerely,

Angela K. Washington

AKW/yjr  
Enclosures

c(w/oEnclosures): Mr. Kenneth C. Dippel, w/firm



STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Gaylord Properties, L.P.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

(1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.

(2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**Before Me**, the undersigned notary public in and for said county and state, on this \_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:

\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;

## EXHIBIT A

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
S 89°04'47"E  
5.00'

EXHIBIT B

G. W. A B S T.

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

POINT OF BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

SURVEY

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

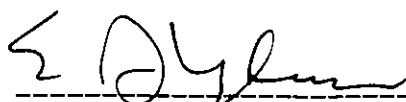
MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

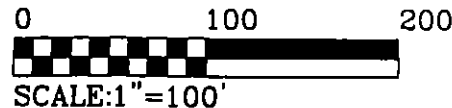
LOT 1, BLOCK D

PAGE 6 OF 6

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.



Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS**                    §  
   §        **KNOW ALL MEN BY THESE PRESENTS:**  
**COUNTY OF DALLAS**               §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as Grantee determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

**To have and to hold** the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

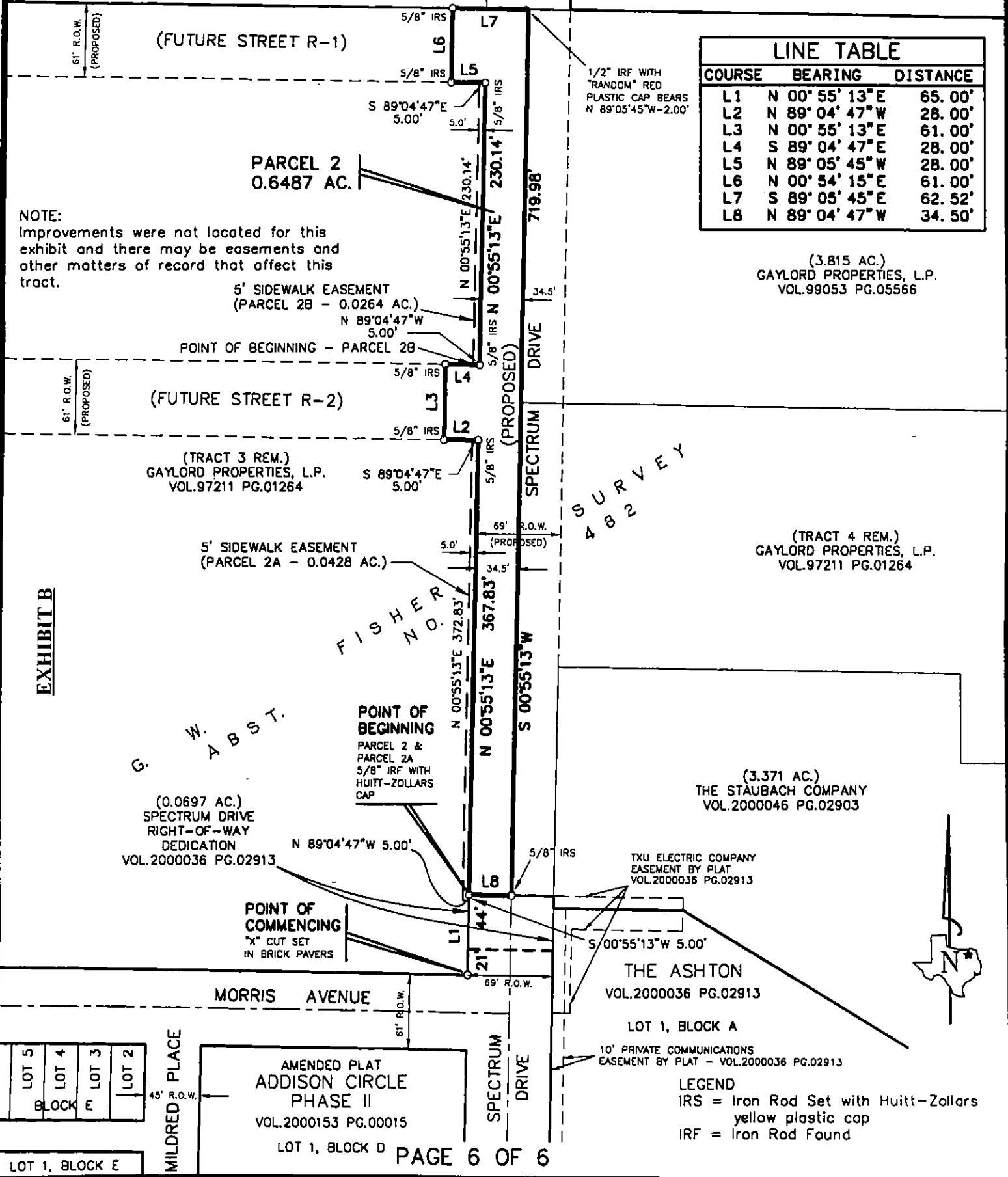
THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.



QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686



LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A  
10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

NOTE:  
Improvements were not located for this  
exhibit and there may be easements and  
other matters of record that affect this  
tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)

POINT OF  
BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

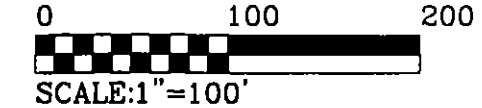
POINT OF  
COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 6 OF 6

This is to certify that the above survey was  
made under my supervision on November 5,  
2002 and that the metes and bounds shown  
thereon are true and correct to the best of  
my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land  
Surveyor, Texas No. 4862



BASIS OF BEARINGS:  
The monuments found as called for on  
the amended plat of Addison Circle  
Phase II, an addition to the Town of  
Addison, Texas, as recorded in Volume  
2000153, Page 00015, Deed Records,  
Dallas County, Texas.

**HUITT-ZOLLARS**  
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3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
18801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS**                   §  
  §           **KNOW ALL MEN BY THESE PRESENTS:**  
**COUNTY OF DALLAS**               §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[ S E A L ]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2B**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 23.00 feet to the POINT OF BEGINNING of this tract from which a 5/8 inch iron rod with Huitt-Zollars yellow plastic cap bears South 89 degrees 04 minutes 47 seconds East at a distance of 5.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

EXHIBIT A

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 230.14 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0264 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

(FUTURE STREET R-1)

PARCEL 2  
0.6487 AC.

NOTE:  
Improvements were not located for this  
exhibit and there may be easements and  
other matters of record that affect this  
tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
S 89°04'47"E  
5.00'

EXHIBIT B

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 6 OF 6

1/2" IRF WITH  
"RANDOM" RED  
PLASTIC CAP BEARS  
N 89°05'45"W-2.00'

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

0 100 200  
SCALE: 1" = 100'

BASIS OF BEARINGS:

The monuments found as called for on  
the amended plat of Addison Circle  
Phase II, an addition to the Town of  
Addison, Texas, as recorded in Volume  
2000153, Page 00015, Deed Records,  
Dallas County, Texas.

This is to certify that the above survey was  
made under my supervision on November 5,  
2002 and that the metes and bounds shown  
thereon are true and correct to the best of  
my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land  
Surveyor, Texas No. 4862

**HUITT-ZOLLARS**  
Dallas  
Huilt-Zollars, Inc.  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

December 23, 2002

Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 2 - Spectrum Drive Right-of-Way Project**

Dear Steve:

Enclosed are the Right-of-Way Deed for Parcel 2 and the Sidewalk Easement documents for Parcels 2A and 2B, Spectrum Drive Right-of-Way Project. Should you have any questions or need anything further, please let me know.

Sincerely,

Angela K. Washington

AKW/yjr  
Enclosures

c(w/oEnclosures): Mr. Kenneth C. Dippel, w/firm

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Gaylord Properties, L.P.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

(1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.

(2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.



**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
  
\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;

**EXHIBIT A**

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

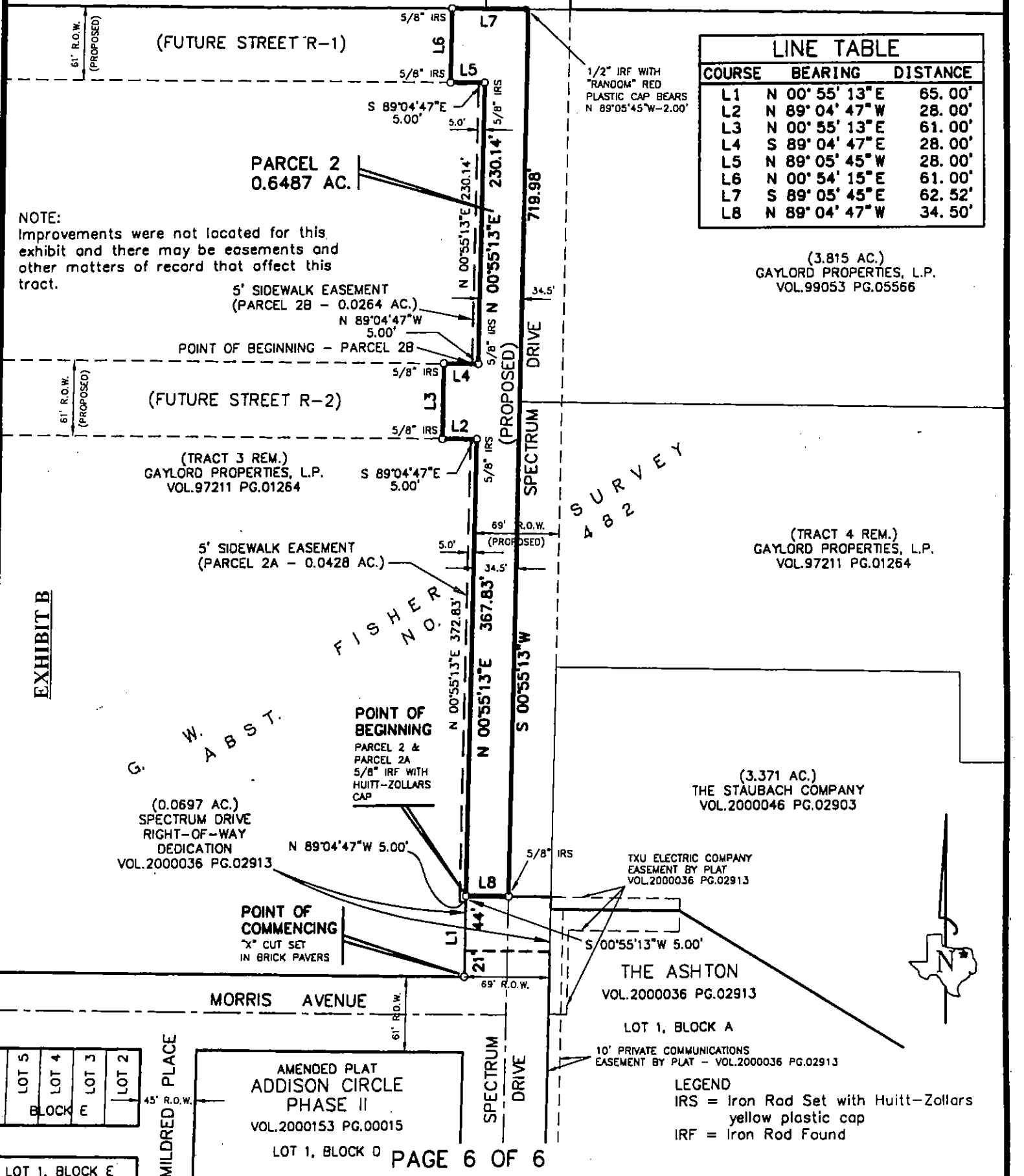
THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016



LINE TABLE			
COURSE	BEARING	DISTANCE	
L1	N 00° 55' 13" E	65.00'	
L2	N 89° 04' 47" W	28.00'	
L3	N 00° 55' 13" E	61.00'	
L4	S 89° 04' 47" E	28.00'	
L5	N 89° 05' 45" W	28.00'	
L6	N 00° 54' 15" E	61.00'	
L7	S 89° 05' 45" E	62.52'	
L8	N 89° 04' 47" W	34.50'	

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

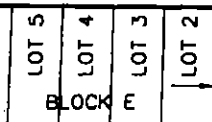
(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A  
10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found



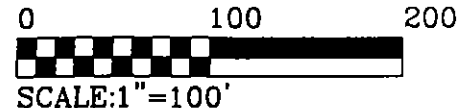
LOT 1, BLOCK E

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 6 OF 6

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3731 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

TOWN OF ADDISON  
SIDEWALK EASEMENT

STATE OF TEXAS

§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF DALLAS

§

§

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as Grantee determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

**To have and to hold** the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

**BEFORE ME**, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_  
[ S E A L ]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
5.00'

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

EXHIBIT B

G. W. A B S T.

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

N 89°04'47"W 5.00'

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 6 OF 6

0 100 200



SCALE: 1" = 100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 671-3311 Fax (214) 671-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002



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Copy

COPY

**SECTION PF**  
**PROPOSAL FORM**

PROPOSAL FORM

DEC. 2, 2003

TO: The Honorable Mayor and Town Council  
Town of Addison, Texas

Gentlemen:

The undersigned bidder, having examined the plans, specifications and contract documents, and the location of the proposed work, and being fully advised as to the extent and character of the work, proposes to furnish all equipment and to perform labor and work necessary for completion of the work described by and in accordance with the Plans, Specifications and Contract for the following prices, to wit:

Signed by:

ACKNOWLEDGEMENT OF ADDENDA:

The Bidder acknowledges receipt of the following addenda:

Addendum No. 1 Dated

11-21-03

AKC

Addendum No. 2 Dated

\_\_\_\_\_

Addendum No. 3 Dated

\_\_\_\_\_

Addendum No. 4 Dated

\_\_\_\_\_

Addendum No. 5 Dated

\_\_\_\_\_

Addendum No. 6 Dated

\_\_\_\_\_

### General Notes and Supplemental Specifications For Bidding

THE FOLLOWING NOTES PROVIDE ADDITIONAL CLARIFICATION OF CERTAIN BID ITEMS SUPPLEMENTAL TO THE PLANS AND TECHNICAL SPECIFICATIONS.

#### General

All excess trench spoil from utility installations are to be disposed of off-site. All excess unclassified street excavation is to be disposed of off-site.

All unit prices for utility lines shall include value for required embedment. No separate pay item.

Unit prices shall include value for required bonds, insurance, taxes, etc. No separate pay items are provided for these elements.

#### Mobilization

An item for mobilization is included in bid package. The amount bid for this item will not be limited by a percentage of the total bid amount.

### SCHEDULE I

#### Item No. 102 - Full Depth Sawcut

The quantity indicated for full depth sawcut is only the amount needed to isolate all pavement removal sections at one time. Sequencing of the project may, however, necessitate additional interim sawcuts and removals which will be incidental to the contract.

#### Item No. 104 - 6" Thick Lime Stabilized Subgrade

#### Item No. 105 - Hydrated Lime

Based on geotechnical investigation for the area, there should be no excavation for streets that encounters gray limestones. Tan limestones may be present in some areas but it can be a desirable material if properly processed and compacted. The contractor should not assume that subgrade material must be undercut and replaced with select fill. If such conditions are encountered, they will be dealt with by change order.

#### Item No. 107 - 6" thick 5,000 PSI Compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

#### Item No. 108 - 8" thick 5,000 PSI Compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

#### Item No. 112 - Furnish Vehicular Brick Paver Materials, Delivered to Site

This item consists of the specified vehicular bricks "C". Note that many dimensions are noted in increments of brick (or "wythe"). Vehicular bricks shall meet or exceed ASTM C1272-94 for Heavy Vehicular Paving Brick Type R. An acceptable material has been identified as equal to the following:

Type "C" - 2 1/4" x 3 1/4" x 7 1/2" Acme Color "Tulsa Blend 2, Garnet Red

The unit cost for this item shall include only the purchase and delivery of the pavers to the site

Contractor's price shall reflect supplying one extra pallet of vehicular pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

#### Item No. 113 - Furnish Bedding Materials and Install Vehicular Brick Pavers

This item is for the costs associated with furnishing and installing the bedding materials and the cost associated with installing the pavers. The materials and delivery costs of the pavers is covered in Item No.'s 112.

**SCHEDULE V & VI**

The contractor shall bid Schedule V and Schedule VI. Schedule V is the Base Bid for Street Lighting assuming that Onco owns and maintains the vehicular street lights. Schedule VI is the Alternate bid assuming that the Town owns and operates the vehicular street lights. For the purposes of determining the successful bidder the Town will use a comparison of bids utilizing the Base Bid for Street Lighting (Schedule V).

**Item No. 611 – Furnish Glen-Gery Pedestrian Brick Pavers**

Contractor's price shall reflect supplying one extra pallet of pedestrian pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

PAVING IMPROVEMENTS  
SCHEDULE I  
SPECTRUM DRIVE EXTENSION - NORTH

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
101	1	L.S.  A/c	Mobilization <del>ONE HUNDRED FIFTY EIGHT THOUSAND</del> Complete in Place, for the Sum of <del>ONE HUNDRED THOUSAND</del> Dollars and <u>NO</u> Cents per unit.	158,000.- A/c <del>300,000.-</del>	158,000.- A/c <del>300,000.-</del>
102	114	L.F.	Full depth sawcut existing concrete,  Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>NO</u> Cents per unit.	2.-	228.- <del>286.-</del> A/c
103	19	S.Y.  A/c	Remove and dispose of existing concrete and asphalt pavement, including curb,  Complete in Place, for the Sum of <u>TWENTY FIVE SIX</u> Dollars and <u>NO</u> Cents per unit.	A/c 26.- <del>25.-</del>	A/c 494.- <del>275.-</del>
104	6,859	S.Y.	Furnish, place and compact 6" thick lime stabilized subgrade,  Complete in Place, for the Sum of <u>THREE</u> Dollars and <u>NO</u> Cents per unit.	3.-	20,577.-
105	113.1	TON	Furnish and place hydrated lime (33 lbs/sy),  Complete in Place, for the Sum of <u>EIGHTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	85.-	9,613. <sup>50</sup> <del>4,369.-</del> A/c

108	112	S.Y.	Furnish and place 8" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab (street),  Complete in Place, for the Sum of <u>EIGHTY</u>  Dollars and <u>NO</u> Cents per unit.	80.-	8,960.-
109	3,194	L.F.	Furnish and place 6" thick 5,000 PSI compressive @ 28 days integral concrete curb,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>NO</u> Cents per unit.	2.-	6,388.- AR 7,588.-
110	111	L.F.	Furnish and construct longitudinal butt joint,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>NO</u> Cents per unit.	2.-	222.-

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PFN-6

Addendum #1

116	21	CA.	FURNISH AND PLACE 7" REINFORCED Buttons, Type 1-C,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>NO</u> Cents per unit.	3.-	63.-
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PFN-7

Addendum #1

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
117	140	EA.	Furnish and place 4" Reflective Buttons, Type II, A-A,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>NO</u> Cents per unit.	3.-	420.-
118	5	EA.	Furnish and install street & traffic control signs,  Complete in Place, for the Sum of <u>TWO HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	200.-	1,000.-
119	1	EA.	Furnish and install Street Name Sign and mounting hardware and appurtenances,  Complete in Place, for the Sum of <u>TWO HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	200.-	200.-
120	1	EA.	Furnish and install Unistrut-Telespar street sign post, foundation, mounting hardware and appurtenances,  Complete in Place, for the Sum of <u>ONE HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	100.-	100.-
121	44	L.F.	Remove Existing Street Barricade and posts,  Complete in Place, for the Sum of <u>TEN</u>  Dollars and <u>NO</u> Cents per unit.	10.-	440.-
122	50	L.F.	Furnish and install Street Barricade and posts,  Complete in Place, for the Sum of <u>FIFTY</u>  Dollars and <u>NO</u> Cents per unit.	50.-	2,500.-

NO.	QTY.	UNIT	PRICE IN WORDS	PRICE \$	\$
123	1	L.S.	Furnish, place and maintain barricading, signing and traffic control.  Complete in Place, for the Sum of <u>TWENTY FIVE HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	2,500.-	2,500.-
124	20,400	C.Y.	Unclassified Street Excavation including disposal,  Complete in Place, for the Sum of <u>SEVEN</u> Dollars and <u>NO</u> Cents per unit.	7.-	142,800.-
125	1	E.A.	Furnish and Install Black Steel stop sign pole with TxDOT Triangular Break-Away Base  Complete in Place, for the Sum of <u>ONE HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	100.-	100.-
126	1	E.A.	Install Addison Circle finial on Black steel pole finial to be supplied by the town.  Complete in Place, for the Sum of <u>TWO HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	200.-	200.-
127	19	C.Y.	Furnish, install and maintain stabilized Construction Entrance.  Complete in Place, for the Sum of <u>SIXTY</u> Dollars and <u>NO</u> Cents per unit.	60.-	1,140.-
128	1050	L.F.	Furnish, install and maintain Silt Fence.  Complete in Place, for the Sum of <u>ONE</u> Dollars and <u>FIFTY</u> Cents per unit.	1.50	1,575.-



ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
135	2	EA	Place with thermoplastic directional arrow  Complete in Place, for the Sum of <u>Eighty Five</u> Dollars and <u>No</u> Cents per unit.	85.-	170.-

**PAVING IMPROVEMENTS**  
**SCHEDULE I**  
**SPECTRUM DRIVE EXTENSION - NORTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE I, ITEMS 101 THROUGH 135, INCLUSIVE

\$ 403,233.<sup>30</sup>

UTILITY IMPROVEMENTS  
SCHEDULE II  
SPECTRUM DRIVE EXTENSION - NORTH

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION OF WORK IN WORDS	UNIT PRICE \$	AMOUNT \$
<b>WATER</b>					
201	9.8	C.Y.	Furnish and install concrete blocking,  Complete in Place, for the Sum of <u>TWO HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	200.-	1,960.-
202	1.1	TON	Furnish and install D.I. fittings, CL. 250,  Complete in Place, for the Sum of <u>TWENTY FIVE</u> <u>HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	2,500.-	2,750.-
203	30	L.F.	Furnish and install 6" dia. PVC AWWA C909, DR 18, CL 150 water pipe, including embedment,  Complete in Place, for the Sum of <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	50.-	1,500.-
204	489	L.F.	Furnish and install 8" dia. PVC AWWA C909, DR 18, CL 150 water pipe, including embedment,  Complete in Place, for the Sum of <u>Forty</u> Dollars and <u>NO</u> Cents per unit.	40.-	19,560.-
205	1,087	L.F.	Furnish and install 12" dia. PVC AWWA C909, DR 18, CL 150 water pipe, including embedment,  Complete in Place, for the Sum of <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	30.-	32,610.-

ITEM NO.	QTY.	UNIT	WORDS	\$	\$
206	3	EA.	Furnish and install 6" dia. resilient seat gate valve/box,  Complete in Place, for the Sum of <u>ONE THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	1,000.-	3,000.-
207	13	EA.	Furnish and install 8" dia. resilient seat gate valve/box,  Complete in Place, for the Sum of <u>TWELVE HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	1,200.-	15,600.-
208	5	EA.	Furnish and install 12" dia. resilient seat gate valve/box,  Complete in Place, for the Sum of <u>NINETEEN HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	1,900.-	9,500.-
209	3	EA.	Furnish and install fire hydrant, Complete in Place, for the Sum of <u>TWENTY TWO HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	2,200.-	6,600.-
210	2	EA.	Connect to existing water main (all sizes),  Complete in Place, for the Sum of <u>THIRTY EIGHT HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	3,800.-	7,600.-
211	-0-	L.F.	Furnish and install 24" steel casing pipe by bore, complete with casing spacers and end seals.  Complete in Place, for the Sum of   Dollars and Cents per unit.		

ITEM NO.	QTY.	UNIT	DESCRIPTION OF WORK	\$	\$
218	1	L.S.	Perform water test, Complete in Place, for the Sum of <u>THIRTY TWO</u> <u>HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	3,200.-	3,200.-
219	0	EA.	Furnish and Install 2" Air Release Valve, Complete in Place, for the Sum of _____ _____ Dollars and _____ Cents per unit.		
220	0	L.F.	Furnish and Install 12" Dia. PVC AWWA C909, DR18 CL 150 Water Pipe in bore pipe, Complete in Place, for the Sum of _____ _____ Dollars and _____ Cents per unit.		
Subtotal Water					
<b>STORM DRAINAGE</b>					
301	231		Furnish and install 18" CL. III RCP including embedment, Complete in Place, for the Sum of <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	50.-	11,550.-
302	59		Furnish and install 21" CL. III RCP including embedment, Complete in Place, for the Sum of <u>SIXTY</u> Dollars and <u>NO</u> Cents per unit.	60.-	3,540.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION AND QUANTITY	UNIT PRICE \$	TOTAL \$
303	75		Furnish and install 24" CL. III RCP including embedment,  Complete in Place, for the Sum of <u>SEVENTY</u>  Dollars and <u>NO</u> Cents per unit.	70.-	5,250.-
304	188		Furnish and install 27" CL. III RCP including embedment,  Complete in Place, for the Sum of <u>Sixty</u>  Dollars and <u>NO</u> Cents per unit.	60.-	11,280.-
305	26		Furnish and install 30" CL. III RCP including embedment,  Complete in Place, for the Sum of <u>EIGHTY</u>  Dollars and <u>NO</u> Cents per unit.	80.-	2,080.-
306	46		Furnish and install 33" CL. III RCP including embedment,  Complete in Place, for the Sum of <u>NINETY</u>  Dollars and <u>NO</u> Cents per unit.	90.-	4,140.-
307	261		Furnish and install 36" CL. III RCP including embedment,  Complete in Place, for the Sum of <u>NINETY</u>  Dollars and <u>NO</u> Cents per unit.	90.-	23,490.-
308	428		Furnish and install 42" CL. III RCP including embedment,  Complete in Place, for the Sum of <u>ONE HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	100.-	42,800.-

ITEM NO.	QTY.	UNIT	DESCRIPTION OF WORK	UNIT PRICE	TOTAL PRICE
309	-0-		Furnish and install 48" CL. III RCP including embedment,  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
310	-0-		Furnish and install 6' x 3' CL. III RCBC including embedment.  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
311	-0-		Furnish and install 6' x 4' CL. III RCBC, including embedment  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
312	-0-	EA.	Furnish and install 24" RCP Flow Equalizers  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
313	1	EA.	Remove and dispose of existing concrete inlet,  Complete in Place, for the Sum of <u>Four Hundred</u>  Dollars and <u>NO</u> Cents per unit.	400.-	400.-
314	-0-	LF	Remove and dispose of existing RCP,  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		

ITEM NO.	QTY.	UNIT	DESCRIPTION OF WORK	\$	\$
315	-0-	EA.	Furnish and install concrete junction box @ STA. 1+59.41, Storm Drain Line T,  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
316	2	EA.	Furnish and install 6' standard inlet w/ recessed top for brick,  Complete in Place, for the Sum of <u>TWO THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	2,000.-	4,000.-
317	3	EA.	Furnish and install 6' standard inlet w/ recessed top for brick; extra depth,  Complete in Place, for the Sum of <u>TWO THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	2,000.-	6,000.-
318	-0-	EA.	Furnish and install 10' standard inlet w/ recessed top for brick, extra depth  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
319	2	EA.	Furnish and install Type B Manhole,  Complete in Place, for the Sum of <u>FIVE THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	5,000.-	10,000.-
320	-0-	EA.	Furnish and install Type B Headwall,  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION AND PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
321	15	EA.	Furnish and install RCP 60 degree factory wye connection,  Complete in Place, for the Sum of <u>TWO HUNDREDS</u> <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	250.-	3,750.-
322	3	EA	Furnish and install connection to existing pipe,  Complete in Place, for the Sum of <u>FIFTEEN HUNDREDS</u> Dollars and <u>NO</u> Cents per unit.	1,500.-	4,500.-
323	-0-	EA.	Furnish and install connection to existing structure,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
324	11	EA.	Furnish and install precast concrete pipe plug,  Complete in Place, for the Sum of <u>FIVE HUNDREDS</u> Dollars and <u>NO</u> Cents per unit.	500.-	5,500.-
325	0	L.S.	Remove and dispose of existing headwalls and concrete rip-rap,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
Subtotal Storm Drainage					



WASTEWATER					
401	1,235	L.F.	Furnish and install 8" dia. SDR-26 PVC wastewater pipe, including embedment,  Complete in Place, for the Sum of <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	30.-	37,050.-
402	409	L.F.	Furnish and install 6" dia. SDR-35 PVC wastewater pipe, including embedment,  Complete in Place, for the Sum of <u>THIRTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	35.-	14,315.-
403	9	EA.	Furnish and install 2-way clean out & cast iron lid,  Complete in Place, for the Sum of <u>THREE HUNDRED SIXTY</u> Dollars and <u>NO</u> Cents per unit.	360.-	3,240.-
404	3	EA.	Furnish and install 4" dia. Wastewater manhole,  Complete in Place, for the Sum of <u>THREE THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	3,000.-	AF <del>14</del> 9,000.-
405	3	EA.	Furnish and install 8" dia. Wastewater pipe plug,  Complete in Place, for the Sum of <u>ONE HUNDRED SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	170.-	510.-
406	1,235	L.F.	Furnish and provide TV inspection of wastewater lines,  Complete in Place, for the Sum of <u>ONE</u> Dollars and <u>FIFTY</u> Cents per unit.	1.50	1,852.50

407	1,235	L.F.	Furnish and provide trench safety for wastewater line construction,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>TEN</u> Cents per unit.	.10	123. <sup>50</sup>
408	1	EA.	Connect to existing wastewater lines,  Complete in Place, for the Sum of <u>FOURTEEN HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	1,400.-	1,400.-
Subtotal Wastewater					
<b>ELECTRICAL DUCTBANK</b>					
501	1,052	L.F.	Furnish and install 8-6" PVC, Type DB conduits, encased in concrete,  Complete in Place, for the Sum of <u>ONE HUNDRED TEN</u>  Dollars and <u>NO</u> Cents per unit.	110.-	115,720.-
502	1	EA.	Connect to existing ductbank,  Complete in Place, for the Sum of <u>THREE THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	3,000.-	3,000.-
503	2	EA.	Furnish and install standard 4-way electrical ductbank manhole,  Complete in Place, for the Sum of <u>TWELVE THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	12,000.-	24,000.-
504	1	EA.	Furnish and install standard 3-way electrical ductbank manhole,  Complete in Place, for the Sum of <u>TWELVE THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	12,000.-	12,000.-

505	3	EA.	Furnish and Install concrete ductbank end plug.  <del>Complete in Place, for the Sum of</del> <u>THREE HUNDRED</u> <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	350.-	1,050.-
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**UTILITY IMPROVEMENTS**  
**SCHEDULE II**  
**SPECTRUM DRIVE EXTENSION - NORTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
 SCHEDULE II, ITEMS 201 THROUGH 505 INCLUSIVE

\$ 469,366.<sup>40</sup>

**STREETSCAPE IMPROVEMENTS  
SCHEDULE III  
SPECTRUM DRIVE EXTENSION - NORTH**

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION OF WORK, QUANTITY, PLANT SPECIFICATIONS, WORDS	UNIT PRICE \$	TOTAL \$
601	1	L.S.	Furnish and install irrigation system, including power and telephone for controllers.  Complete in Place, for the Sum of <u>SEVENTEEN THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	17,000.-	17,000.-
602	23	EA.  AFC	Furnish and install 60" square Tree Grate.  SEVENTEEN Complete in Place, for the Sum of <u>THIRTY FOUR HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	1,700.- AFC 3,500.-	39,100.- 80,500.- AFC
603	1,841	L.F.	Furnish and install 4" PVC Sch 40 subdrain system.  Complete in Place, for the Sum of <u>EIGHT</u> Dollars and <u>NO</u> Cents per unit.	8.-	14,728.-
604	41	EA.	Furnish and plant Red Oak, 200 Gal., 6", 18' ht., 12'-14' spread, container grown.  Complete in Place, for the Sum of <u>FIFTEEN HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	1,500.-	61,500.-
605	390	EA.	Furnish and plant Dwarf Yaupon Holly, 1 gal.  Complete in Place, for the Sum of <u>FIVE</u> Dollars and <u>FIFTY</u> Cents per unit.	5.50	2,145.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE WORDS	UNIT PRICE \$	TOTAL \$
606	130	EA.	Furnish and plant full Daylily "Stella de Oro", 1 gal.  Complete in Place, for the Sum of <u>SEVEN</u>  Dollars and <u>NO</u> Cents per unit.	7.-	910.-
607	130	EA.	Furnish and plant Yellow Bearded Iris, 1 gal.  Complete in Place, for the Sum of <u>SEVEN</u>  Dollars and <u>NO</u> Cents per unit.	7.-	910.-
608	286	EA.	Furnish and plant full Daffodil 'Grand Primo', 1 gal.  Complete in Place, for the Sum of <u>EIGHT</u>  Dollars and <u>NO</u> Cents per unit.	8.-	2,288.-
609	78	EA.	Furnish and plant full Bleeding Heart, 1 gal.  Complete in Place, for the Sum of <u>EIGHT</u>  Dollars and <u>NO</u> Cents per unit.	8.-	624.-
610	9,574	S.F.	Furnish and place 4" thick 3000 PSI compressive @ 28 days reinforced concrete subbase (sidewalk),  Complete in Place, for the Sum of <u>FIVE</u>  Dollars and <u>NO</u> Cents per unit.	5.-	47,870.-
611	9,574	S.F.	Furnish Glen-Gery pedestrian brick paver materials delivered to site,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>NO</u> Cents per unit.	3.-	28,722. <sup>80</sup>

NO.	QTY.	UNIT	WORDS	\$	\$
612	9,574	S.F.	Furnish and place bedding materials and place pedestrian brick pavers (sidewalk),  Complete in Place, for the Sum of <u>ONE</u>  Dollars and <u>THIRTY FIVE</u> Cents per unit.	1. <u>35</u>	12,924. <u>90</u>
613	70	S.F.	Furnish and install truncated dome pavers on new ramps.  Complete in Place, for the Sum of <u>TWO HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	200.-	14,000.-
614		C.Y.	Furnish and install concrete retaining wall, backfill, and drains,  Complete in Place, for the Sum of   Dollars and Cents per unit.		
615		L.F.	Furnish and Install Bike Rail on Retaining Wall,  Complete in Place, for the Sum of   Dollars and Cents per unit.		

**STREETSCAPE IMPROVEMENTS  
SCHEDULE III  
SPECTRUM DRIVE EXTENSION - NORTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE III, ITEMS 601 THROUGH 615, INCLUSIVE

\$ 242,721. <sup>90</sup>

STREET LIGHT IMPROVEMENTS (BASE BID)  
SCHEDULE V  
SPECTRUM DRIVE EXTENSION - NORTH

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
801	2	EA.	Furnish and Install Meter Socket Base,  Complete in Place, for the Sum of <u>ONE HUNDRED TEN</u> Dollars and <u>NO</u> Cents per unit.	110.-	220.-
802	1	EA.	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock,  Complete in Place, for the Sum of <u>THIRTY THREE HUNDRED NINETY</u> Dollars and <u>NO</u> Cents per unit.	3,390.-	3,390.-
803	1	EA.	Furnish and Install Service Ground,  Complete in Place, for the Sum of <u>FORTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	45.-	45.-
804	1	EA.	Furnish and Install Panel Board with Breakers 120/240, 80A MCB,  Complete in Place, for the Sum of <u>ELEVEN HUNDRED SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	1,170.-	1,170.-
805	1	EA.	Furnish and Install Enclosure and Contactor,  Complete in Place, for the Sum of <u>EIGHT HUNDRED EIGHTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	885.-	885.-
806	1	EA.	Furnish and Install 7 Day Time Clock,  Complete in Place, for the Sum of <u>SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	70.-	70.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
807	1	EA.	Furnish and Install Photo Cell and Connections,  Complete in Place, for the Sum of <u>THIRTY</u>  Dollars and <u>NO</u> Cents per unit.	30.-	30.-
808	57	EA.	Furnish and Install 2" GRC Elbow,  Complete in Place, for the Sum of <u>FIFTEEN</u>  Dollars and <u>NO</u> Cents per unit.	15.-	855.-
809	2,210	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>FORTY</u> Cents per unit.	2. <sup>40</sup>	5,304.-
810	2,510	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>FIFTY</u> Cents per unit.	2. <sup>50</sup>	6,275.-
811	156	L.F.	Furnish and Install 2" GRC Conduit,  Complete in Place, for the Sum of <u>SIX</u>  Dollars and <u>FIFTY</u> Cents per unit.	6. <sup>50</sup>	1,014.-
812	4	EA.	Furnish and Install 3" GRC Elbow,  Complete in Place, for the Sum of <u>EIGHTEEN</u>  Dollars and <u>FIFTY</u> Cents per unit.	11. <sup>50</sup>	46.-



ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
813	300	LF.	Furnish and Install 3" PVC Schedule 40 Conduit with embedment,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>SEVENTY FIVE</u> Cents per unit.	2. <u>75</u>	825. <u>-</u>
814	30	EA.	Furnish and Install 3" GRC Conduit,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>TWENTY FIVE</u> Cents per unit.	3. <u>25</u>	97. <u>50</u>
815	50	EA.	Furnish and Install High Compression Tap,  Complete in Place, for the Sum of <u>THIRTEEN</u>  Dollars and <u>FIFTY</u> Cents per unit.	13. <u>50</u>	675. <u>-</u>
816	60	LF.	Furnish and Install #10 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>TWENTY FIVE</u> Cents per unit.	. <u>25</u>	15. <u>-</u>
817	2,610	LF.	Furnish and Install #8 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>THIRTY FIVE</u> Cents per unit.	. <u>35</u>	913. <u>50</u>
818	-0-	LF.	Furnish and Install #6 AWG Conductor,  Complete in Place, for the Sum of   Dollars and Cents per unit.		

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT/BID \$
819	3,040	L.F.	Furnish and Install #4 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u> <u>Dollars and FIFTY FIVE</u> Cents per unit.	.55	1,672.-
820	11	EA.	Furnish and Install Steel Light Pull Box,  Complete in Place, for the Sum of <u>TWO HUNDRED</u> <u>TWENTY</u> <u>Dollars and NO</u> Cents per unit.	220.-	2,420.-
821	27	EA.	Furnish and Install Pedestrian Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>Dollars and EIGHTY</u> Cents per unit.	480.-	12,960.-
822	27	EA.	Furnish and Install Pedestrian Light Pole and Luminaries Fixtures (2 Fixtures each pole),  Complete in Place, for the Sum of <u>THIRTY FIVE HUNDRED</u> <u>FIFTY</u> <u>Dollars and NO</u> Cents per unit.	3,550.-	95,850.-
823	6	EA.	Furnish and Install Vehicular Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>EIGHTY</u> <u>Dollars and NO</u> Cents per unit.	480.-	2,880.-
824	6	EA.	Furnish and Install Vehicular Pole and Single Luminaire,  Complete in Place, for the Sum of <u>TWENTY EIGHT</u> <u>HUNDRED FIFTY</u> <u>Dollars and NO</u> Cents per unit.	2,850.-	17,100.-

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
825	1	E.A.	Furnish and Install 30 AMP disconnect Switch with Fuses,  Complete in Place, for the Sum of <u>TWO HUNDRED</u> <u>SEVENTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	275.-	275.-

STREET LIGHT IMPROVEMENTS (BASE BID)  
SCHEDULE V  
SPECTRUM DRIVE EXTENSION - NORTH

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE V, ITEMS 801 THROUGH 825, INCLUSIVE

\$ 154,987.-

STREET LIGHT IMPROVEMENTS (ALTERNATE BID)  
SCHEDULE VI  
SPECTRUM DRIVE EXTENSION - NORTH

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
801	2	EA.	Furnish and Install Meter Socket Base,  Complete in Place, for the Sum of <u>ONE HUNDRED</u> <u>TEN</u> Dollars and <u>NO</u> Cents per unit.	110.-	220.-
802	1	EA.	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock,  Complete in Place, for the Sum of <u>THIRTY THREE</u> <u>HUNDRED NINETY</u> Dollars and <u>NO</u> Cents per unit.	3,390.-	3,390.-
803	1	EA.	Furnish and Install Service Ground,  Complete in Place, for the Sum of <u>FORTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	45.-	45.-
804	1	EA.	Furnish and Install Panel Board with Breakers 120/240, 80A MCB,  Complete in Place, for the Sum of <u>EIGHT HUNDRED</u> <u>SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	1,170.-	1,170.-
805	1	EA.	Furnish and Install Enclosure and Contactor,  Complete in Place, for the Sum of <u>EIGHT HUNDRED</u> <u>EIGHTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	885.-	885.-
806	1	EA.	Furnish and Install 7 Day Time Clock,  Complete in Place, for the Sum of <u>SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	70.-	70.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	PRICE \$	AMOUNT \$
807	1	EA.	Furnish and Install Photo Cell and Connections, Complete in Place, for the Sum of <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	30.-	30.-
808	56	EA.	Furnish and Install 2" GRC Elbow, Complete in Place, for the Sum of <u>FIFTEEN</u> Dollars and <u>NO</u> Cents per unit.	15.-	840.-
809	2,285	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>FORTY</u> Cents per unit.	2.40	5,484.-
810	425	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>FORTY FIVE</u> Cents per unit.	2.45	1,041.25
811	156	L.F.	Furnish and Install 2" GRC Conduit, Complete in Place, for the Sum of <u>SIX</u> Dollars and <u>FIFTY</u> Cents per unit.	6.50	1,014.-
812	2	EA.	Furnish and Install 3" GRC Elbow, Complete in Place, for the Sum of <u>ELEVEN</u> Dollars and <u>FIFTY</u> Cents per unit.	11.50	23.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
813	150	LF.	Furnish and Install 3" PVC Schedule 40 Conduit with embedment, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>SEVENTY FIVE</u> Cents per unit.	2. <sup>75</sup>	412. <sup>50</sup>
814	15	EA.	Furnish and Install 3" GRC Conduit, Complete in Place, for the Sum of <u>THREE</u> Dollars and <u>TWENTY FIVE</u> Cents per unit.	3. <sup>25</sup>	48. <sup>75</sup>
815	50	EA.	Furnish and Install High Compression Tap, Complete in Place, for the Sum of <u>THIRTEEN</u> Dollars and <u>FIFTY</u> Cents per unit.	13. <sup>50</sup>	675. <sup>-</sup>
816	30	LF.	Furnish and Install #10 AWG Conductor, Complete in Place, for the Sum of <u>NO</u> Dollars and <u>TWENTY FIVE</u> Cents per unit.	.25	7. <sup>50</sup>
817	2,630	LF.	Furnish and Install #8 AWG Conductor, Complete in Place, for the Sum of <u>NO</u> Dollars and <u>THIRTY FIVE</u> Cents per unit.	.35	920. <sup>50</sup>
818	2,890	LF.	Furnish and Install #6 AWG Conductor, Complete in Place, for the Sum of <u>NO</u> Dollars and <u>FOURTY</u> Cents per unit.	.40	1,156. <sup>-</sup>

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION AND QUANTITY PRICE IN WORDS	UNIT PRICE \$	AMOUNT BIDDEN \$
819	3,040	LF.	Furnish and Install #4 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u> Dollars and <u>FIFTY FIVE</u> Cents per unit.	.55	1,672.-
820	15	EA.	Furnish and Install Steel Light Pull Box,  Complete in Place, for the Sum of <u>TWO HUNDRED</u> <u>THIRTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	235.-	3,525.-
821	27	EA.	Furnish and Install Pedestrian Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	480.-	12,960.-
822	27	EA.	Furnish and Install Pedestrian Light Pole and Luminaries Fixtures (2 Fixtures each pole),  Complete in Place, for the Sum of <u>THIRTY FIVE HUNDRED</u> <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	3,550.-	95,850.-
823	6	EA.	Furnish and Install Vehicular Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	480.-	2,880.-
824	6	EA.	Furnish and Install Vehicular Pole and Single Luminaire,  Complete in Place, for the Sum of <u>TWENTY EIGHT</u> <u>HUNDRED FIFTY</u> Dollars and <u>NO</u> Cents per unit.	2,850.-	17,100.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTIONS UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
825	-0-	E.A.	Furnish and Install 30 AMP disconnect Switch with Fuses,  Complete in Place, for the Sum of  _____ Dollars and _____ Cents per unit.		

STREET LIGHT IMPROVEMENTS (ALTERNATE BID)  
**SCHEDULE VI**  
SPECTRUM DRIVE EXTENSION - NORTH

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE VI, ITEMS 801 THROUGH 825, INCLUSIVE

\$ 151,419.<sup>50</sup>



Bid Schedule & Description

Total Amount Materials & Services

I Paving Improvements	\$ <u>603,233.<sup>30</sup></u>
II Utility Improvements	\$ <u>469,366.<sup>60</sup></u>
III Streetscape Improvements	\$ <u>242,721.<sup>90</sup></u>
IV Signalization Improvements	\$ <u>0</u>
V Street Lighting (Base Bid)	\$ <u>154,987.<sup>-</sup></u>
<b>TOTAL PAVING, UTILITY, STREETSCAPE, SIGNALIZATION &amp; STREET LIGHTING BASE BID</b>	\$ <u>1,470,308.<sup>80</sup></u>
VI Street Lighting (Alternate Bid)	\$ <u>151,419.<sup>50</sup></u>

PROPOSAL FORM

DEC. 2, 2003

TO: The Honorable Mayor and Town Council  
Town of Addison, Texas

Gentlemen:

The undersigned bidder, having examined the plans, specifications and contract documents, and the location of the proposed work, and being fully advised as to the extent and character of the work, proposes to furnish all equipment and to perform labor and work necessary for completion of the work described by and in accordance with the Plans, Specifications and Contract for the following prices, to wit:

Signed by:

ACKNOWLEDGEMENT OF ADDENDA:

The Bidder acknowledges receipt of the following addenda:

Addendum No. 1 Dated

11-21-03

ABC

Addendum No. 2 Dated

\_\_\_\_\_

Addendum No. 3 Dated

\_\_\_\_\_

Addendum No. 4 Dated

\_\_\_\_\_

Addendum No. 5 Dated

\_\_\_\_\_

Addendum No. 6 Dated

\_\_\_\_\_

General Notes and Supplemental Specifications For Bidding

THE FOLLOWING NOTES PROVIDE ADDITIONAL CLARIFICATION OF CERTAIN BID ITEMS SUPPLEMENTAL TO THE PLANS AND TECHNICAL SPECIFICATIONS.

General

All excess trench spoil from utility installations are to be disposed of off-site. All excess unclassified street excavation is to be disposed of off-site.

All unit prices for utility lines shall include value for required embedment. No separate pay item.

Unit prices shall include value for required bonds, insurance, taxes, etc. No separate pay items are provided for these elements.

Mobilization

An item for mobilization is included in bid package. The amount bid for this item will not be limited by a percentage of the total bid amount.

SCHEDULE I

Item No. 102 - Full Depth Sawcut

The quantity indicated for full depth sawcut is only the amount needed to isolate all pavement removal sections at one time. Sequencing of the project may, however, necessitate additional interim sawcuts and removals which will be incidental to the contract.

Item No. 104 - 6" Thick Lime Stabilized Subgrade

Item No. 105 - Hydrated Lime

Based on geotechnical investigation for the area, there should be no excavation for streets that encounters gray limestone. Tan limestone may be present in some areas but it can be a desirable material if properly processed and compacted. The contractor should not assume that subgrade material must be undercut and replaced with select fill. If such conditions are encountered, they will be dealt with by change order.

Item No. 107 - 6" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

Item No. 108 - 8" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab

This item is defined as the recessed pavement area required to accept brick or other enhanced paving materials in streets.

Item No. 112 - Furnish Vehicular Brick Paver Materials, Delivered to Site

This item consists of the specified vehicular bricks "C". Note that many dimensions are noted in increments of brick (or "wythe"). Vehicular bricks shall meet or exceed ASTM C1272-94 for Heavy Vehicular Paving Brick Type R. An acceptable material has been identified as equal to the following:

Type "C" - 2 $\frac{3}{4}$ " x 3 $\frac{1}{2}$ " x 7 $\frac{1}{2}$ " Acme Color "Tulsa Blend 2, Garnet Red

The unit cost for this item shall include only the purchase and delivery of the pavers to the site

Contractor's price shall reflect supplying one extra pallet of vehicular pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

Item No. 113 - Furnish Bedding Materials and Install Vehicular Brick Pavers

This item is for the costs associated with furnishing and installing the bedding materials and the cost associated with installing the pavers. The materials and delivery costs of the pavers is covered in Item No.'s 112.

SCHEDULE V & VI

The contractor shall bid Schedule V and Schedule VI. Schedule V is the Base Bid for Street Lighting assuming that Onor owns and maintains the vehicular street lights. Schedule VI is the Alternate bid assuming that the Town owns

and operates the vehicular street lights. For the purposes of determining the successful bidder the Town will use a comparison of bids utilizing the Base Bid for Street Lighting (Schedule V).

**Item No. 611 – Furnish Glen-Gery Pedestrian Brick Pavers**

Contractor's price shall reflect supplying one extra pallet of pedestrian pavers to the City at a location designated by the City. Bid quantity is for in place quantity only.

PAVING IMPROVEMENTS  
SCHEDULE I  
SPECTRUM DRIVE EXTENSION - SOUTH

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
101	1	L.S.	Mobilization, Complete in Place, for the Sum of <u>TWO HUNDRED FORTY</u> <u>SIX THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	246,000.-	246,000.-
102	143	L.F.	Full depth sawcut existing concrete, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>NO</u> Cents per unit.	2.-	286.-
103	11	S.Y.	Remove and dispose of existing concrete and asphalt pavement, including curb, Complete in Place, for the Sum of <u>TWENTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	25.-	275.-
104	3,115	S.Y.	Furnish, place and compact 6" thick lime stabilized subgrade, Complete in Place, for the Sum of <u>THREE</u> <u>NO</u> Dollars and Cents per unit.	3.-	9,345.-
105	51.4	TON	Furnish and place hydrated lime (33 lbs/ty), Complete in Place, for the Sum of <u>EIGHTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	85.-	4,369.-

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
106	3,000	S.Y.	Furnish and place 8" thick 5,000 PSI compressive @ 28 days reinforced concrete pavement,  Complete in Place, for the Sum of <u>THIRTY FIVE</u>  Dollars and <u>NO</u> Cents per unit.	35.-	105,000.-
107	-0-	S.Y.	Furnish and place 6" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab (street),  Complete in Place, for the Sum of  Dollars and Cents per unit.		
108	-0-	S.Y.	Furnish and place 8" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab (street),  Complete in Place, for the Sum of  Dollars and Cents per unit.		
109	1,834	L.F.	Furnish and place 6" thick 5,000 PSI compressive @ 28 days integral concrete curb,  Complete in Place, for the Sum of <u>ONE</u>  Dollars and <u>NO</u> Cents per unit.	1.-	1,834.-
110	118	L.F.	Furnish and construct longitudinal butt joint,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>NO</u> Cents per unit.	2.-	236.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
111	-0-	L.F.	Furnish and construct reinforced concrete street header,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
112	-0-	S.F.	Furnish Acme vehicular brick paver materials, delivered to site,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
113	-0-	S.F.	Furnish and place bedding materials and place vehicular brick pavers,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
114	35	L.F.	Furnish and place 24" wide Thermoplastic Stop Line,  Complete in Place, for the Sum of <u>FOUR</u>  Dollars and <u>NO</u> Cents per unit.	4.-	140.-
115	594	L.F.	Furnish and place 4" wide Thermoplastic Stripe,  Complete in Place, for the Sum of <u>ONE</u>  Dollars and <u>NO</u> Cents per unit.	1.-	594.-
116	37	EA.	Furnish and place 4" Reflective Buttons, Type 1-C,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>NO</u> Cents per unit.	3.-	111.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
117	76	EA.	Furnish and place 4" Reflective Buttons, Type II, A-A,  Complete in Place, for the Sum of <u>THREE</u> Dollars and <u>NO</u> Cents per unit.	3.-	228.-
118	5	EA.	Furnish and install street & traffic control signs,  Complete in Place, for the Sum of <u>ONE HUNDRED</u> <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	180.-	900.-
119	-0-	EA.	Furnish and install Street Name Sign and mounting hardware and appurtenances,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		
120	-0-	EA.	Furnish and install Unistrut-Telespar street sign post, foundation, mounting hardware and appurtenances,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		
121	-0-	L.F.	Remove Existing Street Barricade and posts,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		
122	-0-	L.F.	Furnish and install Street Barricade and posts,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		



ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
123	1	L.S.	Furnish, place and maintain barricading, signing and traffic control,  Complete in Place, for the Sum of <u>THREE THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	3,000.-	3,000.-
124	-0-	C.Y.	Unclassified Street Excavation including disposal,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
125	-0-	E.A.	Furnish and Install Black Steel stop sign pole with TxDOT Triangular Break-Away Base  Complete in Place, for the Sum of  Dollars and Cents per unit.		
126	-0-	E.A.	Install Addison Circle finial on Black steel pole finial to be supplied by the town.  Complete in Place, for the Sum of  Dollars and Cents per unit.		
127	19	C.Y.	Furnish, install and maintain stabilized Construction Entrance.  Complete in Place, for the Sum of <u>FIFTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	55.-	1,045.-
128	350	L.F.	Furnish, install and maintain Silt Fence.  Complete in Place, for the Sum of <u>ONE</u> Dollars and <u>FIFTY</u> Cents per unit.	1.50	525.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
129	2	EA.	Furnish, install and maintain Inlet Protection,  Complete in Place, for the Sum of <u>SEVENTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	75.-	150.-
130	1	L.S.	Furnish and install Railroad Crossing, including ballast, sub-ballast, under-drain, ties and track work  Complete in Place, for the Sum of <u>FIFTY THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	50,000.-	50,000.-
131	237	SY	Furnish and install 4" HMA CP Base Course  Complete in Place, for the Sum of <u>ELEVEN</u> Dollars and <u>NO</u> Cents per unit.	11.-	2,607.-
132	237	SY	Furnish and install 2" HMA CP Surface Course  Complete in Place, for the Sum of <u>SIX</u> Dollars and <u>NO</u> Cents per unit.	6.-	1,422.-
133	3,400	CY	Imported Fill  Complete in Place, for the Sum of <u>SEVEN</u> Dollars and <u>NO</u> Cents per unit.	7.-	23,800.-
134	460	LF	Place 6" wide white thermoplastic crosswalk marker  Complete in Place, for the Sum of <u>ONE</u> Dollars and <u>THIRTY</u> Cents per unit.	1.30	598.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION PRICE IN WORDS	PRICE \$	\$
135	11	EA	Place with thermoplastic directional arrow  Complete in Place, for the Sum of <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	80.-	880.-

**PAVING IMPROVEMENTS  
SCHEDULE I  
SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE I, ITEMS 101 THROUGH 135, INCLUSIVE

\$ 453,345.-

UTILITY IMPROVEMENTS  
SCHEDULE II  
SPECTRUM DRIVE EXTENSION - SOUTH

ITEM NO.	QTY.	UNIT	DESCRIPTION AND UNIT PRICE IN WORDS	\$	\$
<b>WATER</b>					
201	21.8	C.Y.	Furnish and install concrete blocking,  Complete in Place, for the Sum of <u>TWO HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	200.-	4,360.-
202	0.5	TON	Furnish and install D.I. fittings, CL. 250,  Complete in Place, for the Sum of <u>TWENTY FIVE</u> <u>HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	2,500.-	1,250.-
203	24	L.F.	Furnish and install 6" dia. PVC AWWA C909, DR 18, CL 150 water pipe, including embedment,  Complete in Place, for the Sum of <u>FORTY</u> <u>NO - AC</u> Dollars and <u>NO</u> Cents per unit.	40.-	960.-
204	-85-	L.F.	Furnish and install 8" dia. PVC AWWA C909, DR 18, CL 150 water pipe, including embedment,  Complete in Place, for the Sum of <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	50.-	4,250.-
205	640	L.F.	Furnish and install 12" dia. PVC AWWA C909, DR 18, CL 150 water pipe, including embedment,  Complete in Place, for the Sum of <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	30.-	19,200.-

ITEM NO.	QTY.	UNIT	WORDS	\$	\$
206	1	EA.	Furnish and install 6" dia. resilient seat gate valve/box,  Complete in Place, for the Sum of <u>NINE HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	900.-	900.-
207	4	EA.	Furnish and install 8" dia. resilient seat gate valve/box,  Complete in Place, for the Sum of <u>ELEVEN HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	1,100.-	4,400.-
208	1	EA.	Furnish and install 12" dia. resilient seat gate valve/box,  Complete in Place, for the Sum of <u>SEVENTEEN HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	1,700.-	1,700.-
209	1	EA.	Furnish and install fire hydrant, Complete in Place, for the Sum of <u>SEVENTEEN HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	1,700.-	1,700.-
210	2	EA.	Connect to existing water main (all sizes),  Complete in Place, for the Sum of <u>THIRTY FOUR HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	3,400.-	6,800.-
211	126	L.F.	Furnish and install 24" steel casing pipe by bore, complete with casing spacers and end seals.  Complete in Place, for the Sum of <u>120 HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	200.-	25,200.-

ITEM NO.	ESTIM QTY.	UNIT	DESCRIPTION OF WORK IN WORDS	\$	\$
212	1	EA.	Furnish and install 2" Type K soft copper irrigation service.  Complete in Place, for the Sum of <u>NINE HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	900.-	900.-
213	1	EA.	Furnish and install 1.5" Hersey MVR 100 turbine meter.  Complete in Place, for the Sum of <u>NINE HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	900.-	900.-
214	2	EA.	Furnish and install Brooks products No. 65 17" x 28" precast box.  Complete in Place, for the Sum of <u>FOUR HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	400.-	800.-
215	1	EA.	Furnish and install 1.5" Febco 805Y double check valve assembly.  Complete in Place, for the Sum of <u>FOUR HUNDRED</u>  Dollars and <u>NO</u> Cents per unit.	400.-	400.-
215	30	L.F.	Furnish and install 2" Class 200 PVC sleeve  Complete in Place, for the Sum of <u>TWENTY TWO</u>  Dollars and <u>NO</u> Cents per unit.	22.-	660.-
217	750	L.F.	Furnish and install trench safety for construction,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>TEN</u> Cents per unit.	.10	75.-

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION / WORDS	PRICE \$	TOTAL \$
218	1	L.S.	Perform water test, Complete in Place, for the Sum of <u>THREE THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	3,000.-	3,000.-
219	2	EA.	Furnish and Install 2" Air Release Valve, Complete in Place, for the Sum of <u>FIFTEEN HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	1,500.-	3,000.-
220	103	L.F.	Furnish and Install 12" Dia. PVC AWWA C909, DR18 CL-150 Water Pipe in bore pipe, Complete in Place, for the Sum of <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	50.-	5,150.-
Subtotal Water					
<b>STORM DRAINAGE</b>					
301	153		Furnish and Install 18" CL. III RCP including embedment, Complete in Place, for the Sum of <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	50.-	7,650.-
302	111		Furnish and install 21" CL. III RCP including embedment, Complete in Place, for the Sum of <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	50.-	5,550.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
303	-0-		Furnish and install 24" CL. III RCP including embedment,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
304	-0-		Furnish and install 27" CL. III RCP including embedment,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
305	-0-		Furnish and install 30" CL. III RCP including embedment,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
306	-0-		Furnish and install 33" CL. III RCP including embedment,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
307	-0-		Furnish and install 36" CL. III RCP including embedment,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
308	-0-		Furnish and install 42" CL. III RCP including embedment,  Complete in Place, for the Sum of  Dollars and Cents per unit.		



ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION OF WORK IN WORDS	UNIT PRICE \$	TOTAL \$
309	740		Furnish and install 48" CL. III RCP including embedment,  Complete in Place, for the Sum of <u>ONE HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	100.-	74,000.-
310	284		Furnish and install 6' x 3' CL. III RCBC including embedment.  Complete in Place, for the Sum of <u>TWO HUNDRED THIRTY</u> Dollars and <u>NO</u> Cents per unit.	230.-	65,320.-
311	450		Furnish and install 6' x 4' CL. III RCBC, including embedment  Complete in Place, for the Sum of <u>TWO HUNDRED FORTY</u> Dollars and <u>NO</u> Cents per unit.	240.-	108,000.-
312	2	EA.	Furnish and install 24" RCP Flow Equalizers  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	400.-	800.-
313	-0-	EA.	Remove and dispose of existing concrete inlet,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		
314	233	LF	Remove and dispose of existing RCP,  Complete in Place, for the Sum of <u>TWELVE</u> Dollars and <u>NO</u> Cents per unit.	12.-	2,796.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION OF WORK IN WORDS	\$	\$
315	1	EA.	Furnish and install concrete junction box @ STA. 1+59.41, Storm Drain Line T,  Complete in Place, for the Sum of <u>FIFTEEN THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	15,000.-	15,000.-
316	-0-	EA.	Furnish and install 6" standard inlet w/ recessed top for brick,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		
317	-0-	EA.	Furnish and install 6" standard inlet w/ recessed top for brick, extra depth,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		
318	2	EA.	Furnish and install 10" standard inlet w/ recessed top for brick, extra depth  Complete in Place, for the Sum of <u>THREE THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	3,000.-	6,000.-
319	-0-	EA.	Furnish and install Type B Manhole,  Complete in Place, for the Sum of _____ Dollars and _____ Cents per unit.		
320	3	EA.	Furnish and install Type B Headwall,  Complete in Place, for the Sum of <u>EIGHT HUNDRED FIFTY</u> Dollars and <u>NO</u> Cents per unit.	850.-	2,550.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION WORDS	\$	\$
321	2	EA.	Furnish and install RCP 60 degree factory wye connection,  Complete in Place, for the Sum of <u>ONE THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	1,000.-	2,000.-
322	2	EA.	Furnish and install connection to existing pipe,  Complete in Place, for the Sum of <u>EIGHTEEN HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	1,800.-	3,600.-
323	1	EA.	Furnish and install connection to existing structure,  Complete in Place, for the Sum of <u>TWENTY TWO HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	2,200.-	2,200.-
324	1	EA.	Furnish and install precast concrete pipe plug,  Complete in Place, for the Sum of <u>NINE HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	900.-	900.-
325	1	L.S.	Remove and dispose of existing headwalls and concrete rip-rap. <i>etc</i>  Complete in Place, for the Sum of <u>FOUR HUNDRED THOUSAND</u> Dollars and <u>NO</u> Cents per unit.	4000.-	4,000.-
Subtotal Storm Drainage					

WASTEWATER					
401	-0-	L.F.	Furnish and install 8" dia. SDR-26 PVC wastewater pipe, including embedment,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
402	-0-	L.F.	Furnish and install 6" dia. SDR-35 PVC wastewater pipe, including embedment,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
403	-0-	EA.	Furnish and install 2-way clean out & cast iron lid,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
404	-0-	EA.	Furnish and install 4' dia. Wastewater manhole,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
405	-0-	EA.	Furnish and install 8" dia. Wastewater pipe plug,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
406	-0-	L.F.	Furnish and provide TV inspection of wastewater lines,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		

407	-0-	L.F.	Furnish and provide trench safety for wastewater line construction,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
408	-0-	EA.	Connect to existing wastewater lines,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
Subtotal Wastewater					
<b>ELECTRICAL DUCTBANK</b>					
501	-0-	L.F.	Furnish and install 8-6" PVC, Type DB conduits, encased in concrete,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
502	-0-	EA.	Connect to existing ductbank,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
503	-0-	EA.	Furnish and install standard 4-way electrical ductbank manhole,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		
504	-0-	EA.	Furnish and install standard 3-way electrical ductbank manhole,  Complete in Place, for the Sum of  _____ _____ Dollars and Cents per unit.		

505	-0-	EA.	Furnish and Install concrete ductbank and plug.  Complete in Place, for the Sum of  <hr/> Dollars and <hr/> Cents per unit.		
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**UTILITY IMPROVEMENTS**  
**SCHEDULE II**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
 SCHEDULE II, ITEMS 201 THROUGH 505 INCLUSIVE

\$ 385,971.-

STREETSCAPE IMPROVEMENTS  
SCHEDULE II  
SPECTRUM DRIVE EXTENSION - SOUTH

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & QUANTITY IN WORDS	UNIT PRICE \$	AMOUNT \$
601	1	L.S.	Furnish and install irrigation system, including power and telephone for controllers,  Complete in Place, for the Sum of <u>TEN THOUSAND</u>  Dollars and <u>00</u> Cents per unit.	10,000.-	10,000.-
602	11	EA.  A/C	Furnish and install 60" square Tree Grate. <u>SEVENTEEN HUNDRED</u> Complete in Place, for the Sum of <u>THIRTY FIVE THOUSAND</u>  Dollars and <u>00</u> Cents per unit.	1,700.-  A/C 3,500.-	18,700.-  A/C 38,500.-
603	544	L.F.	Furnish and install 4" PVC Sch 40 subdrain system.  Complete in Place, for the Sum of <u>EIGHT</u>  Dollars and <u>00</u> Cents per unit.	8.-	4,352.-
604	11	EA.	Furnish and plant Red Oak, 200 Gal, 6", 18" ht., 12"-14" spread, container grown.  Complete in Place, for the Sum of <u>FIFTEEN THOUSAND</u>  Dollars and <u>00</u> Cents per unit.	1,500.-	16,500.-
605	-0-	EA.	Furnish and plant Dwarf Yaupon Holly, 1 gal.  Complete in Place, for the Sum of   Dollars and Cents per unit.		

ITEM NO.	ESTIM. QTY.	UNIT	WORDS	\$	\$
606	-0-	EA.	Furnish and plant full Daylily "Stella de Oro", 1 gal.  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
607	-0-	EA.	Furnish and plant Yellow Bearded Iris, 1 gal.  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
608	-0-	EA.	Furnish and plant full Daffodil 'Grand Primo', 1 gal.  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
609	-0-	EA.	Furnish and plant full Bleeding Heart, 1 gal.  Complete in Place, for the Sum of  Dollars and _____ Cents per unit.		
610	16,379	S.F.	Furnish and place 4" thick 3000 PSI compressive @ 28 days reinforced concrete subbase (sidewalk),  Complete in Place, for the Sum of <u>FOUR</u>  Dollars and <u>NO</u> Cents per unit.	4.-	65,516.-
611	16,379	S.F.	Furnish Glen-Gery pedestrian brick paver materials delivered to site,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>NO</u> Cents per unit.	3.-	49,137.-



ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION OF MATERIALS AND SERVICES	\$	\$
612	16,379	S.F.	Furnish and place bedding materials and place pedestrian brick pavers (sidewalk).  Complete in Place, for the Sum of <u>ONE</u> <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	1.30	21,292. <sup>70</sup>
613	70	S.F.	Furnish and install truncated dome pavers on new ramps.  Complete in Place, for the Sum of <u>ONE HUNDRED</u> <u>SEVENTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	175.-	12,250.-
614	66	C.Y.  A/c	Furnish and install concrete retaining wall, backfill, and drains, <u>SEVEN</u> Complete in Place, for the Sum of <u>FIVE HUNDRED</u> <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	700.- <del>650.-</del> A/c	46,200.- <del>36,300.-</del> A/c
615	51	L.F.	Furnish and Install Bike Rail on Retaining Wall,  Complete in Place, for the Sum of <u>ONE HUNDRED</u> <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	130.-	6,630.-

**STREETSCAPE IMPROVEMENTS  
SCHEDULE III  
SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE III, ITEMS 601 THROUGH 615, INCLUSIVE

\$ 250,577.<sup>70</sup>

SIGNALIZATION IMPROVEMENTS  
SCHEDULE IV  
SPECTRUM DRIVE EXTENSION - SOUTH

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION	UNIT PRICE \$	TOTAL \$
701	1	EA.	Furnish and Install TS-2 Cabinet & ASC/2S-1000 Signal Controller,  Complete in Place, for the Sum of <u>THIRTEEN THOUSAND</u> <u>NINE HUNDRED FIFTY</u> Dollars and <u>NO</u> Cents per unit.	13,950.-	13,950.-
702	1	EA.	Furnish and Install Traffic Signal Controller Foundation,  Complete in Place, for the Sum of <u>FOURTEEN HUNDRED</u> <u>EIGHTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	1,485.-	1,485.-
703	4	EA.	Furnish and Install Type C Pull Boxes with concrete apron,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	400.-	1,600.-
704	1,211	L.F.	Furnish and Install Electrical Conductor, #6 XHHW Wire (Power),  Complete in Place, for the Sum of <u>NO</u> Dollars and <u>SIXTY</u> Cents per unit.	.60	726.60
705	717	L.F.	Furnish and Install Electrical Conductor, #6 AWG CU Wire (Ground),  Complete in Place, for the Sum of <u>NO</u> Dollars and <u>SEVENTY</u> Cents per unit.	.70	501.90

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
706	430	L.F.	Furnish and Install Traffic Signal Cable, 16 Cond., #14 Cable,  Complete in Place, for the Sum of <u>THREE</u> Dollars and <u>THIRTY FIVE</u> Cents per unit.	3.35	1,440.50
707	430	L.F.	Furnish and Install Traffic Signal Cable, #18 AWG Video Cable,  Complete in Place, for the Sum of <u>ONE</u> Dollars and <u>SEVENTY</u> Cents per unit.	1.70	731.-
708	430	L.F.	Furnish and Install Traffic Signal Cable, #18 AWG CU Wire, ILSNS,  Complete in Place, for the Sum of <u>NO</u> Dollars and <u>SEVENTY FIVE</u> Cents per unit.	.75	322.50
709	18	L.F.	Furnish and Install 3" PVC Conduit with embedment,  Complete in Place, for the Sum of <u>TWELVE</u> Dollars and <u>NO</u> Cents per unit.	12.-	216.-
710	630	L.F.	Furnish and Install 4" PVC Conduit with embedment,  Complete in Place, for the Sum of <u>THREE</u> Dollars and <u>NO</u> Cents per unit.	3.-	1,890.-
711	222	L.F.	Furnish and Install Bored 4" PVC Conduit,  Complete in Place, for the Sum of <u>SIXTEEN</u> Dollars and <u>NO</u> Cents per unit.	16.-	3,552.-

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION OF UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT/BID \$
712	4	EA.	Furnish and Install Econolite MVP Solopro Video Detection Cameras,  Complete in Place, for the Sum of <u>Forty Seven Hundred</u> <u>SEVENTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	4,775.-	19,100.-
713	2	EA.	Furnish and Install Type 36-A Traffic Signal Foundation,  Complete in Place, for the Sum of <u>Forty Seven Hundred</u> <u>SEVENTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	4,775.-	9,550.-
714	2	EA.	Furnish and Install Type 48-A Traffic Signal Foundation,  Complete in Place, for the Sum of <u>NINETEEN Hundred</u>  Dollars and <u>NO</u> Cents per unit.	1,900.-	3,800.-
715	4	EA.	Furnish and Install Internally Lighted Street Name Signs,  Complete in Place, for the Sum of <u>THIRTY FOUR</u> <u>HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	3,400.-	13,600.-
716	8	EA.	Furnish and Install Pedestrian Signal with Countdown LED,  Complete in Place, for the Sum of <u>THIRTEEN Hundred</u> <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	1,350.-	10,800.-
717	1	EA.	Furnish and Install Steel Traffic Signal Pole Assembly, 1 Arm, 36 Feet,  Complete in Place, for the Sum of <u>THREE THOUSAND</u>  Dollars and <u>NO</u> Cents per unit.	3,000.-	3,000.-

ITEM NO.	ESTIM QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
718	1	EA.	Furnish and Install Steel Traffic Signal Pole Assembly, 1 Arm, 40 Feet,  Complete in Place, for the Sum of <u>THIRTY ONE</u> <u>HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	3,100.-	3,100.-
719	1	EA.	Furnish and Install Steel Traffic Signal Pole Assembly, 1 Arm, 50 Feet,  Complete in Place, for the Sum of <u>EIGHTY FOUR</u> <u>HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	8,400.-	8,400.-
720	1	EA.	Furnish and Install Steel Traffic Signal Pole Assembly, 1 Arm, 55 Feet,  Complete in Place, for the Sum of <u>EIGHTY FIVE</u> <u>HUNDRED</u> Dollars and <u>NO</u> Cents per unit.	8,500.-	8,500.-
721	8	EA.	Furnish and Install Pedestrian Detector Push Button,  Complete in Place, for the Sum of <u>ONE HUNDRED</u> <u>TEN</u> Dollars and <u>NO</u> Cents per unit.	110.-	880.-
722	13	EA.	Furnish and Install 12" LED Red Traffic Signal Lamp,  Complete in Place, for the Sum of <u>EIGHTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	85.-	1,105.-
723	13	EA.	Furnish and Install 12" LED Yellow Traffic Signal Lamp,  Complete in Place, for the Sum of <u>NINETY FIVE</u> Dollars and <u>NO</u> Cents per unit.	95.-	1,235.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
724	13	E.A.	Furnish and Install 12" LED Green Traffic Signal Lamp,  Complete in Place, for the Sum of <u>ONE HUNDRED SIXTY FOUR</u> Dollars and <u>NO</u> Cents per unit.	164.-	2,132.-
725	4	E.A.	Furnish and Install 12" LED Green & Yellow Arrow Traffic Signal Lamp,  Complete in Place, for the Sum of <u>ONE HUNDRED EIGHTY THREE</u> Dollars and <u>NO</u> Cents per unit.	183.-	732.-
726	4	E.A.	Furnish and Install Opticom,  Complete in Place, for the Sum of <u>ONE THOUSAND NINETY FIVE</u> Dollars and <u>NO</u> Cents per unit.	1,095.-	4,380.-

**SIGNALIZATION IMPROVEMENTS  
SCHEDULE IV  
SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE I, ITEMS 701 THROUGH 726, INCLUSIVE

\$ 116,729.<sup>50</sup>

STREET LIGHT IMPROVEMENTS (BASE BID)  
SCHEDULE V  
SPECTRUM DRIVE EXTENSION - SOUTH

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
801	2	EA.	Furnish and Install Meter Socket Base,  Complete in Place, for the Sum of <u>ONE HUNDRED</u> <u>TEN</u> Dollars and <u>NO</u> Cents per unit.	110.-	220.-
802	1	EA.	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock,  Complete in Place, for the Sum of <u>THIRTY THREE</u> <u>HUNDRED NINETY</u> Dollars and <u>NO</u> Cents per unit.	3,390.-	3,390.-
803	1	EA.	Furnish and Install Service Ground,  Complete in Place, for the Sum of <u>FORTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	45.-	45.-
804	1	EA.	Furnish and Install Panel Board with Breakers 120/240, 80A MCB,  Complete in Place, for the Sum of <u>ELEVEN HUNDRED</u> <u>SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	1,170.-	1,170.-
805	1	EA.	Furnish and Install Enclosure and Contactor,  Complete in Place, for the Sum of <u>EIGHT HUNDRED</u> <u>EIGHTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	885.-	885.-
806	1	EA.	Furnish and Install 7 Day Time Clock,  Complete in Place, for the Sum of <u>SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	70.-	70.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
807	1	EA.	Furnish and Install Photo Cell and Connections, Complete in Place, for the Sum of <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	30.-	30.-
808	20	EA.	Furnish and Install 2" GRC Elbow, Complete in Place, for the Sum of <u>FIFTEEN</u> Dollars and <u>NO</u> Cents per unit.	15.-	300.-
809	530	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>Forty</u> Cents per unit.	2.40	1,272.-
810	620	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>Forty FIVE</u> Cents per unit.	2.45	1,519.-
811	40	L.F.	Furnish and Install 2" GRC Conduit, Complete in Place, for the Sum of <u>SIX</u> Dollars and <u>Fifty</u> Cents per unit.	6.50	260.-
812	2	EA.	Furnish and Install 3" GRC Elbow, Complete in Place, for the Sum of <u>FIFTEEN</u> Dollars and <u>Fifty</u> Cents per unit.	11.50	23.-



ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION OF WORK PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
813	370	L.F.	Furnish and Install 3" PVC Schedule 40 Conduit with embedment,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>SEVENTY FIVE</u> Cents per unit.	2. <u>75</u>	1,017. <u>50</u>
814	15	EA.	Furnish and Install 3" GRC Conduit,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>TWENTY FIVE</u> Cents per unit.	3. <u>25</u>	48. <u>75</u>
815	36	EA.	Furnish and Install High Compression Tap,  Complete in Place, for the Sum of <u>THIRTEEN</u>  Dollars and <u>NO FIFTY</u> Cents per unit.	13. <u>50</u>	486. <u>-</u>
816	10	L.F.	Furnish and Install #10 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>TWENTY FIVE</u> Cents per unit.	. <u>25</u>	2. <u>50</u>
817	1,500	L.F.	Furnish and Install #8 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>THIRTY FIVE</u> Cents per unit.	. <u>35</u>	525. <u>-</u>
818	-0-	L.F.	Furnish and Install #6 AWG Conductor,  Complete in Place, for the Sum of   Dollars and Cents per unit.		

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION OF WORK PRICE IN WORDS	UNIT PRICE \$	TOTAL PRICE \$
819	-0-	L.F.	Furnish and Install #4 AWG Conductor,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
820	4	EA.	Furnish and Install Steel Light Pull Box,  Complete in Place, for the Sum of <u>TWO HUNDRED</u> <u>THIRTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	235.-	940.-
821	7	EA.	Furnish and Install Pedestrian Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	480.-	3,360.-
822	7	EA.	Furnish and Install Pedestrian Light Pole and Luminaires Fixtures (2 Fixtures each pole),  Complete in Place, for the Sum of <u>THIRTY FIVE HUNDRED</u> <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	3,550.-	24,850.-
823	2	EA.	Furnish and Install Vehicular Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	480.-	960.-
824	2	EA.	Furnish and Install Vehicular Pole and Single Luminaire,  Complete in Place, for the Sum of <u>TWENTY EIGHT</u> <u>HUNDRED FIFTY</u> Dollars and <u>NO</u> Cents per unit.	2,850.-	5,700.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
825	1	E.A.	Furnish and Install 30 AMP disconnect Switch with Fuses,  Complete in Place, for the Sum of <u>TWO HUNDRED</u> <u>SEVENTY FIVE</u> Dollars and <u>NONE</u> Cents per unit.	275.-	275.-

STREET LIGHT IMPROVEMENTS (BASE BID)  
**SCHEDULE V**  
SPECTRUM DRIVE EXTENSION - SOUTH

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE V ITEMS 801 THROUGH 825, INCLUSIVE

\$ 47,348.<sup>75</sup>

STREET LIGHT IMPROVEMENTS (ALTERNATE BID)  
SCHEDULE VI  
SPECTRUM DRIVE EXTENSION - SOUTH

IFBM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
801	2	EA.	Furnish and Install Meter Socket Base,  Complete in Place, for the Sum of <u>ONE HUNDRED</u> <u>TEN</u> Dollars and <u>NO</u> Cents per unit.	110.-	220.-
802	1	EA.	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock,  Complete in Place, for the Sum of <u>THIRTY THREE</u> <u>HUNDRED NINETY</u> Dollars and <u>NO</u> Cents per unit.	3,390.-	3,390.-
803	1	EA.	Furnish and Install Service Ground,  Complete in Place, for the Sum of <u>FORTY FIVE</u> Dollars and <u>NO</u> Cents per unit.	45.-	45.-
804	1	EA.	Furnish and Install Panel Board with Breakers 120/240, 80A MCB,  Complete in Place, for the Sum of <u>ELEVEN HUNDRED</u> <u>SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	1,170.-	1,170.-
805	1	EA.	Furnish and Install Enclosure and Contactor,  Complete in Place, for the Sum of <u>EIGHT HUNDRED</u> <u>Eighty Five</u> Dollars and <u>NO</u> Cents per unit.	885.-	885.-
806	1	EA.	Furnish and Install 7 Day Time Clock,  Complete in Place, for the Sum of <u>SEVENTY</u> Dollars and <u>NO</u> Cents per unit.	70.-	70.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BIDS \$
807	1	EA.	Furnish and Install Photo Cell and Connections, Complete in Place, for the Sum of <u>THIRTY</u> Dollars and <u>NO</u> Cents per unit.	30.-	30.-
808	21	EA.	Furnish and Install 2" GRC Elbow, Complete in Place, for the Sum of <u>FIFTEEN</u> Dollars and <u>NO</u> Cents per unit.	15.-	315.-
809	665	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>FORTY</u> Cents per unit.	2.40	1,596.-
810	185	L.F.	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment, Complete in Place, for the Sum of <u>TWO</u> Dollars and <u>FORTY FIVE</u> Cents per unit.	2.45	453.25
811	80	L.F.	Furnish and Install 2" GRC Conduit, Complete in Place, for the Sum of <u>SIX</u> Dollars and <u>FIFTY</u> Cents per unit.	6.50	520.-
812	2	EA.	Furnish and Install 3" GRC Elbow, Complete in Place, for the Sum of <u>ELEVEN</u> Dollars and <u>FIFTY</u> Cents per unit.	11.50	23.-

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
813	30	LF.	Furnish and Install 3" PVC Schedule 40 Conduit with embedment,  Complete in Place, for the Sum of <u>TWO</u>  Dollars and <u>SEVENTY FIVE</u> Cents per unit.	<u>2.75</u>	<u>82.50</u>
814	15	EA.	Furnish and Install 3" GRC Conduit,  Complete in Place, for the Sum of <u>THREE</u>  Dollars and <u>TWENTY FIVE</u> Cents per unit.	<u>3.25</u>	<u>48.75</u>
815	36	EA.	Furnish and Install High Compression Tap,  Complete in Place, for the Sum of <u>THIRTEEN</u>  Dollars and <u>FIFTY</u> Cents per unit.	<u>13.50</u>	<u>486.-</u>
816	10	LF.	Furnish and Install #10 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>TWENTY FIVE</u> Cents per unit.	<u>.25</u>	<u>2.50</u>
817	2,100	LF.	Furnish and Install #8 AWG Conductor,  Complete in Place, for the Sum of <u>NO</u>  Dollars and <u>THIRTY FIVE</u> Cents per unit.	<u>.35</u>	<u>735.-</u>
818	-0-	L.F.  AFC	Furnish and Install #6 AWG Conductor, <u>NO</u> Complete in Place for the Sum of <u>FOUR THOUSAND</u> <u>FIFTY</u> Dollars and <u>NO</u> Cents per unit.	A/c  0 <u>400.-</u>	A/c  0 <u>3,360.-</u>

ITEM NO.	ESTIMATE QTY.	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT \$
819	-0-	L.F.	Furnish and Install #4 AWG Conductor,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
820	-0-	EA.	Furnish and Install Steel Light Pull Box,  Complete in Place, for the Sum of  Dollars and Cents per unit.		
821	7	EA.	Furnish and Install Pedestrian Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	480.-	3,360.-
822	7	EA.	Furnish and Install Pedestrian Light Pole and Luminaries Fixtures (2 Fixtures each pole),  Complete in Place, for the Sum of <u>THIRTY FIVE</u> <u>HUNDRED FIFTY</u> Dollars and <u>NO</u> Cents per unit.	3,550.-	24,850.-
823	2	EA.	Furnish and Install Vehicular Pole Light Foundation,  Complete in Place, for the Sum of <u>FOUR HUNDRED</u> <u>EIGHTY</u> Dollars and <u>NO</u> Cents per unit.	480.-	960.-
824	2	EA.	Furnish and Install Vehicular Pole and Single Luminaire,  Complete in Place, for the Sum of <u>TWENTY EIGHT</u> <u>HUNDRED FIFTY</u> Dollars and <u>NO</u> Cents per unit.	2,850.-	5,700.-

ITEM NO.	ESTIM. QTY.	UNIT	DESCRIPTION OF WORK PRICE IN WORDS	UNIT PRICE \$	TOTAL PRICE \$
825	-0-	E.A.	Furnish and Install 30 AMP disconnect Switch with Fuses,  Complete in Place, for the Sum of  _____ _____ Dollars and _____ Cents per unit.		

STREET LIGHT IMPROVEMENTS (ALTERNATE BID)  
**SCHEDULE VI**  
SPECTRUM DRIVE EXTENSION - SOUTH

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE VI, ITEMS 801 THROUGH 825, INCLUSIVE

\$ 1,253,971.<sup>95</sup> AfC  
44,942.-




PAVING, UTILITIES, STREETScape, SIGNALIZATION & STREET LIGHTING  
BID SCHEDULE SUMMARY  
SPECTRUM DRIVE EXTENSION - SOUTH

<u>Bid Schedule &amp; Description</u>	<u>Total Amount Materials &amp; Services</u>
I Paving Improvements	\$ <u>453,345.-</u>
II Utility Improvements	\$ <u>385,971.-</u>
III Streetscape Improvements	\$ <u>250,577.<sup>70</sup></u>
IV Signalization Improvements	\$ <u>114,729.<sup>50</sup></u>
V Street Lighting (Base Bid)	\$ <u>47,348.<sup>75</sup></u>
<b>TOTAL PAVING, UTILITY, STREETScape, SIGNALIZATION &amp; STREET LIGHTING BASE BID</b>	\$ <u>1,253,971.<sup>95</sup></u>
VI Street Lighting (Alternate Bid)	\$ <u>44,942.-</u>

**PAVING, UTILITIES, STREETScape, SIGNALIZATION & STREET LIGHTING  
 BID SCHEDULE SUMMARY  
 SPECTRUM DRIVE EXTENSION - TOTAL PROJECT**

<u>Bid Schedule &amp; Description</u>	<u>Total Amount Materials &amp; Services</u>
I Paving Improvements	\$ <u>1,056,578.<sup>30</sup></u>
II Utility Improvements	\$ <u>855,337.<sup>40</sup></u>
III Streetscape Improvements	\$ <u>493,299.<sup>40</sup></u>
IV Signalization Improvements	\$ <u><del>47,348.<sup>25</sup></del> <sup>116,729.<sup>50</sup></sup></u>
V Street Lighting (Base Bid)	\$ <u>202,335.<sup>75</sup></u>
<b>TOTAL PAVING, UTILITY, STREETScape, SIGNALIZATION &amp; STREET LIGHTING BASE BID STANDARD BID "A"</b>	\$ <u>2,724,280.<sup>75</sup></u>
CALENDAR DAYS <u>220</u> X \$2,500 PER DAY TIME BID "B"	\$ <u>550,000.<sup>-</sup></u>
<b>TOTAL BID (STANDARD BID "A" + TIME BID "B")</b>	\$ <u>3,274,280.<sup>75</sup></u>
VI Street Lighting (Alternate Bid)	\$ <u>196,361.<sup>50</sup></u>

  
 ANTHONY COLOMAO  
 VICE PRESIDENT  
 TEXAS-STERLING CONSTRUCTION, L.P.

**PAVING, UTILITIES, STREETScape, SIGNALIZATION & STREET LIGHTING  
 BID SCHEDULE SUMMARY  
 SPECTRUM DRIVE EXTENSION - TOTAL PROJECT**

*Reb cur*

<u>Bid Schedule &amp; Description</u>	<u>Total Amount Materials &amp; Services</u>
I Paving Improvements	\$ <del>800,000.00</del> <u>840,413.00</u>
II Utility Improvements	\$ <del>700,000.00</del> <u>840,751.06</u>
III Streetscape Improvements	\$ <del>250,000.00</del> <u>506,422.25</u>
IV Signalization Improvements	\$ <del>111,995.25</del> <u>111,395.25</u>
V Street Lighting (Base Bid)	\$ <del>52,000.00</del> <u>222,612.10</u>
<b>TOTAL PAVING, UTILITY, STREETScape,        SIGNALIZATION &amp; STREET LIGHTING BASE BID        STANDARD BID "A"</b>	\$ <del>1,714,000.00</del> <u>2,529,593.66</u>
<b>CALENDAR DAYS <u>270</u> X \$2,500 PER DAY        TIME BID "B"</b>	\$ <u>675,000.00</u>
<b>TOTAL BID (STANDARD BID "A" + TIME BID "B")</b>	\$ <u>3,204,593.66</u>
VI Street Lighting (Alternate Bid)	\$ <del>100,000.00</del> <u>216,040.80</u>

*PW*

**COPY**

PAVING, UTILITIES, STREETScape, SIGNALIZATION & STREET LIGHTING

BID SCHEDULE SUMMARY

SPECTRUM DRIVE EXTENSION - NORTH

Bid Schedule & Description	Total Amount Materials & Services
I Paving Improvements	\$ <u>520,384.50</u>
II Utility Improvements	\$ <u>471,346.86</u>
III Streetscape Improvements	\$ <u>242,565.44</u>
IV Signalization Improvements	\$ <u><del>1,017,515.90</del> (M)</u>
V Street Lighting (Base Bid)	\$ <u>170,515.90</u>
<b>TOTAL PAVING, UTILITY, STREETScape, SIGNALIZATION &amp; STREET LIGHTING BASE BID</b>	\$ <u><u>1,404,812.70</u></u>
VI Street Lighting (Alternate Bid)	\$ <u>166,592.90</u>

**PAVING, UTILITIES, STREETSCAPE, SIGNALIZATION & STREET LIGHTING  
BID SCHEDULE SUMMARY  
SPECTRUM DRIVE EXTENSION - SOUTH**

<u>Bid Schedule &amp; Description</u>	<u>Total Amount Materials &amp; Services</u>
I Paving Improvements	\$ <u>328,028.50</u>
II Utility Improvements	\$ <u>369,404.20</u>
III Streetscape Improvements	\$ <u>263,856.81</u>
IV Signalization Improvements	\$ <u>111,395.25</u>
V Street Lighting (Base Bid)	\$ <u>52,096.20</u>
<b>TOTAL PAVING, UTILITY, STREETSCAPE, SIGNALIZATION &amp; STREET LIGHTING BASE BID</b>	\$ <u>1,124,780.96</u>
VI Street Lighting (Alternate Bid)	\$ <u>49,447.90</u>

**PAVING IMPROVEMENTS**  
**SCHEDULE I**  
**SPECTRUM DRIVE EXTENSION - NORTH**

ITEM NO	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
101	1	LS	Mobilization	\$75,000.00	\$75,000.00
102	114	LF	Full Depth sawcut existing concrete	\$5.00	\$570.00
103	19	SY	Remove and dispose of existing concrete and asphalt pavement, including curb	\$50.00	\$950.00
104	6859	SY	Furnish, place and compact 6" thick lime stabilized subgrade	\$2.80	\$19,205.20
105	113.1	TON	Furnish and place hydrated lime (33 lbs/sy)	\$89.00	\$10,065.90
106	6229	SY	Furnish and place 8" thick 5,000 PSI compressive @ 28 days reinforced concrete pavement	\$45.00	\$280,305.00
107	152	SY	Furnish and place 6" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab (street)	\$55.00	\$8,360.00
108	112	SY	Furnish and place 8" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab (street)	\$60.00	\$6,720.00
109	3194	LF	Furnish and place 6" thick 5,000 PSI compressive @ 28 days integral concrete curb	\$1.00	\$3,194.00
110	111	LF	Furnish and construct longitudinal butt joint	\$5.00	\$555.00
111	23	LF	Furnish and construct reinforced concrete street header	\$25.00	\$575.00
112	2372	SF	Furnish A-cme-vehicular brick paver materials, delivered to site	\$4.70	\$11,148.40
113	2372	SF	Furnish and place bedding materials and place vehicular brick pavers	\$2.40	\$5,692.80
114	23	LF	Furnish and place 24" wide Thermoplastic Stop Line	\$7.00	\$161.00
115	1942	LF	Furnish and place 4" wide Thermoplastic Stripe	\$1.10	\$2,136.20
116	21	EA	Furnish and place 4" Reflective Buttons, Type I-C	\$6.00	\$126.00
117	140	EA	Furnish and place 4" Reflective Buttons, Type II, A-A	\$6.00	\$840.00
118	5	EA	Furnish and install street & traffic control signs	\$330.00	\$1,650.00
119	1	EA	Furnish and install Street Name Sign and mounting hardware and appurtenances	\$150.00	\$150.00

120	1	EA	Furnish and install Unistrut-Telespar street sign post, foundation, mounting hardware and appurtenances	\$200.00	\$200.00
121	44	LF	Remove existing Street Barricade and posts	\$5.00	\$220.00
122	50	LF	Furnish and install Street Barricade and posts	\$35.00	\$1,750.00
123	1	LS	Furnish, place and maintain barricading, signing and traffic control	\$10,000.00	\$10,000.00
124	20400	CY	Unclassified Street Excavation including disposal	\$3.00	\$61,200.00
125	1	EA	Furnish and install Black Steel stop sign pole with TxDOT Triangular Break-Away Base	\$320.00	\$320.00
126	1	EA	Install Addison Circle finial on Black Steel pole finial to be supplied by the town	\$100.00	\$100.00
127	19	CY	Furnish, install and maintain stabilized Construction Entrance	\$100.00	\$1,900.00
128	1050	LF	Furnish, install and maintain Silt Fence	\$2.00	\$2,100.00
129	5	EA	Furnish, install and maintain Inlet Protection	\$250.00	\$1,250.00
130	0	LS	Furnish and Install Railroad Crossing, including ballast, sub-ballast, underdrain, ties and track work	\$80,000.00	\$0.00
131	0	SY	Furnish and install 4" HMA CP Base Course	\$20.00	\$0.00
132	0	SY	Furnish and install 2" HMA CP Surface Course	\$12.00	\$0.00
133	0	CY	Imported Fill	\$0.01	\$0.00
134	90	LF	Place 6" wide white thermoplastic crosswalk marker	\$150.00	\$13,500.00
135	2	EA	Place with thermoplastic directional arrow	\$220.00	\$440.00

**PAVING IMPROVEMENTS**  
**SCHEDULE I**  
**SPECTRUM DRIVE EXTENSION - NORTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE I, ITEMS 101 THROUGH 135, INCLUSIVE

\$ 520384.5

**UTILITY IMPROVEMENTS**  
**SCHEDULE II**  
**SPECTRUM DRIVE EXTENSION - NORTH**

ITEM NO	ESTIM. QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
201	9.8	CY	Furnish and install concrete blocking	\$110.00	\$1,078.00
202	1.1	TON	Furnish and install D.I. Fittings, CL. 250	\$5,000.00	\$5,500.00
203	30	LF	Furnish and install 6" dia. PVC AWWA C909 DR18 CL 150 water pipe, including embedment	\$25.00	\$750.00
204	489	LF	Furnish and install 8" dia. PVC AWWA C909 DR18 CL 150 water pipe, including embedment	\$26.00	\$12,714.00
205	1087	LF	Furnish and install 12" dia. PVC AWWA C909 DR18 CL 150 water pipe, including embedment	\$30.00	\$32,610.00
206	3	EA	Furnish and install 6" dia. resilient seat gate valve/box	\$550.00	\$1,650.00
207	13	EA	Furnish and install 8" dia. resilient seat gate valve/box	\$880.00	\$11,440.00
208	5	EA	Furnish and install 12" dia. resilient seat gate valve/box	\$1,320.00	\$6,600.00
209	3	EA	Furnish and install fire hydrant	\$1,760.00	\$5,280.00
210	2	EA	Connect to existing water main (all sizes)	\$440.00	\$880.00
211	0	LF	Furnish and install 24" steel casing pipe by bore, complete with casing spacers and end seals	\$220.00	\$0.00
212	1	EA	Furnish and install 2" Type K soft copper irrigation service	\$440.00	\$440.00
213	1	EA	Furnish and install 1.5" Hersey MVR 100 turbine meter	\$550.00	\$550.00
214	2	EA	Furnish and install Brooks products No. 65 17"x28" precast box	\$200.00	\$400.00
215	1	EA	Furnish and install 1.5" Febco 805Y double check valve assembly	\$330.00	\$330.00
215	38	LF	Furnish and install 2" Class 200 PVC sleeve	\$5.50	\$209.00
217	1596	LF	Furnish and install trench safety for construction	\$1.10	\$1,755.60
218	1	LS	Perform Water test	\$550.00	\$550.00
219	0	EA	Furnish and Install 2" Air Release Valve	\$3,300.00	\$0.00
220	0	LF	Furnish and Install 12" Dia. PVC AWWA C909, DR 18 CL150 Water Pipe in bore pipe	\$33.00	\$0.00
Subtotal Water					\$82,736.60
<b>STORM DRAINAGE</b>					
301	231	LF	Furnish and install 18" CL III RCP including embedment	\$42.00	\$9,702.00
302	59	LF	Furnish and install 21" CL III RCP including embedment	\$46.00	\$2,714.00



303	75	LF	Furnish and install 24" CL III RCP including embedment	\$51.00	\$3,825.00
304	188	LF	Furnish and install 27" CL III RCP including embedment	\$58.00	\$10,904.00
305	26	LF	Furnish and install 30" CL III RCP including embedment	\$65.00	\$1,690.00
306	46	LF	Furnish and install 33" CL III RCP including embedment	\$74.00	\$3,404.00
307	261	LF	Furnish and install 36" CL III RCP including embedment	\$84.00	\$21,924.00
308	428	LF	Furnish and install 42" CL III RCP including embedment	\$107.00	\$45,796.00
309	0		Furnish and install 48" CL III RCP including embedment	\$121.00	\$0.00
310	0		Furnish and install 6'x3' CL III RCBC including embedment	\$212.30	\$0.00
311	0		Furnish and install 6'x4' CL III RCBC including embedment	\$231.00	\$0.00
312	0		Furnish and install 24" RCP Flow Equalizers	\$137.50	\$0.00
313	1	EA	Remove and dispose of existing concrete inlet	\$600.00	\$600.00
314	0	LF	Remove and dispose of existing RCP	\$13.20	\$0.00
315	0	EA	box @ STA 1+59.41, Storm Drain Line T	\$13,530.00	\$0.00
316	2	EA	Furnish and install 6' standard inlet w/recessed top for brick	\$1,760.00	\$3,520.00
317	3	EA	Furnish and install 6' standard inlet w/recessed top for brick, extra depth	\$2,090.00	\$6,270.00
318	0	EA	Furnish and install 10' standard inlet w/recessed top for brick, extra depth	\$2,640.00	\$0.00
319	2	EA	Furnish and install Type B Manhole	\$3,520.00	\$7,040.00
320	0	EA	Furnish and install Type B Headwall	\$660.00	\$0.00
321	15	EA	Furnish and install RCP 60 degree factory wye connection	\$110.00	\$1,650.00
322	3	EA	Furnish and install connection to existing pipe	\$220.00	\$660.00
323	0	EA	Furnish and install connection to existing structure	\$1,100.00	\$0.00
324	11	EA	Furnish and install precast concrete pipe plug	\$55.00	\$605.00
325	0	LS	Remove & Dispose of Existing headwalls & concrete rip-rap	\$2,750.00	\$0.00
<b>Subtotal Storm Drain</b>					<b>\$120,304.00</b>
<b>WASTEWATER</b>					
401	1235	LF	Furnish and install 8" dia. SDR-26 PVC wastewater pipe, including embedment	\$25.30	\$31,245.50

402	409	LF	Furnish and install 6" dia. SDR-35 PVC wastewater pipe, including embedment	\$23.10	\$9,447.90
403	9	EA	Furnish and install 2-way clean out & cast iron lid	\$440.00	\$3,960.00
404	3	EA	Furnish and install 4' dia. Wastewater manhole	\$2,750.00	\$8,250.00
405	3	EA	Furnish and install 8" dia. Wastewater pipe plug	\$27.50	\$82.50
406	1235	LF	Furnish and provide TV inspection of wastewater lines	\$1.10	\$1,358.50
407	1235	LF	Furnish and provide trench safety for wastewater line construction	\$1.10	\$1,358.50
408	1	EA	Connect to existing wastewater lines	\$440.00	\$440.00
Subtotal Wastewater					\$56,142.90
<b>ELECTRICAL DUCTBANK</b>					
501	1052.000	LF	Furnish and install 8-6" PVC Type DB conduits, encased in concrete	\$169.68	\$178,503.36
502	1.000	EA	Connect to existing ductbank	\$990.00	\$990.00
503	2.000	EA	Furnish and install standard 4-way electrical ductbank manhole	\$9,900.00	\$19,800.00
504	1.000	EA	Furnish and install standard 3-way electrical ductbank manhole	\$9,900.00	\$9,900.00
505	3.000	EA	Furnish and Install concrete ductbank end plug	\$990.00	\$2,970.00

**UTILITY IMPROVEMENTS**  
**SCHEDULE II**  
**SPECTRUM DRIVE EXTENSION - NORTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES;  
SCHEDULE II, ITEMS 201 THROUGH 505 INCLUSIVE

\$ 471346.86

**STREETSCAPE IMPROVEMENTS**  
**SCHEDULE III**  
**SPECTRUM DRIVE EXTENSION - NORTH**

ITEM NO.	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
601	1	LS	Furnish and install irrigation system, including power and telephone controllers	\$14,000.00	\$14,000.00
602	23	EA	Furnish and install 60" square tree Grate	\$2,000.00	\$46,000.00

603	1841	LF	Furnish and install 4" PVC Sch 40 subdrain system	\$18.00	\$33,138.00
604	41	EA	Furnish and plant Red Oak, 200 Gal., 6", 18' ht, 12'-14" spread, container grown	\$1,210.00	\$49,610.00
605	390	EA	Furnish and plant Dwarf Yaupon Holly, 1 gal	\$4.40	\$1,716.00
606	130	EA	Furnish and plant full Daylily 'Stella de Oro', 1 gal	\$3.30	\$429.00
607	130	EA	Furnish and plant Yellow Bearded Iris, 1 gal	\$6.60	\$858.00
608	286	EA	Furnish and plant Daffodil 'Grand Primo', 1 gal	\$1.38	\$394.68
609	78	EA	Furnish and plant Bleeding Heart, 1 gal	\$8.80	\$686.40
610	9574	SF	Furnish and place 4" thick 3000 PSI compressive @28 days reinforced concrete subbase (sidewalk)	\$5.00	\$47,870.00
611	9574	SF	Furnish Glen-Gery pedestrian brick paver materials delivered to site	\$3.22	\$30,828.28
612	9574	SF	Furnish and place bedding materials and place pedestrian brick pavers (sidewalk)	\$1.67	\$15,988.58
613	70	SF	Furnish and install truncated dome pavers on new ramps	\$14.95	\$1,046.50
614	0	CY	Furnish and Install concrete retaining wall, backfill, and drains	\$600.00	\$0.00
615	0	LF	Furnish and Install Bike Rail on Retaining Wall	\$120.00	\$0.00

**STREETSCAPE IMPROVEMENTS**

**SCHEDULE III**

SPECTRUM DRIVE EXTENSION - NORTH

TOTAL AMOUNT BID FOR MATERIALS AND SERVICE,  
SCHEDULE III, ITEMS 601 THROUGH 615, INCLUSIVE

\$ 242565.44

**STREET LIGHT IMPROVEMENTS (BASE BID)**

**SCHEDULE V**

SPECTRUM DRIVE EXTENSION - NORTH

ITEM NO	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
801	2	EA	Furnish and Install Meter Socket Base	\$121.00	\$242.00

802	1	EA	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock	\$3,729.00	\$3,729.00
803	1	EA	Furnish and Install Service Ground	\$49.50	\$49.50
804	1	EA	Furnish and Install Panel Board with Breaker 120/240, 80A MCB	\$1,287.00	\$1,287.00
805	1	EA	Furnish and Install Enclosure and Contactor	\$973.50	\$973.50
806	1	EA	Furnish and Install 7 Day Time Clock	\$77.00	\$77.00
807	1	EA	Furnish and Install Photo Cell and Connections	\$33.00	\$33.00
808	57	EA	Furnish and Install 2" GRC Elbow	\$16.50	\$940.50
809	2210	LF	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment	\$2.64	\$5,834.40
810	2510	LF	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment	\$2.75	\$6,902.50
811	156	LF	Furnish and Install 2" GRC Conduit	\$7.15	\$1,115.40
812	4	EA	Furnish and Install 3" GRC Elbow	\$12.65	\$50.60
813	300	LF	Furnish and Install 3" PVC Schedule 40 Conduit with Embedment	\$3.03	\$909.00
814	30	EA	Furnish and Install 3" GRC Conduit	\$3.58	\$107.40
815	50	EA	Furnish and Install High Compression Tap	\$14.85	\$742.50
816	60	LF	Furnish and Install #10 AWG Conductor	\$0.28	\$16.80
817	2610	LF	Furnish and Install #8 AWG Conductor	\$0.39	\$1,017.90
818	0	LF	Furnish and Install #6 AWG Conductor	\$1.00	\$0.00
819	3040	LF	Furnish and Install #4 AWG Conductor	\$0.61	\$1,854.40
820	11	EA	Furnish and Install Street Light Pull Box	\$242.00	\$2,662.00
821	27	EA	Furnish and Install Pedestrian Pole Light Foundation	\$528.00	\$14,256.00
822	27	EA	Furnish and Install Pedestrian Light Pole and Luminaries Fixtures (2 Fixtures each pole)	\$3,905.00	\$105,435.00
823	6	EA	Furnish and Install Vehicular Light Pole Foundation	\$528.00	\$3,168.00
824	6	EA	Furnish and Install Vehicular Pole and Single Luminaire	\$3,135.00	\$18,810.00
825	1	EA	Furnish and Install 30 AMP disconnect Switch with Fuses	\$302.50	\$302.50

**STREET LIGHT IMPROVEMENTS (BASE BID)**  
**SCHEDULE V**

SPRECTRUM DRIVE EXTENSION - NORTH

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
 SHEDULE V, ITEMS 801 THROUGH 825, INCLUSIVE

\$ 170515.9

**STREET LIGHT IMPROVEMENTS (ALTERNATE BID)**  
 SCHEDULE VI  
 SPECTRUM DRIVE EXTENSION - NORTH

ITEM NO	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
801	2	EA	Furnish and Install Meter Socket Base	\$121.00	\$242.00
802	1	EA	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock	\$3,729.00	\$3,729.00
803	1	EA	Furnish and Install Service Ground	\$49.50	\$49.50
804	1	EA	Furnish and Install Panel Board with Breaker 120/240, 80A MCB	\$1,287.00	\$1,287.00
805	1	EA	Furnish and Install Enclosure and Contactor	\$973.50	\$973.50
806	1	EA	Furnish and Install 7 Day Time Clock	\$77.00	\$77.00
807	1	EA	Furnish and Install Photo Cell and Connections	\$33.00	\$33.00
808	56	EA	Furnish and Install 2" GRC Elbow	\$16.50	\$924.00
809	2285	LF	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment	\$2.64	\$6,032.40
810	425	LF	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment	\$2.70	\$1,147.50
811	156	LF	Furnish and Install 2" GRC Conduit	\$7.15	\$1,115.40
812	2	EA	Furnish and Install 3" GRC Elbow	\$12.65	\$25.30
813	150	LF	Furnish and Install 3" PVC Schedule 40 Conduit with Embedment	\$3.03	\$454.50
814	15	EA	Furnish and Install 3" GRC Conduit	\$3.58	\$53.70
815	50	EA	Furnish and Install High Compression Tap	\$14.85	\$742.50
816	30	LF	Furnish and Install #10 AWG Conductor	\$0.28	\$8.40
817	2630	LF	Furnish and Install #8 AWG Conductor	\$0.39	\$1,025.70
818	2890	LF	Furnish and Install #6 AWG Conductor	\$0.44	\$1,271.60
819	3040	LF	Furnish and Install #4 AWG Conductor	\$0.61	\$1,854.40

820	15	EA	Furnish and Install Street Light Pull Box	\$258.50	\$3,877.50
821	27	EA	Furnish and Install Pedestrian Pole Light Foundation	\$528.00	\$14,256.00
822	27	EA	Furnish and Install Pedestrian Light Pole and Luminaries Fixtures (2 Fixtures each pole)	\$3,905.00	\$105,435.00
823	6	EA	Furnish and Install Vehicular Light Pole Foundation	\$528.00	\$3,168.00
824	6	EA	Furnish and Install Vehicular Pole and Single Luminare	\$3,135.00	\$18,810.00
825	0	EA	Furnish and Install 30 AMP disconnect Switch with Fuses	\$0.00	\$0.00

**STREET LIGHT IMPROVEMENTS (ALTERNATE BID)**

**SCHEDULE VI**

**SPRECTRUM DRIVE EXTENSION - NORTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE VI, ITEMS 801 THROUGH 825, INCLUSIVE

\$ 166592.9

**PAVING IMPROVEMENTS**  
**SCHEDULE I**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

ITEM NO	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
101	1	LS	Mobilization	\$60,000.00	\$60,000.00
102	143	LF	Full Depth sawcut existing concrete	\$5.00	\$715.00
103	11	SY	Remove and dispose of existing concrete and asphalt pavement, including curb	\$50.00	\$550.00
104	3115	SY	Furnish, place and compact 6" thick lime stabilized subgrade	\$2.80	\$8,722.00
105	51.4	TON	Furnish and place hydrated lime (33 lbs/sy)	\$89.00	\$4,574.60
106	3000	SY	Furnish and place 8" thick 5,000 PSI compressive @ 28 days reinforced concrete pavement	\$50.00	\$150,000.00
107	0	SY	Furnish and place 6" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab (street)	\$55.00	\$0.00
108	0	SY	Furnish and place 8" thick 5,000 PSI compressive @ 28 days reinforced concrete drop slab (street)	\$60.00	\$0.00
109	1834	LF	Furnish and place 6" thick 5,000 PSI compressive @ 28 days integral concrete curb	\$1.00	\$1,834.00
110	118	LF	Furnish and construct longitudinal butt joint	\$5.00	\$590.00
111	0	LF	Furnish and construct reinforced concrete street header	\$25.00	\$0.00
112	0	SF	Furnish Acme vehicular brick paver materials, delivered to site	\$4.70	\$0.00
113	0	SF	Furnish and place bedding materials and place vehicular brick pavers	\$2.40	\$0.00
114	35	LF	Furnish and place 24" wide Thermoplastic Stop Line	\$6.60	\$231.00
115	594	LF	Furnish and place 4" wide Thermoplastic Stripe	\$1.10	\$653.40
116	37	EA	Furnish and place 4" Reflective Buttons, Type I-C	\$5.50	\$203.50
117	76	EA	Furnish and place 4" Reflective Buttons, Type II, A-A	\$5.50	\$418.00
118	5	EA	Furnish and install street & traffic control signs	\$330.00	\$1,650.00
119	0	EA	Furnish and install Street Name Sign and mounting hardware and appurtenances	\$200.00	\$0.00

120	0	EA	Furnish and install Unistrut-Telespar street sign post, foundation, mounting hardware and appurtenances	\$200.00	\$0.00
121	0	LF	Remove existing Street Barricade and posts	\$25.00	\$0.00
122	0	LF	Furnish and install Street Barricade and posts	\$50.00	\$0.00
123	1	LS	Furnish, place and maintain barricading, signing and traffic control	\$5,000.00	\$5,000.00
124	0	CY	Unclassified Street Excavation including disposal	\$3.00	\$0.00
125	0	EA	Furnish and install Black Steel stop sign pole with TxDOT Triangular Break-Away Base	\$300.00	\$0.00
126	0	EA	Install Addison Circle finial on Black Steel pole finial to be supplied by the town	\$100.00	\$0.00
127	19	CY	Furnish, install and maintain stabilized Construction Entrance	\$100.00	\$1,900.00
128	350	LF	Furnish, install and maintain Silt Fence	\$2.00	\$700.00
129	2	EA	Furnish, install and maintain Inlet Protection	\$350.00	\$700.00
130	1	LS	Furnish and Install Railroad Crossing, including ballast, sub-ballast, underdrain, ties and track work	\$80,000.00	\$80,000.00
131	237	SY	Furnish and install 4" HMA CP Base Course	\$20.00	\$4,740.00
132	237	SY	Furnish and install 2" HMA CP Surface Course	\$12.00	\$2,844.00
133	3400	CY	Imported Fill	\$0.01	\$34.00
134	460	LF	Place 6" wide white thermoplastic crosswalk marker	\$1.65	\$759.00
135	11	EA	Place with thermoplastic directional arrow	\$110.00	\$1,210.00

**PAVING IMPROVEMENTS**  
**SCHEDULE I**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE I, ITEMS 101 THROUGH 135, INCLUSIVE

\$ 328,028.50

**UTILITY IMPROVEMENTS**  
**SCHEDULE II**  
**SPECTRUM DRIVE EXTENSION - SOUTH**



ITEM NO	ESTIM. QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
<b>WATER</b>					
201	21.8	CY	Furnish and install concrete blocking	\$110.00	\$2,398.00
202	0.5	TON	Furnish and install D.I. Fittings, CL. 250	\$4,950.00	\$2,475.00
203	24	LF	Furnish and install 6" dia. PVC AWWA C909 DR18 CL 150 water pipe, including embedment	\$24.20	\$580.80
204	85	LF	Furnish and install 8" dia. PVC AWWA C909 DR18 CL 150 water pipe, including embedment	\$26.40	\$2,244.00
205	640	LF	Furnish and install 12" dia. PVC AWWA C909 DR18 CL 150 water pipe, including embedment	\$29.70	\$19,008.00
206	1	EA	Furnish and install 6" dia. resilient seat gate valve/box	\$550.00	\$550.00
207	4	EA	Furnish and install 8" dia. resilient seat gate valve/box	\$880.00	\$3,520.00
208	1	EA	Furnish and install 12" dia. resilient seat gate valve/box	\$1,320.00	\$1,320.00
209	1	EA	Furnish and install fire hydrant	\$1,760.00	\$1,760.00
210	2	EA	Connect to existing water main (all sizes)	\$440.00	\$880.00
211	126	LF	Furnish and install 24" steel casing pipe by bore, complete with casing spacers and end seals	\$220.00	\$27,720.00
212	1	EA	Furnish and install 2" Type K soft copper irrigation service	\$440.00	\$440.00
213	1	EA	Furnish and install 1.5" Hersey MVR 100 turbine meter	\$550.00	\$550.00
214	2	EA	Furnish and install Brooks products No. 65 17"x28" precast box	\$203.50	\$407.00
215	1	EA	Furnish and install 1.5" Febco 805Y double check valve assembly	\$330.00	\$330.00
216	30	LF	Furnish and install 2" Class 200 PVC sleeve	\$5.50	\$165.00
217	750	LF	Furnish and install trench safety for construction	\$1.10	\$825.00
218	1	LS	Perform Water test	\$550.00	\$550.00
219	2	EA	Furnish and Install 2" Air Release Valve	\$3,300.00	\$6,600.00
220	103	LF	Furnish and Install 12" Dia. PVC AWWA C909, DR 18 CL150 Water Pipe in bore pipe	\$33.00	\$3,399.00
Subtotal Water					\$75,721.80
<b>STORM DRAINAGE</b>					
301	153	LF	Furnish and install 18" CL III RCP including embedment	\$41.80	\$6,395.40

302	111	LF	Furnish and install 21" CL III RCP including embedment	\$46.20	\$5,128.20
303	0	LF	Furnish and install 24" CL III RCP including embedment	\$51.00	\$0.00
304	0	LF	Furnish and install 27" CL III RCP including embedment	\$58.00	\$0.00
305	0	LF	Furnish and install 30" CL III RCP including embedment	\$65.00	\$0.00
306	0	LF	Furnish and install 33" CL III RCP including embedment	\$74.00	\$0.00
307	0	LF	Furnish and install 36" CL III RCP including embedment	\$84.00	\$0.00
308	0	LF	Furnish and install 42" CL III RCP including embedment	\$107.00	\$0.00
309	740		Furnish and install 48" CL III RCP including embedment	\$121.00	\$89,540.00
310	284		Furnish and install 6'x3' CL III RCBC including embedment	\$212.30	\$60,293.20
311	450		Furnish and install 6'x4' CL III RCBC including embedment	\$231.00	\$103,950.00
312	2		Furnish and install 24" RCP Flow Equalizers	\$137.50	\$275.00
313	0	EA	Remove and dispose of existing concrete inlet	\$600.00	\$0.00
314	233	LF	Remove and dispose of existing RCP	\$13.20	\$3,075.60
315	1	EA	box @ STA 1+59.41, Storm Drain Line T	\$13,530.00	\$13,530.00
316	0	EA	Furnish and install 6' standard inlet w/recessed top for brick	\$1,760.00	\$0.00
317	0	EA	Furnish and install 6' standard inlet w/recessed top for brick, extra depth	\$2,090.00	\$0.00
318	2	EA	Furnish and install 10' standard inlet w/recessed top for brick, extra depth	\$2,640.00	\$5,280.00
319	0	EA	Furnish and install Type B Manhole	\$3,520.00	\$0.00
320	3	EA	Furnish and install Type B Headwall	\$660.00	\$1,980.00
321	2	EA	Furnish and install RCP 60 degree factory wye connection	\$165.00	\$330.00
322	2	EA	Furnish and install connection to existing pipe	\$0.00	\$0.00
323	1	EA	Furnish and install connection to existing structure	\$1,100.00	\$1,100.00
324	1	EA	Furnish and install precast concrete pipe plug	\$55.00	\$55.00
325	1	LS	Remove & Dispose of Existing headwalls & concrete rip-rap	\$2,750.00	\$2,750.00
Subtotal Storm Drain					\$293,682.40
<b>WASTEWATER</b>					
401	0	LF	Furnish and install 8" dia. SDR-26 PVC wastewater pipe, including embedment	\$25.30	\$0.00

402	0	LF	Furnish and install 6" dia. SDR-35 PVC wastewater pipe, including embedment	\$23.10	\$0.00
403	0	EA	Furnish and install 2-way clean out & cast iron lid	\$440.00	\$0.00
404	0	EA	Furnish and install 4' dia. Wastewater manhole	\$2,750.00	\$0.00
405	0	EA	Furnish and install 8" dia. Wastewater pipe plug	\$27.50	\$0.00
406	0	LF	Furnish and provide TV inspection of wastewater lines	\$1.10	\$0.00
407	0	LF	Furnish and provide trench safety for wastewater line construction	\$1.10	\$0.00
408	0	EA	Connect to existing wastewater lines	\$440.00	\$0.00
Subtotal Wastewater					\$0.00
<b>ELECTRICAL DUCTBANK</b>					
501	0.000	LF	Furnish and install 8-6" PVC Type DB conduits, encased in concrete	\$169.68	\$0.00
502	0.000	EA	Connect to existing ductbank	\$990.00	\$0.00
503	0.000	EA	Furnish and install standard 4-way electrical ductbank manhole	\$9,900.00	\$0.00
504	0.000	EA	Furnish and install standard 3-way electrical ductbank manhole	\$9,900.00	\$0.00
505	0.000	EA	Furnish and Install concrete ductbank end plug	\$990.00	\$0.00

**UTILITY IMPROVEMENTS**  
**SCHEDULE II**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE II, ITEMS 201 THROUGH 505 INCLUSIVE

\$ 369,404.20

**STREETSCAPE IMPROVEMENTS**  
**SCHEDULE III**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

ITEM NO.	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
601	1	LS	Furnish and install irrigation system, including power and telephone controllers	\$10,000.00	\$10,000.00
602	11	EA	Furnish and install 60" square tree Grate	\$2,000.00	\$22,000.00

603	544	LF	Furnish and install 4" PVC Sch 40 subdrain system	\$18.00	\$9,792.00
604	11	EA	Furnish and plant Red Oak, 200 Gal., 6", 18' ht, 12'-14" spread, container grown	\$1,210.00	\$13,310.00
605	0	EA	Furnish and plant Dwarf Yaupon Holly, 1 gal	\$4.40	\$0.00
606	0	EA	Furnish and plant full Daylily 'Stella de Oro', 1 gal	\$3.30	\$0.00
607	0	EA	Furnish and plant Yellow Bearded Iris, 1 gal	\$6.60	\$0.00
608	0	EA	Furnish and plant Daffodil 'Grand Primo', 1 gal	\$1.38	\$0.00
609	0	EA	Furnish and plant Bleeding Heart, 1 gal	\$8.80	\$0.00
610	16379	SF	Furnish and place 4" thick 3000 PSI compressive @28 days reinforced concrete subbase (sidewalk)	\$5.00	\$81,895.00
611	16379	SF	Furnish Glen-Gery pedestrian brick paver materials delivered to site	\$3.22	\$52,740.38
612	16379	SF	Furnish and place bedding materials and place pedestrian brick pavers (sidewalk)	\$1.67	\$27,352.93
613	70	SF	Furnish and install truncated dome pavers on new ramps	\$14.95	\$1,046.50
614	66	CY	Furnish and Install concrete retaining wall, backfill, and drains	\$600.00	\$39,600.00
615	51	LF	Furnish and Install Bike Rail on Retaining Wall	\$120.00	\$6,120.00

**STREETSCAPE IMPROVEMENTS**  
**SCHEDULE III**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICE,  
SCHEDULE III, ITEMS 601 THROUGH 615, INCLUSIVE

\$ 263,856.81

**SIGNILIZATION IMPROVEMENTS**  
**SCHEDULE IV**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

ITEM NO	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
701	1	EA	Furnish and Install TS-2 Cabinet & ASC/2S-1000 Signal Controller	\$15,345.00	\$15,345.00

702	1	EA	Furnish and Install Traffic Signal Controller Foundation	\$1,633.50	\$1,633.50
703	4	EA	Furnish and Install Type C Pull Boxes with concrete apron	\$440.00	\$1,760.00
704	1211	LF	Furnish and Install Electrical Conductor, #6 XHHW Wire (Power)	\$0.66	\$799.26
705	717	LF	Furnish and Install Electrical Conductor, #6 AWG CU Wire (Ground)	\$0.77	\$552.09
706	430	LF	Furnish and Install Traffic Signal Cable, 16 Cond., #14 Cable	\$3.69	\$1,586.70
707	430	LF	Furnish and Install Traffic Signal Cable, #18 AWG Video Cable	\$1.87	\$804.10
708	430	LF	Furnish and Install Traffic Signal Cable, #18 AWG CU Wire, ILSNS	\$0.83	\$356.90
709	18	LF	Furnish and Install 3" PVC Conduit with embedment	\$13.20	\$237.60
710	630	LF	Furnish and Install 4" PVC Conduit with embedment	\$4.07	\$2,564.10
711	222	LF	Furnish and Install Bored 4" PVC Conduit	\$17.60	\$3,907.20
712	4	EA	Furnish and Install Econolite MVP Solopro Video Detection Cameras	\$5,252.50	\$21,010.00
713	2	EA	Furnish and Install Type 36-A Traffic Signal Foundation	\$2,178.00	\$4,356.00
714	2	EA	Furnish and Install Type 48-A Traffic Signal Foundation	\$3,740.00	\$7,480.00
715	4	EA	Furnish and Install Internally Lighted Street Name Signs	\$1,485.00	\$5,940.00
716	8	EA	Furnish and Install Pedestrian Signal with Countdown LED	\$583.00	\$4,664.00
717	1	EA	Furnish and Install Steel Traffic Signal Pole Assemblr, 1 Arm, 36 Feet	\$3,399.00	\$3,399.00
718	1	EA	Furnish and Install Steel Traffic Signal Pole Assembly, 1 Arm, 40 Feet	\$3,490.30	\$3,490.30
719	1	EA	Furnish and Install Steel Traffic Signal Pole Assemblr, 1 Arm, 50 Feet	\$9,878.00	\$9,878.00
720	1	EA	Furnish and Install Steel Traffic Signal Pole Assemblr, 1 Arm, 55 Feet	\$10,199.20	\$10,199.20
721	7	EA	Furnish and Install Pedestrian Detector Push Button	\$121.00	\$847.00
722	13	EA	Furnish and Install 12" LED Red Traffic Signal Lamp	\$93.50	\$1,215.50
723	13	EA	Furnish and Install 12" LED Yellow Traffic Signal Lamp	\$107.80	\$1,401.40
724	13	EA	Furnish and Install 12" LED Green Traffic Signal Lamp	\$180.40	\$2,345.20
725	4	EA	Furnish and Install 12" LED Green & Yellow Arrow Traffic Signal Lamp	\$201.30	\$805.20
726	4	EA	Furnish and Install Opticom	\$1,204.50	\$4,818.00

**SIGNALIZATION IMPROVEMENTS**  
**SCHEDULE IV**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
 SCHEDULE IV, ITEMS 701 THROUGH 726, INCLUSIVE

\$ 111,395.25

**STREET LIGHT IMPROVEMENTS (BASE BID)**  
**SCHEDULE V**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

ITEM NO	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
801	2	EA	Furnish and Install Meter Socket Base	\$121.00	\$242.00
802	1	EA	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock	\$3,729.00	\$3,729.00
803	1	EA	Furnish and Install Service Ground	\$49.50	\$49.50
804	1	EA	Furnish and Install Panel Board with Breaker 120/240, 80A MCB	\$1,287.00	\$1,287.00
805	1	EA	Furnish and Install Enclosure and Contactor	\$973.50	\$973.50
806	1	EA	Furnish and Install 7 Day Time Clock	\$77.00	\$77.00
807	1	EA	Furnish and Install Photo Cell and Connections	\$33.00	\$33.00
808	20	EA	Furnish and Install 2" GRC Elbow	\$16.50	\$330.00
809	530	LF	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment	\$2.64	\$1,399.20
810	620	LF	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment	\$2.70	\$1,674.00
811	40	LF	Furnish and Install 2" GRC Conduit	\$7.15	\$286.00
812	2	EA	Furnish and Install 3" GRC Elbow	\$12.65	\$25.30
813	370	LF	Furnish and Install 3" PVC Schedule 40 Conduit with Embedment	\$3.03	\$1,121.10
814	15	EA	Furnish and Install 3" GRC Conduit	\$3.58	\$53.70
815	36	EA	Furnish and Install High Compression Tap	\$14.85	\$534.60
816	10	LF	Furnish and Install #10 AWG Conductor	\$0.28	\$2.80
817	1500	LF	Furnish and Install #8 AWG Conductor	\$0.39	\$585.00
818	0	LF	Furnish and Install #6 AWG Conductor	\$1.00	\$0.00

819	0	LF	Furnish and Install #4 AWG Conductor	\$1.00	\$0.00
820	4	EA	Furnish and Install Street Light Pull Box	\$258.50	\$1,034.00
821	7	EA	Furnish and Install Pedestrian Pole Light Foundation	\$528.00	\$3,696.00
822	7	EA	Furnish and Install Pedestrian Light Pole and Luminaries Fixtures (2 Fixtures each pole)	\$3,905.00	\$27,335.00
823	2	EA	Furnish and Install Vehicular Light Pole Foundation	\$528.00	\$1,056.00
824	2	EA	Furnish and Install Vehicular Pole and Single Luminare	\$3,135.00	\$6,270.00
825	1	EA	Furnish and Install 30 AMP disconnect Switch with Fuses	\$302.50	\$302.50

**STREET LIGHT IMPROVEMENTS (BASE BID)**  
**SCHEDULE V**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE V, ITEMS 801 THROUGH 825, INCLUSIVE

\$ 52,096.20

**STREET LIGHT IMPROVEMENTS (ALTERNATE BID)**  
**SCHEDULE VI**  
**SPECTRUM DRIVE EXTENSION - SOUTH**

ITEM NO.	ESTIM QTY	UNIT	DESCRIPTION & UNIT PRICE IN WORDS	UNIT PRICE \$	AMOUNT BID \$
801	2	EA	Furnish and Install Meter Socket Base	\$121.00	\$242.00
802	1	EA	Furnish and Install Enclosure to support Meter, Panel, Contactor, Enclosure and Time Clock	\$3,729.00	\$3,729.00
803	1	EA	Furnish and Install Service Ground	\$49.50	\$49.50
804	1	EA	Furnish and Install Panel Board with Breaker 120/240, 80A MCB	\$1,287.00	\$1,287.00
805	1	EA	Furnish and Install Enclosure and Contactor	\$973.50	\$973.50
806	1	EA	Furnish and Install 7 Day Time Clock	\$77.00	\$77.00
807	1	EA	Furnish and Install Photo Cell and Connections	\$33.00	\$33.00
808	21	EA	Furnish and Install 2" GRC Elbow	\$16.50	\$346.50
809	665	LF	Furnish and Install 2" PVC Schedule 40 Conduit (Pedestrian Lighting Circuit) with embedment	\$2.64	\$1,755.60

810	185	LF	Furnish and Install 2" PVC Schedule 40 Conduit with Pull Rope (Vehicular Street Lighting and Irrigation) with embedment	\$2.70	\$499.50
811	80	LF	Furnish and Install 2" GRC Conduit	\$7.15	\$572.00
812	2	EA	Furnish and Install 3" GRC Elbow	\$12.65	\$25.30
813	30	LF	Furnish and Install 3" PVC Schedule 40 Conduit with Embedment	\$3.03	\$90.90
814	15	EA	Furnish and Install 3" GRC Conduit	\$3.58	\$53.70
815	36	EA	Furnish and Install High Compression Tap	\$14.85	\$534.60
816	10	LF	Furnish and Install #10 AWG Conductor	\$0.28	\$2.80
817	2100	LF	Furnish and Install #8 AWG Conductor	\$0.39	\$819.00
818	0	LF	Furnish and Install #6 AWG Conductor	\$0.00	\$0.00
819	0	LF	Furnish and Install #4 AWG Conductor	\$0.00	\$0.00
820	0	EA	Furnish and Install Street Light Pull Box	\$0.00	\$0.00
821	7	EA	Furnish and Install Pedestrian Pole Light Foundation	\$528.00	\$3,696.00
822	7	EA	Furnish and Install Pedestrian Light Pole and Luminaries Fixtures (2 Fixtures each pole)	\$3,905.00	\$27,335.00
823	2	EA	Furnish and Install Vehicular Light Pole Foundation	\$528.00	\$1,056.00
824	2	EA	Furnish and Install Vehicular Pole and Single Luminaire	\$3,135.00	\$6,270.00
825	0	EA	Furnish and Install 30 AMP disconnect Switch with Fuses	\$0.00	\$0.00

**STREET LIGHT IMPROVEMENTS (ALTERNATE BID)**

SCHEDULE VI

SPRECTRUM DRIVE EXTENSION - SOUTH

TOTAL AMOUNT BID FOR MATERIALS AND SERVICES,  
SCHEDULE VI, ITEMS 801 THROUGH 825, INCLUSIVE

\$ 49,447.90



PROPOSAL FORM

Dec 2, 2003

TO: The Honorable Mayor and Town Council  
Town of Addison, Texas

COPY

Gentlemen:

The undersigned bidder, having examined the plans, specifications and contract documents, and the location of the proposed work, and being fully advised as to the extent and character of the work, proposes to furnish all equipment and to perform labor and work necessary for completion of the work described by and in accordance with the Plans, Specifications and Contract for the following prices, to wit:

Signed by:

ACKNOWLEDGEMENT OF ADDENDA:

The Bidder acknowledges receipt of the following addenda:

Addendum No. 1 Dated

Addendum No. 2 Dated

Addendum No. 3 Dated

Addendum No. 4 Dated

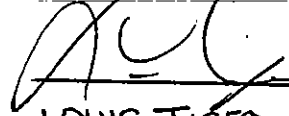
Addendum No. 5 Dated

Addendum No. 6 Dated



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TISED PAVING CO.



LOUIS TISED, SECRETARY - TREASURER



**Mailing Address:** P.O. Box 270040 Dallas, TX 75227  
**Physical Address:** 419 E.Hwy. 80 Mesquite, TX 75150  
**Tel:** (972) 289-0723 **Fax:** (972) 216-5637

QUOTATION

**Attn:** THE HONORABLE MAYOR AND CITY COUNCIL TOWN OF ADDISON, TEXAS  
**Re:** SPECTRUM DRIVE NORTH / SOUTH EXTENSION  
 TOWN OF ADDISON, TEXAS

We propose to furnish all labor, materials and equipment necessary to construct, as an independent contractor, the following described work:

ITEM	EST QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL PRICE
<b>SCHEDULE I - SPECTRUM DRIVE - NORTH</b>					
<b>PAVING IMPROVEMENTS</b>					
101	1.00	LS	MOBILIZATION	\$152,000.00	\$152,000.00
102	114.00	LF	FULL DEPTH SAWCUT EXISTING CONCRETE	\$5.00	\$570.00
103	19.00	SY	REMOVE & DISPOSE EXIST CONCRETE & ASPHALT PAVEMENT INCL CURB	\$75.00	\$1,425.00
104	6859.00	SY	6" THICK LIME STABILIZED SUBGRADE	\$2.25	\$15,432.75
105	113.10	TON	HYDRATED LIME ( 33 LBS / SY )	\$90.00	\$10,179.00
106	6229.00	SY	8" THICK 5000 PSI REINFORCED CONCRETE PAVEMENT	\$38.60	\$240,439.40
107	152.00	SY	6" THICK 5000 PSI REINFORCED CONCRETE DROP SLAB ( STREET )	\$40.00	\$6,080.00
108	112.00	SY	8" THICK 5000 PSI REINFORCED CONCRETE DROP SLAB ( STREET )	\$45.00	\$5,040.00
109	3194.00	LF	6" THICK 5000 PSI INTEGRAL CONCRETE CURB	\$1.00	\$3,194.00
110	111.00	LF	LONGITUDINAL BUTT JOINT	\$3.00	\$333.00
111	23.00	LF	REINFORCED CONCRETE STREET HEADER	\$10.00	\$230.00
112	2372.00	SF	ACME VEHICULAR BRICK PAVER MATERIALS	\$5.00	\$11,860.00
113	2372.00	SF	BEDDING MATERIALS VEHICULAR BRICK PAVERS	\$3.00	\$7,116.00
114	23.00	LF	24" WIDE THERMOPLASTIC STOP LINE	\$15.00	\$345.00
115	1942.00	LF	4" WIDE THERMOPLASTIC STRIPE	\$2.00	\$3,884.00
116	21.00	EA	4" REFLECTIVE BUTTONS, TYPE I-C	\$7.00	\$147.00
117	140.00	EA	4" REFLECTIVE BUTTONS, TYPE II, A-A	\$8.00	\$1,120.00

118	5.00	EA	STREET & TRAFFIC CONTROL SIGNS	\$350.00	\$1,750.00
119	1.00	EA	STREET NAME SIGN AND MOUNTING HARDWARE	\$150.00	\$150.00
120	1.00	EA	UNISTRUT-TELESPAR STREET SIGN POST	\$200.00	\$200.00
121	44.00	LF	REMOVE EXISTING STREET BARRICADE AND POSTS	\$30.00	\$1,320.00
122	50.00	LF	STREET BARRICADE AND POSTS	\$50.00	\$2,500.00
123	1.00	LS	BARRICADING, SIGNING AND TRAFFIC CONTROL	\$6,000.00	\$6,000.00
124	20400.00	CY	UNCLASSIFIED STREET EXCAVATION	\$4.50	\$91,800.00
125	1.00	EA	BLACK STEEL STOP SIGN POLE W/ TXDOT TRIANGULAR BREAK AWAY BASE	\$350.00	\$350.00
126	1.00	EA	ADDISON CIRCLE FINIAL ON BLACK STEEL POLE FINIAL	\$100.00	\$100.00
127	19.00	CY	STABILIZED CONSTRUCTION ENTRANCE	\$100.00	\$1,900.00
128	1050.00	LF	SILT FENCE	\$1.25	\$1,312.50
129	5.00	EA	INLET PROTECTION	\$100.00	\$500.00
130	0.00	LS	RAILROAD CROSSING ( BY OTHERS NOT IN CONTRACT )	\$45,000.00	\$0.00
131	0.00	SY	4" HMACP BASE COURSE	\$14.00	\$0.00
132	0.00	SY	2" HMACP SURFACE COURSE	\$7.50	\$0.00
133	0.00	CY	IMPORTED FILL	\$6.85	\$0.00
134	90.00	LF	6" WIDE WHITE THERMOPLASTIC CROSSWALK MARKER	\$3.00	\$270.00
135	2.00	EA	THERMOPLASTIC DIRECTIONAL ARROW	\$200.00	\$400.00
			<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>		<b>\$567,947.65</b>
			<b>SCHEDULE I, ITEMS 101 THROUGH 135 INCLUSIVE</b>		
			<b>SCHEDULE II - SPECTRUM DRIVE - NORTH</b>		
			<b>WATER</b>		
201	9.80	CY	CONCRETE BLOCKING	\$95.00	\$931.00
202	1.10	TON	D.I. FITTINGS, CL 250	\$7,000.00	\$7,700.00
203	30.00	LF	6" DIA PVC AWWA C900, DR-18, CL 150, WATER PIPE INCL EMBEDMENT	\$20.00	\$600.00
204	489.00	LF	8" DIA PVC AWWA C900, DR-18, CL 150, WATER PIPE INCL EMBEDMENT	\$23.00	\$11,247.00
205	1087.00	LF	12" DIA PVC AWWA C900, DR-18, CL 150, WATER PIPE INCL EMBEDMENT	\$32.00	\$34,784.00
206	3.00	EA	6" RESILIENT SEAT GATE VALVE / BOX	\$800.00	\$2,400.00
207	13.00	EA	8" RESILIENT SEAT GATE VALVE / BOX	\$1,000.00	\$13,000.00
208	5.00	EA	12" RESILIENT SEAT GATE VALVE / BOX	\$1,625.00	\$8,125.00
209	3.00	EA	FIRE HYDRANT	\$2,100.00	\$6,300.00
210	2.00	EA	CONNECT TO EXISTING WATER MAIN ( ALL SIZES )	\$350.00	\$700.00
211	0.00	LF	24" STEEL CASING PIPE BY BORE	\$215.00	\$0.00
212	1.00	EA	2" TYPE K SOFT COPPER IRRIGATION SERVICE	\$1,400.00	\$1,400.00
213	1.00	EA	1.5" HERSEY MVR 100 TURBINE METER	\$600.00	\$600.00
214	2.00	EA	BROOKS PRODUCTS NO. 65 17" X 28" PRECAST BOX	\$200.00	\$400.00
215	1.00	EA	1.5" FEBCO 805Y DOUBLE CHECK VALVE ASSEMBLY	\$800.00	\$800.00
216	38.00	LF	2" CLASS 200 PVC SLEEVE	\$11.00	\$418.00
217	1596.00	LF	TRENCH SAFETY	\$2.00	\$3,192.00
218	1.00	LS	WATER TEST	\$2,000.00	\$2,000.00



408	1.00	EA	CONNECTION TO EXISTING WASTEWATER LINES	\$350.00	\$350.00
			<b>SUBTOTAL WASTEWATER</b>		<b>\$68,858.50</b>
			<b>ELECTRICAL DUCTBANK</b>		
501	1052.00	LF	8 - 6" PVC, TYPE DB CONDUITS	\$105.00	\$110,460.00
502	1.00	EA	CONNECT TO EXISTING DUCTBANK	\$2,500.00	\$2,500.00
503	2.00	EA	STANDARD 4-WAY ELECTRICAL DUCTBANK MANHOLE	\$16,000.00	\$32,000.00
504	1.00	EA	STANDARD 3-WAY ELECTRICAL DUCTBANK MANHOLE	\$15,000.00	\$15,000.00
505	3.00	EA	CONCRETE DUCTBANK END PLUG	\$425.00	\$1,275.00
			<b>SUBTOTAL ELECTRICAL DUCTBANK</b>		<b>\$161,235.00</b>
			<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>		<b>\$438,802.50</b>
			<b>SCHEDULE II, ITEMS 201 THROUGH 505 INCLUSIVE</b>		
			<b>SCHEDULE III - SPECTRUM DRIVE - NORTH</b>		
			<b>STREETSCAPE</b>		
601	1.00	LS	IRRIGATION SYSTEM, INC POWER AND TELEPHONE FOR CONTROLLERS	\$30,000.00	\$30,000.00
602	23.00	EA	60" SQUARE TREE GRATE	\$1,500.00	\$34,500.00
603	1841.00	LF	4" PVC SCH 40 SUBDRAIN SYSTEM	\$10.00	\$18,410.00
604	41.00	EA	RED OAK, 200 GAL., 6", 18' HT., 12' -14' SPREAD, CONTAINER GROWN	\$1,700.00	\$69,700.00
605	390.00	EA	DWARF YAUPON HOLLY, 1 GAL	\$6.00	\$2,340.00
606	130.00	EA	DAYLILLY " STELLA DE ORO ", 1 GAL	\$8.00	\$1,040.00
607	130.00	EA	YELLOW BEARDED IRIS, 1 GAL	\$8.00	\$1,040.00
608	286.00	EA	DAFFODIL ' GRAND PRIMO', 1 GAL	\$9.00	\$2,574.00
609	78.00	EA	BLEEDING HEART, 1 GAL	\$9.00	\$702.00
610	9574.00	SF	4" THICK 3000 PSI REINFORCED CONCRETE SUBBASE ( SIDEWALK )	\$3.00	\$28,722.00
611	9574.00	SF	GLEN-GERY PEDESTRIAN BRICK PAVER MATERIALS	\$4.00	\$38,296.00
612	9574.00	SF	BEDDING MATERIALS AND PLACE PEDESTRIAN BRICK PAVER ( SIDEWALK )	\$3.00	\$28,722.00
613	70.00	SF	TRUNCATED DOME PAVERS ON NEW RAMPS	\$15.00	\$1,050.00
614	0.00	CY	CONCRETE RETAINING WALL, BACKFILL AND DRAINS	\$500.00	\$0.00
615	0.00	LF	BIKE RAIL ON RETAINING WALL	\$250.00	\$0.00
			<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>		<b>\$257,096.00</b>
			<b>SCHEDULE III, ITEMS 601 THROUGH 615 INCLUSIVE</b>		
			<b>SCHEDULE V - SPECTRUM DRIVE - NORTH</b>		
			<b>STREET LIGHTING ( BASE BID )</b>		
801	2.00	EA	METER SOCKET BASE	\$120.00	\$240.00

802	1.00	EA	ENCLOSURE TO SUPPORT METER, PANEL, CONTACTOR, ENCLOSURE & TIME CLOCK	\$4,000.00	\$4,000.00
803	1.00	EA	SERVICE GROUND	\$50.00	\$50.00
804	1.00	EA	PANEL BOARD W/ BREAKERS 120 / 240, 80A MCB	\$1,300.00	\$1,300.00
805	1.00	EA	ENCLOSURE AND CONTACTOR	\$1,000.00	\$1,000.00
806	1.00	EA	7 DAY TIME CLOCK	\$100.00	\$100.00
807	1.00	EA	PHOTO CELL AND CONNECTIONS	\$35.00	\$35.00
808	57.00	EA	2" GRC ELBOW	\$20.00	\$1,140.00
809	2210.00	LF	2" PVC SCHEDULE 40 CONDUIT ( PEDESTRIAN LIGHTING CIRCUIT )	\$2.75	\$6,077.50
810	2510.00	LF	2" PVC SCH 40 CONDUIT W/ PULL ROPE ( VEHICULAR STREET LIGHTING & IRRIGATION )	\$2.75	\$6,902.50
811	156.00	LF	2" GRC CONDUIT	\$7.00	\$1,092.00
812	4.00	EA	3" GRC ELBOW	\$15.00	\$60.00
813	300.00	LF	3" PVC SCHEDULE 40 CONDUIT	\$3.00	\$900.00
814	30.00	EA	3" GRC CONDUIT	\$3.50	\$105.00
815	50.00	EA	HIGH COMPRESSION TAP	\$15.00	\$750.00
816	60.00	LF	#10 AWG CONDUCTOR	\$0.50	\$30.00
817	2610.00	LF	#8 AWG CONDUCTOR	\$0.50	\$1,305.00
818	0.00	LF	#6 AWG CONDUCTOR	\$0.50	\$0.00
819	3040.00	LF	#4 AWG CONDUCTOR	\$0.75	\$2,280.00
820	11.00	EA	STREET LIGHT PULL BOX	\$250.00	\$2,750.00
821	27.00	EA	PEDESTRIAN POLE LIGHT FOUNDATION	\$525.00	\$14,175.00
822	27.00	EA	PEDESTRIAN LIGHT POLE AND LUMINARIES FIXTURES ( 2 FIXTURES EACH POLE )	\$4,000.00	\$108,000.00
823	6.00	EA	VEHICULAR POLE LIGHT FOUNDATION	\$525.00	\$3,150.00
824	6.00	EA	VEHICULAR POLE AND SINGLE LUMINARE	\$3,100.00	\$18,600.00
825	1.00	EA	30 AMP DISCONNECT SWITCH WITH FUSES	\$300.00	\$300.00
			<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>		<b>\$174,342.00</b>
			<b>SCHEDULE V, ITEMS 801 THROUGH 825 INCLUSIVE</b>		
			<b>SCHEDULE VI - SPECTRUM DRIVE - NORTH</b>		
			<b>STREET LIGHTING ( ALTERNATE BID )</b>		
801	2.00	EA	METER SOCKET BASE	\$120.00	\$240.00
802	1.00	EA	ENCLOSURE TO SUPPORT METER, PANEL, CONTACTOR, ENCLOSURE & TIME CLOCK	\$4,000.00	\$4,000.00
803	1.00	EA	SERVICE GROUND	\$50.00	\$50.00
804	1.00	EA	PANEL BOARD W/ BREAKERS 120 / 240, 80A MCB	\$1,300.00	\$1,300.00
805	1.00	EA	ENCLOSURE AND CONTACTOR	\$1,000.00	\$1,000.00
806	1.00	EA	7 DAY TIME CLOCK	\$100.00	\$100.00
807	1.00	EA	PHOTO CELL AND CONNECTIONS	\$35.00	\$35.00
808	56.00	EA	2" GRC ELBOW	\$20.00	\$1,120.00
809	2285.00	LF	2" PVC SCHEDULE 40 CONDUIT ( PEDESTRIAN LIGHTING CIRCUIT )	\$2.75	\$6,283.75
810	425.00	LF	2" PVC SCH 40 CONDUIT W/ PULL ROPE ( VEHICULAR STREET LIGHTING & IRRIGATION )	\$2.75	\$1,168.75
811	156.00	LF	2" GRC CONDUIT	\$7.00	\$1,092.00



103	11.00	SY	REMOVE & DISPOSE EXIST CONCRETE & ASPHALT PAVEMENT INCL CURB	\$75.00	\$825.00
104	3115.00	SY	6" THICK LIME STABILIZED SUBGRADE	\$2.25	\$7,008.75
105	51.40	TON	HYDRATED LIME ( 33 LBS / SY )	\$90.00	\$4,626.00
106	3000.00	SY	8" THICK 5000 PSI REINFORCED CONCRETE PAVEMENT	\$38.60	\$115,800.00
107	0.00	SY	6" THICK 5000 PSI REINFORCED CONCRETE DROP SLAB ( STREET )	\$40.00	\$0.00
108	0.00	SY	8" THICK 5000 PSI REINFORCED CONCRETE DROP SLAB ( STREET )	\$45.00	\$0.00
109	1834.00	LF	6" THICK 5000 PSI INTEGRAL CONCRETE CURB	\$1.00	\$1,834.00
110	118.00	LF	LONGITUDINAL BUTT JOINT	\$3.00	\$354.00
111	0.00	LF	REINFORCED CONCRETE STREET HEADER	\$10.00	\$0.00
112	0.00	SF	ACME VEHICULAR BRICK PAVER MATERIALS	\$5.00	\$0.00
113	0.00	SF	BEDDING MATERIALS VEHICULAR BRICK PAVERS	\$3.00	\$0.00
114	35.00	LF	24" WIDE THERMOPLASTIC STOP LINE	\$15.00	\$525.00
115	594.00	LF	4" WIDE THERMOPLASTIC STRIPE	\$2.00	\$1,188.00
116	37.00	EA	4" REFLECTIVE BUTTONS, TYPE I-C	\$7.00	\$259.00
117	76.00	EA	4" REFLECTIVE BUTTONS, TYPE II, A-A	\$8.00	\$608.00
118	5.00	EA	STREET & TRAFFIC CONTROL SIGNS	\$350.00	\$1,750.00
119	0.00	EA	STREET NAME SIGN AND MOUNTING HARDWARE	\$150.00	\$0.00
120	0.00	EA	UNISTRUT-TELESPAR STREET SIGN POST	\$200.00	\$0.00
121	0.00	LF	REMOVE EXISTING STREET BARRICADE AND POSTS	\$30.00	\$0.00
122	0.00	LF	STREET BARRICADE AND POSTS	\$50.00	\$0.00
123	1.00	LS	BARRICADING, SIGNING AND TRAFFIC CONTROL	\$3,000.00	\$3,000.00
124	0.00	CY	UNCLASSIFIED STREET EXCAVATION	\$4.50	\$0.00
125	0.00	EA	BLACK STEEL STOP SIGN POLE W/ TXDOT TRIANGULAR BREAK AWAY BASE	\$350.00	\$0.00
126	0.00	EA	ADDISON CIRCLE FINIAL ON BLACK STEEL POLE FINIAL	\$100.00	\$0.00
127	19.00	CY	STABILIZED CONSTRUCTION ENTRANCE	\$100.00	\$1,900.00
128	350.00	LF	SILT FENCE	\$1.25	\$437.50
129	2.00	EA	INLET PROTECTION	\$100.00	\$200.00
130	1.00	LS	RAILROAD CROSSING ( BY OTHERS NOT IN CONTRACT )	\$45,000.00	\$45,000.00
131	237.00	SY	4" HMACP BASE COURSE	\$14.00	\$3,318.00
132	237.00	SY	2" HMACP SURFACE COURSE	\$7.50	\$1,777.50
133	3400.00	CY	IMPORTED FILL	\$6.85	\$23,290.00
134	460.00	LF	6" WIDE WHITE THERMOPLASTIC CROSSWALK MARKER	\$3.00	\$1,380.00
135	11.00	EA	THERMOPLASTIC DIRECTIONAL ARROW	\$200.00	\$2,200.00
			<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>		<b>\$289,995.75</b>
			<b>SCHEDULE I, ITEMS 101 THROUGH 135 INCLUSIVE</b>		
			<b>SCHEDULE II - SPECTRUM DRIVE - SOUTH</b>		
			<b>WATER</b>		
201	21.80	CY	CONCRETE BLOCKING	\$95.00	\$2,071.00
202	0.50	TON	D.I. FITTINGS, CL 250	\$7,000.00	\$3,500.00
203	24.00	LF	6" DIA PVC AWWA C900, DR-18, CL 150, WATER PIPE INCL EMBEDMENT	\$20.00	\$480.00
204	85.00	LF	8" DIA PVC AWWA C900, DR-18, CL 150, WATER PIPE INCL EMBEDMENT	\$23.00	\$1,955.00







614	66.00	CY	CONCRETE RETAINING WALL, BACKFILL AND DRAINS	\$600.00	\$39,600.00
615	51.00	LF	BIKE RAIL ON RETAINING WALL	\$300.00	\$15,300.00
			<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>		<b>\$282,380.00</b>
			<b>SCHEDULE III, ITEMS 601 THROUGH 615 INCLUSIVE</b>		
			<b>SCHEDULE IV - SPECTRUM DRIVE - SOUTH</b>		
			<b>SIGNALIZATION</b>		
701	1.00	EA	TS-2 CABINET & ASC / 2S-1000 SIGNAL CONTROLLER	\$16,000.00	\$16,000.00
702	1.00	EA	TRAFFIC SIGNAL CONTROLLER FOUNDATION	\$1,700.00	\$1,700.00
703	4.00	EA	TYPE C PULL BOXES	\$450.00	\$1,800.00
704	1211.00	LF	ELECTRICAL CONDUCTOR, #6 XHHW WIRE ( POWER )	\$1.00	\$1,211.00
705	717.00	LF	ELECTRICAL CONDUCTOR, #6 AWG CU WIRE ( GROUND )	\$1.00	\$717.00
706	430.00	EA	TRAFFIC SIGNAL CABLE, 16 COND, #14 CABLE	\$4.00	\$1,720.00
707	430.00	EA	TRAFFIC SIGNAL CABLE, #18 AWG VIDEO CABLE	\$2.00	\$860.00
708	430.00	EA	TRAFFIC SIGNAL CABLE, #18 AWG CU WIRE, ILSNS	\$1.00	\$430.00
709	18.00	LF	3" PVC CONDUIT	\$15.00	\$270.00
710	630.00	LF	4" PVC CONDUIT	\$4.00	\$2,520.00
711	222.00	LF	BORED 4" PVC CONDUIT	\$18.00	\$3,996.00
712	4.00	EA	ECONOLITE MVP SOLOPRO VIDEO DETECTION CAMERAS	\$5,500.00	\$22,000.00
713	2.00	EA	TYPE 36-A TRAFFIC SIGNAL FOUNDATION	\$2,200.00	\$4,400.00
714	2.00	EA	TYPE 48-A TRAFFIC SIGNAL FOUNDATION	\$3,700.00	\$7,400.00
715	4.00	EA	INTERNALLY LIGHTED STREET NAME SIGNS	\$1,500.00	\$6,000.00
716	8.00	EA	PEDESTRIAN SIGNAL WITH COUNTDOWN LED	\$700.00	\$5,600.00
717	1.00	EA	STEEL TRAFFIC SIGNAL POLE ASSEMBLY, 1 ARM, 36'	\$3,400.00	\$3,400.00
718	1.00	EA	STEEL TRAFFIC SIGNAL POLE ASSEMBLY, 1 ARM, 40'	\$3,500.00	\$3,500.00
719	1.00	EA	STEEL TRAFFIC SIGNAL POLE ASSEMBLY, 1 ARM, 50'	\$9,700.00	\$9,700.00
720	1.00	EA	STEEL TRAFFIC SIGNAL POLE ASSEMBLY, 1 ARM, 55'	\$10,000.00	\$10,000.00
721	8.00	EA	PEDESTRIAN DETECTOR PUSH BUTTON	\$120.00	\$960.00
722	13.00	EA	12" LED RED TRAFFIC SIGNAL LAMP	\$100.00	\$1,300.00
723	13.00	EA	12" LED YELLOW TRAFFIC SIGNAL LAMP	\$125.00	\$1,625.00
724	13.00	EA	12" LED GREEN TRAFFIC SIGNAL LAMP	\$200.00	\$2,600.00
725	4.00	EA	12" LED GREEN & YELLOW ARROW TRAFFIC SIGNAL LAMP	\$200.00	\$800.00
726	4.00	EA	OPTICOM	\$1,200.00	\$4,800.00
			<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>		<b>\$115,309.00</b>
			<b>SCHEDULE IV, ITEMS 701 THROUGH 726 INCLUSIVE</b>		
			<b>SCHEDULE V - SPECTRUM DRIVE - SOUTH</b>		
			<b>STREET LIGHTING ( BASE BID )</b>		
801	2.00	EA	METER SOCKET BASE	\$120.00	\$240.00
802	1.00	EA	ENCLOSURE TO SUPPORT METER, PANEL, CONTACTOR, ENCLOSURE & TIME CLOCK	\$4,000.00	\$4,000.00



814	15.00	EA	3" GRC CONDUIT	\$3.50	\$52.50
815	36.00	EA	HIGH COMPRESSION TAP	\$15.00	\$540.00
816	10.00	LF	#10 AWG CONDUCTOR	\$0.50	\$5.00
817	2100.00	LF	#8 AWG CONDUCTOR	\$0.50	\$1,050.00
818	0.00	LF	#6 AWG CONDUCTOR	\$0.50	\$0.00
819	0.00	LF	#4 AWG CONDUCTOR	\$0.75	\$0.00
820	0.00	EA	STREET LIGHT PULL BOX	\$250.00	\$0.00
821	7.00	EA	PEDESTRIAN POLE LIGHT FOUNDATION	\$525.00	\$3,675.00
822	7.00	EA	PEDESTRIAN LIGHT POLE AND LUMINARIES FIXTURES ( 2 FIXTURES EACH POLE )	\$4,000.00	\$28,000.00
823	2.00	EA	VEHICULAR POLE LIGHT FOUNDATION	\$525.00	\$1,050.00
824	2.00	EA	VEHICULAR POLE AND SINGLE LUMINARE	\$3,100.00	\$6,200.00
825	0.00	EA	30 AMP DISCONNECT SWITCH WITH FUSES	\$300.00	\$0.00
<b>TOTAL AMOUNT BID FOR MATERIALS AND SERVICES</b>					<b>\$50,735.00</b>
<b>SCHEDULE VI, ITEMS 801 THROUGH 825 INCLUSIVE</b>					

<b>PAVING, UTILITIES, STREETScape, SIGNALIZATION AND STREET LIGHTING</b>		
I	PAVING IMPROVEMENTS	\$289,995.75
II	UTILITY IMPROVEMENTS	\$369,806.00
III	STREETScape IMPROVEMENTS	\$282,380.00
IV	SIGNALIZATION IMPROVEMENTS	\$115,309.00
V	STREET LIGHTING ( BASE BID )	\$53,280.00
<b>TOTAL PAVING, UTILITIES, STREETScape, SIGNALIZATION AND STREET LIGHTING BASE BID</b>		<b>\$1,110,770.75</b>
VI	STREET LIGHTING ( ALTERNATE BID )	\$50,735.00

<b>BID SCHEDULE SUMMARY</b>		
<b>SPECTRUM DRIVE EXTENSION - TOTAL PROJECT</b>		
I	PAVING IMPROVEMENTS	\$857,943.40
II	UTILITY IMPROVEMENTS	\$808,608.50
III	STREETScape IMPROVEMENTS	\$539,476.00

IV	SIGNALIZATION IMPROVEMENTS		\$115,309.00
V	STREET LIGHTING ( BASE BID )		\$227,622.00
	TOTAL PAVING, UTILITIES, STREETScape, SIGNALIZATION AND STREET LIGHTING BASE BID STANDARD BID "A"		\$2,548,958.90
270	TOTAL OF CALENDAR DAYS X \$2,500.00 (B): TIME BID "B"	\$ 2,500.00	\$675,000.00
	TOTAL BID ( STANDARD BID "A" + TIME BID "B" )		\$3,223,958.90
VI	STREET LIGHTING ( ALTERNATE BID )		\$221,137.00

TISEO PAVING COMPANY




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LOUIS TISEO, SECRETARY TREASURER

BUSINESS ADDRESS:  
419 E. HWY. 80  
MESQUITE, TX 75150  
(972)289-0723

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com

January 25, 2002

Mr. Steven Z. Chutchian, P.E.  
Assistant City Engineer  
Town of Addison  
16801 Westgrove Drive  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Spectrum Drive-North & South Extensions  
Proposal for Professional Services**

Dear Mr. Chutchian

Huitt-Zollars is pleased to submit this proposal for professional services associated with the above referenced public improvement project located in Addison, Texas. This proposal encompasses civil engineering, surveying, landscape architecture, irrigation and traffic signal design for the project. There should be no additional tasks, services or fees required in these disciplines to complete the project as we currently understand it with the exception of a railroad crossing design to be coordinated with D.A.R.T as described later in this proposal.

This project generally consists of civil engineering, surveying and landscape architecture design for public infrastructure associated with Spectrum Drive-North and South Extensions. The limits of the work are as follows:

- North Extension - From a point approximately 85 feet north of the centerline intersection of Spectrum Drive and Morris Avenue north approximately 1,100 linear feet to Airport Parkway.
- South Extension - From railroad (D.A.R.T. right-of-way) south approximately 540 linear feet to Arapaho Road.

Plans and specifications will be produced to the standards for public infrastructure of the Town of Addison and the Addison Urban Center Development Guidelines with the intent of publicly bidding the construction work. Plans will specifically provide for paving, water, wastewater, drainage, electric ductbank, streetscape elements, planting and irrigation. It is our understanding that Huitt-Zollars will prepare one set of construction and bidding documents for the limits of work described above. In the event that the Town decides to Phase the project, a separate proposal for additional services will be prepared at that time. That is the basis for our scope and fees. Projects of this nature fall into the following major categories, any or all of which you may deem necessary for your purposes.

- I. SURVEYING
- II. CIVIL SERVICES
- III. LANDCAPE SERVICES
- IV. GEO-TECHNICAL SERVICES
- V. RAILROAD CROSSING DESIGN
- VI. TRAFFIC SIGNAL DESIGN
- VII. REIMBURSABLE EXPENSES

*PRELIMINARY  
VERSION!*

*Reviewed by J.P.  
§  
SZC*

*on 2/6/02*

**Our detailed scope is as follows:**

**I. SURVEYING**

**A. TOPOGRAPHIC SURVEY**

1. Perform the field work necessary to locate existing features within and adjacent to the proposed alignment of Spectrum Drive from Morris Avenue to Airport Parkway and from Arapaho Road to the railroad. (25 feet either side of proposed R.O.W. line of Spectrum) This will include topographic shots at key locations of change in grade, driveways, swales and other distinct features that can be used in the paving design. In addition we will locate surface features such as valves, fire hydrants, manholes and other pertinent items to be used in the generation of a topographic map to be used for design.

**B. RIGHT-OF-WAY DEDICATION DOCUMENTS**

1. Establish existing right-of-way of Spectrum Drive, Morris Avenue and Airport Parkway and prepare a right-of-way plan based on deed and plat research, and an on the ground survey of existing property corners.
2. Based on deed and plat research, survey of existing right-of-way and property corners, establish the horizontal alignment for the extension of Spectrum Drive. Based on the established alignment and after approved by the Town of Addison, we will prepare a right-of-way map and legal dedication documents including metes and bounds descriptions of Spectrum Drive right-of-way dedications (Assumes three property owners).
3. Attend necessary staff meetings, public hearings, etc.. for the processing and approval of the right-of-way dedication. Provide the Town with the required legal descriptions and exhibits for recordation in the Dallas County Deed Records.

**C. MISCELLANEOUS SURVEYING**

1. In addition to the above services our surveyors will set all centerline PC's, PT's and PI's one time for construction control. It will be the responsibility of the contractor to maintain this control. No other construction staking is anticipated under this contract.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$20,000.**

**II. CIVIL SERVICES**

**A. CONSTRUCTION DOCUMENTS**

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. The plans will include the following elements, grouped as necessary for the various submittal and review processes:
  - Cover Sheet and General Notes
  - Construction Quantities (in bid/specification book)
  - Horizontal Control/R.O.W. Map
  - Paving Plans and Profiles
  - Paving Details
  - Sleeving Plan
  - Drainage Area Map



- Storm Sewer Plans and Profiles
  - Storm Sewer Details
  - Water Plans and Profiles
  - Water Details
  - Wastewater Plans and Profiles
  - Wastewater Details
  - Streetscape Plans Showing Tree Locations, Light Locations, Sub-Drain System, Sidewalk Patterns, Crosswalk Details, etc.
  - Electrical Design for Pedestrian Lighting
  - Streetscape Details
  - Electric Ductbank Plans, Profiles and Details
  - Erosion Control Plan (SWPPP) and Details
2. Basic services for preparation and processing of plans also includes the following tasks:
- Prepare specifications to supplement Addison standard specifications and construction details where applicable.
  - Prepare quantity take-offs and opinions of probable construction cost at the time plans are submitted for Town review.
  - Prepare documents for advertisement and bidding.
  - Provide up to 20 bid sets and up to 10 construction sets. (These quantities are the basis for reimbursable expenses as estimated below and may be adjusted as desired with comparable adjustments in the allowance for reimbursables)
  - Necessary coordination with the Town and franchised utilities is included in the above-listed services; however, no designs or plans for construction of franchised utilities are included except for TXU electric ductbank design.

**B. CONSTRUCTION SUPPORT**

Huitt-Zollars will provide construction support services as distinguished from an on-site representative provided by the Town of Addison. The combined tasks for all personnel will be as follows:

1. Assist the Town in preparing documents for advertisement and bidding; conduct pre-bid meeting; prepare and issue addenda; evaluate bids; make recommendation for award; and assist the Town in preparation of construction contract.
2. Make periodic visits to the site (as distinguished from the continuous service of a resident Project representative) to observe the progress and quality of the executed work and to determine in general if the work is proceeding in accordance with the Contract Documents. In performing these services the Engineer will endeavor to protect the Town against defects and deficiencies in the work of the contractor, but engineer cannot guarantee the performance of the contractor, nor be responsible for the actual supervision of construction operations or for the safety measures that the contractor takes or should take.
3. Consult and advise the Town; issue instructions to the contractor requested by the Town; and prepare and issue routine change orders with Town approval
4. Review samples, catalog data, schedules, shop drawings, laboratory, shop and mill tests of material and equipment and other data which the contractor submits. This review is for the benefit of the Town and covers only general conformance with the information given by the Contract Documents. The contractor is to review and stamp his approval on submittals prior to submitting to Engineer, and review by the Engineer does not relieve the contractor of any responsibility such as dimensions to be confirmed and correlated at the job site, appropriate safety measures to protect workers and the public, or the necessity to construct a complete and workable facility in accordance with the Contract Documents.

5. Obtain and review monthly and final estimates for payments to contractors, and furnish to the Town recommended payments to contractors and suppliers; assemble written guarantees which are required by the Contract documents.
6. Schedule and conduct, in conjunction with Town and Contractor, required final inspection walk-through and follow up on contractor's punch list items.
7. Compile and submit all documentation for final acceptance of public facilities, including mylar record drawings.
8. Assist Town and Contractor in locating and tagging street trees. This is limited to a maximum of 2 out of town trips.

All work is assumed to supplement the primary inspection activities of the Town of Addison and the franchised utility companies.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$150,000**.

### **III. LANDSCAPE SERVICES**

#### **A. CONSTRUCTION DOCUMENTS**

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. The plans will include the following elements, grouped as necessary for the various submittal and review processes:
  - Landscape Plans Showing Tree Species, Planting and Turf areas, Details and Specifications for Planting in the Public Right-Of-Way
  - Irrigation Plans and Details

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$18,000**.

### **IV. GEO-TECHNICAL SERVICES**

Huitt-Zollars will enlist the services of a qualified geo-technical engineering firm to perform the following tasks.

1. Meet with Town officials to review and identify bore locations.
2. Stake the bore hole locations in the field.
3. Obtain soil samples from bore holes for material testing. The bore holes and subsequent tests will identify the depth of the tan and gray limestone, plasticity and other properties of the soil.
4. Prepare a written report of findings including the following:
  - a) Plan of borings, boring logs, laboratory test results and water level observations.
  - b) General soil and subsurface water conditions at the boring locations.
  - c) Evaluation of the swell characteristics of the subsurface soils.
  - d) Earthwork recommendations
  - e) Guidelines for pavement design and concrete pavement sections.

Huitt-Zollars compensation for the above referenced services shall be the Hourly Not-to-Exceed amount of **\$8,500**.

## **V. RAILROAD CROSSING DESIGN**

Huitt-Zollars will prepare and coordinate design plans for a railroad crossing across D.A.R.T. right-of-way. It is our understanding that this crossing will be a two track crossing for future D.A.R.T. rail lines. The plans will generally consist of the following:

- Railroad Crossing Plan
- Railroad Crossing Details

This scope also includes coordination with D.A.R.T. , the Town of Addison and other governing agencies that may have jurisdiction on the existing rail.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$8,000**.

## **VI. TRAFFIC SIGNAL DESIGN**

Huitt-Zollars will prepare a traffic signal design at the intersection of proposed Spectrum Drive and existing Arapaho Road. The plans will generally consist of the following:

- Signalization Plan – Identifying horizontal layout of signals, conduit runs, signal head placement diagrams, mast arm signing, and detector loop locations.
- Phase Diagram Plan
- Traffic signal pole, arms, heads, mast arm, transformer base controller cabinet and signal foundation details.

This scope also includes coordination with the Town of Addison and D.A.R.T. to determine proper interconnecting of signals to existing traffic signals and the D.A.R.T. rail crossing. It is assumed that traffic counts and or a traffic study will be provided to Huitt-Zollars by others.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$10,000**.

## **VII. REIMBURSABLE EXPENSES**

Reimbursable expenses accrued through printing for distribution outside our office, photocopies, computer plotting, deliveries, travel, long distance calls, express mail, postage and similar out of pocket expenses shall be reimbursed at cost plus ten percent and are estimated to be **\$8,000**. This includes the bidding and construction sets as noted above.

### **Assumptions:**

1. Traffic control and detour plans, if required, will be provided by the contractor prior to construction activities. These plans are not included in the design fee.
2. Traffic Studies and if required are not included in this proposal.
3. Construction Support services, beyond the services noted above, are not included in this proposal but can be provided for additional compensation.
4. Franchise utility burial plans, if required, will be provided by the respective franchise companies except for the TXU duct design as noted in the scope.
5. The specifications and details necessary to construct the civil elements will be provided by note or drawing on the construction documents. Primarily the civil elements will be constructed per the North Central Texas Council of Governments (NCTCOG) specifications and details or the Town of Addison standard details.
6. There are no substantial environmental, habitat or endangered species issues with respect to this site.

7. The client will provide all submittal fees, review fees, permit fees and all other regulatory fees required for this project in advance of their need and in addition to the stated budget for reimbursable expenses.

Summary of Services and Compensation

	<u>Description</u>	<u>Fee Basis</u>	<u>Amount</u>
Item I.	Surveying	Lump Sum	\$20,000.00
Item II.	Civil Services	Lump Sum	\$150,000.00
Item III.	Landscape Services	Lump Sum	\$18,000.00
Item IV.	Geo-technical Services	Hourly (Not to Exceed)	\$8,500.00
Item V.	Railroad Crossing Design	Lump Sum	\$8,000.00
Item VI.	Traffic Signal Design	Lump Sum	\$10,000.00
Item VII.	Reimbursable Expenses	Estimate	<u>\$8,000.00</u>
	<b>Total Services</b>		<b>\$222,500.00</b>

Previous experience indicates that revisions and alterations are inevitable. However, if properly tended in the design stage, revisions incurred will be considered minor and incidental to the base contract. Major alterations to the design development, construction staking, and field inspection program are, of course, beyond our control. In this event, our office will notify you in advance of approximate cost and we will proceed upon receipt of signed Work Authorization. All additional work shall be invoiced monthly and reimbursed on a "Time and Materials" basis using actual direct salary cost for the persons working on the project, times a multiplier which is an overhead factor, including profit. The general range of direct salary cost for various employees is provided on the attached schedule. Following Town approval of the plans, no changes will be made without additional compensation unless such changes are required due to our oversight.

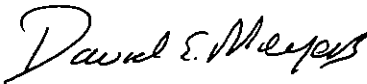
A copy of our current rate schedule is enclosed as Exhibit "A" and our standard contract provisions are enclosed as Exhibit "B". If this proposal is acceptable, please sign below, initial the exhibits and return one copy for our records.

Thank you for this opportunity to be of service.

Sincerely,

HUITT-ZOLLARS, INC.

Accepted for **TOWN OF ADDISON**



David E. Meyers, P.E.  
Associate

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name and Title



Robert L. Phillips  
Senior Vice President

\_\_\_\_\_  
Date

**DALLAS**

**HUITT-ZOLLARS, INC.  
BASIS FOR PROFESSIONAL FEES AND CHARGES  
April 1, 2000**

Projects indicated to be performed on a "Time and Materials" basis will be invoiced monthly using actual direct salary cost for the persons working on the project times a multiplier which is an overhead factor, including profit. The current year multiplier is 2.44. The general ranges of direct salary cost for various employees are as follows:

Senior Officer, Principal	\$55.00 to \$110.00
Architect/Engineer VII, VIII, Officer	\$35.00 to \$ 70.00
Architect/Engineer IV, V, VI	\$25.00 to \$ 50.00
Architect/Engineer I, II, III	\$21.00 to \$ 45.00
Designer I through Design Manager	\$21.00 to \$ 45.00
CADD Tech I through Supervisor	\$10.00 to \$ 35.00
Project Support: Includes Clerical, Computer Systems, Document Control, and Accounting Support	\$ 7.00 to \$ 28.00

**SURVEY CREWS WILL BE INVOICED ON AN HOURLY RATE BASIS:**

1 Person Robotic Total Station Crew	\$75.00
2 Person Total Station Crew	\$95.00
3 Person Total Station Crew	\$115.00
4 Person Total Station Crew	\$135.00
1 Person GPS Crew	\$140.00
2 Person GPS Crew	\$160.00
3 Person GPS Crew	\$185.00

**HOURLY BILLING RATES  
EXPERT WITNESS**

Testimony	\$260.00
Standby	\$130.00
Preparation	\$130.00

**REIMBURSABLE EXPENSES WILL BE INVOICED AS FOLLOWS:**

In House Blue Prints	\$ 0.20/ft <sup>2</sup>
In House Photocopies	\$ 0.10/page
Outside Services	Cost + 10%
Mileage	\$ 0.325/mile

Client Int. \_\_\_\_\_

**HUITT-ZOLLARS, INC.**  
**TERMS AND CONDITIONS**

**"EXHIBIT B"**

**1. AUTHORIZATION FOR WORK TO PROCEED**

Signing of this AGREEMENT for services shall be authorization by the CLIENT for Huitt-Zollars, Inc. (HZI) to proceed with the work, unless stated otherwise in the WORK AUTHORIZATION/AGREEMENT.

**2. COST ESTIMATES FOR PROPOSED CONSTRUCTION**

Construction cost estimates provided by HZI are prepared from experience and judgement. HZI has no control over market conditions or construction procedures and does not warrant that proposals, bids, or actual construction costs will not vary from HZI estimates.

**3. STANDARD OF PRACTICE**

Services performed by HZI under this AGREEMENT will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended in this AGREEMENT, or in any report, opinion, document or otherwise.

**4. SALES TAXES**

All sales taxes required to be paid by HZI will be billed to the client in addition to fees.

**5. BILLING AND PAYMENT**

The CLIENT, recognizing that timely payment is a material part of the consideration of this AGREEMENT, shall pay HZI for services performed in accordance with the rates and charges set forth herein. Invoices will be submitted by HZI on a monthly basis and shall be due and payable within thirty (30) calendar days of invoice date. If the CLIENT objects to all or any portion of an invoice, the CLIENT shall so notify HZI in writing within ten (10) calendar days of receipt of the bill in question, and pay when due that portion of the invoice, not in dispute.

The CLIENT shall pay an additional charge of one-and-one-half (1.5) percent (or the maximum percentage allowed by law, whichever is lower) of the invoiced amount per month for any payment received by HZI more than thirty (30) calendar days from receipt of the invoice, excepting any portion of the invoiced amount in dispute and resolved in favor of CLIENT. Payment thereafter shall first be applied to accrued interest and then to the principal unpaid amount.

If CLIENT for any reason fails to pay the undisputed portion of Huitt-Zollars, Inc. (HZI) invoices within 30 days of presentation, HZI shall cease work on the project and CLIENT shall waive any claim against HZI, and shall defend and indemnify HZI from and against any claims for injury or loss stemming from HZI's cessation of service. CLIENT shall also pay HZI the cost associated with premature project demobilization. In the event the project is remobilized, CLIENT shall also pay the cost of remobilization, and shall renegotiate appropriate contract terms and conditions, such as those associated with budget, schedule or scope of service.

In the event any bill or portion thereof is disputed by CLIENT, CLIENT shall notify HZI within ten days of receipt of the bill

in question, and CLIENT and HZI shall work together to resolve the matter within 60 days of its being called to HZI's attention. If resolution of the matter is not attained within 60 days, either party may terminate this AGREEMENT.

**6. LIMITATION OF LIABILITY**

In order for the CLIENT to obtain the benefits of a fee which includes a lesser allowance for risk funding, the CLIENT agrees to limit HZI's liability arising from HZI's professional acts, errors or omissions, such that the total aggregate liability of HZI shall not exceed HZI's total fee for the services rendered on this project.

**7. CONSEQUENTIAL DAMAGES**

The CLIENT shall not be liable to HZI and HZI shall not be liable to the CLIENT for any consequential damages incurred by either due to the fault of the other, regardless of the nature of this fault, or whether it was committed by the CLIENT or HZI, their employees, agents or subcontractors. Consequential damages include, but are not limited to loss of use and loss of profit.

**8. TERMINATION**

In the event termination becomes necessary, the party (CLIENT or HZI) effecting termination shall so notify the other party, and termination will become effective fourteen (14) calendar days after receipt of the termination notice. Irrespective of which party shall effect termination or the cause of termination, the CLIENT shall within thirty (30) calendar days of termination remunerate HZI for services rendered and costs incurred up to the effective time of termination, in accordance with HZI's prevailing fee schedule and expense reimbursement policy.

**9. ADDITIONAL SERVICES**

Any services beyond those specified will be provided for separately under an additional Work Authorization or amended Work Authorization.

**IF ANY ONE OR MORE OF THE PROVISIONS CONTAINED IN THIS AGREEMENT SHALL BE HELD UNENFORCEABLE, THE ENFORCEABILITY OF THE REMAINING PROVISIONS SHALL NOT BE IMPAIRED.**

Client Int. \_\_\_\_\_

**SPECTRUM DRIVE-NORTH EXTENSION**

**COMPLETION SCHEDULE**

	<b>DATE</b>
Notice to Proceed	March 1, 2002
Preliminary Meeting with City	March 4, 2002
Begin Field Surveys	March 4, 2002
Complete Field Surveys	March 22, 2002
Preliminary meeting with D.A.R.T.	March 25, 2002
Submit Preliminary Plans to City and D.A.R.T. for Review	May 31, 2002
Receive Review Comments from City and D.A.R.T.	June 21, 2002
Complete Final Plans	July 24, 2002
City Final Review Comments	August 9, 2002
Advertise Project	August 15, 2002
Receive Bid	September 9, 2002
Award Construction Contract	September 24, 2002
Notice to Proceed (Construction)	October 1, 2002
Construction	October 2002 thru March 2003

<b>OPINION OF PROBABLE CONSTRUCTION COST</b> <b>PROJECT: SPECTRUM DRIVE EXTENSION</b>								HUITT-ZOLLARS, INC. JOB NO. DATE: 25-Jan-02	
<b>CLIENT: TOWN OF ADDISON</b>									
ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTURM DR. MORRIS to R-2 430 LF	SPECTURM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT	
<b>SUMMARY</b>									
PAVING IMPROVEMENTS			\$134,260	\$129,705	\$180,197	\$227,596		\$671,758	
STREETSCAPE IMPROVEMENTS			\$161,134	\$160,036	\$231,552	\$270,632		\$823,354	
DRAINAGE IMPROVEMENTS			\$14,100	\$47,677	\$88,456	\$146,654		\$296,886	
WASTEWATER IMPROVEMENTS			\$11,876	\$21,560	\$30,476	\$0		\$63,912	
WATER IMPROVEMENTS			\$56,688	\$77,295	\$94,906	\$68,235		\$297,123	
ELECTRICAL IMPROVEMENTS			\$12,960	\$67,020	\$89,700	\$117,960		\$287,640	
COMMUNICATION AND GAS IMPROVEMENTS			\$31,365	\$21,420	\$35,037	\$39,168		\$126,990	
RAILROAD CROSSING						\$50,000		\$50,000	
TRAFFIC SIGNALS						\$50,000		\$50,000	
<b>SUBTOTAL</b>			\$422,382	\$524,713	\$750,324	\$970,244		\$2,667,663	
<b>CONTINGENCIES (15%)</b>			\$63,357	\$78,707	\$112,549	\$145,537		\$400,149	
<b>TOTAL</b>			<b>\$485,739</b>	<b>\$603,420</b>	<b>\$862,872</b>	<b>\$1,115,781</b>		<b>\$3,067,812</b>	

NOTES:

1. Basis for unit prices is Addison Circle Phase 2B plus 10%.
2. Streetscape section west side of Airport north of R-1 is a 5' grass parkway with street trees and 5' concrete sidewalk



OPINION OF PROBABLE CONSTRUCTION COST PROJECT: SPECTRUM DRIVE EXTENSION								HUITT-ZOLLARS, INC. JOB NO. DATE: 25-Jan-02	
CLIENT: TOWN OF ADDISON									
ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT	
<b>PAVING IMPROVEMENTS</b>									
MOBILIZATION	LS	\$20,000.00	0.22	0.19	0.26	0.33	1.00	\$20,000	
UNCLASSIFIED STREET EXCAVATION	CY	\$9.00	1100	880	1320	3200	6500.00	\$58,500	
FULL DEPTH SAWCUT EXIST. CONCRETE	LF	\$3.00	200			200	400.00	\$1,200	
REM. & DISPOSE OF EXIST. CONC. PAVEMENT	SY	\$15.70	20			20	40.00	\$628	
REM. & DISPOSE OF EXIST. 4" CONC. SIDEWALK	SY	\$10.00	8			8	16.00	\$160	
6" THICK 650 PSI FLEX REINF. CONC. PAVEMENT	SY	\$30.00		75	75		150.00	\$4,500	
6" THICK 650 PSI FLEX REINF. CONC. DROP SLAB (STREET)	SY	\$35.00		75	75		150.00	\$5,250	
8" THICK 650 PSI FLEX REINF. CONC. PAVEMENT	SY	\$37.00	1650	1380	2070	2400	7500.00	\$277,500	
8" THICK 650 PSI FLEX REINF. CONC. DROP SLAB (STREET)	SY	\$44.00	100	100	100	200	500.00	\$22,000	
6" THICK LIME STAB. SUBGRADE	SY	\$4.80	1830	1524	2286	2715	8355.00	\$40,104	
HYDRATED LIME (33 LBS/SY)	TON	\$130.00	30.2	25.1	37.7	44.8	137.80	\$17,914	
6" 650 PSI FLEX REINF. CONC INTEGRAL CURB	LF	\$3.10	700	1460	1040	1040	4240.00	\$13,144	
6" 650 PSI FLEX REINF. CONC. DRIVE W/WO DROP SLAB	SY	\$34.00	50	25	25	50	150.00	\$5,100	
REINF. CONC. STREET HEADER	LF	\$6.00	105		75	105	285.00	\$1,710	
LONGITUDINAL BUTT JOINT	LF	\$5.50	105		75	105	285.00	\$1,568	
FURNISH VEHICULAR BRICK PAVER, DELIVERED TO SITE	SF	\$3.70	900	1575	1575	1800	5850.00	\$21,645	
FURNISH & INST. BEDDING MAT. & INST. VEHICULAR BRICK	SF	\$2.70	900	1575	1575	1800	5850.00	\$15,795	
4" 3000 PSI COMPRESSIVE REINF. CONC. SIDEWALK	SF	\$4.00	1810	144	216	120	2290.00	\$9,160	
4" 3000 PSI COMPRESSIVE REINF. CONC. SUBBASE (SIDEWALK)	SF	\$4.00	3420	5760	8640	10440	28260.00	\$113,040	
STREET AND TRAFFIC CONTROL SIGNS	EA	\$340.00	4	5	7	8	24.00	\$8,160	
STREET NAME SIGN AND MOUNTING HARDWARE	EA	\$490.00	1	1	1	1	4.00	\$1,960	
STREET SIGN POST, FOUNDATION, MOUNTING HARDWARE	EA	\$320.00	5	5	7	9	26.00	\$8,320	
24" THERMOPLASTIC STOP LINE	LF	\$30.00	25			50	75.00	\$2,250	
TRAFFIC BUTTONS	EA	\$4.00	112	94	140	166	512.00	\$2,048	
STREET BARRICADE	LF	\$34.00		1	2		3.00	\$102	
BARRICADING, SIGNING AND TRAFFIC CONTROL	LS	\$10,000.00	0.22	0.19	0.26	0.33	1.00	\$10,000	
MISC. DEMOLITION	LS	\$10,000.00	0.22	0.19	0.26	0.33	1.00	\$10,000	
<b>PAVING SUBTOTAL</b>			\$ 134,260	\$ 129,705	\$ 180,197	\$ 227,596		\$ 671,758	

**OPINION OF PROBABLE CONSTRUCTION COST  
PROJECT: SPECTRUM DRIVE EXTENSION**

HUITT-ZOLLARS, INC.  
JOB NO.  
DATE: 25-Jan-02

**CLIENT: TOWN OF ADDISON**

ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT
<b>STREETSCAPE IMPROVEMENTS</b>								
IRRIGATION SYSTEM INCL. POWER FOR CONTROLLERS	LF	\$15.00	700	584	876	1040	3200.00	\$48,000
TREE FENCE	LF	\$23.00	442	748	1088	1292	3570.00	\$82,110
4" PVC SCH. 40 PERFORATED DRAIN SYSTEM	LF	\$22.00	700	584	876	1040	3200.00	\$70,400
BENCH	EA	\$1,800.00	4	3	5	4	16.00	\$28,800
BIKE RACK	EA	\$600.00					0.00	\$0
TRASH RECEPTACLE	EA	\$1,000.00	2	2	2	2	8.00	\$8,000
200 GAL. TREE	EA	\$1,650.00	26	22	32	38	118.00	\$194,700
100 GAL. TREE	EA	\$800.00					0.00	\$0
PLANTING ALLOWANCE (TREE WELLS)	SF	\$4.50	780	1296	1944	2280	6300.00	\$28,350
HYDROMULCH	SF	\$0.40	14000	11680	17520	20800	64000.00	\$25,600
PEDESTRIAN STREET LIGHT FOUNDATION AND CAP	EA	\$625.00	10	8	12	12	42.00	\$26,250
HANGING LIGHT FOUNDATION POLE	EA	\$1,000.00					0.00	\$0
HANGING LIGHT POLE	EA	\$2,500.00					0.00	\$0
BEGA POLE WITH SINGLE LUMINAIRE	EA	\$3,100.00	7	5	10	10	32.00	\$99,200
BEGA POLE WITH DOUBLE LUMINAIRE	EA	\$4,400.00	3	3	2	2	10.00	\$44,000
HANGING LIGHT LUMINAIRE	EA	\$1,000.00					0.00	\$0
STREET LIGHT CONDUIT	LF	\$4.00	700	584	876	1040	3200.00	\$12,800
STREET LIGHT PULL BOX	EA	\$340.00	4	8	4	4	20.00	\$6,800
STREET LIGHT CONDUCTOR (Multiple Runs)	LF	\$5.00	700	584	876	1040	3200.00	\$16,000
BOLLARDS	EA	\$400.00				20	20.00	\$8,000
FURNISH GLEN GERY PEDESTRIAN BRICK	SF	\$2.80	3420	5760	8640	10440	28260.00	\$79,128
FURNISH BEDDING MATERIALS AND PLACE PED. BRICK	SF	\$1.60	3420	5760	8640	10440	28260.00	\$45,216
<b>STREETSCAPE SUBTOTAL</b>			\$ 161,134	\$ 160,036	\$ 231,552	\$ 270,632		\$ 823,354

**OPINION OF PROBABLE CONSTRUCTION COST  
PROJECT: SPECTRUM DRIVE EXTENSION**

HUITT-ZOLLARS, INC.  
JOB NO.  
DATE: 25-Jan-02

**CLIENT: TOWN OF ADDISON**

ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT
<b>DRAINAGE IMPROVEMENTS</b>								
18" CL. III RCP, INCLUDING EMBEDMENT	LF	\$59.40	50	40	40		130.00	\$7,722
21" CL. III RCP, INCLUDING EMBEDMENT	LF	\$62.70	40	30	30		100.00	\$6,270
24" CL. III RCP, INCLUDING EMBEDMENT	LF	\$68.20		60		60	120.00	\$8,184
27" CL. III RCP, INCLUDING EMBEDMENT	LF	\$73.00		240			240.00	\$17,520
30" CL. III RCP, INCLUDING EMBEDMENT	LF	\$92.00			40		40.00	\$3,680
36" CL. III RCP, INCLUDING EMBEDMENT	LF	\$105.00			50		50.00	\$5,250
39" CL. III RCP, INCLUDING EMBEDMENT	LF	\$114.00					0.00	\$0
42" CL. III RCP, INCLUDING EMBEDMENT	LF	\$130.00			400	800	1200.00	\$156,000
60" CL. III RCP, INCLUDING EMBEDMENT	LF	\$130.00				60	60.00	\$7,800
JUNCTION STRUCTURE	LS	\$10,000.00				1	1.00	\$10,000
REMOVE & DISPOSE OF EXIST. INLET	EA	\$600.00					0.00	\$0
6' MOD. REC. CURB INLET W/ REC. TOP FOR BRICK (EXTRA DEPTH)	EA	\$2,500.00		2	2	2	6.00	\$15,000
10' REC. CURB INLET W/ REC. TOP FOR BRICK (EXTRA DEPTH)	EA	\$3,600.00		2	2		4.00	\$14,400
STORMWATER MANHOLE	EA	\$3,850.00		1	1	1	3.00	\$11,550
RCP 60 DEGREE FACTORY WYE CONNECTION	EA	\$330.00	2	3	3	2	10.00	\$3,300
PIPE TO STRUCTURE CONNECTION	EA	\$440.00		1	1	2	4.00	\$1,760
PRECAST CONCRETE PLUG	EA	\$120.00		1	1		2.00	\$240
INLET PROTECTION	EA	\$275.00	2	4	4	2	12.00	\$3,300
SILT FENCE	LF	\$2.20	350	300	430	500	1580.00	\$3,476
STABILIZED CONSTRUCTION ENTRANCE	SY	\$20.00	200				200.00	\$4,000
TRENCH SAFETY DESIGN FOR ALL UTILITIES	LS	\$550.00	0.22	0.19	0.26	0.33	1.00	\$550
TRENCH SAFETY FOR CONSTRUCTION	LF	\$1.10	90	370	560	400	1420.00	\$1,562
2" PVC SLEEVE	LF	\$4.40	280	220	330	550	1380.00	\$6,072
4" PVC SLEEVE	LF	\$5.20	140	110	170	280	700.00	\$3,640
6" PVC SLEEVE	LF	\$6.60	70	60	80	140	350.00	\$2,310
5' x 5' TYPE 'Y' INLET	EA	\$3,300.00				1	1.00	\$3,300
<b>DRAINAGE SUBTOTAL</b>			\$ 14,100	\$ 47,677	\$ 88,456	\$ 146,654	47676.50	<b>\$296,886</b>

**OPINION OF PROBABLE CONSTRUCTION COST  
PROJECT: SPECTRUM DRIVE EXTENSION**

HUITT-ZOLLARS, INC.

JOB NO.

DATE: 25-Jan-02

**CLIENT: TOWN OF ADDISON**

ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT
<b>WASTEWATER IMPROVEMENTS</b>								
8" SDR 26 PVC WASTEWATER LINE INCLUDING EMBEDMENT	LF	\$41.00	180	300	430		910.00	\$37,310
6" SDR 35 PVC WW LAT. W/ 2-WAY C.O. & CAST IRON LID	EA	\$1,650.00	2	2	4		8.00	\$13,200
5' DIA. WASTEWATER MANHOLE	EA	\$4,500.00		1	1		2.00	\$9,000
TV INSPECTION	LF	\$1.10	180	300	430		910.00	\$1,001
TRENCH SAFETY FOR CONSTRUCTION	LF	\$1.10	180	300	430		910.00	\$1,001
CONCRETE ENCASEMENT	LF	\$40.00	20	20	20		60.00	\$2,400
<b>WASTEWATER SUBTOTAL</b>			\$ 11,876	\$ 21,560	\$ 30,476	\$ -		\$ 63,912

<b>WATER IMPROVEMENTS</b>								
CONCRETE BLOCKING	CY	\$275.00	0.5	0.5	0.5	0.5	2.00	\$550
D.I. CL. 250 IRON FITTINGS	TON	\$3,300.00	0.1	0.1	0.1	0.1	0.40	\$1,320
6" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, INCL. EMBED	LF	\$21.00	140	130	190	140	600.00	\$12,600
8" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, INCL. EMBED	LF	\$23.00		80	130		210.00	\$4,830
12" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, INCL. EMBED	LF	\$33.00	350	300	430	400	1480.00	\$48,840
12" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, Incl. Encasement Pipe, By Bore	LF	\$100.00				120	120.00	\$12,000
6" DIA. RESILIENT SEAT GATE VALVE/BOX	EA	\$715.00	4	4	6	4	18.00	\$12,870
8" DIA. RESILIENT SEAT GATE VALVE/BOX	EA	\$825.00		1	2		3.00	\$2,475
12" DIA. RESILIENT SEAT GATE VALVE/BOX	EA	\$1,360.00	2	2	4	2	10.00	\$13,600
FIRE HYDRANT	EA	\$1,540.00	2	2	3	2	9.00	\$13,860
CONN. TO EXIST. WATER MAIN (ALL SIZES)	EA	\$880.00		1	1	2	4.00	\$3,520
1.5" WATER SERVICE, CHECK VALVE, BOXES, METER	EA	\$2,100.00	2	2	4	2	10.00	\$21,000
2" DOMESTIC SERVICE, METER, BOXES, CHECK VALVE	EA	\$2,800.00					0.00	\$0
4" DOMESTIC SERVICE, METER, BOX	EA	\$11,700.00	1	2	2	1	6.00	\$70,200
6" FIRE LINE, CHECK VALVE, BOX, METER	EA	\$11,300.00	1	2	2	1	6.00	\$67,800
12" X 8" TAPPING SLEEVE VALVE/BOX	EA	\$4,000.00	1				1.00	\$4,000
24" X 8" TAPPING SLEEVE VALVE/BOX	EA	\$4,500.00					0.00	\$0
TRENCH SAFETY FOR CONSTRUCTION	LF	\$1.10	350	300	430	400	1480.00	\$1,628
WATER TEST	LS	\$750.00	0.22	0.19	0.26	0.33	1.00	\$750
CONCRETE ENCASEMENT	LF	\$44.00	30	30	30	30	120.00	\$5,280
<b>WATER SUBTOTAL</b>			\$ 56,688	\$ 77,295	\$ 94,906	\$ 68,235		\$ 297,123

<b>OPINION OF PROBABLE CONSTRUCTION COST</b>								HUIT-ZOLLARS, INC.	
<b>PROJECT: SPECTRUM DRIVE EXTENSION</b>								JOB NO.	
<b>CLIENT: TOWN OF ADDISON</b>								DATE: 25-Jan-02	

ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT
<b>ELECTRICAL IMPROVEMENTS</b>								
4E6 CONC. ENCASED DUCTBANK, 6" DIA. TYPE DB PVC CONDUIT	LF	\$90.00	80	40	80	80	280.00	\$25,200
6E6 CONC. ENCASED DUCTBANK, 6" DIA. TYPE DB PVC CONDUIT	LF	\$110.00					0.00	\$0
8E6 CONC. ENCASED DUCTBANK, 6" DIA. TYPE DB PVC CONDUIT	LF	\$140.00		300	430	520	1250.00	\$175,000
TUE STANDARD 3-WAY MANHOLE	EA	\$16,100.00		1	1	2	4.00	\$64,400
TUE STANDARD PRECAST DEEP WELL 25 KV SWITCH PAD	EA	\$2,000.00	2	2	2	2	8.00	\$16,000
6" DIA. TYPE DB PVC 90 DEG. SWEEPS, 36"	EA	\$110.00	16	12	20	16	64.00	\$7,040
<b>ELECTRICAL SUBTOTAL</b>			\$ 12,960	\$ 67,020	\$ 89,700	\$ 117,960		\$ 287,640

<b>COMMUNICATION AND GAS</b>								
COMMUNICATION DUCT (INCLUDING INNERDUCT)	LF	\$30.60	350	300	430	520	1600.00	\$48,960
COMMUNICATION MANHOLES	EA	\$7,650.00	2	1	2	2	7.00	\$53,550
GAS MAIN	LF	\$15.30	350	300	430	520	1600.00	\$24,480
<b>COMMUNICATION AND GAS SUB-TOTAL</b>			\$ 31,365	\$ 21,420	\$ 35,037	\$ 39,168	21420.00	\$ 126,990

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 3131 McKinney Ave. • Suite 600 • Dallas, TX 75204-2489 • 214.871.3311 phone • 214.871.0757 fax • huitt-zollars.com

January 25, 2002

Mr. Steven Z. Chutchian, P.E.  
Assistant City Engineer  
Town of Addison  
16801 Westgrove Drive  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Spectrum Drive-North & South Extensions  
Proposal for Professional Services**

Dear Mr. Chutchian

Huitt-Zollars is pleased to submit this proposal for professional services associated with the above referenced public improvement project located in Addison, Texas. This proposal encompasses civil engineering, surveying, landscape architecture, irrigation and traffic signal design for the project. There should be no additional tasks, services or fees required in these disciplines to complete the project as we currently understand it with the exception of a railroad crossing design to be coordinated with D.A.R.T as described later in this proposal.

This project generally consists of civil engineering, surveying and landscape architecture design for public infrastructure associated with Spectrum Drive-North and South Extensions. The limits of the work are as follows:

- North Extension - From a point approximately 85 feet north of the centerline intersection of Spectrum Drive and Morris Avenue north approximately 1,100 linear feet to Airport Parkway.
- South Extension - From railroad (D.A.R.T. right-of-way) south approximately 540 linear feet to Arapaho Road.

Plans and specifications will be produced to the standards for public infrastructure of the Town of Addison and the Addison Urban Center Development Guidelines with the intent of publicly bidding the construction work. Plans will specifically provide for paving, water, wastewater, drainage, electric ductbank, streetscape elements, planting and irrigation. It is our understanding that Huitt-Zollars will prepare one set of construction and bidding documents for the limits of work described above. In the event that the Town decides to Phase the project, a separate proposal for additional services will be prepared at that time. That is the basis for our scope and fees. Projects of this nature fall into the following major categories, any or all of which you may deem necessary for your purposes.

- I. SURVEYING**
- II. CIVIL SERVICES**
- III. LANDSCAPE SERVICES**
- IV. GEO-TECHNICAL SERVICES**
- V. RAILROAD CROSSING DESIGN**
- VI. TRAFFIC SIGNAL DESIGN**
- VII. REIMBURSABLE EXPENSES**

**Our detailed scope is as follows:**

**I. SURVEYING**

**A. TOPOGRAPHIC SURVEY**

1. Perform the field work necessary to locate existing features within and adjacent to the proposed alignment of Spectrum Drive from Morris Avenue to Airport Parkway and from Arapaho Road to the railroad. (25 feet either side of proposed R.O.W. line of Spectrum) This will include topographic shots at key locations of change in grade, driveways, swales and other distinct features that can be used in the paving design. In addition we will locate surface features such as valves, fire hydrants, manholes and other pertinent items to be used in the generation of a topographic map to be used for design.

**B. RIGHT-OF-WAY DEDICATION DOCUMENTS**

1. Establish existing right-of-way of Spectrum Drive, Morris Avenue and Airport Parkway and prepare a right-of-way plan based on deed and plat research, and an on the ground survey of existing property corners.
2. Based on deed and plat research, survey of existing right-of-way and property corners, establish the horizontal alignment for the extension of Spectrum Drive. Based on the established alignment and after approved by the Town of Addison, we will prepare a right-of-way map and legal dedication documents including metes and bounds descriptions of Spectrum Drive right-of-way dedications (Assumes three property owners).
3. Attend necessary staff meetings, public hearings, etc.. for the processing and approval of the right-of-way dedication. Provide the Town with the required legal descriptions and exhibits for recordation in the Dallas County Deed Records.

**C. MISCELLANEOUS SURVEYING**

1. In addition to the above services our surveyors will set all centerline PC's, PT's and PI's one time for construction control. It will be the responsibility of the contractor to maintain this control. No other construction staking is anticipated under this contract.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$20,000.**

**II. CIVIL SERVICES**

**A. CONSTRUCTION DOCUMENTS**

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. The plans will include the following elements, grouped as necessary for the various submittal and review processes:
  - Cover Sheet and General Notes
  - Construction Quantities (in bid/specification book)
  - Horizontal Control/R.O.W. Map
  - Paving Plans and Profiles
  - Paving Details
  - Sleeving Plan
  - Drainage Area Map

- Storm Sewer Plans and Profiles
  - Storm Sewer Details
  - Water Plans and Profiles
  - Water Details
  - Wastewater Plans and Profiles
  - Wastewater Details
  - Streetscape Plans Showing Tree Locations, Light Locations, Sub-Drain System, Sidewalk Patterns, Crosswalk Details, etc.
  - Electrical Design for Pedestrian Lighting
  - Streetscape Details
  - Electric Ductbank Plans, Profiles and Details
  - Erosion Control Plan (SWPPP) and Details
2. Basic services for preparation and processing of plans also includes the following tasks:
- Prepare specifications to supplement Addison standard specifications and construction details where applicable.
  - Prepare quantity take-offs and opinions of probable construction cost at the time plans are submitted for Town review.
  - Prepare documents for advertisement and bidding.
  - Provide up to 20 bid sets and up to 10 construction sets. (These quantities are the basis for reimbursable expenses as estimated below and may be adjusted as desired with comparable adjustments in the allowance for reimbursables)
  - Necessary coordination with the Town and franchised utilities is included in the above-listed services; however, no designs or plans for construction of franchised utilities are included except for TXU electric ductbank design.

B. CONSTRUCTION SUPPORT

Huitt-Zollars will provide construction support services as distinguished from an on-site representative provided by the Town of Addison. The combined tasks for all personnel will be as follows:

1. Assist the Town in preparing documents for advertisement and bidding; conduct pre-bid meeting; prepare and issue addenda; evaluate bids; make recommendation for award; and assist the Town in preparation of construction contract.
2. Make periodic visits to the site (as distinguished from the continuous service of a resident Project representative) to observe the progress and quality of the executed work and to determine in general if the work is proceeding in accordance with the Contract Documents. In performing these services the Engineer will endeavor to protect the Town against defects and deficiencies in the work of the contractor, but engineer cannot guarantee the performance of the contractor, nor be responsible for the actual supervision of construction operations or for the safety measures that the contractor takes or should take.
3. Consult and advise the Town; issue instructions to the contractor requested by the Town; and prepare and issue routine change orders with Town approval
4. Review samples, catalog data, schedules, shop drawings, laboratory, shop and mill tests of material and equipment and other data which the contractor submits. This review is for the benefit of the Town and covers only general conformance with the information given by the Contract Documents. The contractor is to review and stamp his approval on submittals prior to submitting to Engineer, and review by the Engineer does not relieve the contractor of any responsibility such as dimensions to be confirmed and correlated at the job site, appropriate safety measures to protect workers and the public, or the necessity to construct a complete and workable facility in accordance with the Contract Documents.



5. Obtain and review monthly and final estimates for payments to contractors, and furnish to the Town recommended payments to contractors and suppliers; assemble written guarantees which are required by the Contract documents.
6. Schedule and conduct, in conjunction with Town and Contractor, required final inspection walk-through and follow up on contractor's punch list items.
7. Compile and submit all documentation for final acceptance of public facilities, including mylar record drawings.
8. Assist Town and Contractor in locating and tagging street trees. This is limited to a maximum of 2 out of town trips.

All work is assumed to supplement the primary inspection activities of the Town of Addison and the franchised utility companies.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$150,000**.

### **III. LANDSCAPE SERVICES**

#### **A. CONSTRUCTION DOCUMENTS**

1. Construction documents will be prepared to the standards of the Town of Addison and the design guidelines established for the Urban Center Zoning District. The plans will include the following elements, grouped as necessary for the various submittal and review processes:
  - Landscape Plans Showing Tree Species, Planting and Turf areas, Details and Specifications for Planting in the Public Right-Of-Way
  - Irrigation Plans and Details

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$18,000**.

### **IV. GEO-TECHNICAL SERVICES**

Huitt-Zollars will enlist the services of a qualified geo-technical engineering firm to perform the following tasks.

1. Meet with Town officials to review and identify bore locations.
2. Stake the bore hole locations in the field.
3. Obtain soil samples from bore holes for material testing. The bore holes and subsequent tests will identify the depth of the tan and gray limestone, plasticity and other properties of the soil.
4. Prepare a written report of findings including the following:
  - a) Plan of borings, boring logs, laboratory test results and water level observations.
  - b) General soil and subsurface water conditions at the boring locations.
  - c) Evaluation of the swell characteristics of the subsurface soils.
  - d) Earthwork recommendations
  - e) Guidelines for pavement design and concrete pavement sections.

Huitt-Zollars compensation for the above referenced services shall be the Hourly Not-to-Exceed amount of **\$8,500**.

## V. RAILROAD CROSSING DESIGN

Huitt-Zollars will prepare and coordinate design plans for a railroad crossing across D.A.R.T. right-of-way. It is our understanding that this crossing will be a two track crossing for future D.A.R.T. rail lines. The plans will generally consist of the following:

- Railroad Crossing Plan
- Railroad Crossing Details

This scope also includes coordination with D.A.R.T. , the Town of Addison and other governing agencies that may have jurisdiction on the existing rail.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$8,000**.

## VI. TRAFFIC SIGNAL DESIGN

Huitt-Zollars will prepare a traffic signal design at the intersection of proposed Spectrum Drive and existing Arapaho Road. The plans will generally consist of the following:

- Signalization Plan – Identifying horizontal layout of signals, conduit runs, signal head placement diagrams, mast arm signing, and detector loop locations.
- Phase Diagram Plan
- Traffic signal pole, arms, heads, mast arm, transformer base controller cabinet and signal foundation details.

This scope also includes coordination with the Town of Addison and D.A.R.T. to determine proper interconnecting of signals to existing traffic signals and the D.A.R.T. rail crossing. It is assumed that traffic counts and or a traffic study will be provided to Huitt-Zollars by others.

Huitt-Zollars compensation for the above listed services shall be the Lump Sum amount of **\$10,000**.

## VII. REIMBURSABLE EXPENSES

Reimbursable expenses accrued through printing for distribution outside our office, photocopies, computer plotting, deliveries, travel, long distance calls, express mail, postage and similar out of pocket expenses shall be reimbursed at cost plus ten percent and are estimated to be **\$8,000**. This includes the bidding and construction sets as noted above.

### Assumptions:

1. Traffic control and detour plans, if required, will be provided by the contractor prior to construction activities. These plans are not included in the design fee.
2. Traffic Studies and if required are not included in this proposal.
3. Construction Support services, beyond the services noted above, are not included in this proposal but can be provided for additional compensation.
4. Franchise utility burial plans, if required, will be provided by the respective franchise companies except for the TXU duct design as noted in the scope.
5. The specifications and details necessary to construct the civil elements will be provided by note or drawing on the construction documents. Primarily the civil elements will be constructed per the North Central Texas Council of Governments (NCTCOG) specifications and details or the Town of Addison standard details.
6. There are no substantial environmental, habitat or endangered species issues with respect to this site.

7. The client will provide all submittal fees, review fees, permit fees and all other regulatory fees required for this project in advance of their need and in addition to the stated budget for reimbursable expenses.

Summary of Services and Compensation

	<u>Description</u>	<u>Fee Basis</u>	<u>Amount</u>
Item I.	Surveying	Lump Sum	\$20,000.00
Item II.	Civil Services	Lump Sum	\$150,000.00
Item III.	Landscape Services	Lump Sum	\$18,000.00
Item IV.	Geo-technical Services	Hourly (Not to Exceed)	\$8,500.00
Item V.	Railroad Crossing Design	Lump Sum	\$8,000.00
Item VI.	Traffic Signal Design	Lump Sum	\$10,000.00
Item VII.	Reimbursable Expenses	Estimate	<u>\$8,000.00</u>
<b>Total Services</b>			<b>\$222,500.00</b>

Previous experience indicates that revisions and alterations are inevitable. However, if properly tended in the design stage, revisions incurred will be considered minor and incidental to the base contract. Major alterations to the design development, construction staking, and field inspection program are, of course, beyond our control. In this event, our office will notify you in advance of approximate cost and we will proceed upon receipt of signed Work Authorization. All additional work shall be invoiced monthly and reimbursed on a "Time and Materials" basis using actual direct salary cost for the persons working on the project, times a multiplier which is an overhead factor, including profit. The general range of direct salary cost for various employees is provided on the attached schedule. Following Town approval of the plans, no changes will be made without additional compensation unless such changes are required due to our oversight.

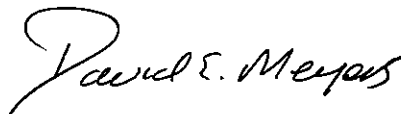
A copy of our current rate schedule is enclosed as Exhibit "A" and our standard contract provisions are enclosed as Exhibit "B". If this proposal is acceptable, please sign below, initial the exhibits and return one copy for our records.

Thank you for this opportunity to be of service.

Sincerely,


HUITT-ZOLLARS, INC.

Accepted for **TOWN OF ADDISON**

  
 David E. Meyers, P.E.  
 Associate *DM*

\_\_\_\_\_  
 Signature

\_\_\_\_\_  
 Printed Name and Title

  
 Robert L. Phillips  
 Senior Vice President

\_\_\_\_\_  
 Date

**DALLAS**

**HUITT-ZOLLARS, INC.  
BASIS FOR PROFESSIONAL FEES AND CHARGES  
April 1, 2000**

Projects indicated to be performed on a "Time and Materials" basis will be invoiced monthly using actual direct salary cost for the persons working on the project times a multiplier which is an overhead factor, including profit. The current year multiplier is 2.44. The general ranges of direct salary cost for various employees are as follows:

Senior Officer, Principal	\$55.00 to \$110.00
Architect/Engineer VII, VIII, Officer	\$35.00 to \$ 70.00
Architect/Engineer IV, V, VI	\$25.00 to \$ 50.00
Architect/Engineer I, II, III	\$21.00 to \$ 45.00
Designer I through Design Manager	\$21.00 to \$ 45.00
CADD Tech I through Supervisor	\$10.00 to \$ 35.00
Project Support: Includes Clerical, Computer Systems, Document Control, and Accounting Support	\$ 7.00 to \$ 28.00

**SURVEY CREWS WILL BE INVOICED ON AN HOURLY RATE BASIS:**

1 Person Robotic Total Station Crew	\$75.00
2 Person Total Station Crew	\$95.00
3 Person Total Station Crew	\$115.00
4 Person Total Station Crew	\$135.00
1 Person GPS Crew	\$140.00
2 Person GPS Crew	\$160.00
3 Person GPS Crew	\$185.00

**HOURLY BILLING RATES  
EXPERT WITNESS**

Testimony	\$260.00
Standby	\$130.00
Preparation	\$130.00

**REIMBURSABLE EXPENSES WILL BE INVOICED AS FOLLOWS:**

In House Blue Prints	\$ 0.20/ft <sup>2</sup>
In House Photocopies	\$ 0.10/page
Outside Services	Cost + 10%
Mileage	\$ 0.325/mile

Client Int. \_\_\_\_\_

OPINION OF PROBABLE CONSTRUCTION COST PROJECT: SPECTRUM DRIVE EXTENSION								HUITT-ZOLLARS, INC. JOB NO. DATE: 25-Jan-02	
CLIENT: TOWN OF ADDISON									
ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT	
<b>SUMMARY</b>									
PAVING IMPROVEMENTS			\$134,260	\$129,705	\$180,197	\$227,596		\$671,758	
STREETSCAPE IMPROVEMENTS			\$161,134	\$160,036	\$231,552	\$270,632		\$823,354	
DRAINAGE IMPROVEMENTS			\$14,100	\$47,677	\$88,456	\$146,654		\$296,886	
WASTEWATER IMPROVEMENTS			\$11,876	\$21,560	\$30,476	\$0		\$63,912	
WATER IMPROVEMENTS			\$56,688	\$77,295	\$94,906	\$68,235		\$297,123	
ELECTRICAL IMPROVEMENTS			\$12,960	\$67,020	\$89,700	\$117,960		\$287,640	
COMMUNICATION AND GAS IMPROVEMENTS			\$31,365	\$21,420	\$35,037	\$39,168		\$126,990	
RAILROAD CROSSING						\$50,000		\$50,000	
TRAFFIC SIGNALS						\$50,000		\$50,000	
SUBTOTAL			\$422,382	\$524,713	\$750,324	\$970,244		\$2,667,663	
CONTINGENCIES (15%)			\$63,357	\$78,707	\$112,549	\$145,537		\$400,149	
TOTAL			\$485,739	\$603,420	\$862,872	\$1,115,781		\$3,067,812	

NOTES:

1. Basis for unit prices is Addison Circle Phase 2B plus 10%.
2. Streetscape section west side of Airport north of R-1 is a 5' grass parkway with street trees and 5' concrete sidewalk

**OPINION OF PROBABLE CONSTRUCTION COST  
PROJECT: SPECTRUM DRIVE EXTENSION**

HUITT-ZOLLARS, INC.  
JOB NO.  
DATE: 25-Jan-02

**CLIENT: TOWN OF ADDISON**

ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT
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5' DIA. WASTEWATER MANHOLE	EA	\$4,500.00		1	1		2.00	\$9,000
TV INSPECTION	LF	\$1.10	180	300	430		910.00	\$1,001
TRENCH SAFETY FOR CONSTRUCTION	LF	\$1.10	180	300	430		910.00	\$1,001
CONCRETE ENCASEMENT	LF	\$40.00	20	20	20		60.00	\$2,400
<b>WASTEWATER SUBTOTAL</b>			\$ 11,876	\$ 21,560	\$ 30,476	\$ -		\$ 63,912

<b>WATER IMPROVEMENTS</b>								
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6" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, INCL. EMBED	LF	\$21.00	140	130	190	140	600.00	\$12,600
8" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, INCL. EMBED	LF	\$23.00		80	130		210.00	\$4,830
12" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, INCL. EMBED	LF	\$33.00	350	300	430	400	1480.00	\$48,840
12" DIA. PVC AWWA C900, DR 18, CL. 150 WATER PIPE, Incl. Encasement Pipe, By Bore	LF	\$100.00				120	120.00	\$12,000
6" DIA. RESILIENT SEAT GATE VALVE/BOX	EA	\$715.00	4	4	6	4	18.00	\$12,870
8" DIA. RESILIENT SEAT GATE VALVE/BOX	EA	\$825.00		1	2		3.00	\$2,475
12" DIA. RESILIENT SEAT GATE VALVE/BOX	EA	\$1,360.00	2	2	4	2	10.00	\$13,600
FIRE HYDRANT	EA	\$1,540.00	2	2	3	2	9.00	\$13,860
CONN. TO EXIST. WATER MAIN (ALL SIZES)	EA	\$880.00		1	1	2	4.00	\$3,520
1.5" WATER SERVICE, CHECK VALVE, BOXES, METER	EA	\$2,100.00	2	2	4	2	10.00	\$21,000
2" DOMESTIC SERVICE, METER, BOXES, CHECK VALVE	EA	\$2,800.00					0.00	\$0
4" DOMESTIC SERVICE, METER, BOX	EA	\$11,700.00	1	2	2	1	6.00	\$70,200
6" FIRE LINE, CHECK VALVE, BOX, METER	EA	\$11,300.00	1	2	2	1	6.00	\$67,800
12" X 8" TAPPING SLEEVE VALVE/BOX	EA	\$4,000.00	1				1.00	\$4,000
24" X 8" TAPPING SLEEVE VALVE/BOX	EA	\$4,500.00					0.00	\$0
TRENCH SAFETY FOR CONSTRUCTION	LF	\$1.10	350	300	430	400	1480.00	\$1,628
WATER TEST	LS	\$750.00	0.22	0.19	0.26	0.33	1.00	\$750
CONCRETE ENCASEMENT	LF	\$44.00	30	30	30	30	120.00	\$5,280
<b>WATER SUBTOTAL</b>			\$ 56,688	\$ 77,295	\$ 94,906	\$ 68,235		\$ 297,123

<b>OPINION OF PROBABLE CONSTRUCTION COST</b>								HUITT-ZOLLARS, INC.	
<b>PROJECT: SPECTRUM DRIVE EXTENSION</b>								JOB NO.	
<b>CLIENT: TOWN OF ADDISON</b>								DATE: 25-Jan-02	

ITEM	UNIT	UNIT PRICE	SPECTRUM DR. R-1 TO AIRPORT PKWY. 350 LF	SPECTRUM DR. R-2 to R-1 300 LF	SPECTRUM DR. MORRIS to R-2 430 LF	SPECTRUM DR. Arapaho to R.R. 540 LF	TOTAL QUANTITY	AMOUNT
<b>ELECTRICAL IMPROVEMENTS</b>								
4E6 CONC. ENCASED DUCTBANK, 6" DIA. TYPE DB PVC CONDUIT	LF	\$90.00	80	40	80	80	280.00	\$25,200
6E6 CONC. ENCASED DUCTBANK, 6" DIA. TYPE DB PVC CONDUIT	LF	\$110.00					0.00	\$0
8E6 CONC. ENCASED DUCTBANK, 6" DIA. TYPE DB PVC CONDUIT	LF	\$140.00		300	430	520	1250.00	\$175,000
TUE STANDARD 3-WAY MANHOLE	EA	\$16,100.00		1	1	2	4.00	\$64,400
TUE STANDARD PRECAST DEEP WELL 25 KV SWITCH PAD 6" DIA. TYPE DB PVC 90 DEG. SWEEPS, 36"	EA	\$2,000.00	2	2	2	2	8.00	\$16,000
	EA	\$110.00	16	12	20	16	64.00	\$7,040
<b>ELECTRICAL SUBTOTAL</b>			\$ 12,960	\$ 67,020	\$ 89,700	\$ 117,960		\$ 287,640

<b>COMMUNICATION AND GAS</b>								
COMMUNICATION DUCT (INCLUDING INNERDUCT)	LF	\$30.60	350	300	430	520	1600.00	\$48,960
COMMUNICATION MANHOLES	EA	\$7,650.00	2	1	2	2	7.00	\$53,550
GAS MAIN	LF	\$15.30	350	300	430	520	1600.00	\$24,480
<b>COMMUNICATION AND GAS SUB-TOTAL</b>			\$ 31,365	\$ 21,420	\$ 35,037	\$ 39,168	21420.00	\$ 126,990

**HUITT-ZOLLARS, INC.**  
**TERMS AND CONDITIONS**

**"EXHIBIT B"**

1. **AUTHORIZATION FOR WORK TO PROCEED**  
Signing of this AGREEMENT for services shall be authorization by the CLIENT for Huitt-Zollars, Inc. (HZI) to proceed with the work, unless stated otherwise in the WORK AUTHORIZATION/AGREEMENT.
2. **COST ESTIMATES FOR PROPOSED CONSTRUCTION**  
Construction cost estimates provided by HZI are prepared from experience and judgement. HZI has no control over market conditions or construction procedures and does not warrant that proposals, bids, or actual construction costs will not vary from HZI estimates.
3. **STANDARD OF PRACTICE**  
Services performed by HZI under this AGREEMENT will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended in this AGREEMENT, or in any report, opinion, document or otherwise.
4. **SALES TAXES**  
All sales taxes required to be paid by HZI will be billed to the client in addition to fees.
5. **BILLING AND PAYMENT**  
The CLIENT, recognizing that timely payment is a material part of the consideration of this AGREEMENT, shall pay HZI for services performed in accordance with the rates and charges set forth herein. Invoices will be submitted by HZI on a monthly basis and shall be due and payable within thirty (30) calendar days of invoice date. If the CLIENT objects to all or any portion of an invoice, the CLIENT shall so notify HZI in writing within ten (10) calendar days of receipt of the bill in question, and pay when due that portion of the invoice, not in dispute.

The CLIENT shall pay an additional charge of one-and-one-half (1.5) percent (or the maximum percentage allowed by law, whichever is lower) of the invoiced amount per month for any payment received by HZI more than thirty (30) calendar days from receipt of the invoice, excepting any portion of the invoiced amount in dispute and resolved in favor of CLIENT. Payment thereafter shall first be applied to accrued interest and then to the principal unpaid amount.

If CLIENT for any reason fails to pay the undisputed portion of Huitt-Zollars, Inc. (HZI) invoices within 30 days of presentation, HZI shall cease work on the project and CLIENT shall waive any claim against HZI, and shall defend and indemnify HZI from and against any claims for injury or loss stemming from HZI's cessation of service. CLIENT shall also pay HZI the cost associated with premature project demobilization. In the event the project is remobilized, CLIENT shall also pay the cost of remobilization, and shall renegotiate appropriate contract terms and conditions, such as those associated with budget, schedule or scope of service.

In the event any bill or portion thereof is disputed by CLIENT, CLIENT shall notify HZI within ten days of receipt of the bill

in question, and CLIENT and HZI shall work together to resolve the matter within 60 days of its being called to HZI's attention. If resolution of the matter is not attained within 60 days, either party may terminate this AGREEMENT.

6. **LIMITATION OF LIABILITY**  
In order for the CLIENT to obtain the benefits of a fee which includes a lesser allowance for risk funding, the CLIENT agrees to limit HZI's liability arising from HZI's professional acts, errors or omissions, such that the total aggregate liability of HZI shall not exceed HZI's total fee for the services rendered on this project.
7. **CONSEQUENTIAL DAMAGES**  
The CLIENT shall not be liable to HZI and HZI shall not be liable to the CLIENT for any consequential damages incurred by either due to the fault of the other, regardless of the nature of this fault, or whether it was committed by the CLIENT or HZI, their employees, agents or subcontractors. Consequential damages include, but are not limited to loss of use and loss of profit.
8. **TERMINATION**  
In the event termination becomes necessary, the party (CLIENT or HZI) effecting termination shall so notify the other party, and termination will become effective fourteen (14) calendar days after receipt of the termination notice. Irrespective of which party shall effect termination or the cause of termination, the CLIENT shall within thirty (30) calendar days of termination remunerate HZI for services rendered and costs incurred up to the effective time of termination, in accordance with HZI's prevailing fee schedule and expense reimbursement policy.
9. **ADDITIONAL SERVICES**  
Any services beyond those specified will be provided for separately under an additional Work Authorization or amended Work Authorization.

**IF ANY ONE OR MORE OF THE PROVISIONS CONTAINED IN THIS AGREEMENT SHALL BE HELD UNENFORCEABLE, THE ENFORCEABILITY OF THE REMAINING PROVISIONS SHALL NOT BE IMPAIRED.**

Client Int. \_\_\_\_\_



**SPECTRUM DRIVE-NORTH EXTENSION**

**COMPLETION SCHEDULE**

	<b>DATE</b>
Notice to Proceed	March 1, 2002
Preliminary Meeting with City	March 4, 2002
Begin Field Surveys	March 4, 2002
Complete Field Surveys	March 22, 2002
Preliminary meeting with D.A.R.T.	March 25, 2002
Submit Preliminary Plans to City and D.A.R.T. for Review	May 31, 2002
Receive Review Comments from City and D.A.R.T.	June 21, 2002
Complete Final Plans	July 24, 2002
City Final Review Comments	August 9, 2002
Advertise Project	August 15, 2002
Receive Bid	September 9, 2002
Award Construction Contract	September 24, 2002
Notice to Proceed (Construction)	October 1, 2002
Construction	October 2002 thru March 2003

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

February 14, 2003

***VIA HAND DELIVERY***

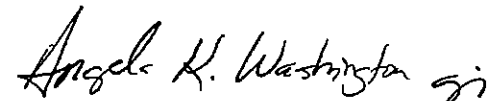
Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison - Service Center  
16801 Westgrove Drive  
Addison, TX 75001

**RE: Spectrum Drive Project**

Dear Steve:

Enclosed are right-of-way deeds and sidewalk easements for Parcels 3 through 6 of the above-referenced project. Documents for Parcel 2 were forwarded to you on December 23, 2002 and, as you will recall, Parcel 1 is the property of the Town of Addison. If you have any questions or need anything further, please give me a call.

Sincerely,

  
Angela K. Washington

AKW/yjr  
Enclosures

c(w/o Enclosures): Mr. Mike Murphy  
Mr. Kenneth C. Dippel, w/firm

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Gaylord Properties, L.P.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

(1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.

(2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
  
\_\_\_\_\_

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

**EXHIBIT B** 15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

S 89°05'45"E 5.00'

61' R.O.W. (PROPOSED)

(FUTURE STREET R-1)

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT (PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W. (PROPOSED)

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER N.D.

POINT OF BEGINNING - PARCEL 3A

G. W. A. B. S. T.

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

POINT OF BEGINNING  
5/8" IRS WITH HUITT-ZOLLARS CAP

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

TXU ELECTRIC COMPANY EASEMENT BY PLAT VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

LOT 5  
LOT 4  
LOT 3  
LOT 2  
BLOCK E

MILDRED PLACE

AMENDED PLAT ADDISON CIRCLE PHASE II  
VOL.2000153 PG.00015

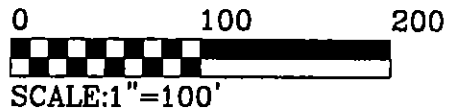
LOT 1, BLOCK D PAGE 3 OF 3

LOT 1, BLOCK E

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 3  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS**                   §  
  §       **KNOW ALL MEN BY THESE PRESENTS:**  
**COUNTY OF DALLAS**           §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whatsoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**  
By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.  
By \_\_\_\_\_  
Print Name \_\_\_\_\_  
Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 3A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a tract of land described as Tract 4 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and a portion of a 3.815 acre tract of land described in instrument to Gaylord Properties, L.P. as recorded in Volume 99053, Page 05566 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 535.93 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the northerly line of said 3.815 acre Gaylord Properties, L.P. tract;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 5.00 feet to a point for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.815 acre Gaylord Properties, L.P. tract a distance of 535.93 feet to a point for a corner on the northerly line of said 3.371 acre Staubach Company tract;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0615 of an acre of land, more or less.



QUORUM EAST ADDITION

VOL.98001 PG.00033

POST SERVICES, INC.  
VOL.98060 PG.03404

1/2" IRF WITH "RANDOM" RED PLASTIC CAP BEARS N 89°05'45"W-2.00'

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH PARKWAY ADDITION

VOL.85021 PG.1686

**EXHIBIT B**

S 89°05'45"E 5.00'

61' R.O.W. (PROPOSED)

(FUTURE STREET R-1)

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 05' 45" E	34.50'
L2	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT (PARCEL 3A - 0.0615 AC.)

PARCEL 3  
0.5702 AC.

61' R.O.W. (PROPOSED)

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

FISHER NO.

POINT OF BEGINNING - PARCEL 3A

G. W. A B S T.

5/8" IRF WITH HUITT-ZOLLARS YELLOW PLASTIC CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION  
VOL.2000036 PG.02913

TXU ELECTRIC COMPANY EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS EASEMENT BY PLAT - VOL.2000036 PG.02913

MORRIS AVENUE

61' R.O.W.

69' R.O.W.

SPECTRUM DRIVE

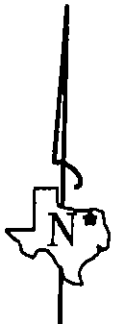
MILDRED PLACE

45' R.O.W.

AMENDED PLAT ADDISON CIRCLE PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 3 OF 3

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found



0 100 200



SCALE: 1" = 100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 3**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.5702 AC. DATE: 11/05/2002

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Utah State Retirement Investment Fund  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a retirement investment fund organized and existing under the laws of the State of Utah for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

Utah State Retirement Investment Fund

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 4**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of the final plat of 15851 Dallas North Parkway Addition, an addition to the Town of Addison, Texas as recorded in Volume 85021, Page 1686 of the Deed Records of Dallas County, Texas and being a portion of a tract of land described in instrument to the Utah State Retirement Investment Fund as recorded in Volume 96003, Page 1968 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the northwest corner of said 15851 Dallas North Parkway Addition, said point being on the platted southerly right-of-way line of Airport Parkway (55 foot right-of-way at this point as per said plat) from which a 1/2 inch iron rod found with "Powell & Powell" cap for the southwest corner of said addition, bears South 00 degrees 08 minutes 23 seconds West at a distance of 360.13 feet;

THENCE South 89 degrees 09 minutes 39 seconds East along the said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 45 degrees 29 minutes 22 seconds West departing said southerly right-of-way line of Airport Parkway and northerly line of said addition a distance of 28.11 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the westerly line of said addition;

THENCE North 00 degrees 08 minutes 23 seconds East along the westerly line of said addition a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.

HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

POINT OF BEGINNING  
1/2" IRF

**EXHIBIT B**

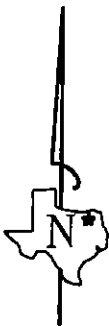
NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

AIRPORT PARKWAY

60' R.O.W.  
(EXISTING)

55' R.O.W.  
(EXISTING)

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033



QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

G. W. A B S T. F I S H E R N O.

(PROPOSED)  
SPECTRUM DRIVE

TOWN OF ADDISON  
VOL.99002 PG.00016

69.65' R.O.W.

S 00°08'23"W 360.13'

S U R V E Y  
4 8 2 E Y

PARCEL 4  
0.0046 AC.

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686  
UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686


1/2" IRF WITH  
POWELL & POWELL  
CAP

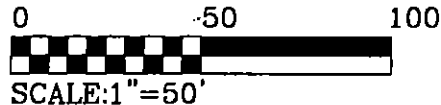
LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 89° 09' 39" E	20.00'
L2	S 45° 29' 22" W	28.11'
L3	N 00° 08' 23" E	20.00'

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 2 OF 2

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

  
Eric J. Yonoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 4  
OWNER: UTAH STATE RETIREMENT INV. FUND  
AREA: 0.0046 AC. DATE: 11/05/2002

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Post Services, Inc.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a corporation organized and existing under the laws of the State of Georgia for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

**Post Services, Inc.**

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of Post Services, Inc., a corporation, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:

\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 5**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner, from which a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap bears South 00 degrees 08 minutes 23 seconds West at a distance of 334.90 feet;

THENCE North 44 degrees 30 minutes 38 seconds West departing said westerly line of the Town of Addison tract a distance of 28.46 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the said southerly right-of-way line of Airport Parkway;

THENCE South 89 degrees 09 minutes 39 seconds East along the southerly right-of-way line of said Airport Parkway a distance of 20.00 feet to the POINT OF BEGINNING and containing 0.0046 of an acre of land, more or less.



HARRIS ADDITION  
VOL.78017 PG.1067  
LOT 1 BLOCK A

**EXHIBIT B**

**POINT OF BEGINNING**

5/8" IRS WITH HUITT-ZOLLARS YELLOW CAP

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

AIRPORT PARKWAY

POINT OF COMMENCING - PARCEL 5A

60' R.O.W. (EXISTING)

55' R.O.W. (EXISTING)

5/8" IRS

1/2" IRF

L3

L1

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033

PARCEL 5  
0.0046 AC.

POINT OF BEGINNING - PARCEL 5A

5/8" IRS  
S 44°30'38"E 7.11'

69.65' R.O.W.

5' SIDEWALK EASEMENT  
(PARCEL 5A - 0.0387 AC.)

(PROPOSED)  
SPECTRUM DRIVE

A B S T. SURVEY

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

UTAH STATE RETIREMENT INVESTMENT FUND  
VOL.96003 PG.1968

G. W. A B S T.

N 00°08'23"E 339.90'

S 00°08'23"W 334.90'

S 00°08'23"W 360.13'

TOWN OF ADDISON  
VOL.99002 PG.00016

10' TEXAS POWER & LIGHT CO. EASEMENT  
VOL.85021 PG.1686

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 00° 08' 23" W	20.00'
L2	N 44° 30' 38" W	28.46'
L3	S 89° 09' 39" E	20.00'

N 89°04'54"W 5.00'

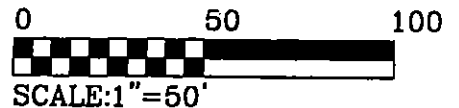
5/8" IRF WITH HUITT-ZOLLARS YELLOW CAP

1/2" IRF WITH POWELL & POWELL CAP

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

PAGE 3 OF 3



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 5  
OWNER: POST SERVICES, INC.  
AREA: 0.0046 AC. DATE: 11/05/2002

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS**

§  
§  
§

**KNOW ALL MEN BY THESE PRESENTS:**

**COUNTY OF DALLAS**

That **Post Services, Inc.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

**To have and to hold** the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**POST SERVICES, INC.**

By \_\_\_\_\_

Print Name \_\_\_\_\_

Print Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of Post Services, Inc., a corporation, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 5A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the westerly side of Spectrum Drive and being a portion of Quorum East Addition, an addition to the Town of Addison, Texas as recorded in Volume 98001, Page 00033 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in instrument to Post Services, Inc. as recorded in Volume 98060, Page 03404 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap on the southerly right-of-way line of Airport Parkway (60 foot wide right-of-way at this point) as established by the final plat of said Quorum East Addition, said point being the northwest corner of a 0.5675 of an acre tract of land to the Town of Addison, Texas as recorded in Volume 99002, Page 00016 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 20.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for THE POINT OF BEGINNING;

THENCE continuing South 00 degrees 08 minutes 23 seconds West along the westerly line of said Town of Addison tract a distance of 334.90 feet to a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap on the platted southerly line of said Quorum East Addition;

THENCE North 89 degrees 04 minutes 54 seconds West along the southerly line of said Quorum East Addition a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 08 minutes 23 seconds East departing the southerly line of said Quorum East Addition a distance of 339.90 feet to a point for a corner;

THENCE South 44 degrees 30 minutes 38 seconds East a distance of 7.11 feet to the POINT OF BEGINNING and containing 0.0387 of an acre of land, more or less.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

AIRPORT PARKWAY

POINT OF COMMENCING - PARCEL 5A

60' R.O.W. (EXISTING)

55' R.O.W. (EXISTING)

5/8" IRS

1/2" IRF

L3

L2

L1

5' R.O.W. DEDICATION BY PLAT  
VOL.98001 PG.00033

PARCEL 5  
0.0046 AC.

POINT OF BEGINNING - PARCEL 5A

5/8" IRS  
S 44°30'38"E 7.11'

69.65' R.O.W.

5' SIDEWALK EASEMENT  
(PARCEL 5A - 0.0387 AC.)

(PROPOSED)  
SPECTRUM DRIVE

A B 2 SURVEY

15851 DALLAS NORTH  
PARKWAY ADDITION

VOL.85021 PG.1686

UTAH STATE RETIREMENT  
INVESTMENT FUND  
VOL.96003 PG.1968

10' TEXAS POWER &  
LIGHT CO. EASEMENT  
VOL.85021 PG.1686

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

G. W. A B S T. FISHER

N 00°08'23"E 339.90'

S 00°08'23"W 334.90'

S 00°08'23"W 360.13'

TOWN OF ADDISON  
VOL.99002 PG.00016

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	S 00° 08' 23" W	20.00'
L2	N 44° 30' 38" W	28.46'
L3	S 89° 09' 39" E	20.00'

N 89°04'54"W 5.00'

5/8" IRF WITH  
HUITT-ZOLLARS  
YELLOW CAP

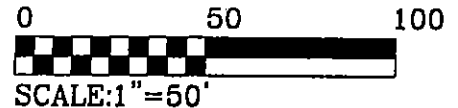
1/2" IRF WITH  
POWELL & POWELL  
CAP

LEGEND

IRS = Iron Rod Set with Huitt-Zollars yellow plastic cap  
IRF = Iron Rod Found

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

  
Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 5  
OWNER: POST SERVICES, INC.  
AREA: 0.0046 AC. DATE: 11/05/2002

**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS**

§  
§  
§

**KNOW ALL MEN BY THESE PRESENTS:**

**COUNTY OF DALLAS**

That **The Staubach Company**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**THE STAUBACH COMPANY**

By \_\_\_\_\_

Print Name \_\_\_\_\_

Print Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of The Staubach Company, a corporation, and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_  
[ S E A L ]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 6**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the east side of Spectrum Drive and being a portion of a 3.371 acre tract of land to The Staubach Company as recorded in Volume 2000046, Page 2903 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars yellow plastic cap at the northwest corner of said 3.371 acre Staubach Company tract;

THENCE South 89 degrees 04 minutes 47 seconds East along the northerly line of said 3.371 acre Staubach Company tract a distance of 5.00 feet to a point for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West departing the northerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to a point for a corner on the westerly line of said 3.371 acre Staubach Company tract from which a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap bears South 00 degrees 55 minutes 13 seconds West at a distance of 6.83 feet;

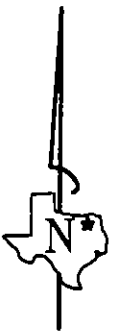
THENCE North 00 degrees 55 minutes 13 seconds East along the westerly line of said 3.371 acre Staubach Company tract a distance of 177.23 feet to the POINT OF BEGINNING and containing 0.0203 of an acre of land, more or less.



NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that may affect this tract.

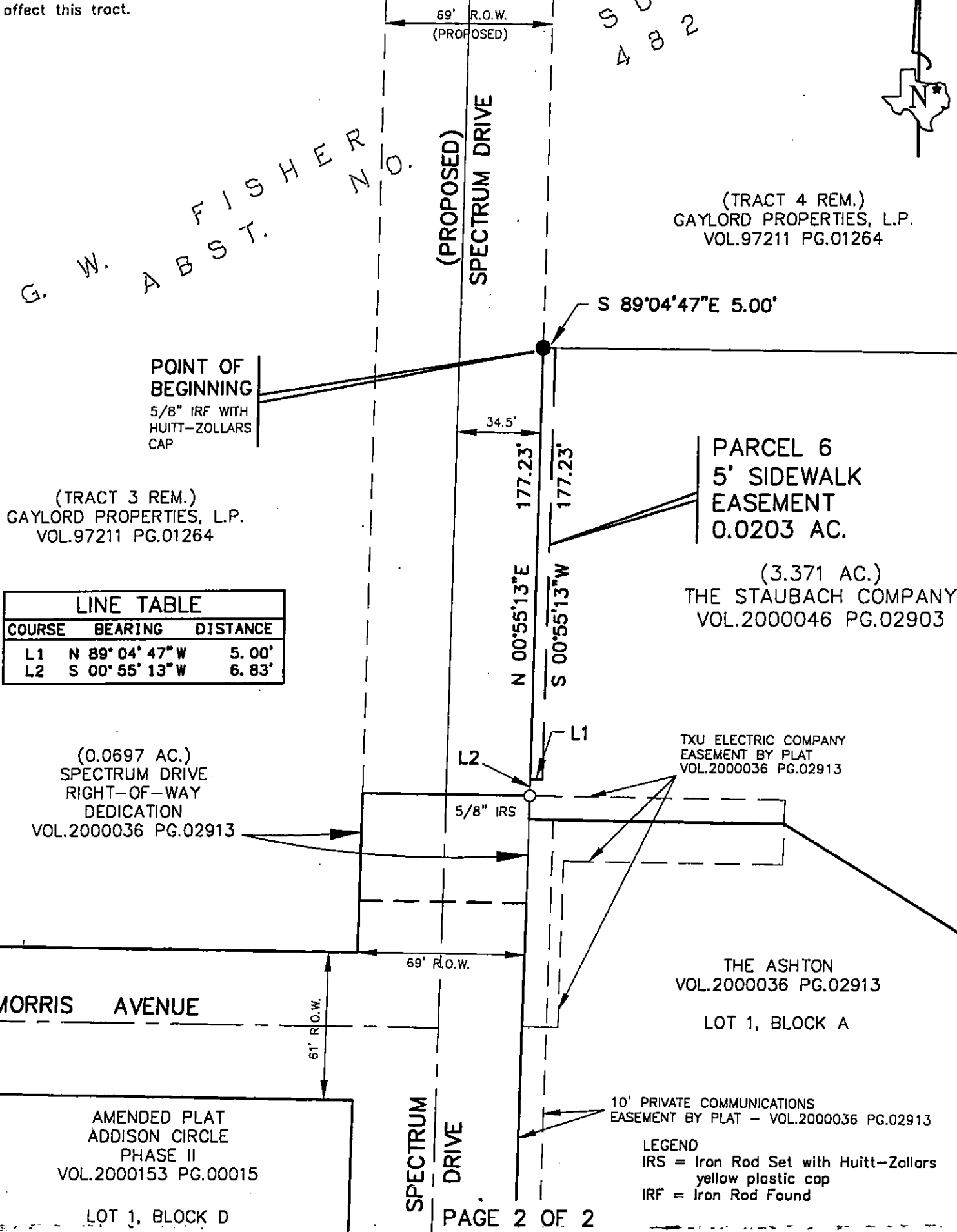
**EXHIBIT B**

SURVEY  
A B 2 E Y



G. W. FISHER  
A B S T. N O.

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264



POINT OF BEGINNING  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 89° 04' 47" W	5.00'
L2	S 00° 55' 13" W	6.83'

PARCEL 6  
5' SIDEWALK  
EASEMENT  
0.0203 AC.

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

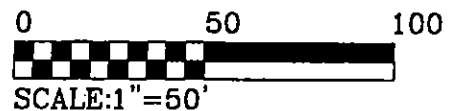
LEGEND

IRF = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

PAGE 2 OF 2

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862



BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
SIDEWALK EASEMENT EXHIBIT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 6  
OWNER: THE STAUBACH COMPANY  
AREA: 0.0203 AC. DATE: 11/05/2002

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

December 23, 2002

Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 2 - Spectrum Drive Right-of-Way Project**

Dear Steve:

Enclosed are the Right-of-Way Deed for Parcel 2 and the Sidewalk Easement documents for Parcels 2A and 2B, Spectrum Drive Right-of-Way Project. Should you have any questions or need anything further, please let me know.

Sincerely,

Angela K. Washington

AKW/yjr  
Enclosures

c(w/oEnclosures): Mr. Kenneth C. Dippel, w/firm

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**RIGHT-OF-WAY DEED**

DATE: \_\_\_\_\_, 2003

GRANTOR: Gaylord Properties, L.P.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

GRANTEE: Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

**STATE OF TEXAS**        §  
                                  §  
**COUNTY OF DALLAS**   §

Before Me, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
  
\_\_\_\_\_

**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;

**EXHIBIT A**

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

(FUTURE STREET R-1)

PARCEL 2  
0.6487 AC.

NOTE:  
Improvements were not located for this  
exhibit and there may be easements and  
other matters of record that affect this  
tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
N 89°04'47"E  
5.00'

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF  
COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

PAGE 6 OF 6

LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

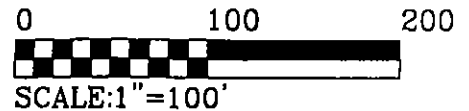
THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



BASIS OF BEARINGS:

The monuments found as called for on  
the amended plat of Addison Circle  
Phase II, an addition to the Town of  
Addison, Texas, as recorded in Volume  
2000153, Page 00015, Deed Records,  
Dallas County, Texas.

Eric J. Yahoudy, Registered Professional Land  
Surveyor, Texas No. 4862

**HUITT-ZOLIARS**  
Dallas  
Huitt-Zollars, Inc.  
3331 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2480  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
**EXHIBIT PARCEL NO. 2**  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

TOWN OF ADDISON  
SIDEWALK EASEMENT

STATE OF TEXAS                    §  
  §        **KNOW ALL MEN BY THESE PRESENTS:**  
COUNTY OF DALLAS               §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_



STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

(FUTURE STREET R-1)

LINE TABLE

COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
S 89°04'47"E  
5.00'

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

EXHIBIT B

G. W. ABST.

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

MORRIS AVENUE

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D

PAGE 6 OF 6

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

0 100 200

SCALE: 1" = 100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Dallas  
Huitt-Zollars, Inc.  
3121 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

TOWN OF ADDISON  
SIDEWALK EASEMENT

STATE OF TEXAS                   §  
  §       **KNOW ALL MEN BY THESE PRESENTS:**  
COUNTY OF DALLAS           §

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as Grantee determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

**To have and to hold** the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_  
[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2B**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 23.00 feet to the POINT OF BEGINNING of this tract from which a 5/8 inch iron rod with Huitt-Zollars yellow plastic cap bears South 89 degrees 04 minutes 47 seconds East at a distance of 5.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

EXHIBIT A

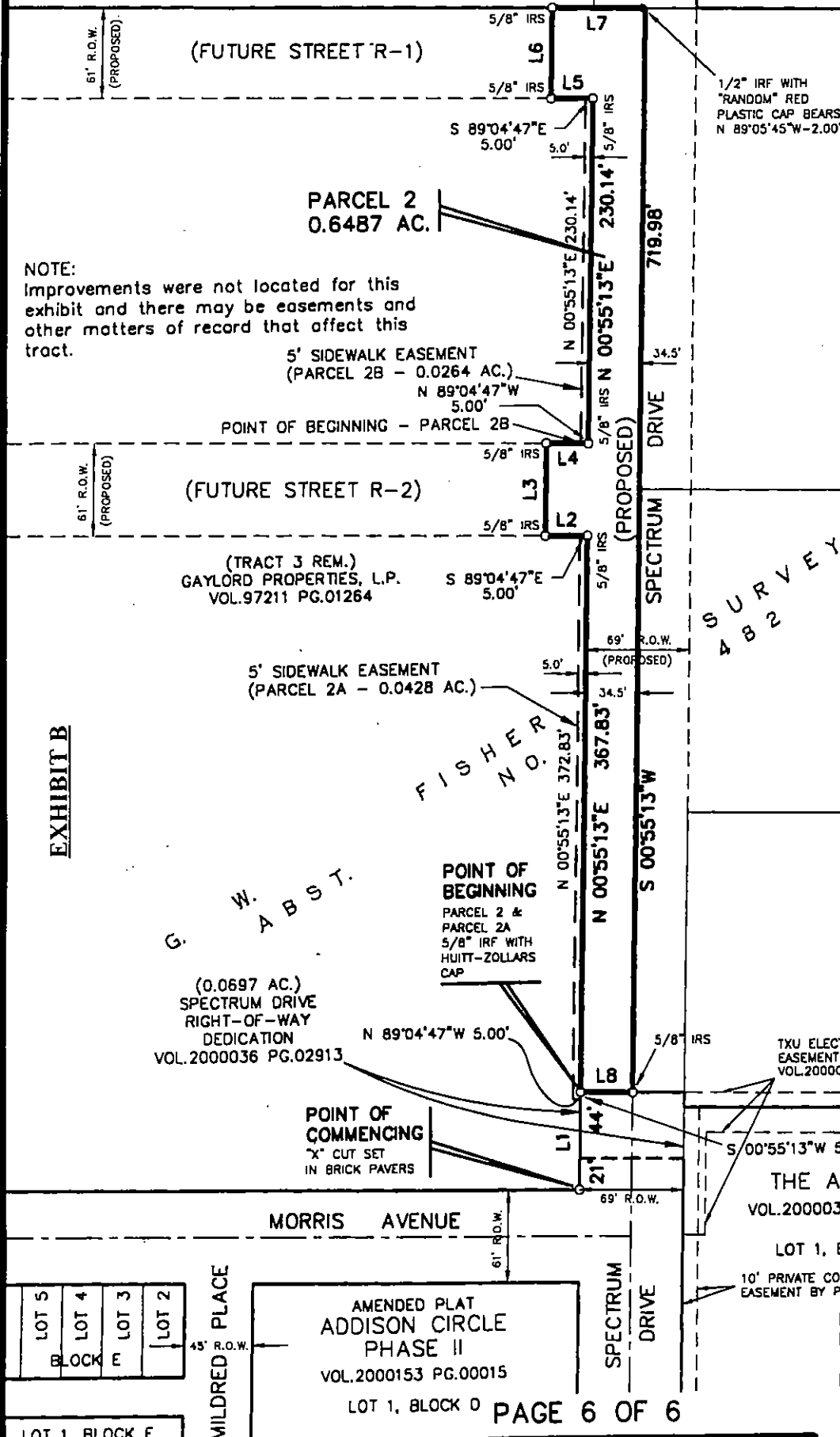
THENCE South 00 degrees 55 minutes 13 seconds West a distance of 230.14 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0264 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

TOWN OF ADDISON  
VOL.99002 PG.00016

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686



LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

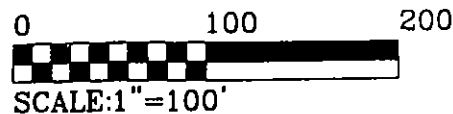
TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND  
IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



BASIS OF BEARINGS:  
The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
5.0'

POINT OF BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 6 OF 6

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

**HUITT-ZOLIARS**  
Huitt-Zollars, Inc.  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002



**After Recording Return To:**  
**Angela K. Washington**  
**Cowles & Thompson, P.C.**  
**901 Main Street, Suite 4000**  
**Dallas, Texas 75202**

**TOWN OF ADDISON**  
**SIDEWALK EASEMENT**

**STATE OF TEXAS**

§  
§  
§

**KNOW ALL MEN BY THESE PRESENTS:**

**COUNTY OF DALLAS**

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whatsoever lawfully claiming or to claim the same or any part thereof.

**EXECUTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:

\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2B**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 23.00 feet to the POINT OF BEGINNING of this tract from which a 5/8 inch iron rod with Huitt-Zollars yellow plastic cap bears South 89 degrees 04 minutes 47 seconds East at a distance of 5.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a point for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

EXHIBIT A

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 230.14 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 5.00 feet to the POINT OF BEGINNING and containing 0.0264 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

(FUTURE STREET R-1)

LINE TABLE

COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
5.00'

EXHIBIT B

FISHER  
N.O.

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found

MORRIS AVENUE

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

LOT 1, BLOCK D PAGE 6 OF 6

0 100 200



SCALE: 1"=100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001

EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

# COWLES & THOMPSON

A Professional Corporation

ATTORNEYS AND COUNSELORS



ANGELA K. WASHINGTON  
214.672.2144  
AWASHINGTON@COWLESTHOMPSON.COM

December 23, 2002

Mr. Steve Chutchian  
Assistant City Engineer  
Town of Addison  
P.O. Box 9010  
Addison, TX 75001-9010

**RE: Parcel 2 - Spectrum Drive Right-of-Way Project**

Dear Steve:

Enclosed are the Right-of-Way Deed for Parcel 2 and the Sidewalk Easement documents for Parcels 2A and 2B, Spectrum Drive Right-of-Way Project. Should you have any questions or need anything further, please let me know.

Sincerely,

Angela K. Washington

AKW/yjr  
Enclosures

c(w/oEnclosures): Mr. Kenneth C. Dippel, w/firm

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson  
901 Main Street, Suite 4000  
Dallas, Texas 75202

**RIGHT-OF-WAY DEED**

**DATE:** \_\_\_\_\_, 2003

**GRANTOR:** Gaylord Properties, L.P.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GRANTEE:** Town of Addison, Texas  
5300 Belt Line Road  
Addison, TX 75001  
(Dallas County, Texas)

**CONSIDERATION:**

- (1) One Dollar (\$1.00) in hand paid by Grantee, the receipt and sufficiency of which is acknowledged by Grantor.
- (2) Benefits to be derived by Grantor and its remaining property as a result of the proposed public improvements.

**PROPERTY (INCLUDING ANY IMPROVEMENTS):**

See Exhibit A (Field Note Description) and Exhibit B (Survey Depiction) both attached hereto and incorporated herein by reference.

**CONVEYANCE:**

Grantor, a limited partnership organized and existing under the laws of the State of Texas for the consideration described above grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and to hold it to Grantee, Grantee's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

**MISCELLANEOUS:**

(a) Nothing in this instrument shall be construed as a waiver by Grantee of any utility connection charge or other charges imposed by ordinance or Charter of the Town of Addison.

(b) The Property hereby conveyed may be used as a public right-of-way for the passage of vehicular and pedestrian traffic, including (without limitation) streets, roads, sidewalks, utilities, drainage, and other customary uses of public right-of-way. Improvements may be on such grade and according to such plans and specifications as will, in the opinion of Grantee, best serve the public purpose.

(c) The consideration described above shall be deemed full compensation for the conveyance of the Property, and for any diminution in value that may result to the remaining property of Grantor by virtue of Grantee's use of the Property.

(d) When the context requires it, singular nouns and pronouns include the plural.

**EXECUTED** effective as of the day first written above.

\_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Print Title: \_\_\_\_\_

STATE OF TEXAS       §  
                                  §  
COUNTY OF DALLAS   §

**Before Me**, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

**GIVEN UNDER** my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public, State of Texas  
Print Name: \_\_\_\_\_

My Commission Expires:  
  
\_\_\_\_\_



**EXHIBIT A**

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
LAND DESCRIPTION  
PARCEL 2**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being a portion of the tract of land to Gaylord Properties, L.P. described as Tract 3, as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at an "X" cut set in brick pavers at the intersection of the northerly right-of-way line of Morris Avenue (61 foot right-of-way) as established by the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 2000153, Page 00015 of the Deed Records of Dallas County, Texas with the west right-of-way line of Spectrum Drive (69 foot right-of-way) as established by said plat of Addison Circle Phase II;

THENCE North 00 degrees 55 minutes 13 seconds East along the west right-of-way line of said Spectrum Drive as per said plat of said Addison Circle Phase II, and as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas a distance of 65.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for the POINT OF BEGINNING, said point being the northwest corner of said Spectrum Drive;

THENCE North 00 degrees 55 minutes 13 seconds East, a distance of 367.83 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 230.14 feet to a 5/8 inch iron rod set Huitt-Zollars yellow plastic cap for a corner;

THENCE North 89 degrees 05 minutes 45 seconds West a distance of 28.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE North 00 degrees 54 minutes 15 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner on the northerly line of said Tract 3 of Gaylord Properties, L. P.;

**EXHIBIT A**

THENCE South 89 degrees 05 minutes 45 seconds East along the north line of said Tract 3 of Gaylord Properties, L. P. a distance of 62.52 feet to the northeast corner of said Tract 3 from which a 1/2 inch iron rod found with "Random" red plastic cap bears North 89 degrees 05 minutes 45 seconds West at a distance of 2.00 feet;

THENCE South 00 degrees 55 minutes 13 seconds West along the easterly line of said Tract 3 of Gaylord Properties, L. P. a distance of 719.98 feet to a 5/8 inch iron set with Huitt-Zollars yellow plastic cap on the northerly right-of-way line of said Spectrum Drive;

THENCE North 89 degrees 04 minutes 47 seconds West along the northerly line of said Spectrum Drive a distance of 34.50 feet to the POINT OF BEGINNING and containing 0.6487 of an acre of land, more or less.

QUORUM EAST ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016

(FUTURE STREET R-1)

LINE TABLE

COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

NOTE:  
Improvements were not located for this exhibit and there may be easements and other matters of record that affect this tract.

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

5' SIDEWALK EASEMENT  
(PARCEL 2B - 0.0264 AC.)  
N 89°04'47"W  
5.00'

POINT OF BEGINNING - PARCEL 2B

(FUTURE STREET R-2)

(TRACT 3 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

5' SIDEWALK EASEMENT  
(PARCEL 2A - 0.0428 AC.)  
S 89°04'47"E  
5.00'

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

EXHIBIT B

G. W. A B S T.

(0.0697 AC.)  
SPECTRUM DRIVE  
RIGHT-OF-WAY  
DEDICATION  
VOL.2000036 PG.02913

POINT OF BEGINNING  
PARCEL 2 &  
PARCEL 2A  
5/8" IRF WITH  
HUITT-ZOLLARS  
CAP

(3,371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

POINT OF COMMENCING  
"X" CUT SET  
IN BRICK PAVERS

THE ASHTON  
VOL.2000036 PG.02913

MORRIS AVENUE

LOT 1, BLOCK A

AMENDED PLAT  
ADDISON CIRCLE  
PHASE II  
VOL.2000153 PG.00015

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

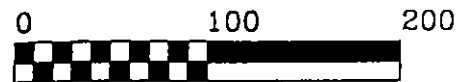
LOT 1, BLOCK E

MILDRED PLACE

LOT 1, BLOCK D PAGE 6 OF 6

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

*Eric J. Yahoudy*

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 600  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

**SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS**

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

After Recording Return To:  
Angela K. Washington  
Cowles & Thompson, P.C.  
901 Main Street, Suite 4000  
Dallas, Texas 75202

TOWN OF ADDISON  
SIDEWALK EASEMENT

STATE OF TEXAS

§  
§  
§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF DALLAS

That **Gaylord Properties, L.P.**, hereinafter referred to as **Grantor**, for and in consideration of the sum of **Ten and no/100 (\$10.00)** and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, does by these presents grant, sell and convey unto the **Town of Addison** of the County of Dallas, State of Texas, its successors and assigns, hereinafter termed **Grantee**, a perpetual easement and right-of-way in, under, over, along and across the property described in **Exhibit A** (Field Note Description) and shown on **Exhibit B** (Survey Depiction), both of which exhibits are attached hereto and made a part hereof for all purposes.

This easement and right-of-way with all rights and privileges hereby granted may be used for the purpose of constructing, repairing, reconstructing and perpetually maintaining a sidewalk, landscaping and utilities, as **Grantee** determines necessary or desirable. **Grantee**, its employees, agents, and licensees shall at all times have the right and privilege to access the perpetual easement herein granted. **Grantor** agrees not to construct or place within the premises described above any buildings, fences, shrubs, trees or other improvements, without the prior written consent of **Grantee**.

To have and to hold the same, together with all and singular the rights and hereditaments thereunto in anywise belonging unto **Grantee**, its successors and assigns, for the purposes of the perpetual easement herein granted.

And **Grantor** hereby binds itself, its heirs, executors, agents and assigns to warrant and defend all and singular the above described easement and rights unto **Grantee**, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this \_\_\_\_\_ day of \_\_\_\_\_, 2003

**GAYLORD PROPERTIES, L.P.**

By \_\_\_\_\_  
General Partner of Gaylord Properties, L.P.

By \_\_\_\_\_

Print Name \_\_\_\_\_

Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

§  
§

BEFORE ME, the undersigned notary public in and for said county and state, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, personally appeared \_\_\_\_\_, \_\_\_\_\_ on behalf of \_\_\_\_\_, a \_\_\_\_\_ and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the person or entity upon behalf of which he acted executed the instrument for the uses and purposes therein set forth.

GIVEN UNDER my hand and seal of office the day and year last above written.

\_\_\_\_\_  
Notary Public in and for the State of Texas

MY COMMISSION EXPIRES:  
  
\_\_\_\_\_

[SEAL]

**EXHIBIT A**

**SPECTRUM DRIVE  
SIDEWALK EASEMENT  
LAND DESCRIPTION  
PARCEL 2A**

BEING a tract of land situated in the G. W. FISHER SURVEY, Abstract No. 482, Town of Addison, Dallas County, Texas, said tract being 5 feet in width and adjacent to the west side of Spectrum Drive and being a portion of a tract of land described as Tract 3 to Gaylord Properties, L.P. as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap at the northwest corner of a 0.0697 of an acre tract of land for the right-of-dedication of Spectrum Drive as per the plat of The Ashton, an addition to the Town of Addison, Texas as recorded in Volume 2000036, Page 2913 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 89 degrees 04 minutes 47 seconds West departing the said westerly right-of-way line of Spectrum Drive a distance of 5.00 feet to a point for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 372.83 feet to a point for a corner;

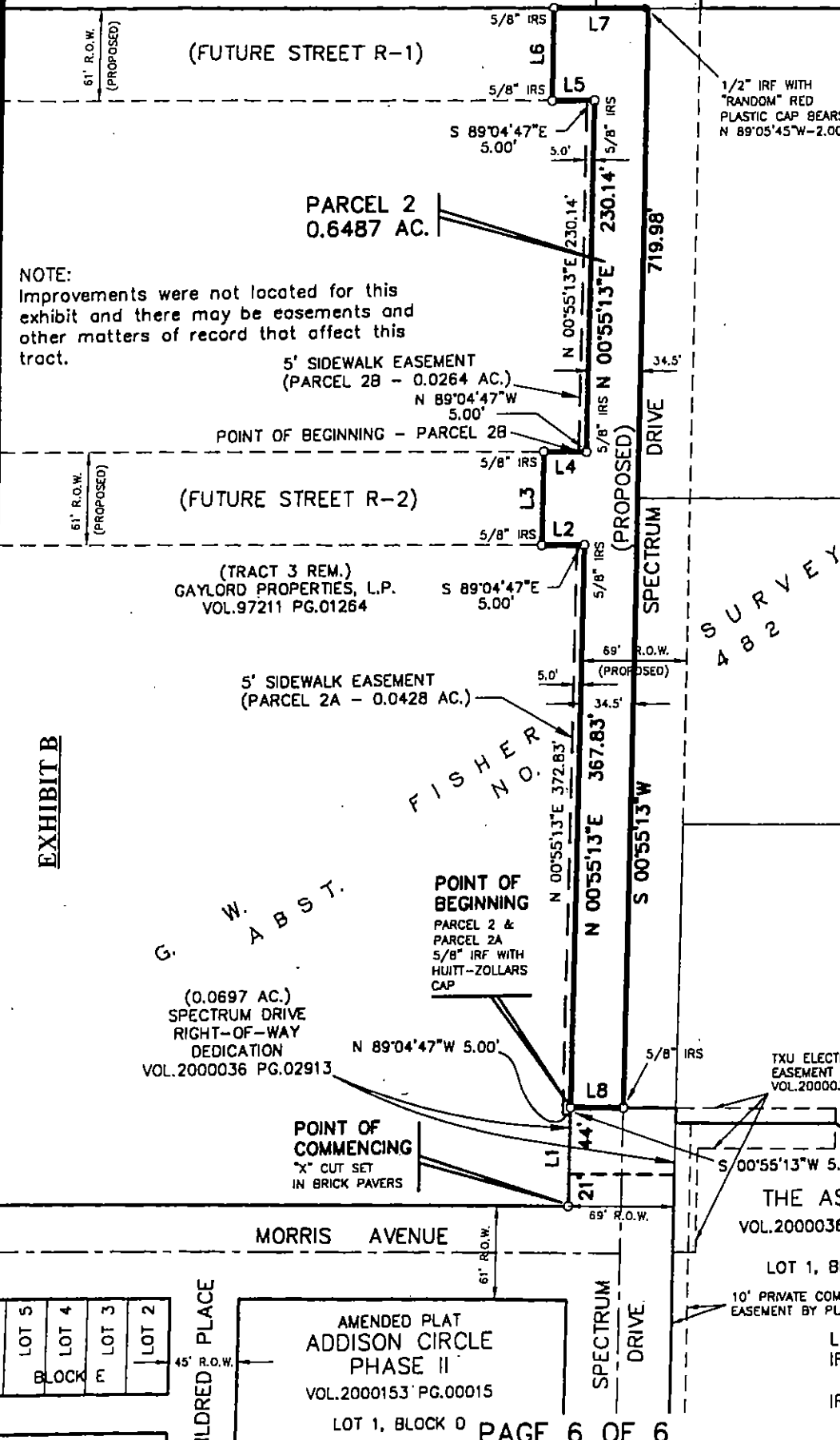
THENCE South 89 degrees 04 minutes 47 seconds East a distance of 5.00 feet to a 5/8 inch iron rod set with Huitt-Zollars yellow plastic cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 367.83 feet to the POINT OF BEGINNING and containing 0.0428 of an acre of land, more or less.

QUORUM EAST  
ADDITION  
VOL.98001 PG.00033  
POST SERVICES, INC.  
VOL.98060 PG.03404

15851 DALLAS NORTH  
PARKWAY ADDITION  
VOL.85021 PG.1686

TOWN OF ADDISON  
VOL.99002 PG.00016



LINE TABLE		
COURSE	BEARING	DISTANCE
L1	N 00° 55' 13" E	65.00'
L2	N 89° 04' 47" W	28.00'
L3	N 00° 55' 13" E	61.00'
L4	S 89° 04' 47" E	28.00'
L5	N 89° 05' 45" W	28.00'
L6	N 00° 54' 15" E	61.00'
L7	S 89° 05' 45" E	62.52'
L8	N 89° 04' 47" W	34.50'

(3.815 AC.)  
GAYLORD PROPERTIES, L.P.  
VOL.99053 PG.05566

(TRACT 4 REM.)  
GAYLORD PROPERTIES, L.P.  
VOL.97211 PG.01264

(3.371 AC.)  
THE STAUBACH COMPANY  
VOL.2000046 PG.02903

TXU ELECTRIC COMPANY  
EASEMENT BY PLAT  
VOL.2000036 PG.02913

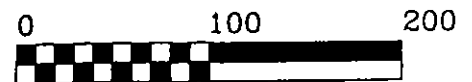
THE ASHTON  
VOL.2000036 PG.02913

LOT 1, BLOCK A

10' PRIVATE COMMUNICATIONS  
EASEMENT BY PLAT - VOL.2000036 PG.02913

LEGEND

IRS = Iron Rod Set with Huitt-Zollars  
yellow plastic cap  
IRF = Iron Rod Found



SCALE: 1" = 100'

This is to certify that the above survey was made under my supervision on November 5, 2002 and that the metes and bounds shown thereon are true and correct to the best of my knowledge.

Eric J. Yahoudy, Registered Professional Land Surveyor, Texas No. 4862

BASIS OF BEARINGS:

The monuments found as called for on the amended plat of Addison Circle Phase II, an addition to the Town of Addison, Texas, as recorded in Volume 2000153, Page 00015, Deed Records, Dallas County, Texas.

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Dallas  
3131 McKinney Avenue, Suite 800  
Dallas, Texas 75204-2489  
Phone (214) 871-3311 Fax (214) 871-0757

SPECTRUM DRIVE  
RIGHT-OF-WAY EXHIBIT  
& SIDEWALK EASEMENT  
TOWN OF ADDISON, TEXAS

Prepared For: TOWN OF ADDISON  
16801 Westgrove Dr., Addison, TX 75001  
EXHIBIT PARCEL NO. 2  
OWNER: GAYLORD PROPERTIES, L.P.  
AREA: 0.6487 AC. DATE: 11/05/2002

**TOWN OF ADDISON  
PAYMENT AUTHORIZATION MEMO**

DATE: 4/18/02

Claim # \_\_\_\_\_

Check \$ 27,404.99

Vendor No. \_\_\_\_\_

Vendor Name HUITT - ZOLLARS

Address P.O. BOX 191294

Address DALLAS, TEXAS 75219

Address \_\_\_\_\_

Zip Code \_\_\_\_\_

INVOICE # OR DESCRIPTION	FUND	DEPT	OBJ	PROJ	SAC	AMOUNT
	(00)	(000)	(00000)	(00000)	(000)	(\$000,000.00)
1322 00201	46	000	56570	<del>25300</del> 05301		15,000.00
1322 01001	46	000	56570	<del>25300</del> 05301		204.99
1322 00101	46	000	56570	<del>25300</del> 05301		12,200.00

TOTAL 27,404.99

EXPLANATION SPECTRUM DRIVE ENGINEERING DESIGN,  
REIMBURSABLES, & SURVEYING

Steve Chudhary  
Authorized Signature

\_\_\_\_\_  
Finance



# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • P.O. BOX 191294 • Dallas, TX 75219 • 214.871.3311 phone • 214.303.0923 fax • huitt-zollars.com

## INVOICE

APRIL 19, 2002

INVOICE # 132200201

TO: MR. STEVEN CHUTCHIAN, P.E.  
TOWN OF ADDISON  
16801 WESTGROVE ROAD  
P.O. BOX 9010  
ADDISON, TX 75001-9010

PROJECT: 01322002 SPECTRUM DRIVE EXT.  
CIVIL SERVICES

FOR PROFESSIONAL SERVICES RENDERED THROUGH THE PERIOD ENDED MARCH 30, 2002

<u>CONTRACT AMOUNT</u>	<u>% WORK TO DATE</u>	<u>TOTAL AMT BILLED</u>	<u>PREVIOUSLY BILLED</u>	<u>AMOUNT BILLED THIS INVOICE</u>
150,000.00	10.00%	15,000.00	0.00	15,000.00
TOTAL FEE THIS INVOICE				15,000.00
<b>TOTAL DUE THIS INVOICE</b>				<b>\$ 15,000.00</b>

*o.k. to  
PAY.  
SZ  
4/18/02*

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • P.O. BOX 191294 • Dallas, TX 75219 • 214.871.3311 phone • 214.303.0923 fax • [huittzollars.com](http://huittzollars.com)

## INVOICE

APRIL 19, 2002

INVOICE # 132201001

TO: MR. STEVEN CHUTCHIAN, P.E.  
TOWN OF ADDISON  
16801 WESTGROVE ROAD  
P.O. BOX 9010  
ADDISON, TX 75001-9010

PROJECT: 01322010 SPECTRUM DRIVE EXT.  
REIMBURSABLES

FOR PROFESSIONAL SERVICES RENDERED THROUGH THE PERIOD ENDED MARCH 30, 2002

---

### REIMBURSABLES

DELIVERY CHARGES	9.90
REPRODUCTION	54.99
MILEAGE & FEES	7.00
DEED & PLATS	<u>133.10</u>
	204.99

TOTAL REIMBURSABLES 204.99

---

TOTAL DUE THIS INVOICE \$ 204.99

---

*o.k. f.  
PAY.  
S2C  
4/18/02*

# HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • P.O. BOX 191294 • Dallas, TX 75219 • 214.871.3311 phone • 214.303.0923 fax • huitt-zollars.com

## INVOICE

APRIL 15, 2002

INVOICE # 132200101

TO: MR. STEVEN CHUTCHIAN, P.E.  
TOWN OF ADDISON  
16801 WESTGROVE ROAD  
P.O. BOX 9010  
ADDISON, TX 75001-9010

PROJECT: 01322001 SPECTRUM DRIVE EXT.  
SURVEYING

FOR PROFESSIONAL SERVICES RENDERED THROUGH THE PERIOD ENDED MARCH 30, 2002

<u>CONTRACT AMOUNT</u>	<u>% WORK TO DATE</u>	<u>TOTAL AMT BILLED</u>	<u>PREVIOUSLY BILLED</u>	<u>AMOUNT BILLED THIS INVOICE</u>
20,000.00	61.00%	12,200.00	0.00	12,200.00
TOTAL FEE THIS INVOICE				12,200.00
<b>TOTAL DUE THIS INVOICE</b>				<b>\$ 12,200.00</b>

O.K. +  
PAY  
5/20  
4/18/

**Steve Chutchian**

---

**From:** Randy Moravec  
**Sent:** Thursday, April 25, 2002 11:14 AM  
**To:** Steve Chutchian  
**Cc:** Michael Murphy; Jim Pierce; Sue Ellen Fairley; Sandra Goforth  
**Subject:** Spectrum Drive Project

Steve,

When you submitted the PAM for Huitt-Zollars for work on Spectrum Drive, I noticed that we have two project numbers for this particular project. I mistakenly created a second project number when another existed. We will remove project # ~~25300~~ from the system. Effective immediately, all engineering/design work done on Spectrum Drive should be charged to:

Fund # 46  
Project # 05301

As of the end of 12/31/01, nothing has been drawn against the \$300,000 budget allocation.

Concerning a related issue, in fund 41 we still have \$273,600 remaining in project # 85300 titled Spectrum Connection. This amount is from the \$300,000 the Town dedicated to improving railroad crossings in the area in return for DART granting us a crossing at Spectrum. Could you please give me an indication as to how and when these monies will be spent?

THANKS!!!

Randy

*zones problem*  
*QUIET CROSSINGS*  
*NO CONCR- TIME*  
*THIS IS FRAME AT TIME*  
*WE ARE RESPECTING*  
*WE HAVE CONTRACTS*  
*LEAVES BLANKES*  
*NO A FEASIBILITY*  
*STAY FOR THESE CROSSING*  
*KNOWING IN*  
*NEXT WEEKS!*

Jan Sidenor, with DART called Jim Pierce on 7/17/01.

She stated that there was an agreement on Spectrum Railroad Crossing.

The agreement number is 970904, dated 9/4/97

No construction plans are available, but she stated that we should contact Huitt-Zollars regarding any work that they have done on it.

Her phone number is 214-749-2917



FUGRO SOUTH, INC.

## GEOTECHNICAL INVESTIGATION

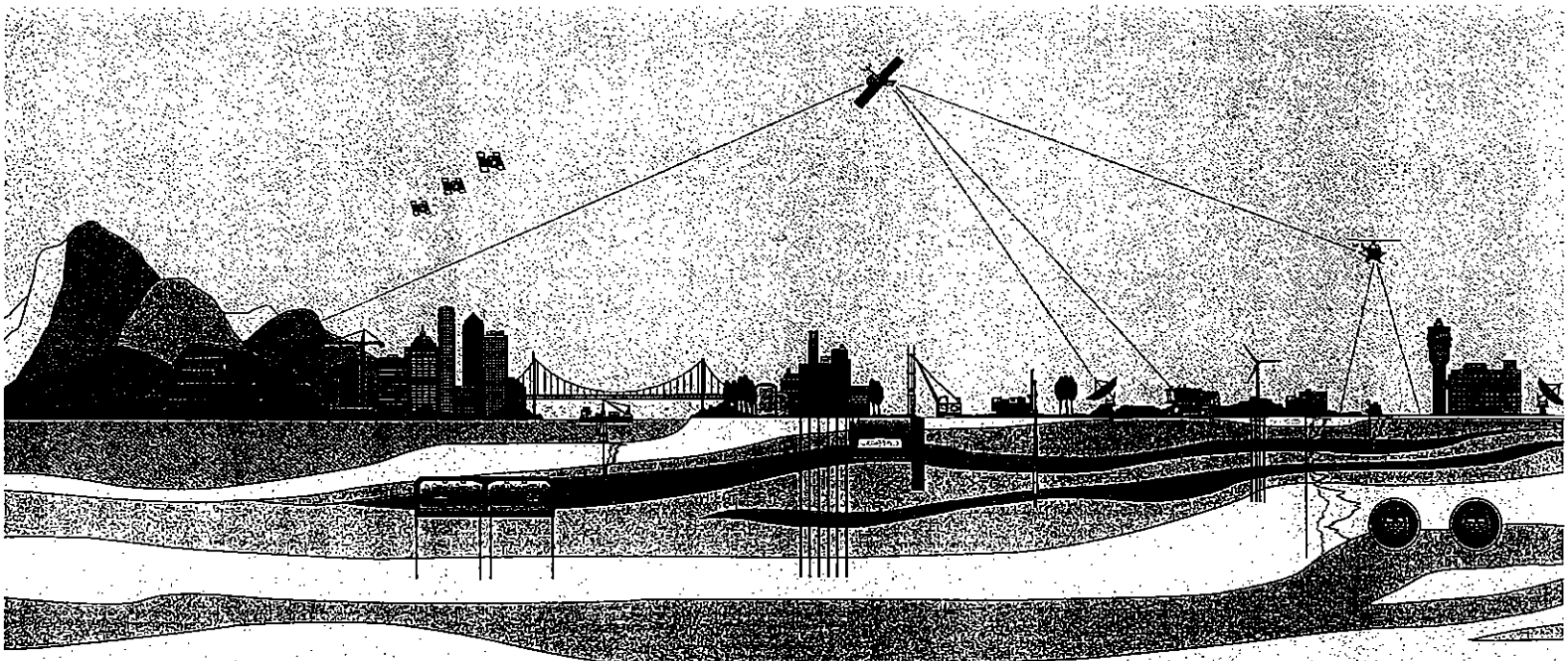
SPECTRUM DRIVE EXTENSION  
MORRIS AVENUE TO AIRPORT PARKWAY  
ADDISON, TEXAS

PROJECT NO. 0702-1011

Report to:

HUITT-ZOLLARS  
3131 MCKINNEY AVENUE  
DALLAS, TEXAS

AUGUST 2002



## LETTER OF TRANSMITTAL

DATE: <b>9/12/02</b>	JOB NO.: <b>01-3220-10</b>	PROJECT: <b>Spectrum Drive</b>
TO: <b>TOWN OF ADDISON 16801 WESTGROVE RD SERVICE CENTER - FIRST FLOOR ADDISON, TX 75001</b>		RE: <b>Geo-Technical Report</b>
		ATTENTION: <b>MR. Steven Z. Chutchian, P.E.</b>

WE ARE SENDING YOU

<input checked="" type="checkbox"/> ATTACHED	<input type="checkbox"/> UNDER SEPARATE COVER, VIA:
<input type="checkbox"/> SHOP DRAWINGS	<input type="checkbox"/> [REDACTED]
<input type="checkbox"/> PRINTS	<input type="checkbox"/> CHANGE ORDER
<input type="checkbox"/> SAMPLES	<input type="checkbox"/> SPECIFICATIONS
<input type="checkbox"/> COPY OF LETTER	<input type="checkbox"/> REQUEST FOR INFORMATION
	<input type="checkbox"/> OTHER:

COPIES	DATE	NO.	DESCRIPTION
2			Geo-Tech Report

Steve, At the time I ordered the geo-tech report we were designing the north half of the road only. Now that we are designing the north and south halves of the road I will need to order additional geo-tech on the south half.

<input type="checkbox"/> FOR APPROVAL	<input type="checkbox"/> NO EXCEPTIONS TAKEN	<input type="checkbox"/> RESUBMIT _____ COPIES FOR APPROVAL
<input checked="" type="checkbox"/> FOR YOUR USE	<input type="checkbox"/> EXCEPTIONS AS NOTED	<input type="checkbox"/> SUBMIT _____ COPIES FOR DISTRIBUTION
<input type="checkbox"/> AS REQUESTED	<input type="checkbox"/> RETURNED FOR CORRECTIONS	<input type="checkbox"/> RETURN _____ CORRECTED PRINTS
<input type="checkbox"/> FOR REVIEW AND COMMENT		<input type="checkbox"/> OTHER:
<input type="checkbox"/> FOR BIDS DUE ON (DATE):		<input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US

REMARKS:

.....

.....

.....

.....

IF ENCLOSURES ARE NOT AS NOTED, KINDLY NOTIFY US AT ONCE.

SIGNATURE: <b>David E. Meyers, P.E.</b>	COPY TO:
---	----------

**HUITT-ZOLLARS, INC.**

3131 McKinney Ave. • Suite 600 • Dallas, Texas 75204-2489 • (214) 871-3311 • Fax (214) 871-0757



---

**GEOTECHNICAL INVESTIGATION**

**SPECTRUM DRIVE EXTENSION  
MORRIS AVENUE TO AIRPORT PARKWAY  
ADDISON, TEXAS**

**PROJECT NO. 0702-1011**

**Report to:**

**HUITT-ZOLLARS  
3131 MCKINNEY AVENUE  
DALLAS, TEXAS**

**AUGUST 2002**







**FUGRO SOUTH, INC.**

Report No. 0702-1011  
August 20, 2002

2880 Virgo Lane  
Dallas, TX 75229  
Phone: 972-484-8301  
Fax: 972-620-7328

Huitt-Zollars, Inc.  
3131 McKinney Avenue  
Suite 600  
Dallas, Texas 75204-2489

Attn: David Meyers, P.E.

**GEOTECHNICAL INVESTIGATION  
SPECTRUM DRIVE EXTENSION  
MORRIS AVENUE TO AIRPORT PARKWAY  
ADDISON, TEXAS**

Mr. Meyers:

This report presents the results of the geotechnical investigation performed at the above-referenced project site located in Addison, Texas. We performed this study in accordance with our Proposal No. P0702-1011 dated January 14, 2002 and authorized on May 23.

Our engineering analyses as well as the results of the field and laboratory investigations are included in this report. Our firm is interested in providing the professional material testing and inspection services that will be required during the construction phase of the project.

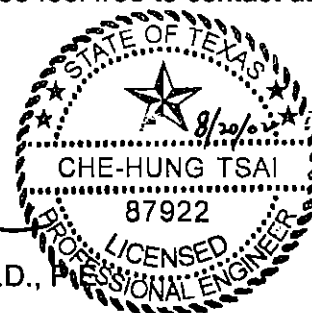
We appreciate the opportunity to be of assistance on this project. Please feel free to contact us if you have any questions or if we can be of further service.

Sincerely,

**FUGRO SOUTH, INC.**

Che-Hung (Chris) Tsai, Ph.D.,  
Project Engineer

Hugh T. Kelly, P.E.  
Senior Geological Engineer



CHT/HK/kp  
Copies submitted: (4)





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**GEOTECHNICAL INVESTIGATION**  
**SPECTRUM DRIVE EXTENSION**  
**MORRIS AVENUE TO AIRPORT PARKWAY**  
**ADDISON, TEXAS**

**INTRODUCTION**

**General**

In this report, we present the results of the geotechnical investigation performed at the referenced site from Morris Avenue to Airport Parkway in Addison, Texas. We understand the proposed project will consist of the construction of 1,100 linear feet extension of the existing Spectrum Drive. The roadway will have up to 4 lanes and it will be below or close to existing grade. The deepest utility line is expected to be 12 feet deep or less. The general location and orientation of the site is shown in Plates A and B. (All figures are in the "illustrations" section, which follows the report text.)

**Scope of Work**

The purpose of this investigation was to evaluate the subsurface conditions in test borings at selected locations along the proposed street. More specifically, the scope of work included the following steps:

- 1) General site subsurface stratigraphy and groundwater conditions;
- 2) Soil characteristics and their effects on design and construction;
- 3) Earthwork recommendations; and
- 4) Guidelines for pavement design and concrete pavement sections.

**Applicability of Report**

The scope of the explorations, tests, and analyses for this study were selected and the recommendations in this report were developed on our understanding of the project, as described above and in later sections of this report. If pertinent details of the project have changed or otherwise have differed from our description, we request that we be notified and engaged to review the changes and modify our recommendations, if needed. The conclusions and recommendations presented in this report may not apply to different locations at the site.





This report should be made available to prospective contractors for information only, and not as a warranty of subsurface conditions.

## **FIELD INVESTIGATION**

A total of six test borings were drilled at the site. The test borings were advanced to a depth of 20 feet below existing ground surface along the proposed street extension. The approximate locations of the borings are shown in Plate B. Logs of the borings with descriptions of the materials sampled are presented as Plates 1 through 6. A key to the terms and symbols used on the boring logs is presented as Plates 7 and 8.

The test borings were drilled with a truck-mounted rig. Undisturbed soil samples from the borings were sampled by means of thin walled seamless tube samplers pushed hydraulically into the bottom of the borehole. The recovered tube samples were evaluated for consistency with a hand penetrometer in the field.

Texas Department of Transportation (TxDOT) Cone Penetration tests were performed in the limestone strata typically at 5-foot intervals. This test consists of driving a 3-inch diameter, 60-degree, steel cone with the energy equivalent of a 170-pound hammer dropped 24 inches. Depending on the resistance of the materials, either the number of blows of the hammer required to provide 12 inches of penetration, or the inches of penetration of the cone due to 100 blows of the hammer are recorded on the boring log.

The borings were drilled using dry auger procedures to observe the water level at the time of the exploration. These water level observations are recorded on the boring logs. Upon completion of the field investigation, the borings were backfill with soil cuttings.

## **LABORATORY TESTING**

Soil and rock samples obtained during the field exploration were observed and classified by a geotechnical engineer in the laboratory. Laboratory tests were assigned and performed to define pertinent engineering characteristics of the subsurface materials encountered. The tests were performed in general accordance with applicable ASTM test procedures. ASTM test designations used for these tests include visual classification (ASTM D 2488), moisture content (ASTM D





2216), Atterberg limits (ASTM D 4318), lime pH series (ASTM D 3551 & D 4972), minus No. 200 sieve (ASTM D 1140), and overburden swell (ASTM D 4546).

On-site soils were classified according to the Unified Soil Classification System on the basis of visual observation of the samples, natural moisture content, dry unit weight, minus No. 200 sieve, and Atterberg limits test results. Results of the moisture content, minus No. 200 sieve and Atterberg Limits tests are tabulated at their respective sample depths on the boring logs.

For the overburden swell tests, representative samples are placed in a consolidometer and subjected to the estimated overburden pressures, inundated with water, and allowed to swell. The changes in sample height are measured and moisture contents are determined both before and after completion of the test. Test results are recorded as the percent swell, with initial and final moisture content. The results of an overburden swell test are presented in Plate 9. Lime modification optimum (LMO) for on-site clay soils near the existing grade was estimated using the results of lime pH series test, shown on Plates 10 and 11.

## SITE CONDITIONS

### General

The proposed Spectrum Drive extension, a total of approximately 1,100 linear feet, is located east of Dallas North Tollway, west of Addison Airport, and between Morris Avenue and Airport parkway in Addison, Texas. Currently, the site of the proposed extension is an open field covered with grass and weeds and some trees. The generally layout of the subject area is shown on Plan of Borings, Plate B.

### Stratigraphy

Based on published geological information and visual observation, the site is located within the outcrop limits of the Austin Chalk geological formation. Subsurface stratigraphy at this site, based on test borings and laboratory testing results, can be categorized into the following strata. Soil strata boundaries shown below are approximate.





Stratum	Description	Top of Stratum, feet below existing grade	Bottom of Stratum, feet below existing grade
I	FILL, clay, dark brown (encountered in Borings B-1 through B-4)	0	1 to 4
II	CLAY (CH), dark brown (encountered in all test borings)	0 to 4	5 to 8.5
III	CLAY (CL), tan (encountered in Borings B-1, B-2, B-5 and B-6)	5 to 6	8.5 to 13
IV	LIMESTONE, tan, moderately weathered to highly weathered (encountered in all test borings)	5 to 13	9 to 16.5
V	LIMESTONE, gray, fresh (encountered in all test borings)	9 to 16.5	20*

\* - Boring termination depth

### Groundwater Conditions

Test borings were advanced using dry auger drilling methods, which enabled groundwater seepage levels to be observed during drilling. Groundwater conditions encountered in the test borings during the time of this study are shown on the following table.

Boring No.	Depth During Drilling, feet	Depth at Completion of Drilling, feet	Boring No.	Depth During Drilling, feet	Depth at Completion of Drilling, feet
B-1	Dry	Dry	B-4	Dry	Dry
B-2	Dry	Dry	B-5	14	12
B-3	Dry	Dry	B-6	13	18.5

It is expected that groundwater fluctuations may occur with seasonal variations. In addition, changes in groundwater elevations and soil moisture conditions may be altered by construction activities.



## **Potential Vertical Movement**

The near-surface clays (CH/CL) encountered at the site exhibited Plasticity Indexes (PI's) ranging from 22 to 52. These clays are considered to be moderately to highly expansive and can experience vertical movement with changes in soil moisture conditions. The magnitude of the moisture induced vertical swell movement in the area is estimated to be on the order of 3.75 inches if the soils are in a dry moisture condition at the time of construction. The above vertical movement is calculated using TxDOT method, Tex-124-E. The laboratory swell tests performed on a selected soil sample (CL) indicated less than one percent swell at a moist soil moisture condition.

It should be noted that TxDOT method of calculating potential ground movements is empirical and is based on the results of the Atterberg limits and moisture content of the soils. Swell tests provide swell data based on the existing moisture profile of the subsurface soils at the time the borings were drilled. The total swell potential depends on the moisture content of the expansive clays within the zone of moisture changes. Expansive clays in a dry soil moisture condition exhibit higher swell potentials. Vertical movements calculated based on swell tests will be greater with lower soil moisture levels. Considerably more movement will occur in areas where water ponding is allowed to occur during or after construction.

## **FINDINGS AND RECOMMENDATIONS**

### **Pavement Subgrade Preparations**

We recommend that all surface vegetation, organics, loose fill, and other deleterious materials be removed from the proposed areas to be paved. All cuts should be performed after the site has been stripped. The subgrade and fill soils and lime-treated subgrade should be tested, evaluated, and reworked, as necessary, until approved by the geotechnical engineer's representative during all phases of the pavement construction and prior to placement of the concrete pavement.

The exposed subgrade soils should be proofrolled with a loaded, tandem-axle dump truck, scraper, or other, heavy, rubber-tired vehicle weighing at least 25 tons (in the presence of Fugro's representative), to locate any fill areas and zones that are soft or unstable. The proofrolling should consist of several overlapping passes. The subgrade in areas where rutting or pumping occurs during proofrolling should be removed and replaced with similar, but drier soil if the in-situ soils cannot be satisfactorily compacted in place. After approval or reworking



as described therein, the subgrade should be scarified to a depth of 6 to 9 inches, and treated with hydrated lime.

Treating the pavement subgrade with hydrated lime will improve the pavement performance by increasing the strength of the subgrade and providing a stable working platform for construction. Based on the results of the laboratory tests including the lime series tests and our experience with similar soils near the project, 7 percent hydrated lime by dry soil unit weight (32 pounds per square yard for a 6-inch thick stabilized layer) should be used to stabilize the subgrade soils found suitable to remain in place beneath the pavement. This application rate can be used for estimating purposes. The actual application rate should be determined at the time of construction by sampling the finish subgrade soil and testing with the intended source of hydrated lime, to determine the optimum lime content. The pH of the lime/soil mixture should be 12.3 to 12.4 or greater.

The lime treated subgrade should extend a minimum 12 to 18 inches outside the curb line or pavement edge. This will improve the support for the edge of the pavement and also lessen the "edge effect" associated with shrinkage during dry periods. All utility excavations within the lime treated area should be complete prior to treatment in order to ensure uniform conditions across the pavement. In the event that a utility excavation is undertaken after lime treatment, the lime re-treated area should extend a minimum of 5 feet beyond the excavated area in all directions. The use of sand as a leveling course below the pavements areas should be avoided. The sand can pipe out through joints or at the pavement edge by erosive action and leave cavities beneath the pavement.

Construction of the lime treated subgrade should follow Item 260 of the TxDOT Standard Specifications For Construction of Highways, Streets, and Bridges. The lime-treated subgrade should be compacted to a minimum of 98 percent of Standard Proctor density (ASTM D 698) at a moisture content ranging from optimum to 4 percentage points above optimum. The moisture content and density of the completed subgrade section should be maintained until the paving is complete. If the subgrade will be exposed for a period of time in excess of 7 days or during very dry weather, an asphalt emulsion should be applied to the subgrade to limit moisture loss and to help protect the surface from loss of material due to traffic.

On-site clays or similar imported soil free of organic and other deleterious material could be used as fill to develop design grades, where needed. The clays should be placed in 8-inch loose lifts, their moisture adjusted to a range of 0 to 5 percentage points above their optimum





moisture (between 3 percentage points of their optimum moisture content for sandy fill with a PI of 15 or less) as determined by the standard proctor test, ASTM D698, and compacted at a minimum of 95% of their maximum dry density.

### **Pavement Section**

Specific axle loading and traffic volume characteristics have not been provided at this time. It is our understanding that Portland Cement concrete pavement sections will be used for the proposed extension. The following minimum pavement section is recommended for consideration at this site. The final pavement section to be used for the site should conform to the City of Addison pavement requirements.

<b>Section</b>	<b>Thickness (inches)</b>
Portland Cement Concrete	7
Lime Stabilized Subgrade	6

Some differential movements in the pavements are anticipated due to swelling of the subgrade clays. Pavement recommendations are based on assumed loading conditions and commonly accepted design procedures that should provide satisfactory performance with relatively low maintenance for the design life of 20 years for the assumed traffic loadings. Additional evaluation of the pavement design can be performed upon request on the basis of more specific estimates of the design traffic and design period.

We recommend the design of the concrete pavements have a minimum 28-day concrete compressive strength of 3,600 psi with 4 percent to 6 percent entrained air. Hand-placed concrete should have a maximum slump of 4 inches. A sand-leveling course should not be permitted beneath pavements. The concrete should be placed within one and one-half hours of batching. During hot weather, the concrete placement should follow ACI hot weather concreting guidelines. In no case should concrete temperature exceed 95°F. Consideration should be given to limiting concrete placement to the time of day, which will minimize large differences in the ambient and concrete temperature. Use of superplasticizer should be considered to improve the concrete workability without increasing water cement ratio.



The rigid pavement should be designed with adequate reinforcement, and load transfer devices (e.g., smooth dowels) across all joints, including saw joints. Frequent use of expansion joints with flexible joint material and saw joints will improve pavement performance. The pavement should be maintained properly, including the use of a flexible joint material to seal cracks that can occur during the life of the pavement. After construction, the construction and expansion joints should be inspected periodically and resealed, if necessary.

Sawing of joints for crack control should begin as soon as the concrete has hardened sufficiently to permit sawing without excessive raveling. All joints should be completed before uncontrolled shrinkage cracking occurs. Joints should be cleaned and sealed before opening to traffic. A proper testing and observation program by the project geotechnical engineer during construction can also contribute to the overall long-term performance of the pavement.

Minimizing subgrade saturation is an important factor in maintaining subgrade strength and in minimizing the potential for post-construction movements in the expansive clays. Water allowed to pond on or adjacent to the pavement could saturate the pavement and cause premature pavement deterioration. Positive surface drainage away from the edge of the paved areas should be maintained.

### **Fill Placement Monitoring**

The exposed pavement subgrade and each lift of compacted fill should be tested, evaluated, and reworked, as necessary, until approved by the geotechnical engineer's representative, prior to placement of additional lifts. We recommend that each lift of fill be tested for density and moisture content at a frequency of one test for every 2,500 square feet of compacted fill and one density and moisture content test for every 100 linear feet of compacted utility trench backfill.

### **Excavation**

The side slopes of excavations through the overburden soils should be made in such a manner to provide for their stability during construction. Excavation of the limestone will require rock ripping, breaking, or similar equipment. The shear strength of the limestone often exceeds 2000 pounds per square inch (psi). Structures, utility lines or facilities, which are constructed prior to or during the proposed construction, should be protected from loss of end bearing or lateral support.





Trench safety recommendations are beyond the scope of this study. The contractor must comply with all applicable safety regulations concerning trench safety and excavations, including, but not limited to, OSHA regulations.

### **LIMITATIONS**

Since some variation was found in subsurface conditions at boring locations, all parties involved should take notice that even more variation may be encountered between boring locations. Statements in the report as to subsurface variation over given areas are intended only as estimations from the data obtained at specific boring locations.

The professional services that form the basis for this report have been performed using that degree of care and skill ordinarily exercised, under similar circumstances, by reputable geotechnical engineers practicing in the same locality. No warranty, expressed or implied, is made as to the professional advice set forth.

The results, conclusions, and recommendations contained in this report are directed at, and intended to be utilized within, the scope of work contained in the proposal letter executed by Fugro South, Inc. and client. This report is not intended to be used for any other purposes. Fugro South, Inc. makes no claim or representation concerning any activity or condition falling outside the specified purposes to which this report is directed, said purposes being specifically limited to the scope of work as defined in said agreement. Inquiries as to said scope of work or concerning any activity or condition not specifically contained therein should be directed to Fugro South for a determination and, if necessary, further investigation.



**ILLUSTRATIONS**

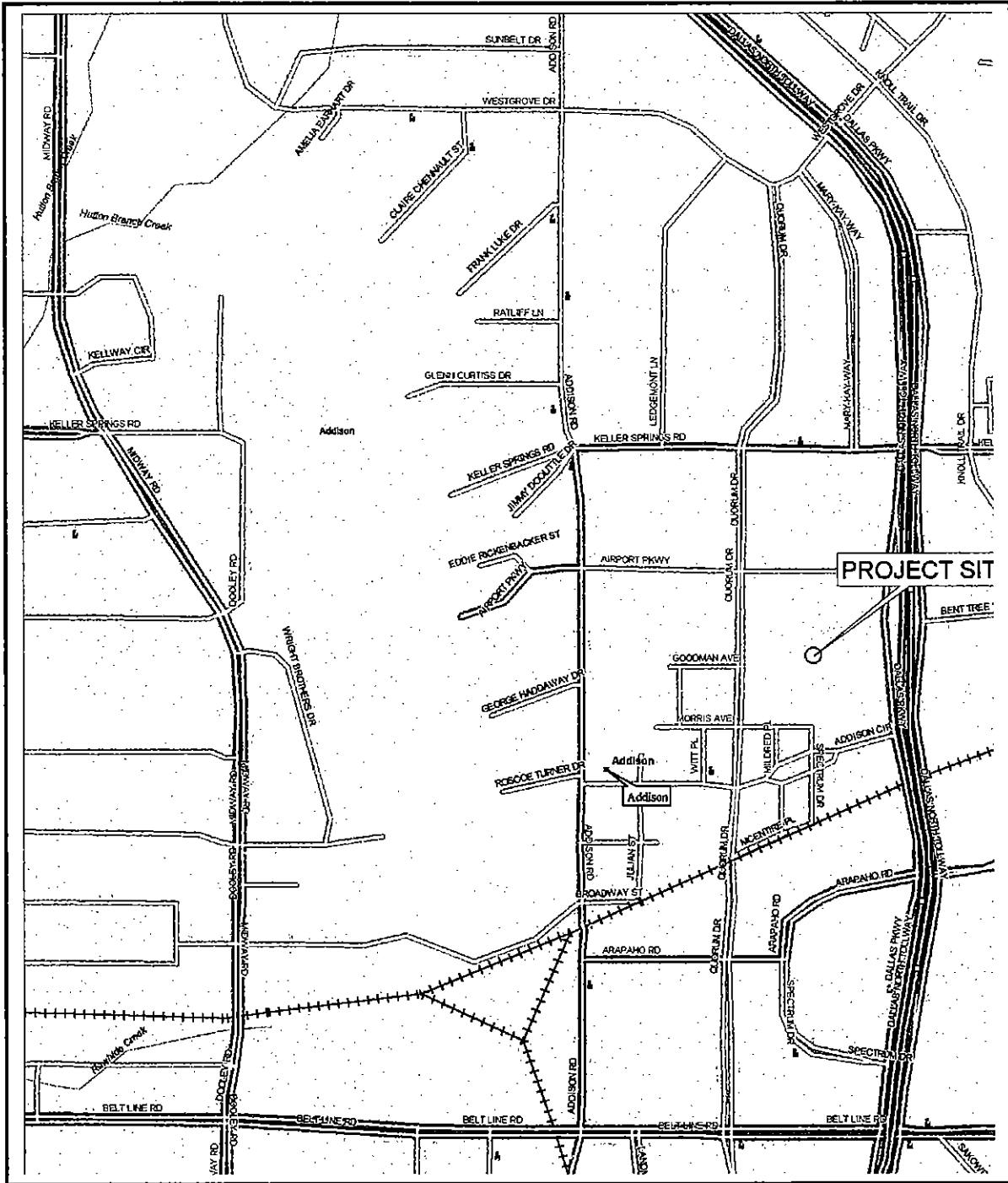


## ILLUSTRATIONS

Boring and laboratory data presented were developed solely for the preparation of this report. We are not responsible for interpretation or use of these data for purposes beyond the stated scope of this report.

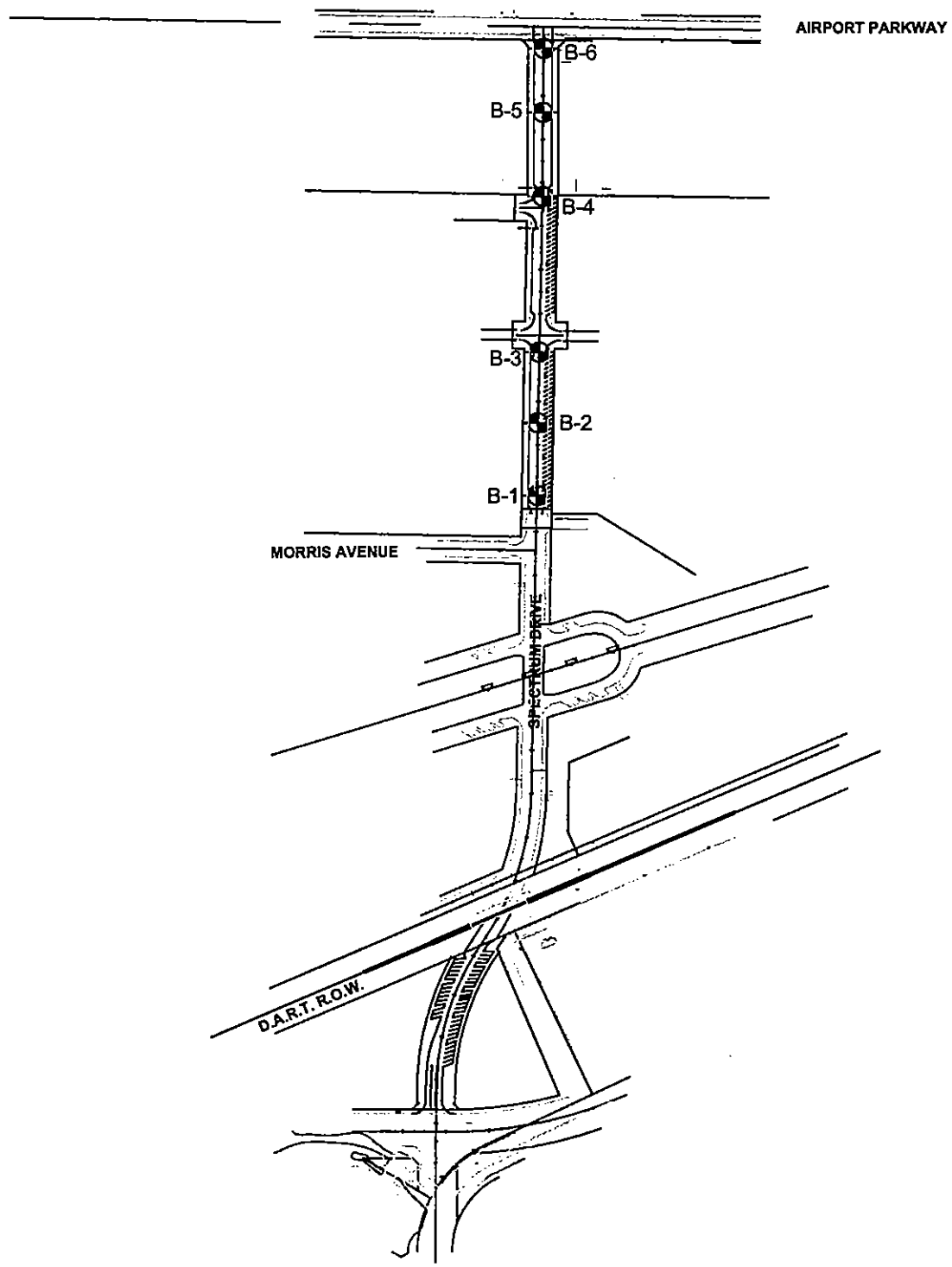
Subsurface conditions different than those found at our boring location may be present as a result of, among other factors, soil moisture variations, fill placement, and naturally occurring variations in soil properties and elevation of the top of the rock.





**FUGRO**  
  
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 Geotechnical Engineering  
 and Materials Testing

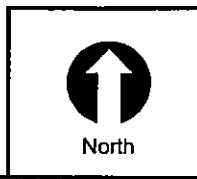
<b>SPECTRUM DRIVE EXTENSION</b>		<b>Site Vicinity Map</b>	
<b>Spectrum Drive, South of Airport Parkway</b>		<b>Addison, Texas</b>	
Date: 31 July 02	Scale: Not to Scale	Map Source: DeLorme Street Atlas	Project No. 0702-1011
			<b>PLATE A</b>



**LEGEND:**

 APPROXIMATE BORING LOCATION

NOT TO SCALE



FUGRO SOUTH, INC.

**SPECTRUM DRIVE EXTENSION**

**Plan Of Borings**

**Morris Avenue to Airport Parkway**

**Addison, Texas**

Date: 7/31/02

Drawn By: WR

Project No.: 0702-1011

**PLATE B**

AUTOCAD LT - W:\0702-1011.dwg

# LOG OF BORING NO. B-1

SPECTRUM DRIVE EXTENSION  
Morris Avenue to Airport Parkway  
ADDISON, TEXAS  
PROJECT NO. 0702-1011

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./ROD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER CONTENT, %	LIQUID LIMIT, %	PLASTIC LIMIT, %	PLASTICITY INDEX (PI), %	PASSING NO. 200 SIEVE, %	UNIT DRY WEIGHT, PCF	UNCONFINED STRENGTH TSF	
				SURF. ELEVATION: UNKNOWN									
			P 4.5+	FILL, CLAY, Dark Brown		26				63			
			P 4.5	CLAY (CH), Dark Brown	1.0	15							
			P 4.5			29	79	27	52				
5			P 2.75			30							
			P 4.5	CLAY (CL), Tan, some limestone fragments, trace calcareous deposits	6.0								
			P 4.5			23							
10			P 2.0			25							
				LIMESTONE, Tan, moderately weathered to highly weathered	12.0								
			100/0.75"	LIMESTONE, Gray, fresh	14.5								
15													
			100/1.5"										
20					20.0								

COMPLETION DEPTH: 20.0  
DATE DRILLED: 6-27-02

WATER LEVEL / SEEPAGE: DRY  
UPON COMPLETION: DRY

KEY:  
P = Pocket Penetrometer  
Note: All depths are measured in feet.

GEO3 02-1011.GPJ GEO1.GDT 8/2/02



# LOG OF BORING NO. B-2

SPECTRUM DRIVE EXTENSION  
Morris Avenue to Airport Parkway  
ADDISON, TEXAS  
PROJECT NO. 0702-1011

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./ROD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER	LIQUID	PLASTIC	PLASTICITY	PASSING NO.	UNIT DRY	UNCONFINED
						CONTENT, %	LIMIT, %	LIMIT, %	INDEX (PI), %	200 SIEVE, %	WEIGHT, PCF	STRENGTH TSF
				SURF. ELEVATION: UNKNOWN								
			P 4.5+	FILL, CLAY, Dark Brown		10						
			P 4.5+	CLAY (CH), Dark Brown	1.0	15	68	24	44			
			P 4.5			22						
5			P 3.0									
			P 1.75	CLAY (CL), Tan, some limestone fragments, trace calcareous deposits	5.5	26						
				LIMESTONE, Tan, moderately weathered to highly weathered	8.5	21						
10			100/2.5"									
15			100/2.25"									
				LIMESTONE, Gray, fresh	16.0	16						
20			100/1.5"		20.0							

COMPLETION DEPTH: 20.0  
DATE DRILLED: 6-27-02

WATER LEVEL / SEEPAGE: DRY  
UPON COMPLETION: DRY

KEY:  
P = Pocket Penetrometer  
Note: All depths are measured in feet.

GEO3 02-1011.GPJ GEO1.GDT 8/2/02

# LOG OF BORING NO. B-3

SPECTRUM DRIVE EXTENSION  
Morris Avenue to Airport Parkway  
ADDISON, TEXAS  
PROJECT NO. 0702-1011

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./RQD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER CONTENT, %	LIQUID LIMIT, %	PLASTIC LIMIT, %	PLASTICITY INDEX (PI), %	PASSING NO. 200 SIEVE, %	UNIT DRY WEIGHT, PCF	UNCONFINED STRENGTH TSF
				SURF. ELEVATION: UNKNOWN								
				FILL, CLAY, Dark Brown, with gravel and concrete pieces		5						
			P 2.0	CLAY (CH), Dark Brown	1.0	28						
			P 3.25			29						
5			100/7.25"	LIMESTONE, Tan, moderately weathered to highly weathered	5.0	18						
10			100/5.75"	LIMESTONE, Gray, fresh - with clay lenses, at 10.5'	9.0							
15			100/1.75"									
20			100/1.25"									
					20.0							

COMPLETION DEPTH: 20.0  
DATE DRILLED: 6-27-02

WATER LEVEL / SEEPAGE: DRY  
UPON COMPLETION: DRY

KEY:  
P = Pocket Penetrometer  
Note: All depths are measured in feet.

GEO3 02-1011.GPJ GEO1.GOT 8/2/02

**LOG OF BORING NO. B-4**  
**SPECTRUM DRIVE EXTENSION**  
**Morris Avenue to Airport Parkway**  
**ADDISON, TEXAS**  
**PROJECT NO. 0702-1011**

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES POCKET PEN N PER FOOT REC./RQD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER CONTENT, %	LIQUID LIMIT, %	PLASTIC LIMIT, %	PLASTICITY INDEX (PI), %	PASSING NO. 200 SIEVE, %	UNIT DRY WEIGHT, PCF	UNCONFINED STRENGTH TSF
			SURF. ELEVATION: UNKNOWN								
		P 4.5+	FILL, CLAY, Dark Brown, with limestone fragments		11						
		P 4.5+			10						
		P 4.5+			12						
		P 4.5+			13				63		
5		P 4.5+	CLAY (CH), Dark Brown	4.0	23						
		P 1.75			31						
		P 2.5			34	77	27	50			
			LIMESTONE, Tan, moderately weathered to highly weathered	8.5							
10		100/4.5"									
			LIMESTONE, Gray, fresh	13.0							
15		100/0.5"									
				20.0							
20		100/0.75"									

COMPLETION DEPTH: 20.0  
 DATE DRILLED: 6-27-02

WATER LEVEL / SEEPAGE: DRY  
 UPON COMPLETION: DRY

KEY:  
 P = Pocket Penetrometer  
 Note: All depths are measured in feet.

GEO3 02-1011.GPJ GEO1.GDT 8/2/02

# LOG OF BORING NO. B- 5

SPECTRUM DRIVE EXTENSION  
Morris Avenue to Airport Parkway  
ADDISON, TEXAS  
PROJECT NO. 0702-1011

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./RQD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER CONTENT, %	LIQUID LIMIT, %	PLASTIC LIMIT, %	PLASTICITY INDEX (PI), %	PASSING NO. 200 SIEVE, %	UNIT DRY WEIGHT, PCF	UNCONFINED STRENGTH TSF
				SURF. ELEVATION: UNKNOWN								
			P 4.5	CLAY (CH), Dark Brown		21						
			P 2.25			17						
5			P 2.75	CLAY (CL), Tan, some limestone fragments, trace calcareous deposits	5.0	18	48	20	28			
			P 3.25			29						
10			P 1.0			27						
				LIMESTONE, Tan, moderately weathered to highly weathered	13.0							
15			100/2.25"									
				LIMESTONE, Gray, fresh	16.5							
			100/0.5"									
20					20.0							

COMPLETION DEPTH: 20.0  
DATE DRILLED: 6-27-02

WATER LEVEL / SEEPAGE: 14.0  
UPON COMPLETION: 12.0

KEY:  
P = Pocket Penetrometer  
Note: All depths are measured in feet.

GEO3 02-1011.GPJ GEO1.GDT 8/2/02

**LOG OF BORING NO. B-6**  
**SPECTRUM DRIVE EXTENSION**  
 Morris Avenue to Airport Parkway  
 ADDISON, TEXAS  
 PROJECT NO. 0702-1011

TYPE: INTERMITTENT SAMPLING

LOCATION: SEE PLAN OF BORINGS

DEPTH, FT	SYMBOL	SAMPLES	POCKET PEN N PER FOOT REC./RQD, %	STRATUM DESCRIPTION	LAYER ELEV./ DEPTH	WATER	LIQUID	PLASTIC	PLASTICITY	PASSING NO.	UNIT DRY	UNCONFINED
						CONTENT, %	LIMIT, %	LIMIT, %	INDEX (PI), %	200 SIEVE, %	WEIGHT, PCF	STRENGTH TSF
			P 4.5+	CLAY (CH), Dark Brown		28	72	25	47			
			P 2.75		28							
5			P 2.5		CLAY (CL), Tan, some limestone fragments, trace calcareous deposits	5.0	22					
			P 1.25	24		40	18	22				
10			P 4.0	24								
				LIMESTONE, Tan, moderately weathered to highly weathered	11.5							
				LIMESTONE, Gray, fresh	13.5							
15			100/0.75"									
			100/0.5"									
20					20.0							

COMPLETION DEPTH: 20.0  
 DATE DRILLED: 6-27-02













WATER LEVEL / SEEPAGE: 13.0  
 UPON COMPLETION: 18.5

KEY:  
 P = Pocket Penetrometer  
 Note: All depths are measured in feet.

GEO3 02-1011.GPJ GEO1.GDT 8/2/02

# TERMS AND SYMBOLS USED ON BORING LOGS FOR SOIL

## SOIL TYPES

 CLAY (CH)	 SHALY CLAY (CH)	 CLAY (CL)	 SANDY CLAY (CL)
 Well-Graded SAND (SW)	 Poorly-Graded SAND (SP)	 SILTY SAND (SM)	 CLAYEY SAND (SC)
 Well-Graded GRAVEL (GW)	 Poorly-Graded GRAVEL (GP)	 SILTY GRAVEL (GM)	 FILL Material

## SOIL GRAIN SIZE

U.S. STANDARD SIEVE								
	6"	3"	3/4"	4	10	40	200	
BOULDERS	COBBLES	GRAVEL		SAND			SILT	CLAY
		COARSE	FINE	COARSE	MEDIUM	FINE		
	152	76.2	19.1	4.76	2.00	0.420	0.074	0.002
SOIL GRAIN SIZE IN MILLIMETERS								

### STRENGTH OF COHESIVE SOILS <sup>(2)</sup>

CONSISTENCY	UNDRAINED COMPRESSIVE STRENGTH Tons Per Sq. Ft.
Very Soft	Less Than 0.25
Soft	0.25 to 0.50
Firm	0.5 to 1.00
Stiff	1.00 to 2.00
Very Stiff	2.00 to 4.00
Hard	greater than 4.00

### DENSITY OF GRANULAR SOILS <sup>(2)</sup>

NUMBER OF BLOWS PER FT., N	RELATIVE DENSITY
0-4	Very Loose
4-10	Loose
10-30	Medium
30-50	Dense
Over 50	Very Dense

## DESCRIPTIVE TERMS FOR SOIL <sup>(1)</sup>

DESCRIPTION	CRITERIA	MOISTURE	
Stratified	Alternating layers of varying material or color with layers at least 6 mm thick.	Dry	No water evident in sample; fines less than plastic limit.
Laminated	Alternating layers of varying material or color with the layers less than 6 mm thick.	Moist	Sample feels damp; fines near the plastic limit
Fissured	Breaks along definite planes of fracture with little resistance to fracturing.	Very Moist	Water visible on sample; fines greater plastic limit and less than liquid limit
Slickensided	Fracture planes appear polished or glossy, sometimes striated.	Wet	Sample bears free water; fines greater than liquid limit.
Blocky	Cohesive soil that can be broken down into small angular lumps which resist further breakdown.	INCLUSIONS <sup>(1)</sup>	
Lensed	Inclusions of small pockets of different soils.	Parting	Inclusion <1/8" thick extending through sample
		Seam	Inclusion 1/8" to 3" thick extending through sample.
		Layer	Inclusion >3" thick extending through sample.
		Trace	<5% of sample.
		Few	5% to 10% of sample.
		Some	10 to 25% of sample.
		With	30% to 45% of sample.
















#### REFERENCES:

- 1) ASTM D 2488
- 2) Peck, Hanson and Thornburn, (1974), Foundation Engineering.

#### NOTE:

Information on each boring log is a compilation of subsurface conditions and soil and rock classifications obtained from the field as well as from laboratory testing of samples. Strata have been interpreted by commonly accepted procedures. The stratum lines on the logs may be transitional and approximate in nature. Water level measurements refer only to those observed at the times and places indicated, and may vary with time, geologic condition or construction activity.

# TERMS AND SYMBOLS USED ON BORING LOGS FOR ROCK

ROCK TYPES			SAMPLER TYPES	
 LIMESTONE	 SHALE	 SANDSTONE	 Thin-walled Tube	 Rock Core
 WEATHERED LIMESTONE	 WEATHERED SHALE	 WEATHERED SANDSTONE	 Standard Penetration Test	 Auger Sample
 HIGHLY WEATHERED LIMESTONE	 ARGILLACEOUS LIMESTONE	 MARL	 THD Cone Penetration Test	 Bag Sample

SOLUTION & VOID CONDITIONS		WEATHERING GRADES OF ROCKMASS <sup>(1)</sup>	
<p>Void</p> <p>Cavities</p> <p>Vuggy</p> <p>Vesicular</p> <p>Porous</p> <p>Cavernous</p>	<p>Interstice; a general term for pore space or other openings in rock.</p> <p>Small solutional concavities.</p> <p>Containing small cavities, usually lined with a mineral of different composition from that of the surrounding rock.</p> <p>Containing numerous small, unlined cavities, formed by expansion of gas bubbles or steam during solidification of the rock.</p> <p>Containing pore, interstices, or other openings which may or may not interconnect.</p> <p>Containing cavities or caverns, sometimes quite large. Most frequent in limestones and dolomites.</p>	<p>Slightly</p> <p>Moderately</p> <p>Highly</p> <p>Completely</p> <p>Residual Soil</p>	<p>Discoloration indicates weathering of rock material and discontinuity surfaces.</p> <p>Less than half of the rock material is decomposed or disintegrated to a soil.</p> <p>More than half of the rock material is decomposed or disintegrated to a soil.</p> <p>All rock material is decomposed and/or disintegrated to soil. The original mass structure is still largely intact.</p> <p>All rock material is converted to soil. The mass structure and material fabric are destroyed.</p>

HARDNESS		BEDDING THICKNESS <sup>(2)</sup>	
<p>Friable</p> <p>Low Hardness</p> <p>Moderately Hard</p> <p>Very Hard</p>	<p>Crumbles under hand pressure</p> <p>Can be carved with a knife</p> <p>Can be scratched easily with a knife</p> <p>Cannot be scratched with a knife</p>	<p>Very Thick</p> <p>Thick</p> <p>Thin</p> <p>Very Thin</p> <p>Laminated</p> <p>Thinly-Laminated</p>	<p>&gt;4'</p> <p>2'-4'</p> <p>2"-2'</p> <p>1/2"-2"</p> <p>0.08"-1/2"</p> <p>&lt;0.08"</p>

JOINT DESCRIPTION					
SPACING		INCLINATION		SURFACES	
Very Close	<2"	Horizontal	0-5	Slickensided	Polished, grooved
Close	2"-12"	Shallow	5-35	Smooth	Planar
Medium Close	12"-3'	Moderate	35-65	Irregular	Undulating or granular
Wide	>3'	Steep	65-85	Rough	Jagged or pitted
		Vertical	85-90		

**REFERENCES:**

1) British Standard(1981)  
Code of Practice for Site Investigation  
BS 5930.

2) The Bridge Division, Texas Highway Dept.  
Foundation Exploration & Design Manual  
2nd Edition, revised June, 1974.

**NOTE:**

Information on each boring log is a compilation of subsurface conditions and soil and rock classifications obtained from the field as well as from laboratory testing of samples. Strata have been interpreted by commonly accepted procedures. The stratum lines on the logs may be transitional and approximate in nature. Water level measurements refer only to those observed at the times and places indicated, and may vary with time, geologic condition or construction activity.

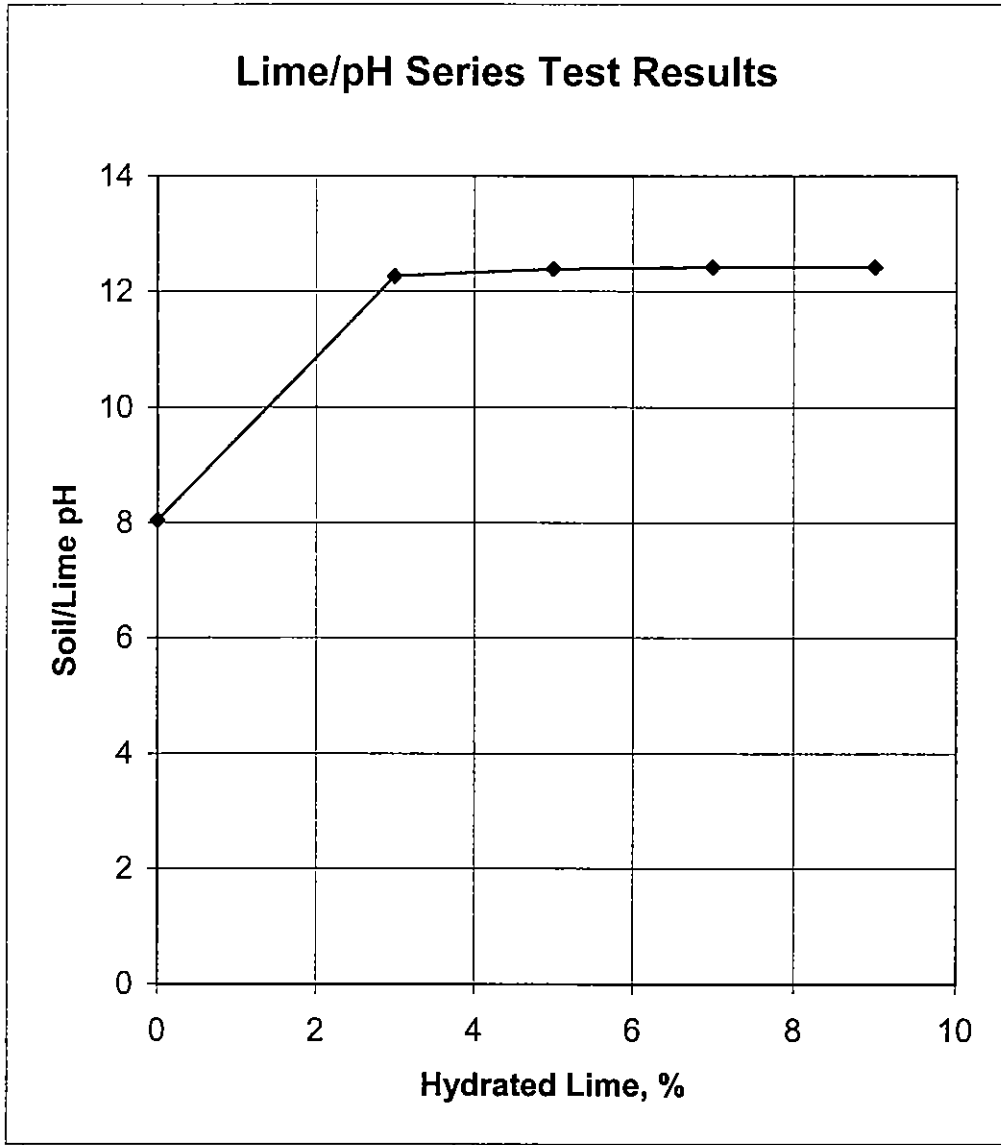


**SPECTRUM DRIVE EXPANSION  
MORRIS AVENUE TO AIRPORT PARKWAY  
ADDISON, TEXAS**

Boring Number	B-5
Sample Depth (ft)	5-6
Initial Moisture Content (%)	18
Final Moisture Content (%)	20
Applied Surcharge Pressure (psf)	750
Vertical Swell (%)	0.2
Liquid Limit	48
Plastic Limit	20
Plasticity Index	28







Hydrated Lime, %	0	3	5	7	9
pH	8.14	11.75	12.35	12.42	12.42



FUGRO SOUTH, INC.

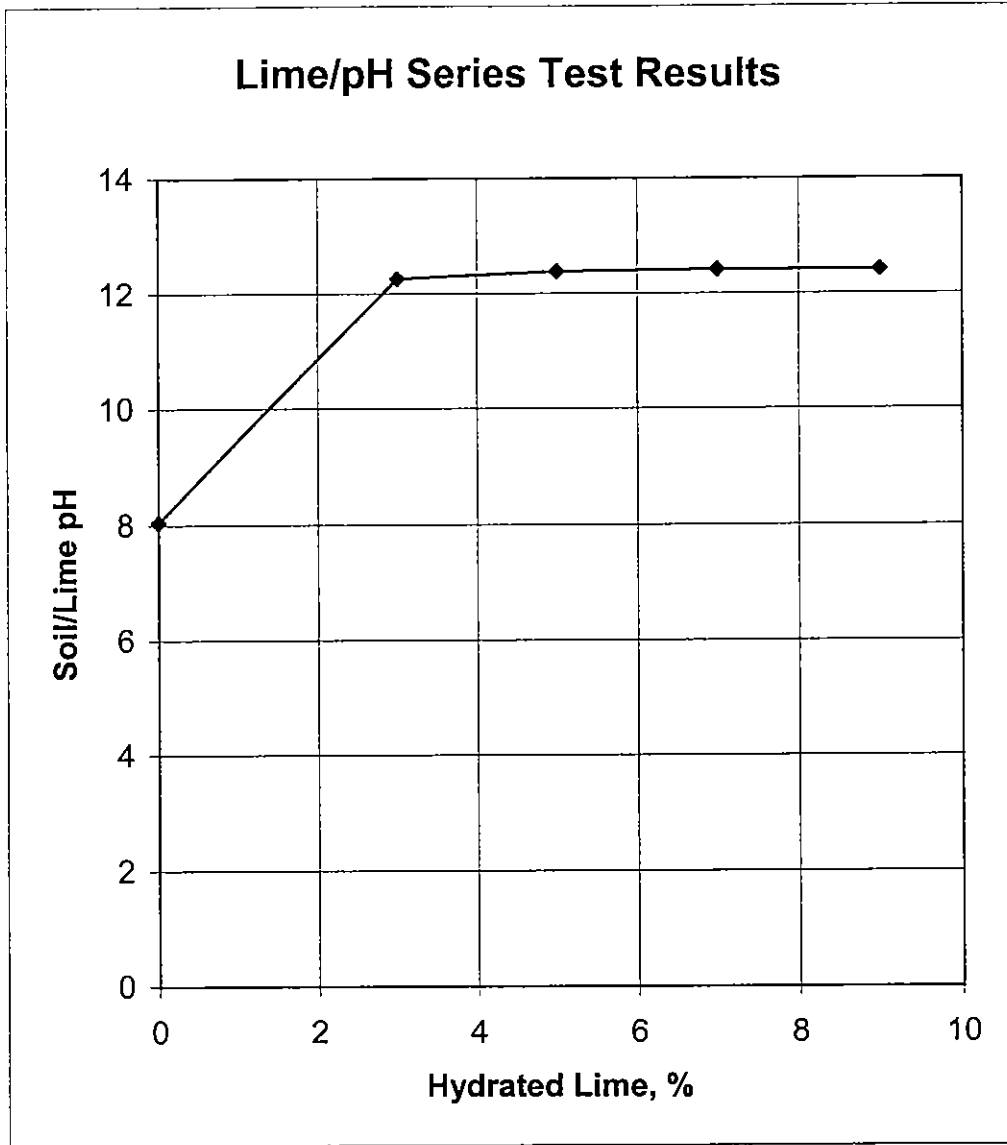
Results of Lime Series Test

Sample I.D.: Boring B-2, 1'-2'

Spectrum Drive Extension

Morris Avenue to Airport Parkway

Addison, Texas



Hydrated Lime, %	0	3	5	7	9
pH	7.86	12.23	12.38	12.42	12.5



FUGRO SOUTH, INC.

Results of Lime Series Test

Sample I.D.: Boring B-6, 0-1'

Spectrum Drive Extension

Morris Avenue to Airport Parkway

Addison, Texas

