

NOTES:

- 1) ALL CONDUITS TO BE SCH 40 PVC, 4" DIA. EXCEPT WHERE NOTED (COLOR TO BE APPROVED BY FRANCHISE UTILITY COMPANIES.) LOCATIONS TO BE COORDINATED WITH THE FRANCHISE UTILITY COMPANIES.
- 2) REFERENCE SHEETS L4.1, L4.2 AND L4.3 FOR IRRIGATION CONDUIT CROSSING LOCATIONS AND SIZES.

BENCHMARKS:

CITY OF ADDISON BENCHMARK NO. 13:
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET
AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR
BOULEVARD.
ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:
SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
CORNER OF BELTLINE ROAD AND MIDWAY ROAD.
ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272.

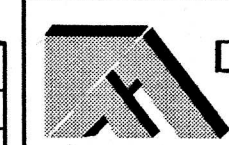
J. Casey Ross 9/25/07



NO.	DATE	BY	REVISION

**CONDUIT PLAN
ASBURY CIRCLE**

TOWN OF ADDISON
DALLAS COUNTY, TEXAS



DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

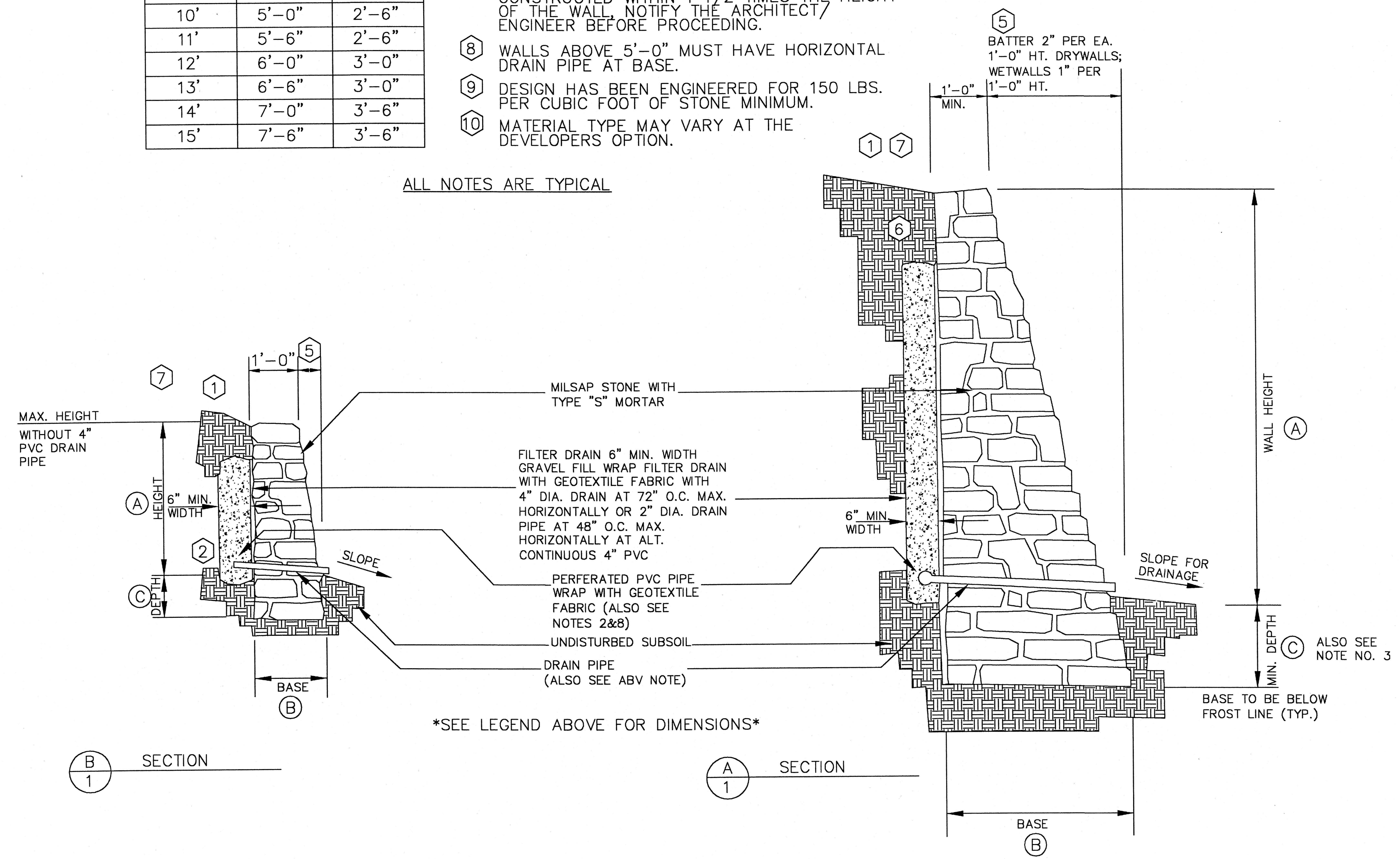
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	12/19/2006	1" = 40'	06010	1

SEE NOTES
No. 8, No. 2

HEIGHT	BASE	BELOW GRADE
A	B	C
1'	1'-0"	0'-6"
2'	1'-0"	0'-6"
3'	1'-6"	1'-0"
4'	2'-0"	1'-0"
5'	2'-6"	1'-0"
6'	3'-0"	1'-0"
7'	3'-6"	1'-6"
8'	4'-0"	2'-0"
9'	4'-6"	2'-0"
10'	5'-0"	2'-6"
11'	5'-6"	2'-6"
12'	6'-0"	3'-0"
13'	6'-6"	3'-0"
14'	7'-0"	3'-6"
15'	7'-6"	3'-6"

- NOTES:
- 1 FOR 3:1 OR GREATER SLOPE, VALUES INCREASE B & C DIMENSIONS BY 15%.
 - 2 ON RETAINING WALLS 5 FT HIGH OR LESS, THE 4" PVC PERF. PIPE MAY BE OMITTED IF THE CRUSHED ROCK IS WRAPPED WITH GEOTEXTILE FABRIC.
 - 3 MINIMUM DEPTH UNLESS ROCK IS ENCOUNTERED TERMINATE DEPTH "C" UPON ENCOUNTERING ROCK.
 - 4 SLOPE GRADE AT BASE FOR DRAINAGE AWAY FROM WALL.
 - 5 BATTER 2" PER EACH 1'-0" HEIGHT FOR DRYWALL FOR WETWALL 1" PER EACH 1'-0" OF HEIGHT.
 - 6 18" MAXIMUM TOPSOIL OR FINISH MATERIAL TO COVER DRAINAGE MATERIAL.
 - 7 IF ANY STRUCTURES OR EXCAVATION IS TO BE CONSTRUCTED WITHIN 1 1/2 TIMES THE HEIGHT OF THE WALL, NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
 - 8 WALLS ABOVE 5'-0" MUST HAVE HORIZONTAL DRAIN PIPE AT BASE.
 - 9 DESIGN HAS BEEN ENGINEERED FOR 150 LBS. PER CUBIC FOOT OF STONE MINIMUM.
 - 10 MATERIAL TYPE MAY VARY AT THE DEVELOPERS OPTION.

ALL NOTES ARE TYPICAL



SEE LEGEND ABOVE FOR DIMENSIONS

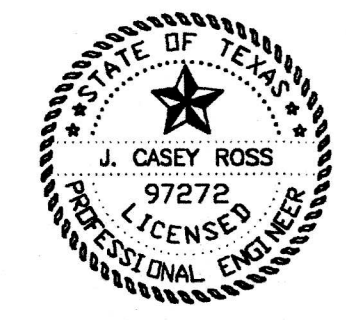
MILSAP STONE RETAINING WALL DETAILS

BENCHMARKS:
CITY OF ADDISON BENCHMARK NO. 13:
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INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND
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J. Casey Ross 9/25/07



NO.	DATE	BY	REVISION

RETAINING WALL DETAILS						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
		JCR	10/16/06	1" = 50'	06010	1

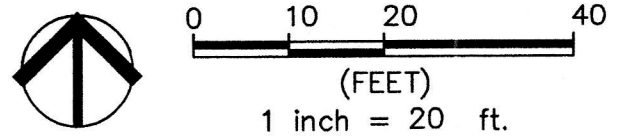
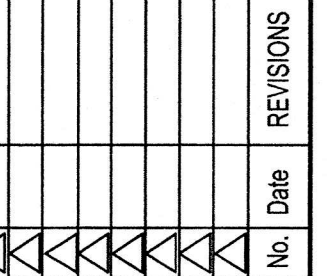
ASBURY CIRCLE

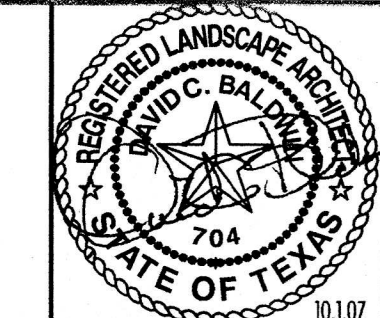
ADDISON · TEXAS

CONSTRUCTION DOCUMENTS

OCT 1, 2007

<div>OWNER</div> <div>ASHTON WOODS HOMES 8111 LBJ FREEWAY SUITE 1500 DALLAS, Texas 75251 CONTACT: BRYCE SLADE Phone: (972) 301-6600 Fax: (972) 301-6730</div>		<div>LANDSCAPE ARCHITECT & CONSULTANTS</div> <div><div><div>DAVID C. BALDWIN INCORPORATED</div><div></div><div>LANDSCAPE ARCHITECTURE PLANNING</div></div><div>DAVID C. BALDWIN INC. Landscape Architecture and Planning 730 East Park Boulevard, Suite 100 Plano, Texas 75074 CONTACT: DAVE BALDWIN/ RAQUEL MORTON Phone: (972) 509-1266 Fax: (972) 509-1269</div></div>		<div>SHEET INDEX</div> <div><div>HARDSCAPE L1.1 HARDSCAPE PLAN L1.2 HARDSCAPE PLAN L1.3 HARDSCAPE PLAN HARDSCAPE DETAILS L2.1 HARDSCAPE DETAILS L2.2 HARDSCAPE DETAILS L2.3 HARDSCAPE DETAILS L2.4 HARDSCAPE DETAILS</div><div>LANDSCAPE L3.1 LANDSCAPE PLAN L3.2 LANDSCAPE PLAN L3.3 LANDSCAPE PLAN L3.4 LANDSCAPE DEATILS</div></div>	
<div>VICINITY MAP</div> <div><div>SITE</div><div></div><div>LOCATION MAP NOT TO SCALE</div></div>		<div>IRRIGATION</div> <div><div><div>IRRI*TECH CORPORATION</div><div>IRRI*TECH 12650 Schroeder Road Dallas, Texas 75243 Contact: Seth Heidman Phone: (972) 231-5151 Fax: (972) 231-5172</div></div></div>		<div>GENERAL NOTES</div> <div><div><div>1. IN THE EVENT AN ITEM IS NOT COVERED IN THE "CITY SPECIFICATION" OR "TECHNICAL SPECIFICATION," THE CONTRACTOR SHALL NOTIFY THE CITY AND REQUIRE THE CITY TO APPROVE ANY ADDITIONS OR MODIFICATIONS.</div><div>2. ALL WASTE MATERIAL AND/OR EXCESS EXCAVATION NOT USED AS PART OF THE WORK SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF AT ACCEPTABLE LOCATIONS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.</div><div>3. THE CONTRACTOR SHALL BE REQUIRED, AT ALL TIMES, DURING THE CONSTRUCTION TO PROVIDE WARNING SIGNS, BARRICADES, AND OTHER SAFETY DEVICES (INCLUDING TEMPORARY SAFETY FENCING AROUND THE JOB SITE) IN ORDER TO PROTECT THE PUBLIC SAFETY AND HEALTH UNTIL ALL OF THE WORK HAS BEEN COMPLETED AND ACCEPTED.</div><div>4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FACILITIES IN AND AROUND THE PROJECT AREA. THESE INCLUDE TREES, PLANTINGS, BUILDINGS, CONCRETE, PAVING, SIGNS, AND OTHER FACILITIES FOUND ON SITE. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT NO COST TO THE CITY, ANY FACILITY DAMAGED DURING CONSTRUCTION OF THESE IMPROVEMENTS.</div></div><div><div>5. TRAFFIC ROUTING, STREET CLOSURES, ETC. SHALL BE COORDINATED WITH THE CITY. BARRICADING SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS. LOCAL ACCESS SHALL BE ALLOWED AT ALL TIMES.</div><div>6. ALL PEDESTRIAN WALKING SURFACES SHALL NOT EXCEED 5% (1:20) LONGITUDINAL SLOPE OR 2% (1:50) CROSS SLOPE.</div><div>7. CONTRACTOR SHALL USE EVERY MEANS AVAILABLE TO LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.</div></div></div>	





REVISIONS	
No.	Date

ASBURY CIRCLE

ADDISON, TX

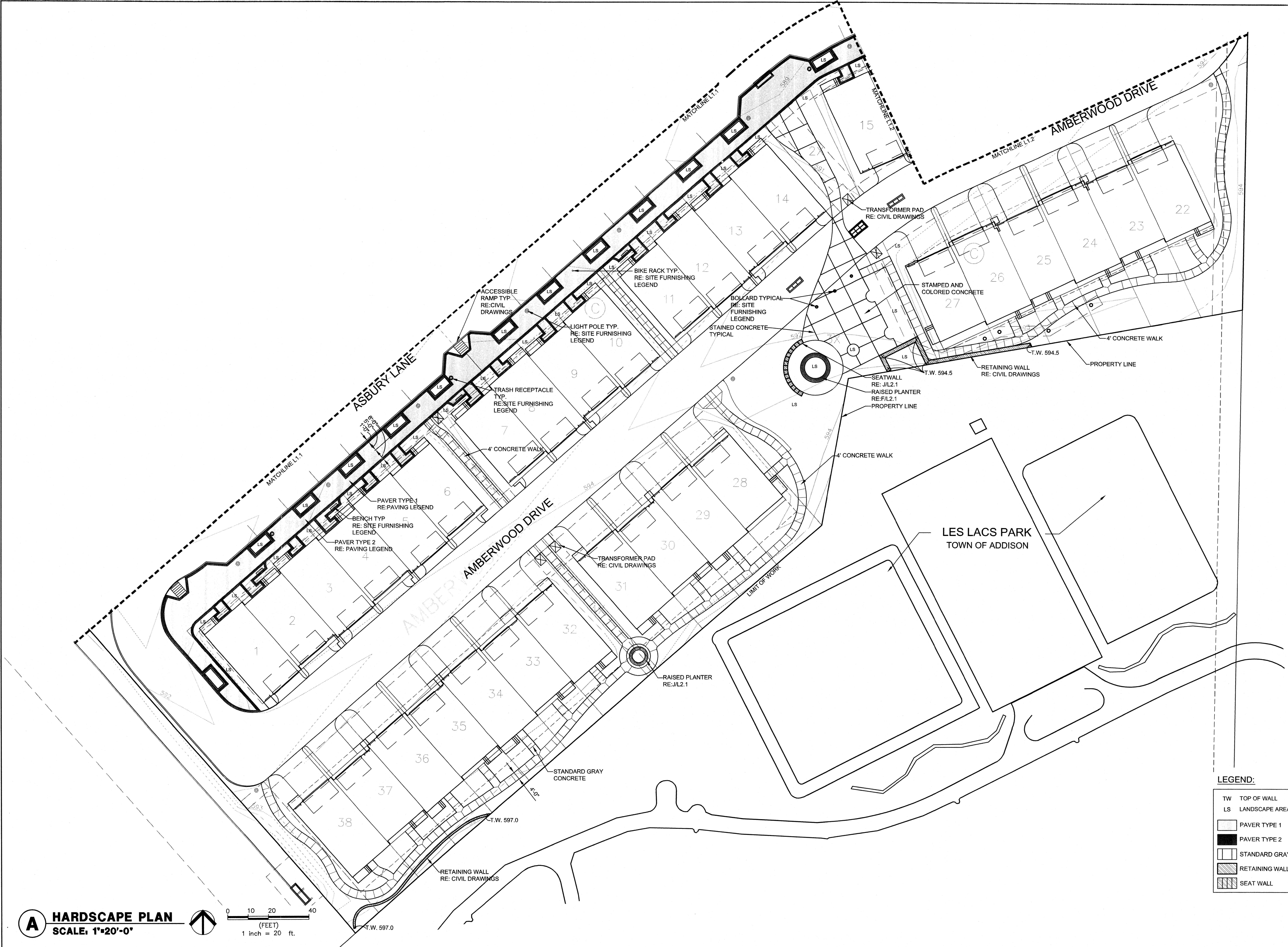
DAVID C. BALDWIN
INCORPORATED



LANDSCAPE
ARCHITECTURE
PLANNING
730 EAST PARK BOULEVARD
SUITE 100 PLANO, TX 75074

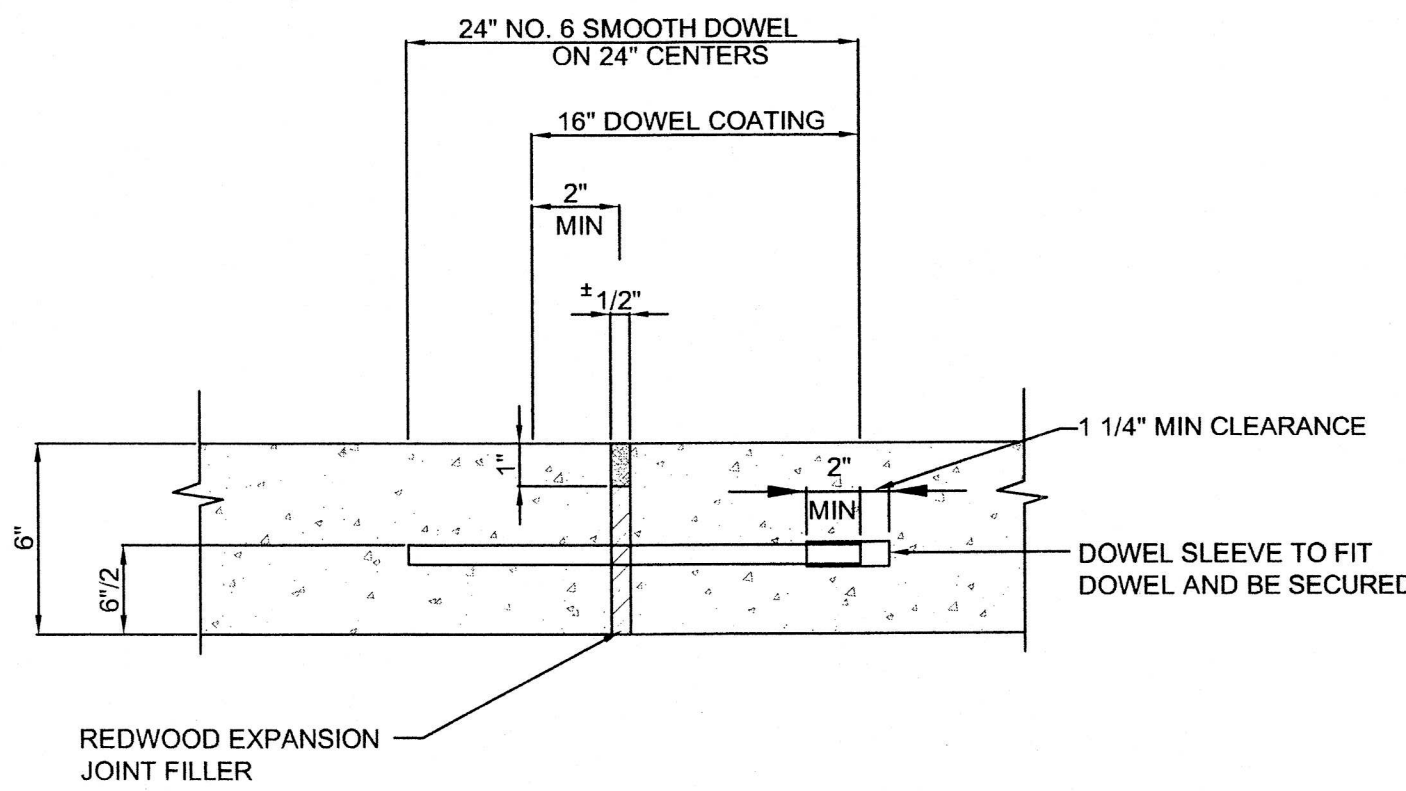
TEL: (972) 509-1266
FAX: (972) 509-1269

Sheet Title: HARDSCAPE PLAN	
Proj. No.:	
Date:	1 OCT 07
Drawn:	BJL
Checked:	RRM
Approved:	DCB
sheet	number
L1.3	of sheets

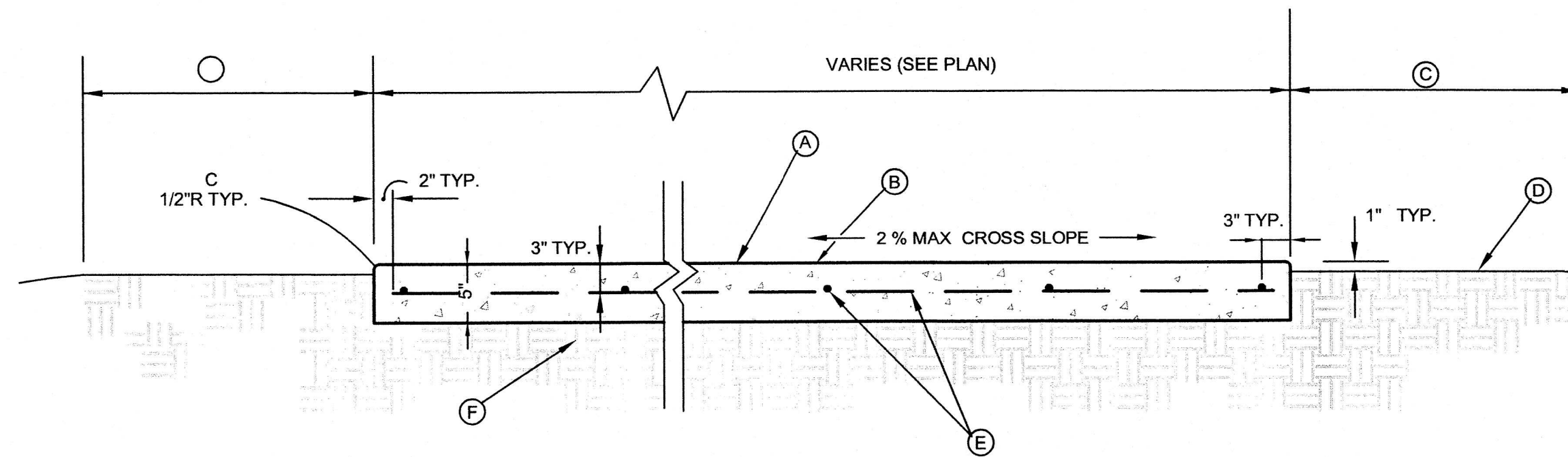


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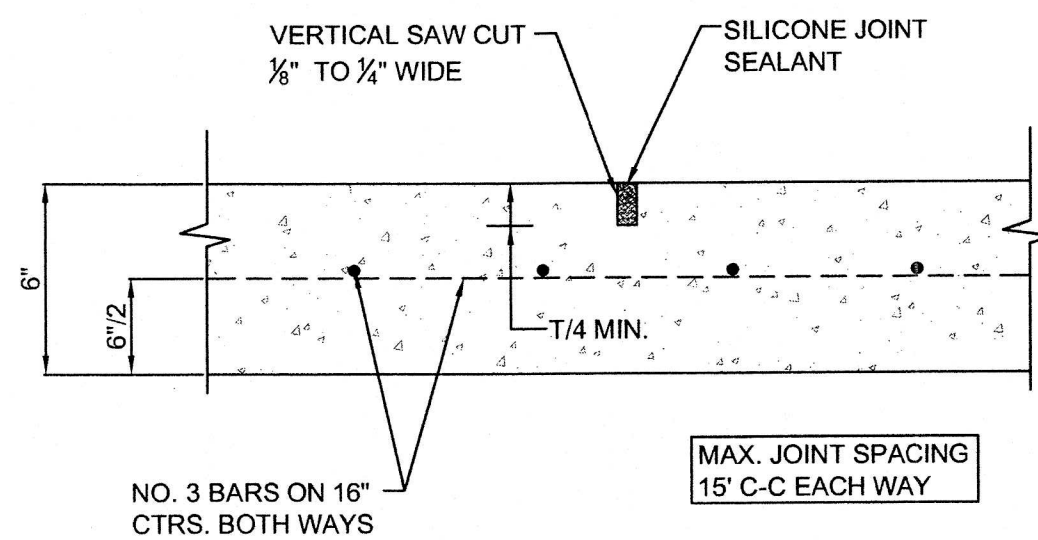
TW	TOP OF WALL
LS	LANDSCAPE AREA
[Pattern]	PAVER TYPE 1
[Pattern]	PAVER TYPE 2
[Pattern]	STANDARD GRAY CONCRETE
[Pattern]	RETAINING WALL
[Pattern]	SEAT WALL



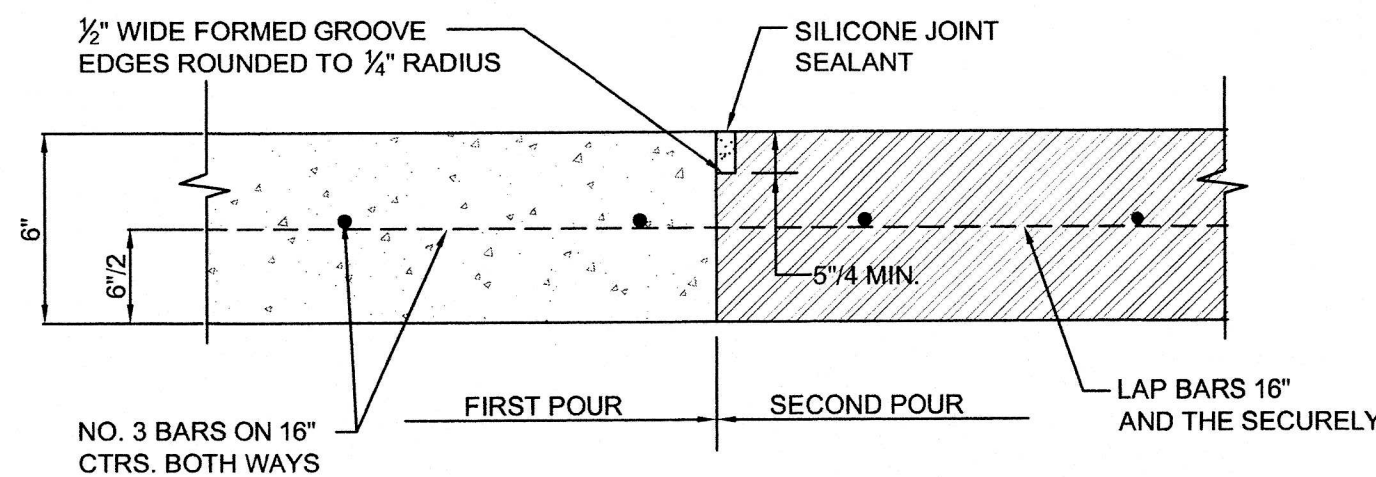
B TYPICAL EXPANSION JOINT
SCALE: N.T.S.



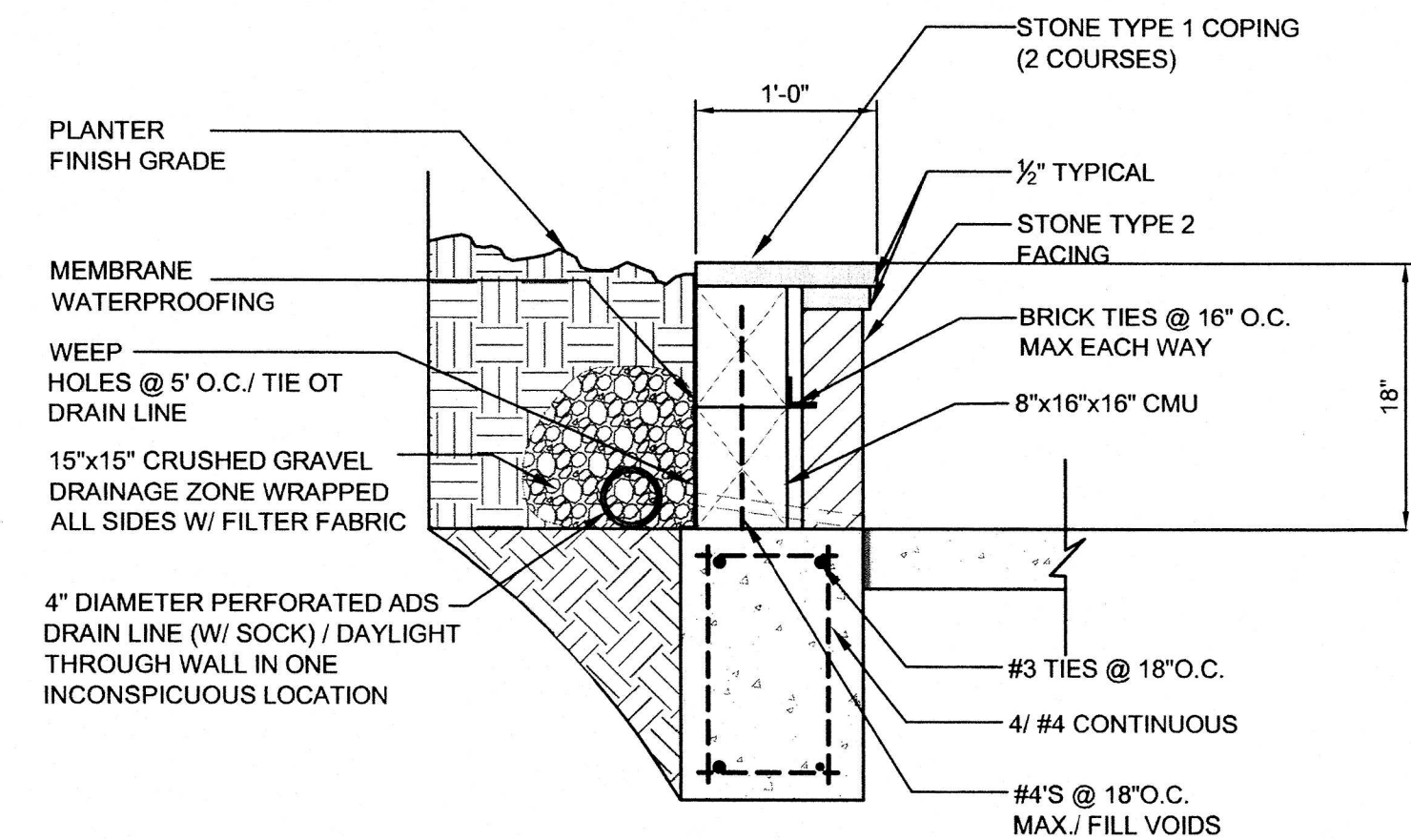
A TYPICAL CONCRETE WALK
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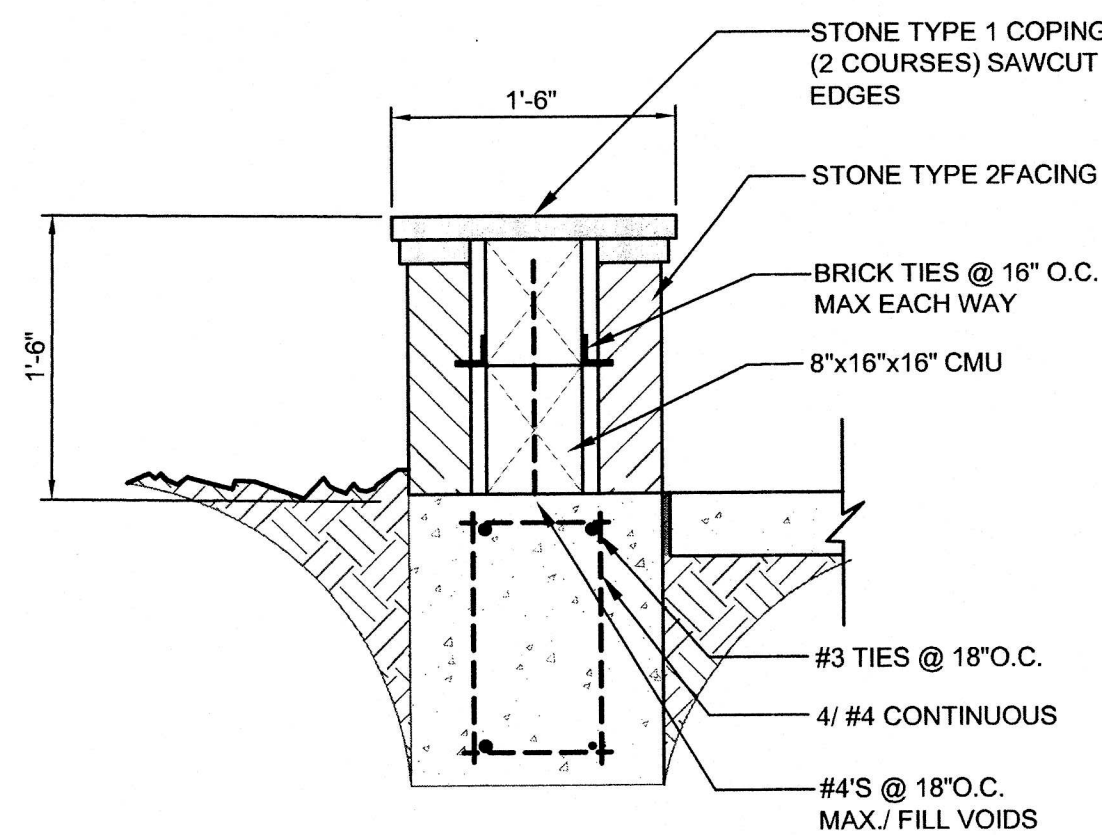
E SAWED DUMMY JOINT
SCALE: N.T.S.



D TYPICAL CONSTRUCTION JOINT
SCALE: N.T.S.



C PLANTER WALL
SCALE: 1'-1'-0"



F SEAT WALL
SECTION
SCALE: 1'-1'-0"

SITE FURNISHINGS LEGEND

QUANTITY	KEY	MODEL NO.	MANUFACTURER
20	BENCH	TOWN SQUARE VERTICAL STRAP 70" surface mounted Finish black semi gloss	LANDSCAPE FORMS Contact: Diane Collier 214-343-1145
1	TRASH RECEPTACLE	BETHESDA SERIES MODEL # SD-35 Side door with S-2 Formed Dome Lid Finish VS Black	Victor Stanley Contact: Victor Stanley 800-368-2573
2	PLANTER POT	International 48" x 14", LS 9095	LONGSHADOW CLASSIC GARDEN ORNAMENTS 618-893-4831
7	BICYCLE RACK	Bollard Bike Rack BR-2.2 Locking Loops, 36" height embed mount Finish black semi gloss	FAIRWEATHER Contact: Resource Consulting Group 972-492-2428
9	BOLLARD	BOLLARD MODEL: SAN FRANCISCO; Color Black Semigloss	URBAN ACCESSORIES Contact: URBAN ACCESSORIES 1-877-487-0488
26	LIGHT POLE	PHILADELPHIA POLE LIGHT ; Color Black	ANTIQUE STREET LAMPS Contact: The Lighting Alliance 972-456-9800

PAVING LEGEND

TYPE	DESCRIPTION	COLOR
PAVER TYPE 1	ACME EUREKA	231 Blend
PAVER TYPE 2	ACME EUREKA	245 Chocolate
STANDARD GRAY CONCRETE	4" THICK WITH PICTURE FRAME FINISH	STANDARD GRAY

MASONRY LEGEND

TYPE	DESCRIPTION	COMMENTS
STONE TYPE 1	MILSAP STONE CAP	SAWN FACE ALL SIDES, TOOLED MORTAR JOINT COLOR TO MATCH STONE. PROVIDE SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL/ BUFF MORTAR @ MAX. 1/2"
STONE TYPE 2	MILSAP STONE WALL	RANDOM RECTANGULAR PATTERN WITH HIDDEN JOINTS COLOR TO MATCH STONE. PROVIDE SAMPLES FOR LANDSCAPE ARCHITECT APPROVAL/ BUFF MORTAR @ MAX. 1/2"

GENERAL NOTES FOR SIDEWALKS:

- ALL PEDESTRIAN WALKING SURFACES SHALL NOT EXCEED 5% (1:20) LONGITUDINAL SLOPE OR 2% (1:50) CROSS SLOPE.
- THE MATERIALS AND WORKMANSHIP FOR CONCRETE PAVING SHALL BE IN ACCORDANCE WITH N.C.T.C.O.G.

CONSTRUCTION NOTES:

- 3000 PSI CONCRETE WALK
- LIGHT TO MEDIUM BROOM PICTURE FRAME FINISH
- SOLID SOD GRASS
- FINISH GRADE
- #3 BARS 16" O.C. MAX BOTH WAYS
- COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

DESIGN STANDARD NOTES:

- CONTROL JOINTS TO BE SAW-CUT ONE-FOURTH THE PAVEMENT THICKNESS PLACED AT INTERVALS EQUAL TO THE TRAIL WIDTH
- ONE INCH REDWOOD EXPANSION JOINTS SHALL BE PLACED IN THE SIDEWALK AT AN INTERVAL OF:
- 40' IN 4' WIDE SIDEWALKS

ASBURY CIRCLE
ADDISON, TX

DAVID C. BALDWIN
INCORPORATED

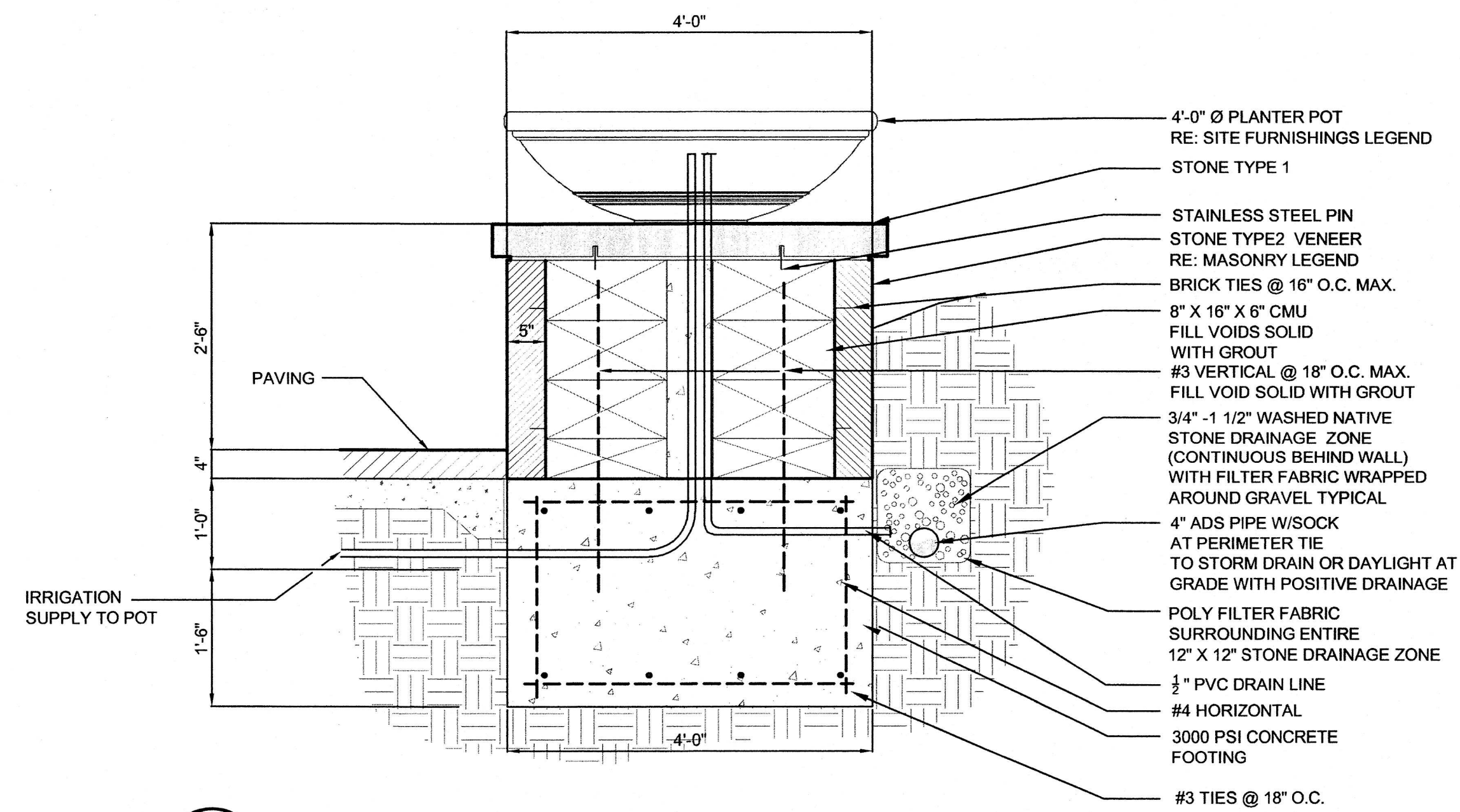


LANDSCAPE
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730 EAST PARK BOULEVARD
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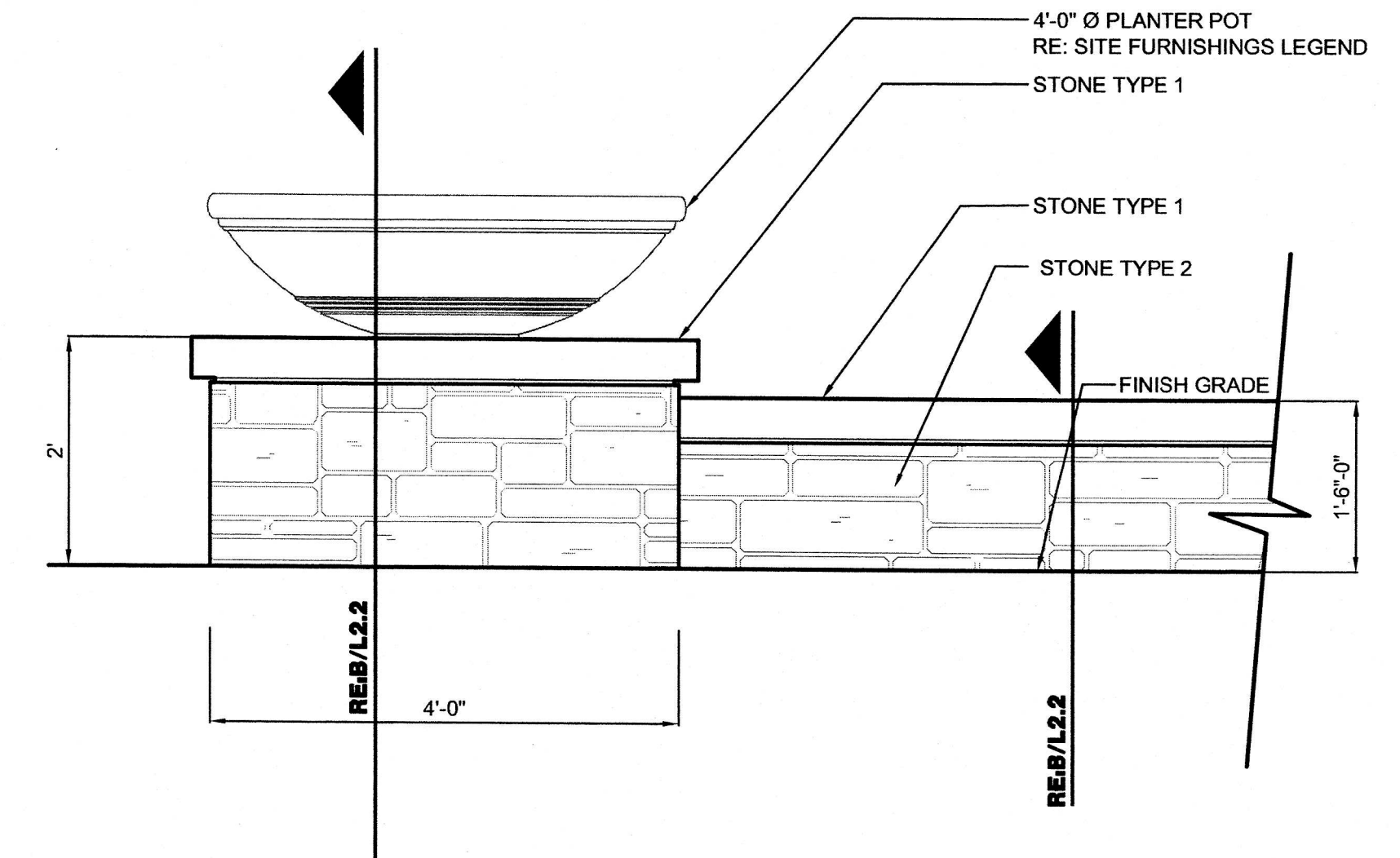
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Fax: (972) 508-1289

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DETAILS

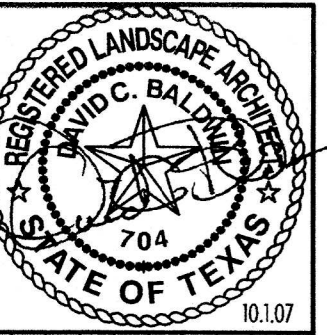
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of L2.1
sheets



B 4' DIA. PLANTER POT ON SEATWALL
SECTION
SCALE 3/4"=1'-0"



A PLANTER POT ON COLUMN AND PLANTER
WALL AT ENHANCED INTERSECTION
ELEVATION
SCALE 3/4"=1'-0"



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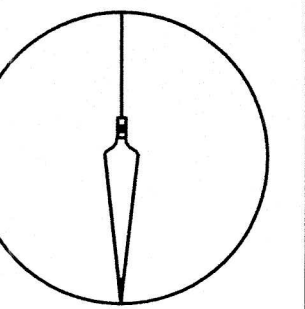
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DETAILS

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Approved: DCB

sheet number
L2.2
of sheets

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**ASHTON
WOODS**
Homes

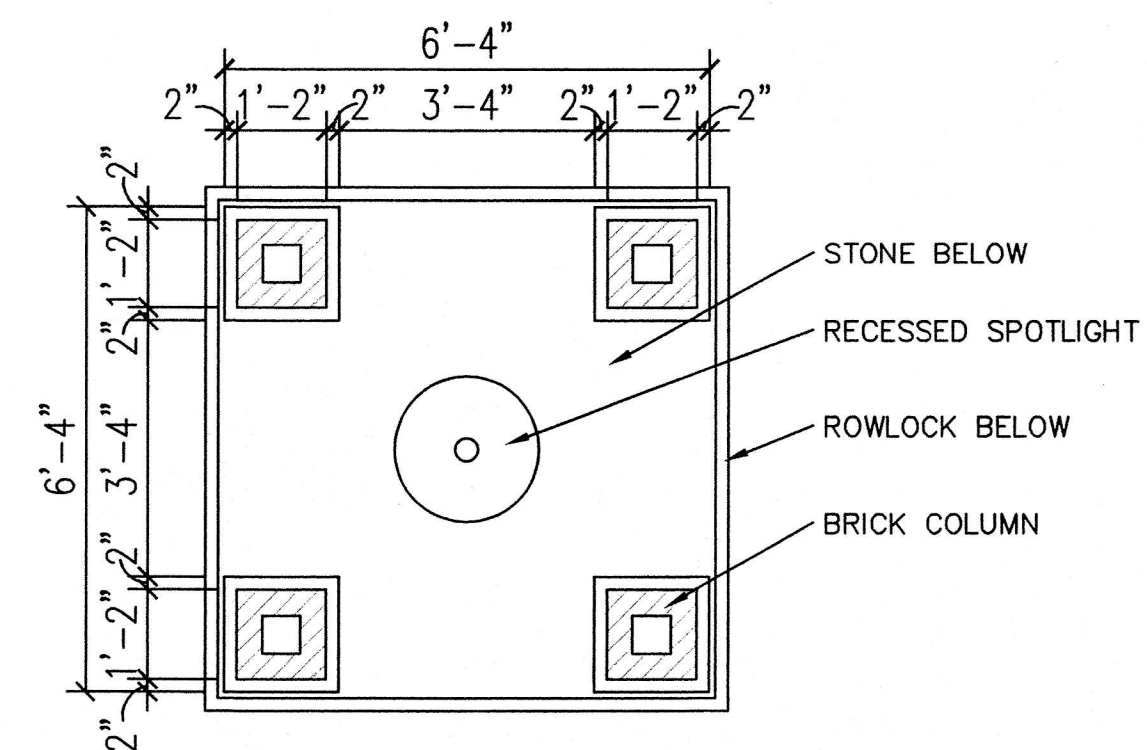


ASHBURY CIRCLE
ENTRY DESIGN
ASHTON WOODS HOMES

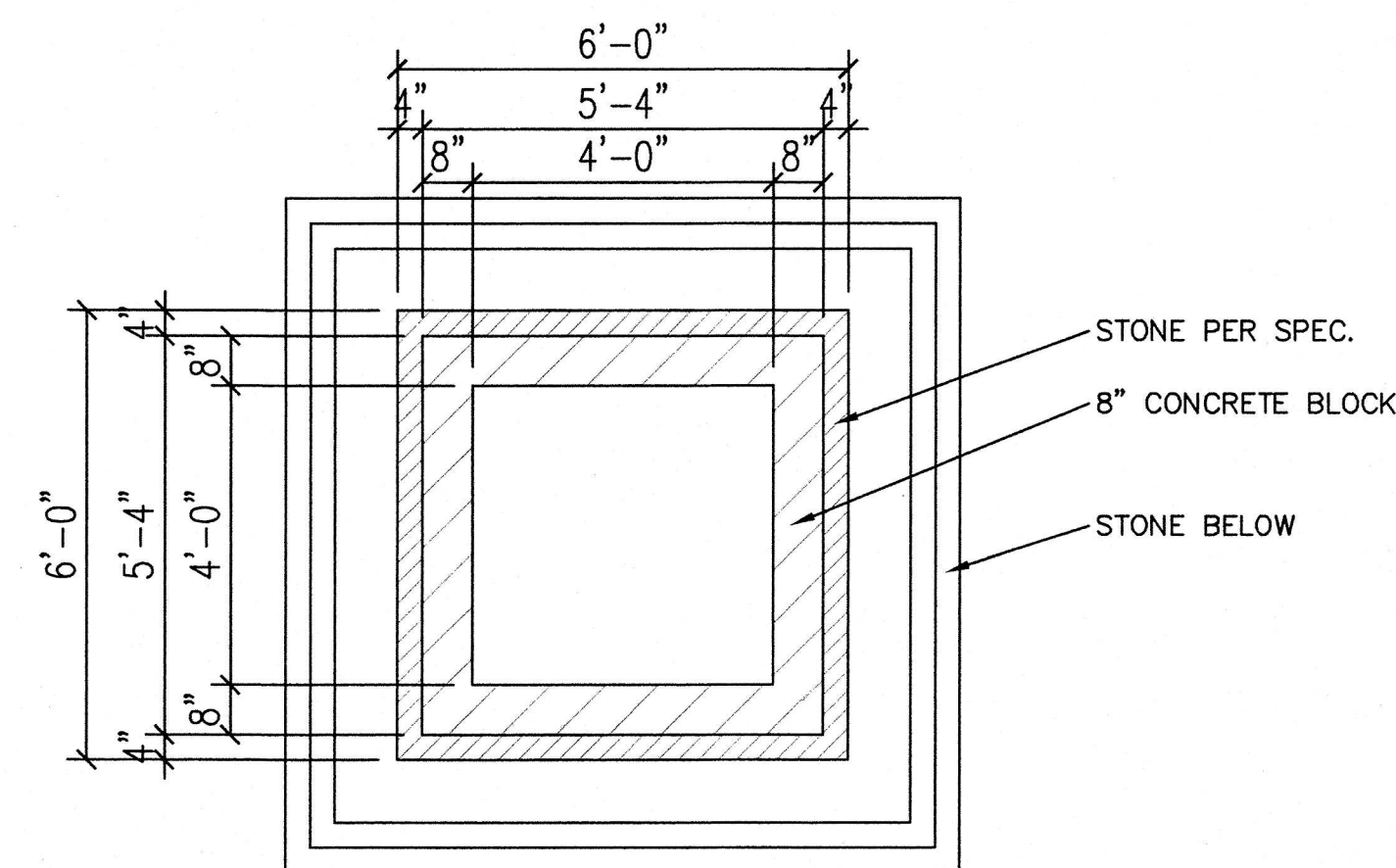
SHEET

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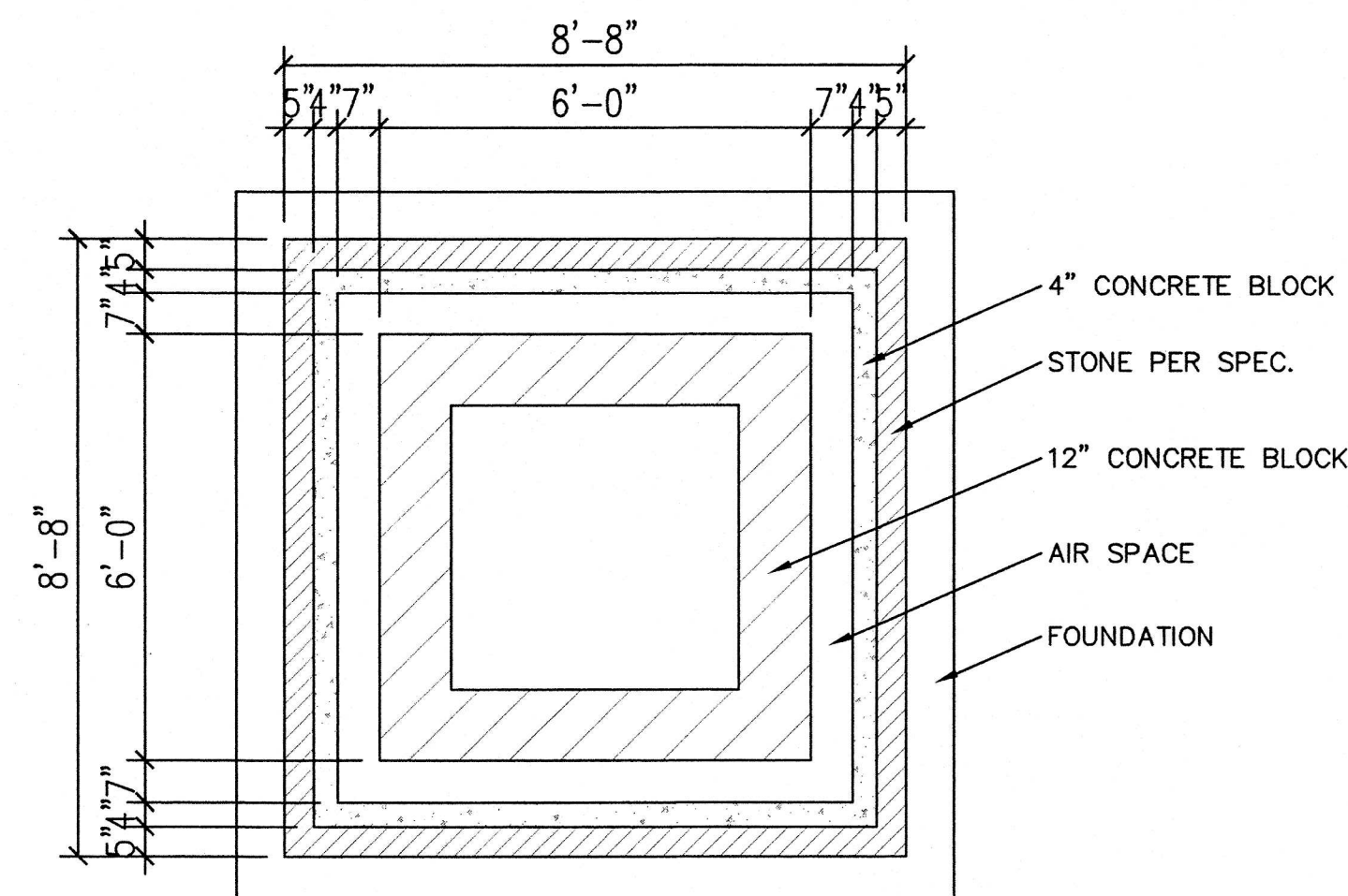
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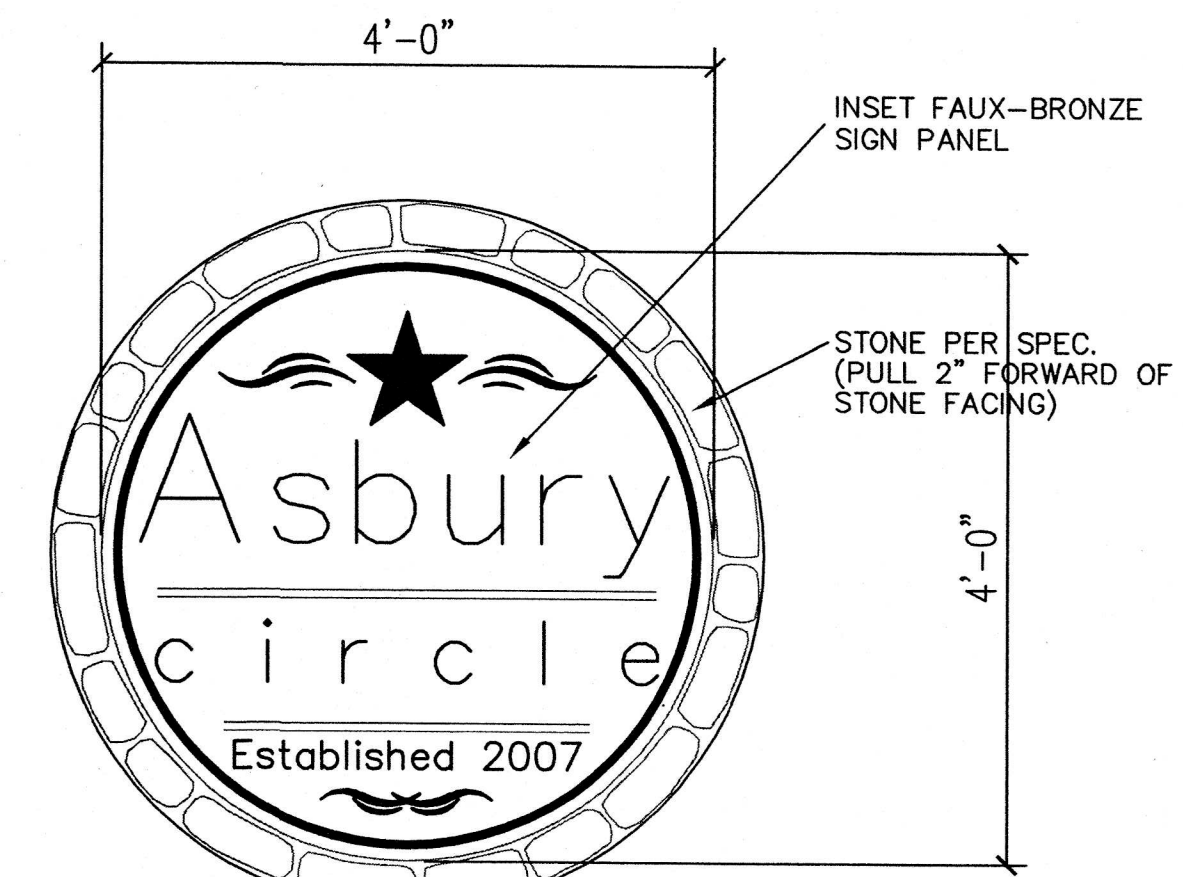
3 TOWER 'F'
(SCALE: 3/16"=1'-0")



2 TOWER 'F'
(SCALE: 3/16"=1'-0")

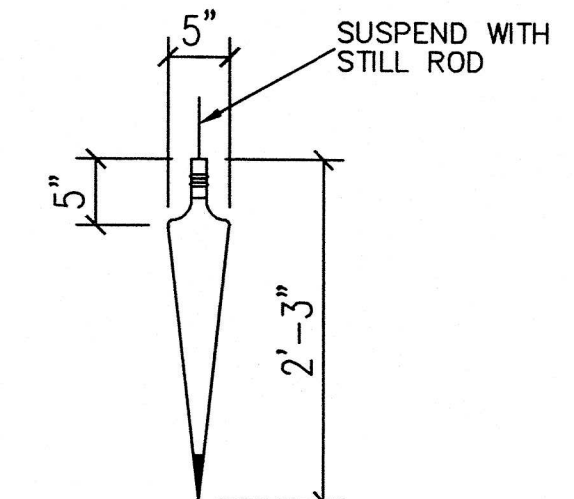


1 TOWER 'F'
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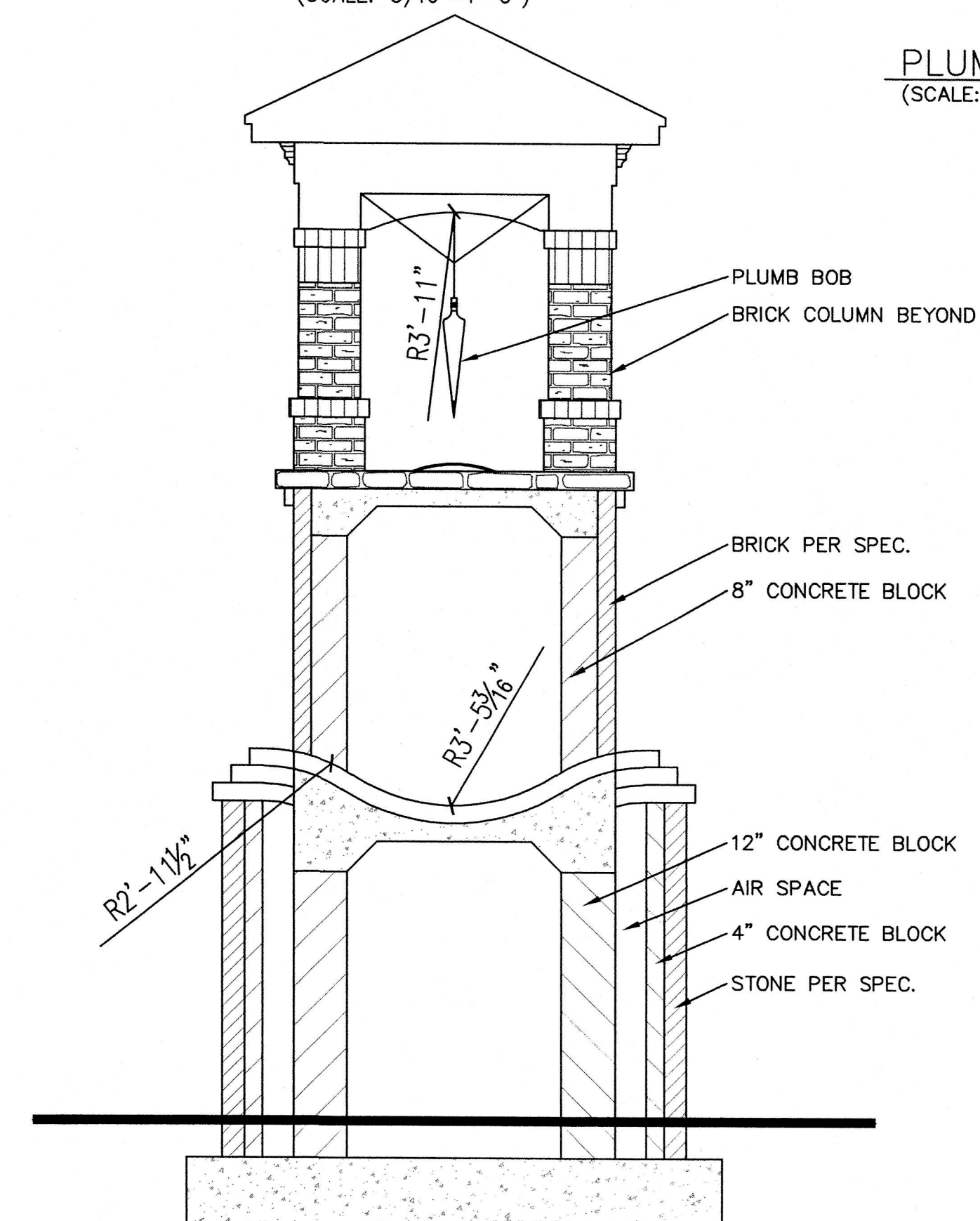


ENTRY LOGO
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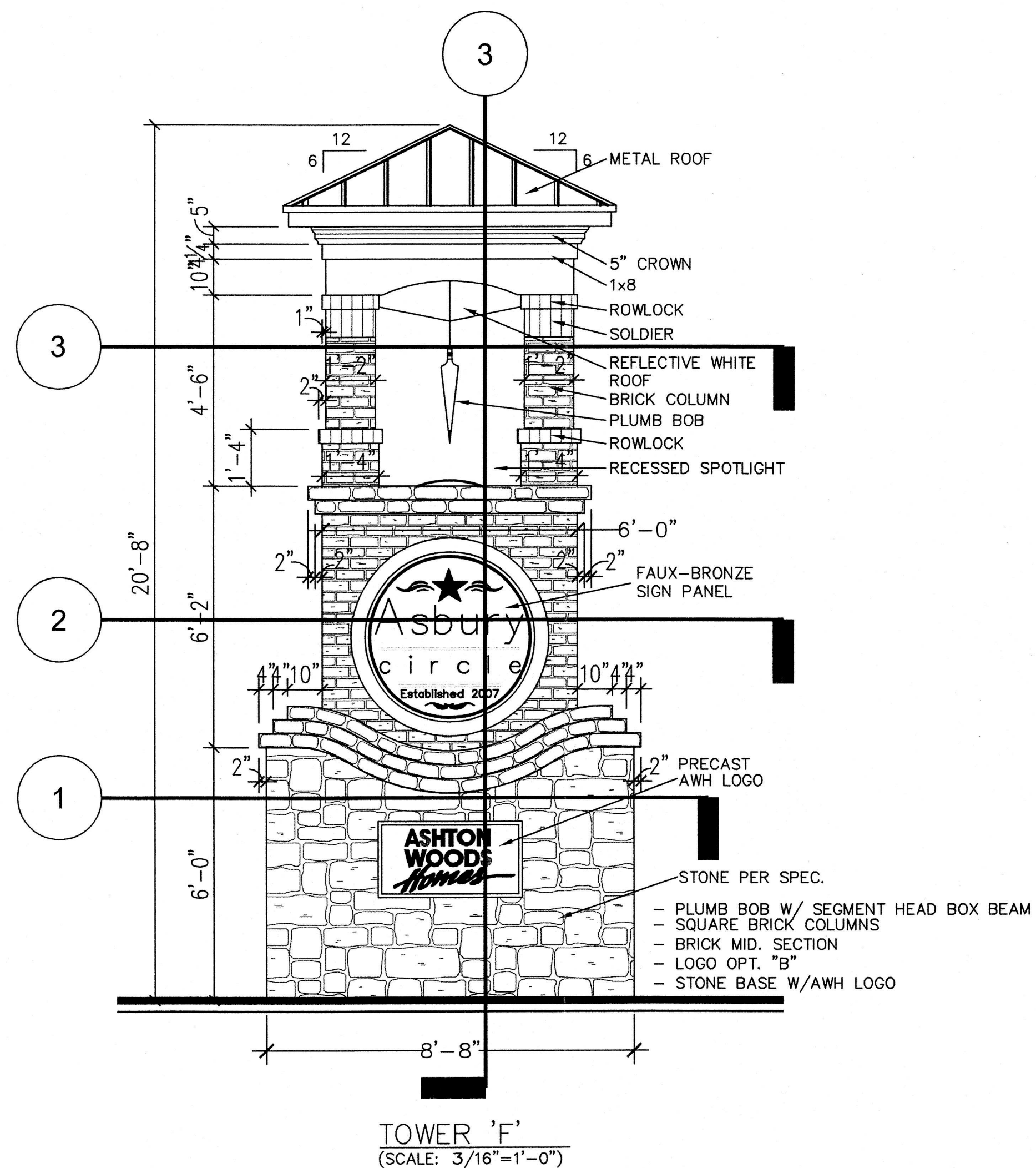
SIGNAGE IS ON TWO VISIBLE
SIDE OF TOWER



PLUMB BOB
(SCALE: 3/16"=1'-0")



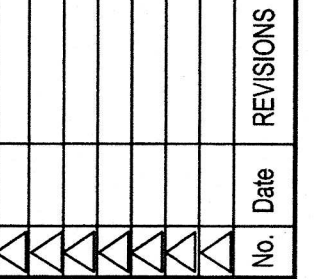
4 TOWER 'F'
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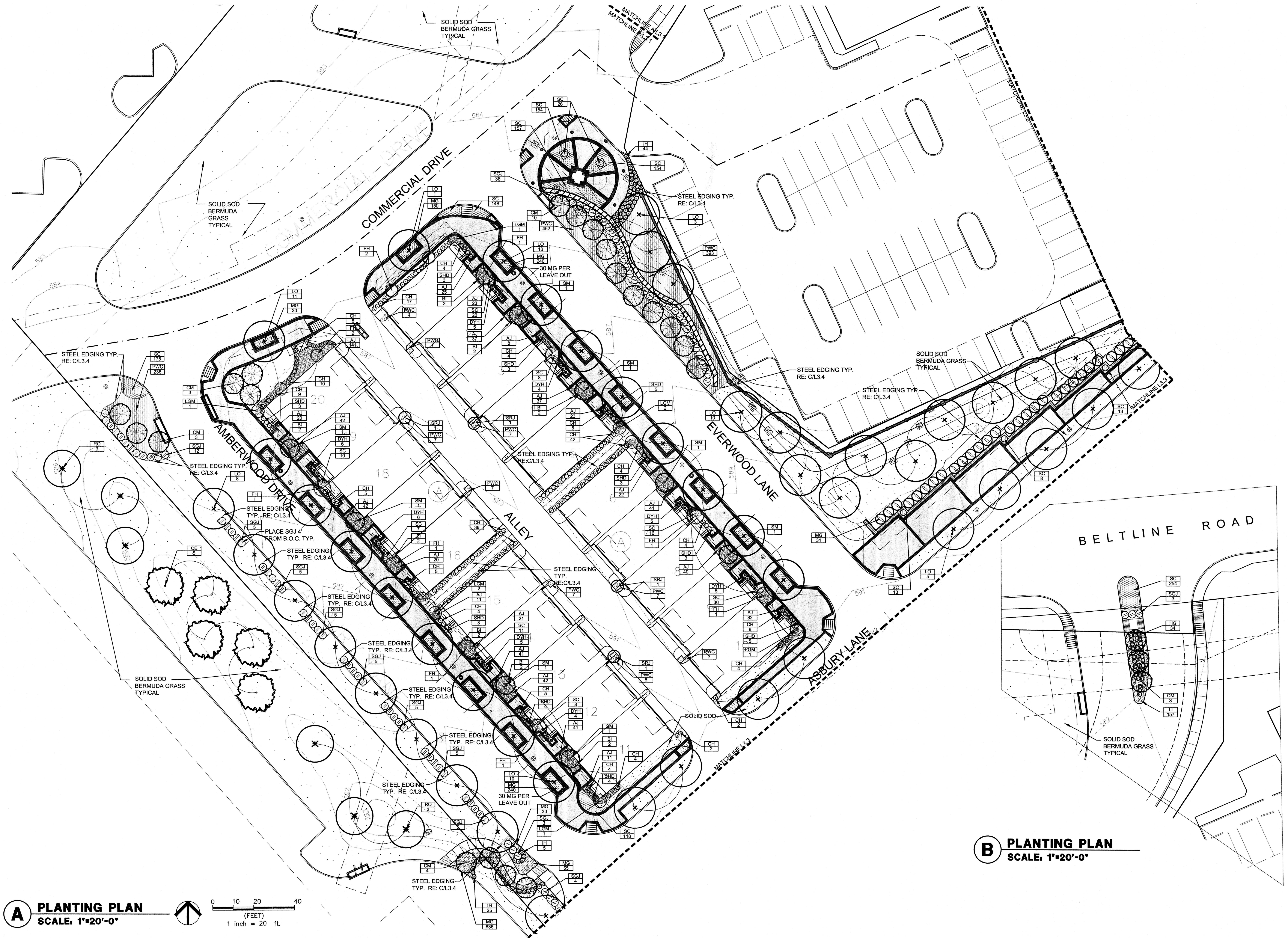
TOWER 'F'

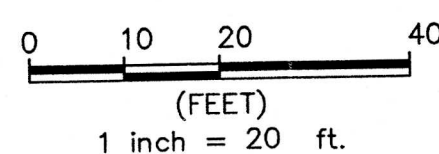
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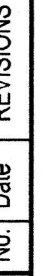
PROPOSED ASBURY TOWER TOWER



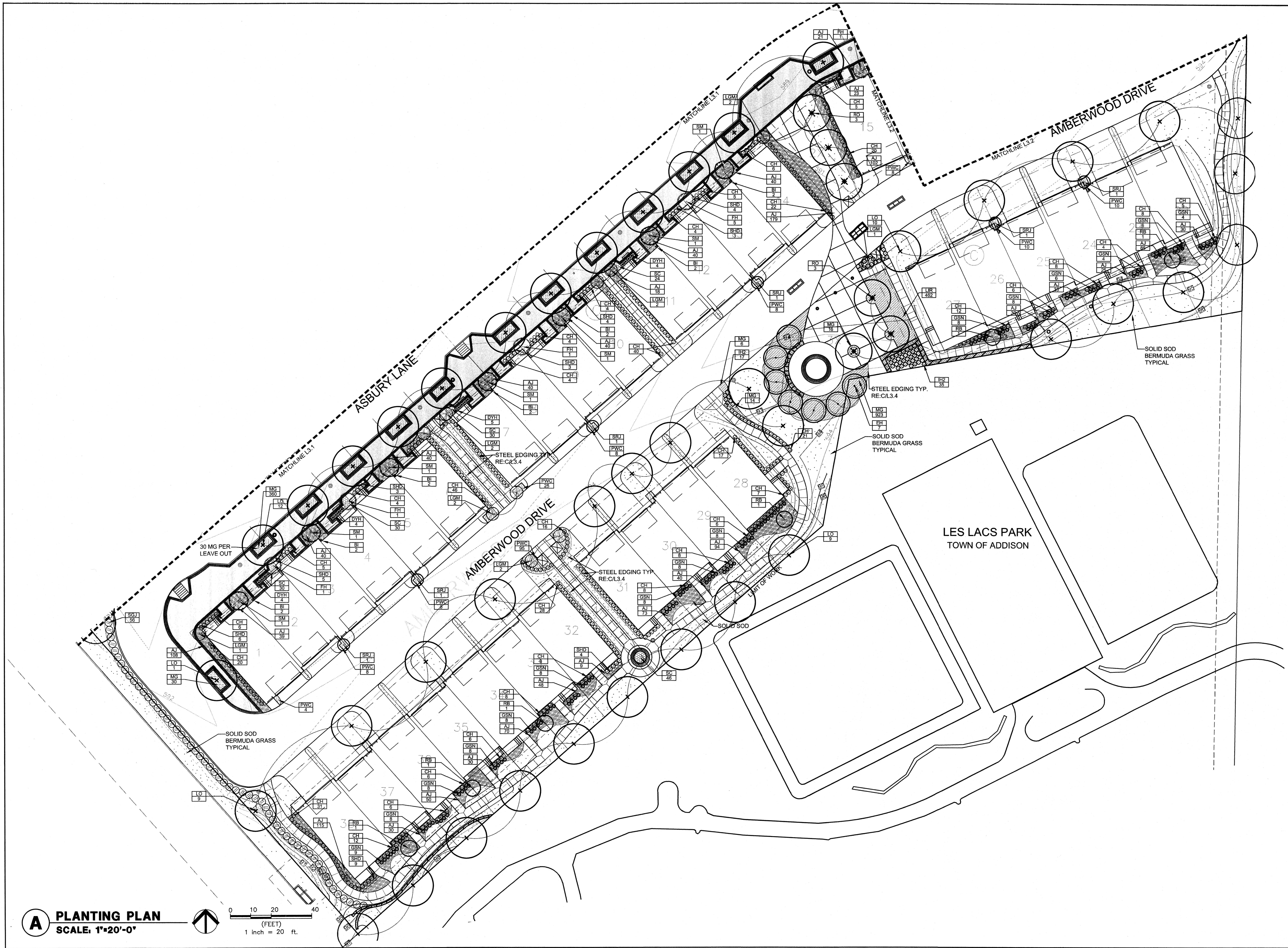
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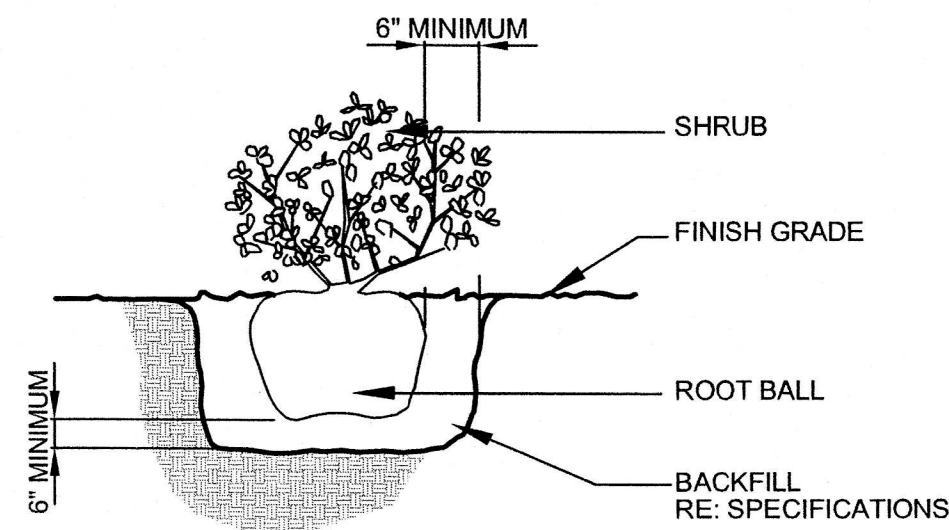




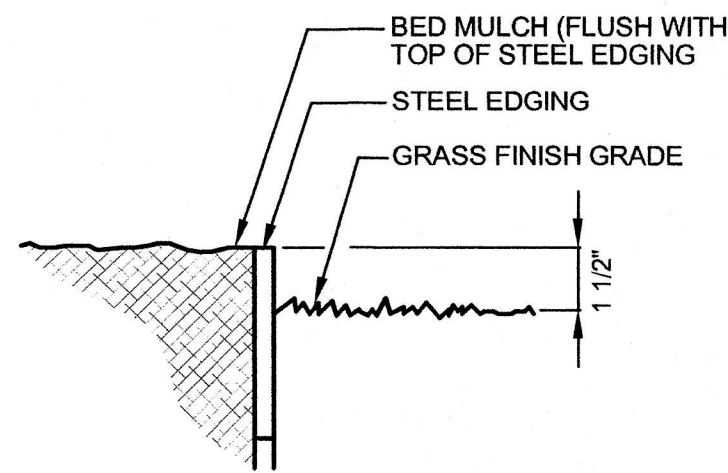


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Checked: RRM	
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sheet	number
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of	sheets





D SHRUB PLANTING DETAIL
SCALE: N.T.S.



C STEEL EDGING
SCALE: N.T.S.

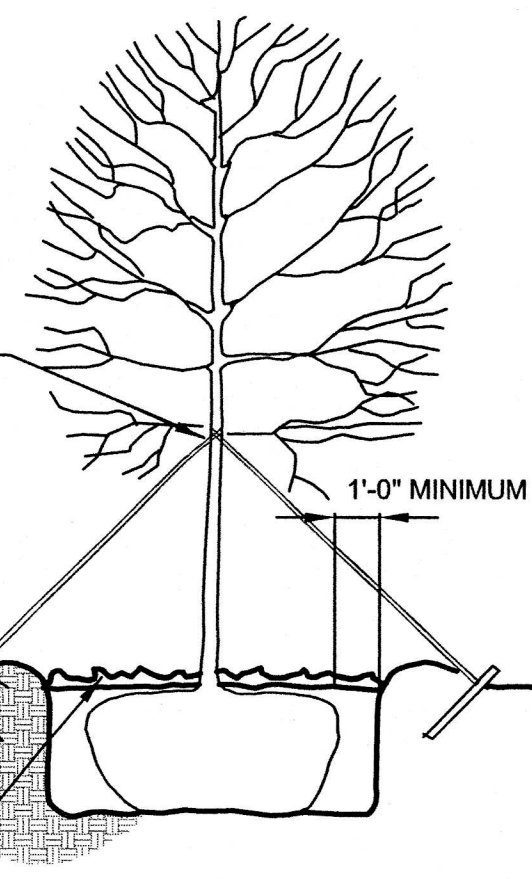
NOTE: THIS DETAIL APPLIES TO ALL TREES 3" CALIPER AND GREATER.

"ARBOR TIE" GUYING MATERIAL AVAILABLE FROM DEEP ROOT (PHONE: 404-378-9390) INSTALL PER MANUFACTURERS SPECIFICATIONS

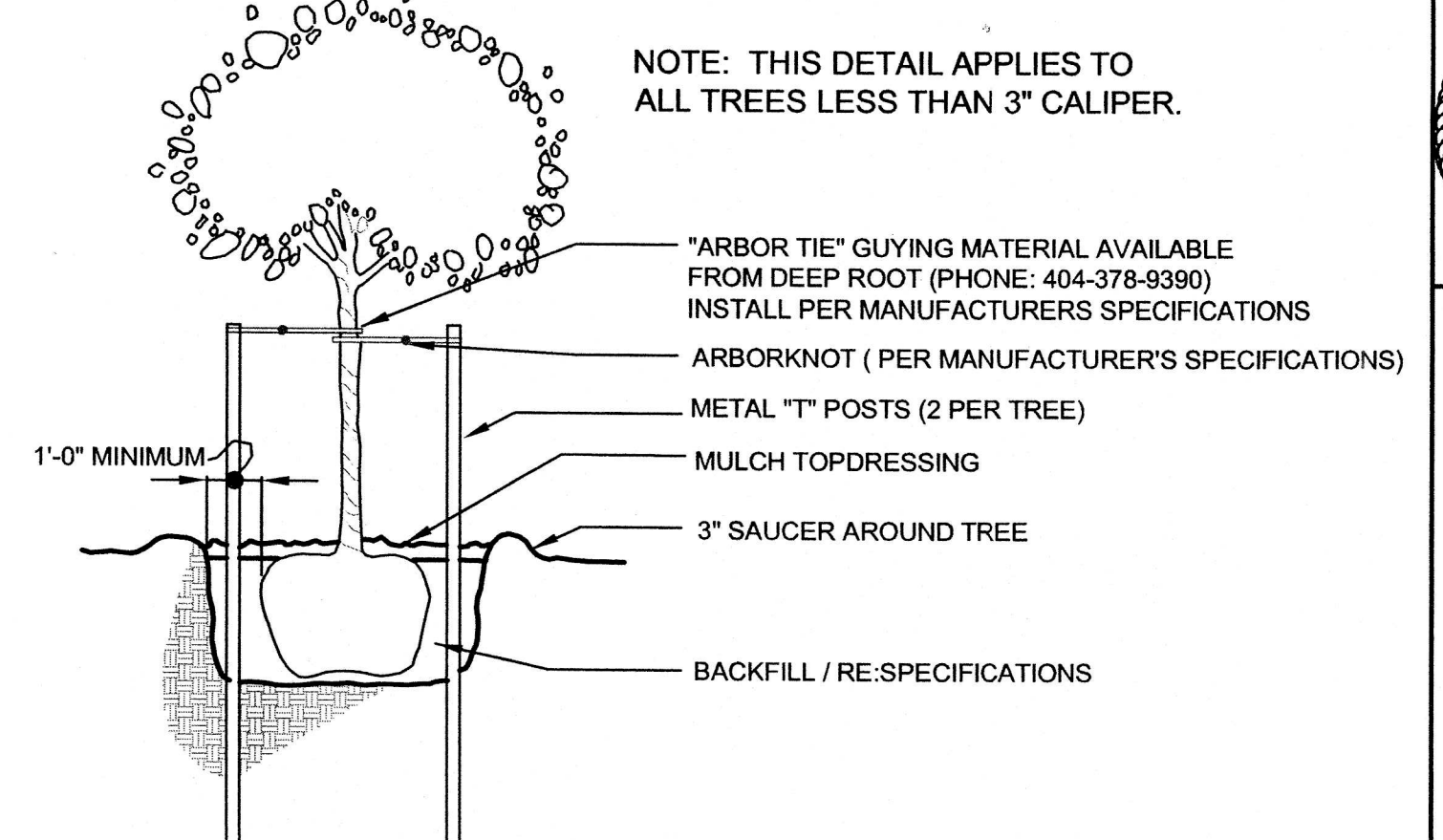
3" SAUCER AROUND TREE

METAL GROUND STAKE (MIN. 36" LONG)

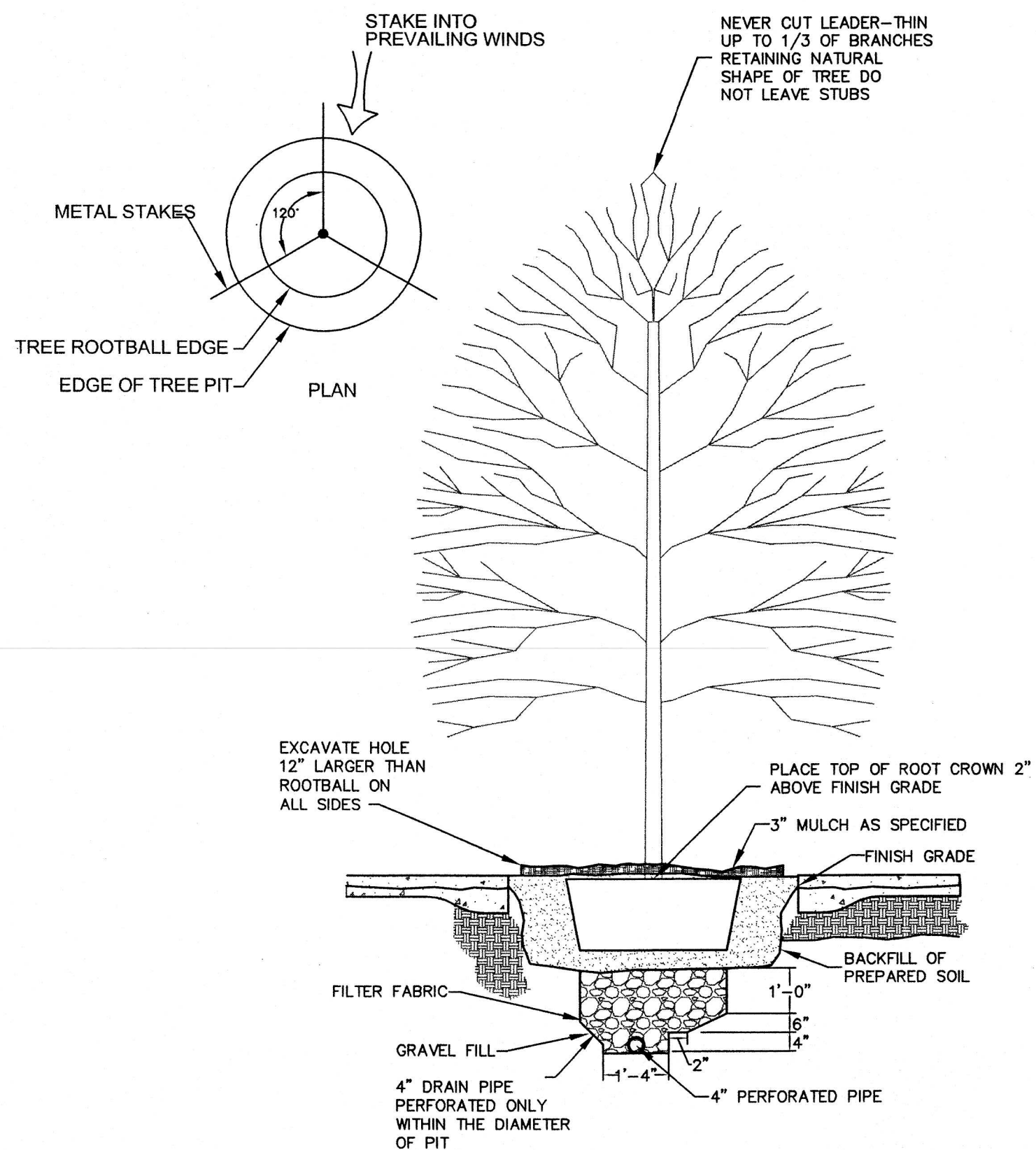
MULCH TOPDRESSING



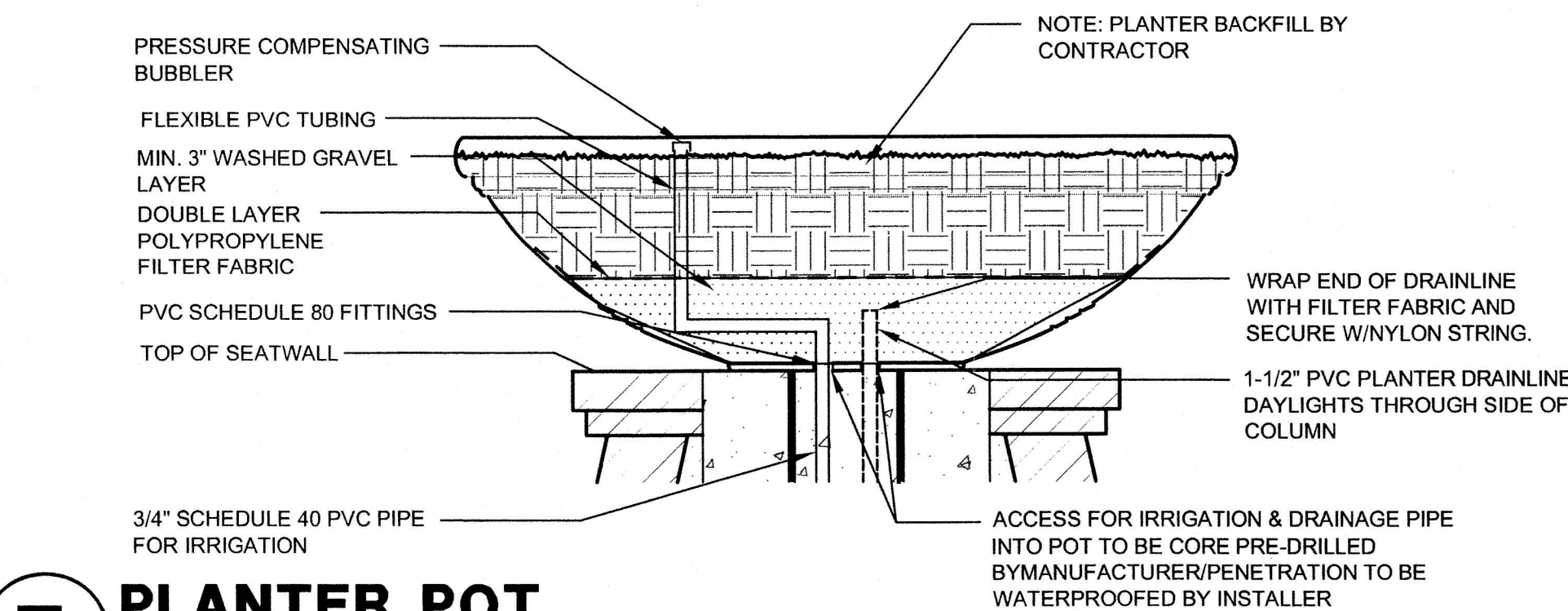
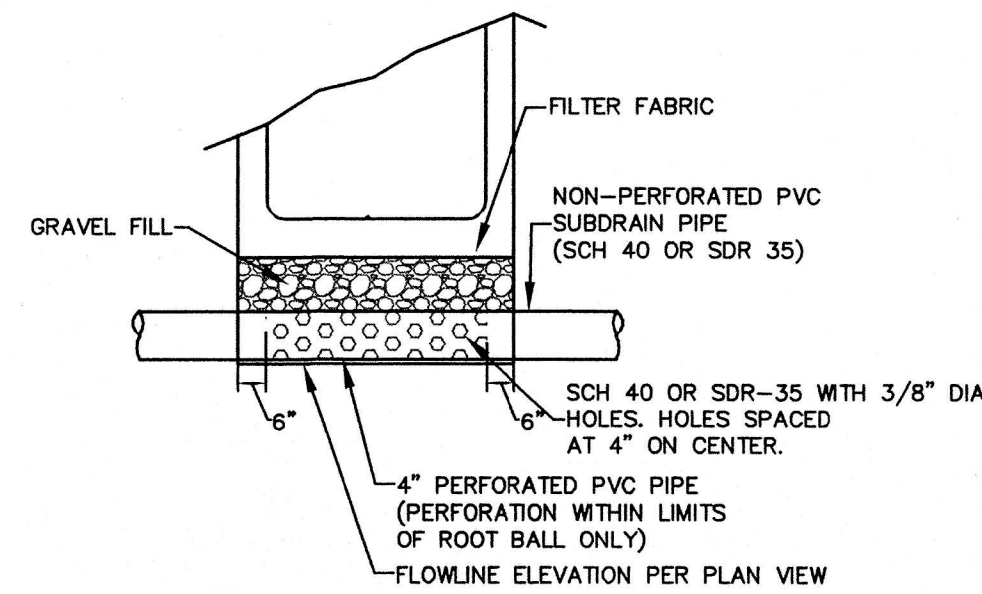
B TREE GUYING DETAIL
SCALE: N.T.S.



A TREE STAKING DETAIL
SCALE: N.T.S.



E TREE WELL PLANTING SECTION
SCALE: 1"=1'-0"



F PLANTER POT SECTION
SCALE: 1"=1'-0"

PLANTER NOTES:

1. PROVIDE PENETRATIONS IN THE BOTTOM OF PLANTERS FOR DRAINLINE & IRRIGATION LINE ACCESS
2. PLANTER BACKFILL TO BE "FORTIFIED POTTING SOIL" BY LIVING EARTH TECHNOLOGY (PHONE: 214-869-4332) OR APPROVED EQUAL

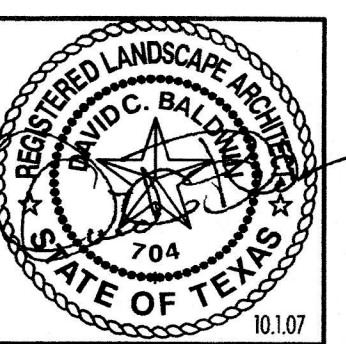
GENERAL NOTES:

1. QUANTITIES SHOWN ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR SHALL BE RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT LIST.
2. ALL SIZE REQUIREMENTS AND CONTAINER SIZES FOR PLANT MATERIALS SHOWN ON THE PLANT LIST MUST BE MET AS MINIMUM. IF ANY SPECIFIC REQUIREMENT CANNOT BE MET (I.E., IF A 100 GALLON TREE CANNOT MEET THE SPECIFIED CALIPER REQUIREMENT), THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTAINER SIZE MUST BE MET REGARDLESS WHETHER THE SPECIFIED SIZES CAN BE REACHED WITH A SMALLER SIZE CONTAINER.
3. CONTRACTOR TO REPAIR ALL LANDSCAPE AREAS DISTURBED BY CONSTRUCTION OPERATIONS. PROVIDE SOLID SOD GRASS AND REPAIR EXISTING IRRIGATION SYSTEM IF NECESSARY. APPLIES TO ALL ALTERNATES TOO.
4. ALL LANDSCAPING WILL BE WATERED BY AN AUTOMATIC UNDERGROUND WATERING SYSTEM.

KEY	QUANTITY (LANDSCAPE ARCHITECT'S ESTIMATE ONLY)	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
EH	7	EAST PALATKA HOLLY	Ilex x attenuata 'East Palatka'	65 gal. Minimum 9' height spread; standard.	Container grown; Branching at 5'; matched
LO	148	LIVE OAK	Quercus virginiana	65 gal. Minimum 3 1/2" caliper x 12' height x 6' spread	Container grown; full head; branching at ± 6'; matched.
CE	5	CEDAR ELM	Ulmus crassifolia	Min. 4" caliper; min. 12' height and 6' spread	Field-collected; B&B, containerized, or container-grown; full head
RO	18	SHUMARD RED OAK	Quercus shumardii	65 gal. Minimum 3 1/2" caliper x 12' height x 6' spread	Container-grown; full head; branching at ± 6'; matched.
CM	31	GRAPE MYRTLE 'Natchez'	Lagerstroemia indica 'Natchez'	30 gallon; min. 10' height x 6' spread; multi-trunk, min.	Container grown; full; multi-trunk.
LGM	27	SOUTHERN MAGNOLIA 'Little Gem'	Magnolia grandiflora 'Little Gem'	45 Gal. Minimum 2" caliper, min. 10' height and 4' spread	Container-grown; full-to-ground; matched
SRJ	23	SKYROCKET JUNIPER	Juniperus chinensis 'Skyrocket'	30 gallon; min. 7' height x 3' spread.	Container-grown; full-to-ground; matched
FH	24	FESTIVE HOLLY	Ilex 'festive'	30 gallon; min. 7' height x 3' spread.	Container-grown; full-to-ground; matched
RB	6	OKLAHOMA RED BUD	Cercis canadensis	Minimum 10' height and 4 1/2' spread.	Nurs-grown, B & B, containerized or cont-grown; full head
SM	26	SAUCER MAGNOLIA	Magnolia soulangiana	Minimum 10' height and 4 1/2' spread	Nursery-grown, B & B, containerized or cont-grown; full head
EC	2	EASTERN RED CEDAR	Juniperus virginiana	B&B, min. 10' height x 3' spread; single trunk; min. 2" caliper.	B&B, full to the ground
SGJ	148	SEA GREEN JUNIPER	Juniperus pfitzeriana 'Sea Green'	7 gallon. Minimum 28" height and 20" spread	Full-to-ground; plant 42" o.c.
DYH	91	DWARF YAUPOH HOLLY	Ilex vomitoria 'Nana'	5 gallon. Minimum 15" height and 15" spread	Full-to-ground; plant 24" o.c.
CH	913	CARISSA HOLLY	Ilex cornuta 'Carrisa'	5 gallon; minimum 24" height and 20" spread	Full-to-ground; plant 24" o.c.
GSN	72	GULFSTREAM NANDINA	Nandina domestica 'Gulfstream'	5 gallon. Minimum 24" height and 18" spread	Full-to-ground; plant 24" o.c.
IH	74	DWARF INDIAN HAWTHORNE	Raphiolepis indica 'Bay Breeze'	5 gallon; minimum 24" height and 20" spread	Full-to-ground; plant 30" o.c.
IH2	68	DWARF INDIAN HAWTHORNE	Raphiolepis indica 'Pinkie'	5 gallon; minimum 24" height and 20" spread	Full-to-ground; plant 30" o.c.
MG	29	MAIDEN GRASS	Miscanthus sinensis 'Gracillimus'	5 gallon. Minimum 15" height and 15" spread	Full; plant 60" o.c.
HG	33	HAMELN GRASS	Pennisetum alopecuroides 'Hameln'	3 gallon 15" height, 15" spread	Full pot, 24" o.c.
AJ	2848	ASIAN JASMINE	Trachelospermum asiaticum	1 gallon, 18" spread	Full pot, 18" o.c., minimum 5 runners
SHD	157	SHASTA DAISY	Chrysanthemum x superbum 'Snowcap' (Leucanthemum)	1 gallon	Full; plant 18" o.c.
BI	49	BOSTON IVY	Parthenocissus tricuspidata	1 gallon; Min. 10"-12" height.	Full; minimum 5 runners.
PWC	1302	PURPLE WINTER CREEPER	Euonymus 'Coloratus'	1 gallon. Minimum 5" height and 15" spread	Full; plant 18" o.c.
SC	1783	SEASONAL COLOR	To be determined	4" pot.	Full pot, 12" o.c.
LI	619	'BIG BLUE' LIRIOPE	Liriope muscari 'Big Blue'	4" pot.	Full; plant 12" o.c.
MG	2484	MONKEY GRASS	Ophiopogon japonicus	4" pot	Full; plant 12" o.c.

G PLANTING LIST
SCALE: N.T.S.

LANDSCAPE TABULATIONS	
REQUIRED	PROVIDED
LES LACS SUB DISTRICT PLANTING STANDARDS: -Shade trees min. 4" caliper @ 25' - 30' O.C. in a min. 5' x 12' planted well. -Multi tier perimeter plantings along building. -Site furnishings at an interval of 150'. -Site lighting at an interval of 90' o.c.	-78 STREET TREES 4" CAL. @ 30' o.c. -MULTI TIER PLANTING INCLUDING SHADE TREES, ORNAMENTAL TREES, SHRUBS, GROUNDCOVERS VINES, AND SEASONAL COLOR. -SITE FURNISHING @ AN INTERVAL OF 90' O.C. -SITE LIGHTING @ AN INTERVAL OF 90' O.C.
LES LACS SUB DISTRICT DEVELOPMENT STANDARDS: -1' dismount strip. -5' tree planting zone. -6' clear sidewalk. -4' residential landscape set back. -Site furnishings at an interval of 150'. -Site lighting at an interval of 90' o.c.	-1' DISMOUNT STRIP. -5' TREE PLANTING ZONE. -6' CLEAR SIDEWALK. -4' RESIDENTIAL SETBACK. -SITE FURNISHING @ AN INTERVAL OF 90' O.C. -SITE LIGHTING @ AN INTERVAL OF 90' O.C.



ASBURY CIRCLE
ADDISON, TX

DAVID C. BALDWIN
INCORPORATED



LANDSCAPE
ARCHITECTURE
PLANNING
730 EAST PARK BOULEVARD
SUITE 100 PLANO, TX 75074

TEL (972) 509-1266
FAX: (972) 509-1269

Sheet Title:
PLANTING
DETAILS

Proj. No.:

Date: 1 OCT 07

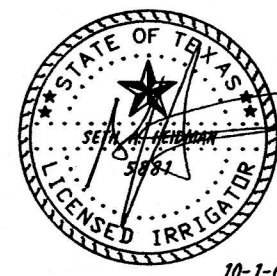
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Approved: DCB

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REVISIONS
No.
Date

ASBURY CIRCLE

ADDISON, TX

DAVID C. BALDWIN
INCORPORATED

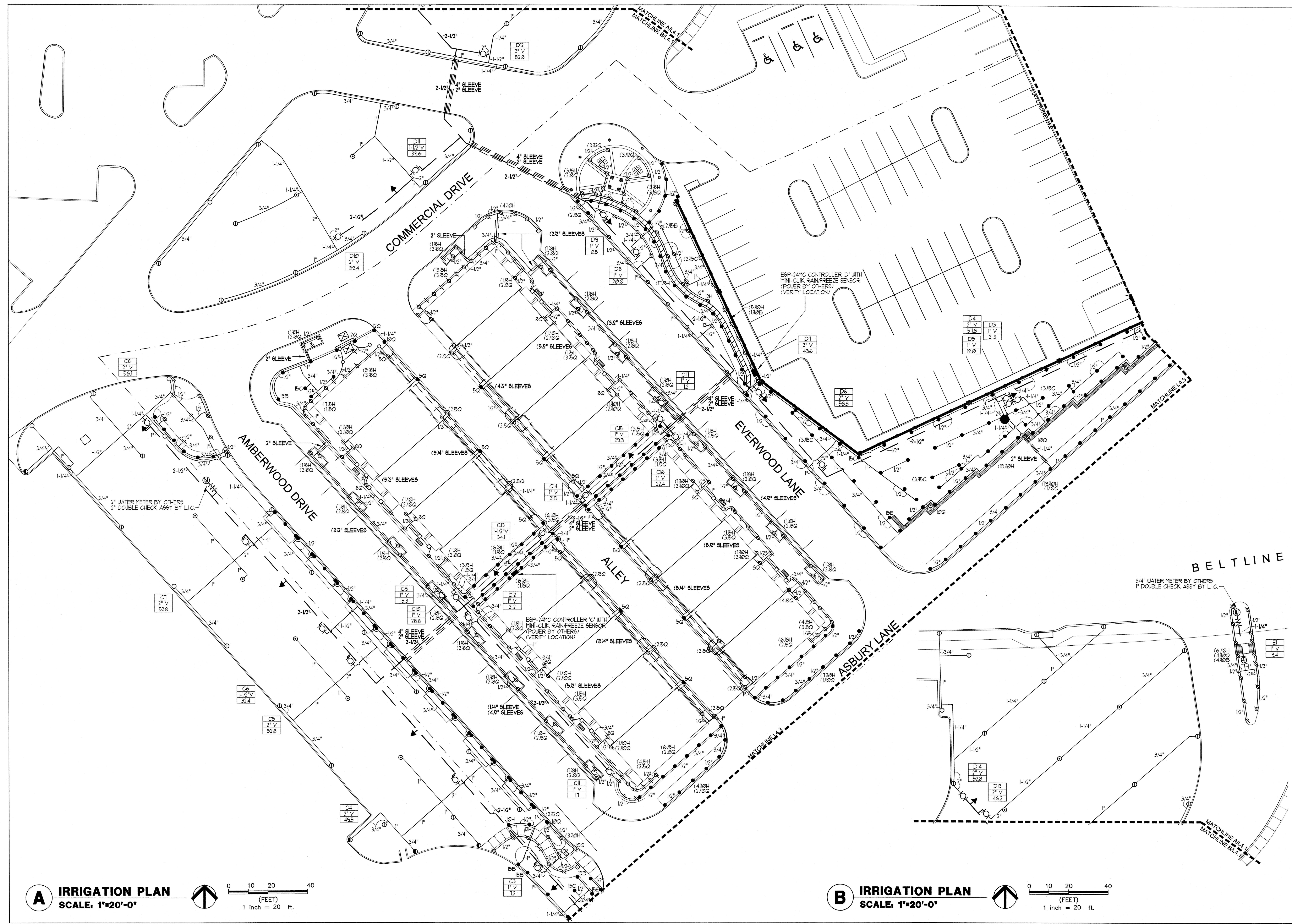


LANDSCAPE
ARCHITECTURE
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730 EAST PARK BOULEVARD
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TEL: (972) 509-1268
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IRRI*TECH
12650 SCHROEDER RD.
DALLAS, TEXAS 75243
TEL: (972) 231-5151
FAX: (972) 231-5172

Sheet Title:
IRRIGATION
PLAN

Proj. No.: 07087
Date: 1 OCT 07
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Checked: SAH
Approved: ITC
sheet number
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of sheets



A IRRIGATION PLAN
SCALE: 1"=20'-0"
0 10 20 40
(FEET)
1 inch = 20 ft.

B IRRIGATION PLAN
SCALE: 1"=20'-0"
0 10 20 40
(FEET)
1 inch = 20 ft.

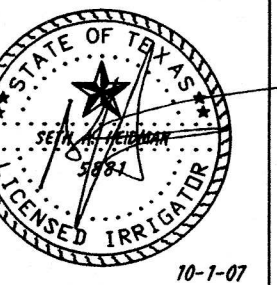


REVISIONS

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No.	Date

ASBURY CIRCLE
ADDISON, TX

DAVID C. BALDWIN
INCORPORATED



LANDSCAPE ARCHITECTURE PLANNING
730 EAST PARK BOULEVARD
SUITE 100 PLANO, TX 75074

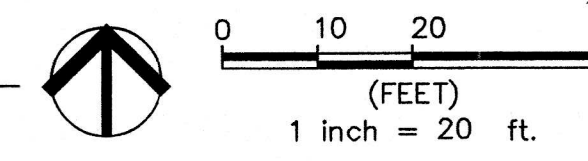
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FAX: (972) 506-1269

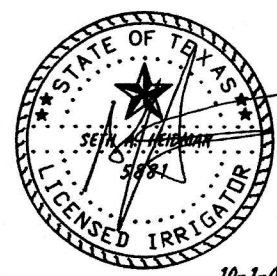
IRRI*TECH
12650 SCHROEDER RD.
DALLAS, TEXAS 75243
TEL: (972) 231-5151
FAX: (972) 231-5172

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IRRIGATION PLAN

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Date: 1 OCT 07
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sheet number
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of sheets

A IRRIGATION PLAN
SCALE: 1"=20'-0"





REVISIONS

Date

No.

ASBURY CIRCLE
ADDISON, TX

DAVID C.
BALDWIN
INCORPORATED



LANDSCAPE
ARCHITECTURE
PLANNING
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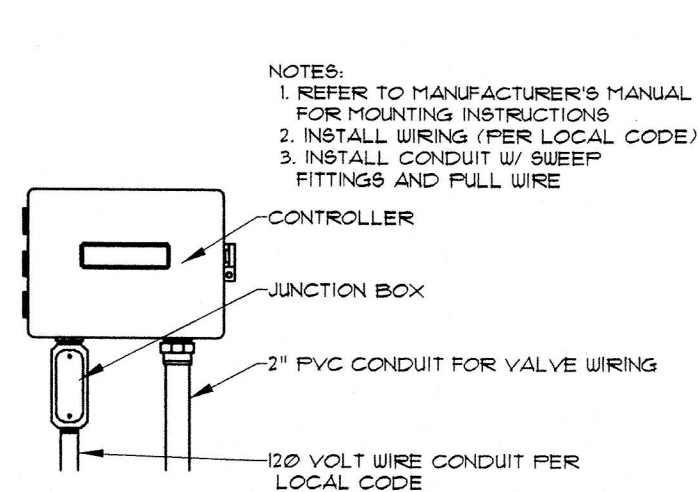
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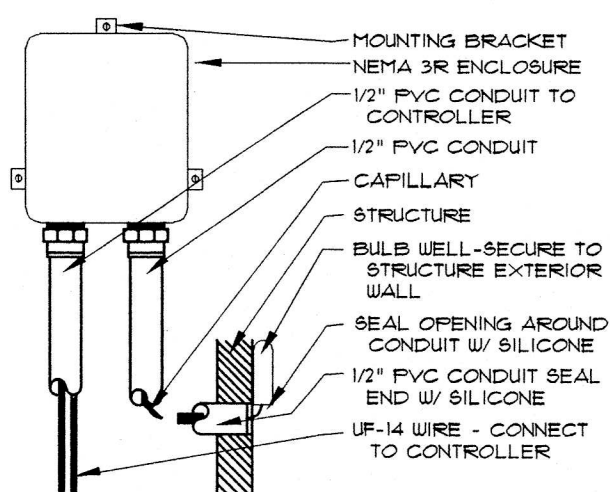
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DETAILS

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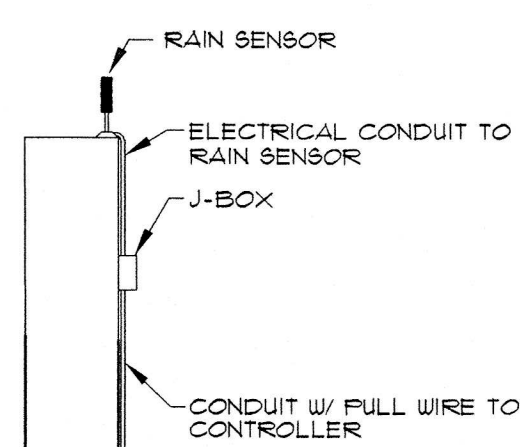
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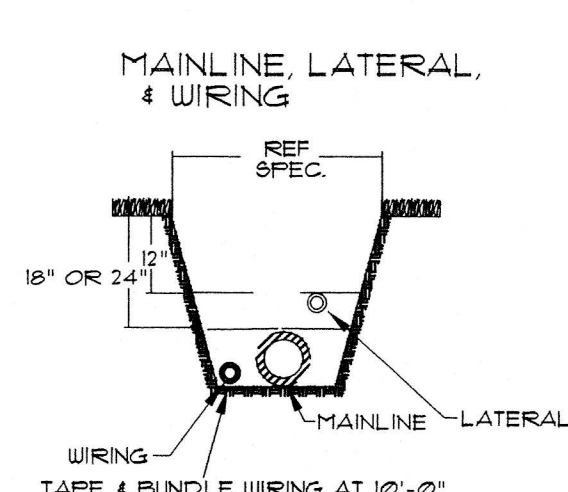
WALLMOUNT CONTROLLER
NOT TO SCALE 07/10



TEMPERATURE SENSOR
NOT TO SCALE 07/10



RAIN SENSOR
NOT TO SCALE 07/10



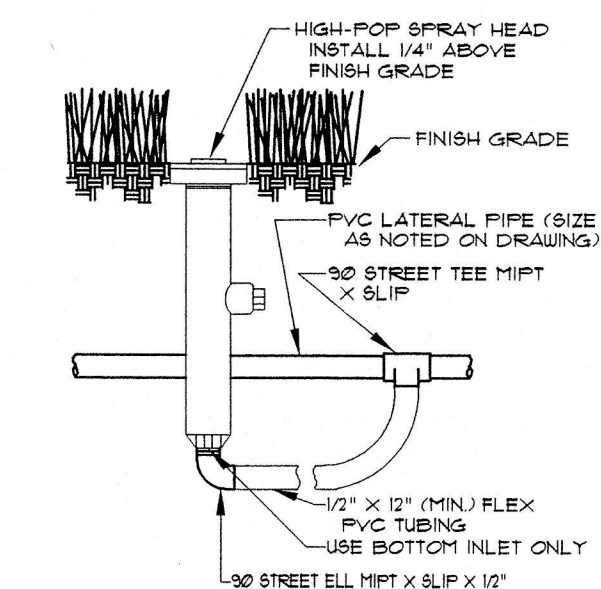
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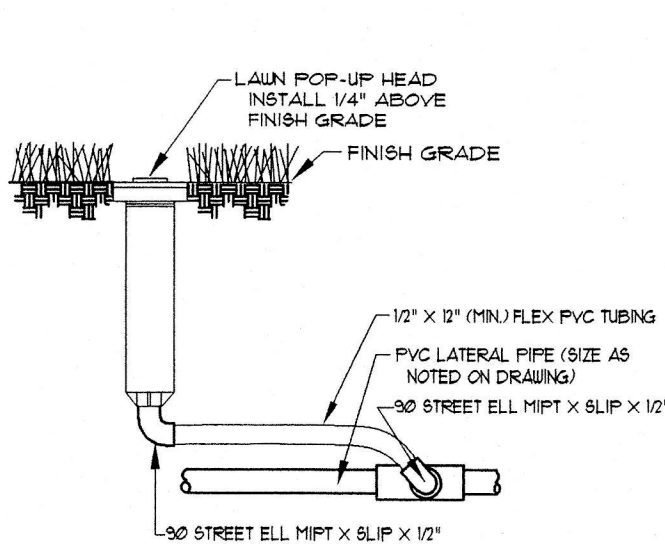
- ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE PERMANENT AND WATERPROOF.
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. USE WELD-ON #105 SOLVENT AND #P-68 PRIMER FOR PVC CONNECTIONS.
- PIPING AND VALVES IN PAVING SHOWN FOR CLARITY, INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
- CONNECT LAWN AND HIGH-POP SPRAY HEADS TO LATERAL PIPING WITH 1/2" FLEXIBLE PVC AND 1/2" SCH. 40 PVC FITTINGS AS REQUIRED, PER DETAIL SHOWN. USE WELD-ON #105 SOLVENT AND #P-68 PRIMER ON THESE CONNECTIONS.
- CONNECT ROTARY HEADS TO LATERAL PIPE WITH LASCO "UNITIZED", O-RING SWING JOINTS PER DETAIL SHOWN, #T122-212.
- INSTALL QUICK COUPLING VALVES IN TEN (10") INCH ARMOR (AMETEK) VALVE BOX PER DETAIL SHOWN. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH LASCO "UNITIZED", O-RING SWING JOINTS PER DETAIL SHOWN, #T122-212. SUPPLY OWNER WITH THREE (3) COUPLER KEYS WITH SWIVEL HOSE BIBB EACH, #3DK-10 AND #3H-0 RESPECTIVELY. VALVES TO BE INSTALLED SO THAT TOP OF QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX TOP.
- INSTALL REMOTE CONTROL VALVES IN TEN (10") INCH ARMOR (AMETEK) VALVE BOXES PER DETAIL SHOWN.
- PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER LOCATION BY OTHER TRADES.
- SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY OTHER TRADES.
- ROUTE COMMON WIRE FROM CONTROLLER TO REMOTE SENSORS IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
- CONTRACTOR TO INSTALL AND ADJUST VAN SERIES NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 90 DEGREE RADIUS SPRAY.
- TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN 71.0 PSI, DO NOT START WORK UNTIL NOTIFIED TO PROCEED BY OWNER. DESIGN PRESSURE IS 63.9 PSI.
- MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE 18".
- MINIMUM HORIZONTAL DISTANCE OF 36" TO BE MAINTAINED BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.

IRRIGATION LEGEND:

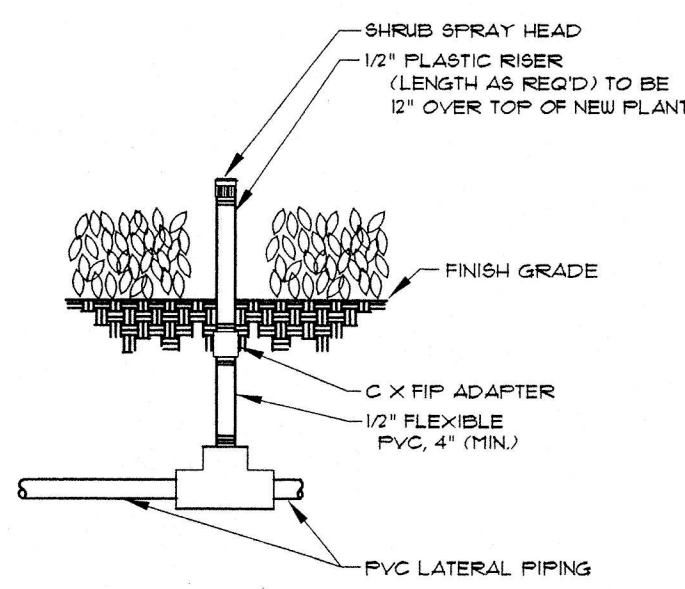
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
●	LAWN SPRAY HEAD	RAINBIRD	1804 W/ 15F. 15H. OR 15Q MPR PLASTIC NOZZLES UNLESS NOTED OTHERWISE
⊗	HIGH-POP SPRAY HEAD	RAINBIRD	1812 W/ 15F. 15H. OR 15Q MPR PLASTIC NOZZLES UNLESS NOTED OTHERWISE
○	SHRUB SPRAY HEAD	RAINBIRD	PA-88 ADAPTER W/ 15F. 15H. OR 15Q MPR PLASTIC NOZZLES UNLESS NOTED OTHERWISE
■	LAWN CENTER STRIP HEAD	RAINBIRD	1804 W/ #BCST NOZZLE
□	LAWN END STRIP HEAD	RAINBIRD	1804 W/ #BEST NOZZLE
▣	HIGH-POP CENTER STRIP HEAD	RAINBIRD	1812 W/ #BCST NOZZLE
⊞	HIGH-POP END STRIP HEAD	RAINBIRD	1812 W/ #BEST NOZZLE
⊙	SMALL ROTARY PART-CIRCLE	HUNTER	PGF W/ #1 NOZZLE
⊗	SMALL ROTARY FULL-CIRCLE	HUNTER	PGF W/ #10 NOZZLE
⊕	ROTARY PART-CIRCLE	HUNTER	PGF W/ #10 NOZZLE
⊗	ROTARY FULL-CIRCLE	HUNTER	PGF W/ #12 NOZZLE
▲	QUICK COUPLING VALVE	RAINBIRD	3RC
⊕	REMOTE CONTROL VALVE	RAINBIRD	FEB SERIES W/ EASY RAIN CONTROLLER REFER TO PLAN FOR SIZE
⊕	REMOTE CONTROL VALVE	RAINBIRD	FEB SERIES, REFER TO PLAN FOR SIZE
●	GATE VALVE (3" AND SMALLER)	NIBCO	#T-13 - LINE SIZE
■	CONTROLLER	RAINBIRD	ESP-MC SERIES W/ MINI-CLIK RAIN AND FREEZE SENSOR
—	MAINLINE PIPING	REFER TO SPEC.	CLASS 200 PVC
—	LATERAL PIPING	REFER TO SPEC.	3/4" & LARGER - CLASS 200 PVC 1/2" - CLASS 315 PVC
⊞	BACKFLOW PREVENTER	FEBCO	#B50Y
⊕	WATER METER	REFER TO SPEC.	PER LOCAL BUILDING CODE
□	STATION NUMBER		
□	VALVE SIZE		
□	GPM (APPROX.)		



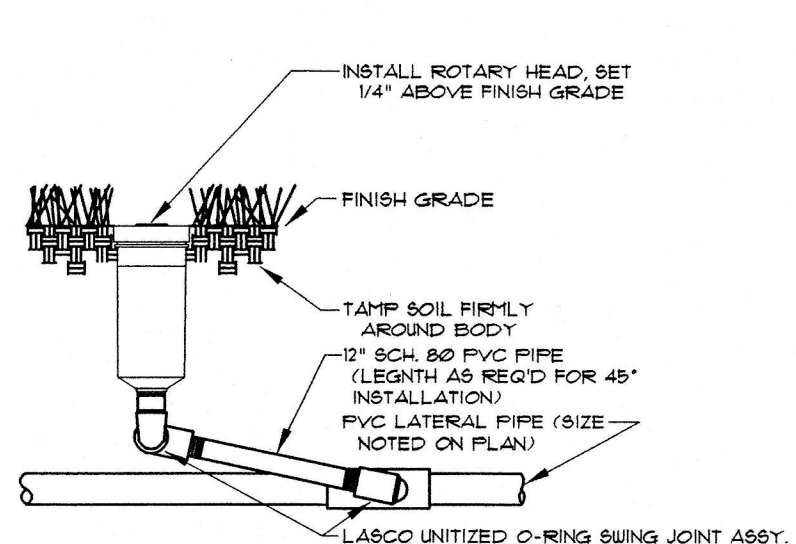
HIGH-POP SPRAY HEAD
NOT TO SCALE 07/10



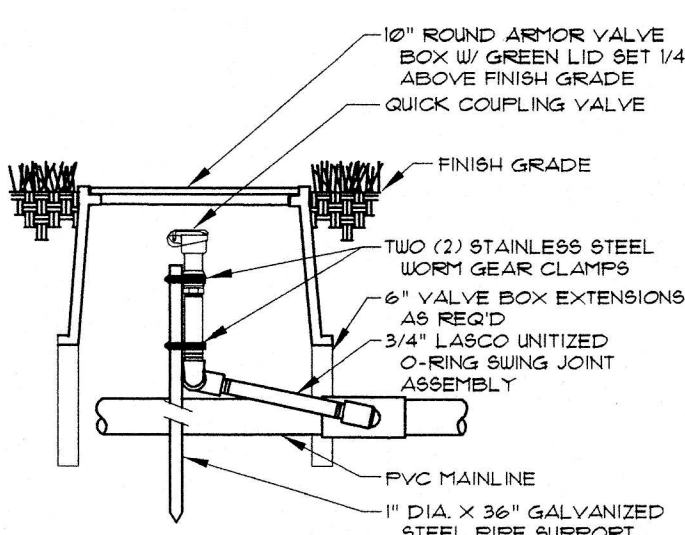
LAWN SPRAY HEAD
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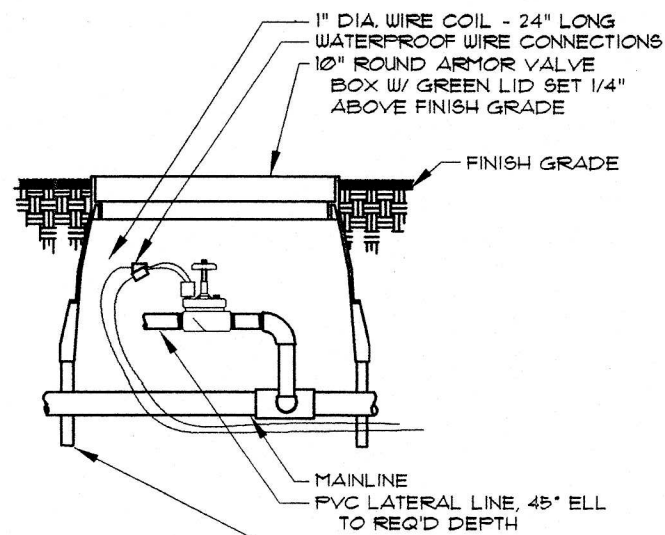
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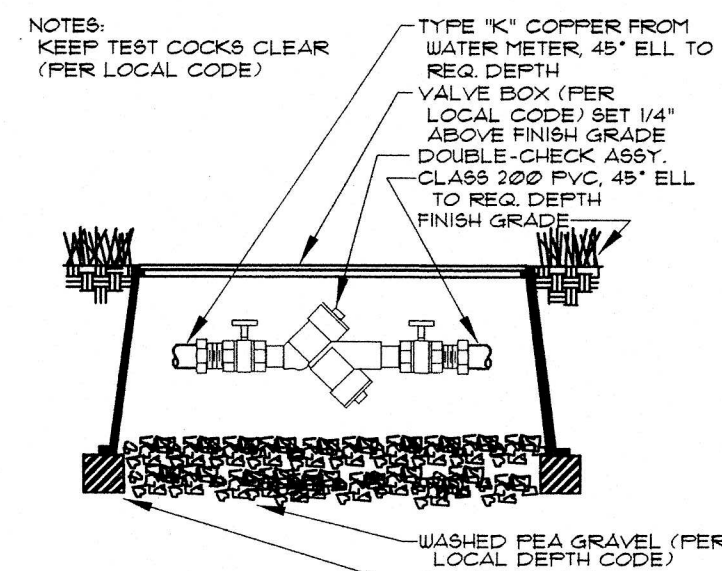
ROTARY HEAD
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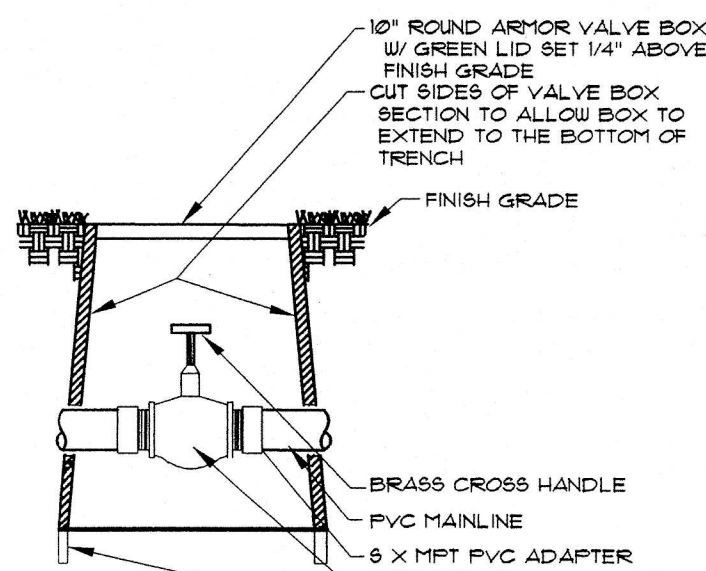
QUICK COUPLING VALVE
NOT TO SCALE 07/10



REMOTE CONTROL VALVE
NOT TO SCALE 07/10



BACKFLOW PREVENTER
NOT TO SCALE 07/10



GATE VALVE - 3" AND SMALLER
NOT TO SCALE 07/10

CONSTRUCTION PLANS

ASBURY CIRCLE

PW # 2006-005

TOWN OF ADDISON

DALLAS COUNTY, TEXAS

GENERAL CONSTRUCTION NOTES

- PRIOR TO COMMENCING CONSTRUCTION, THREE SETS OF APPROVED CONSTRUCTION PLANS (CIVIL SET) SHALL BE PROVIDED TO THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT. THE OWNER OR THEIR AUTHORIZED REPRESENTATIVE SHALL CONVEY A PRE-CONSTRUCTION CONFERENCE AMONG THE TOWN OF ADDISON, THE CONSULTING ENGINEER(S), CONTRACTOR(S), UTILITY COMPANIES, AND ANY OTHER AFFECTED PARTIES, AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTACT THE ASSISTANT DIRECTOR OF PUBLIC WORKS OR THE PUBLIC WORKS INSPECTOR AT (972) 450-2871.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE TOWN OF ADDISON PRIOR TO WORKING WITHIN THE PUBLIC RIGHT-OF-WAY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ANY UTILITY COMPANY FOR LOCATION OF EXISTING FACILITIES IN OR NEAR THE WORK AREAS. THESE INCLUDE, BUT MAY NOT BE LIMITED TO THE FOLLOWING:
 - THE TOWN OF ADDISON
 - ONCOR ELECTRIC
 - AT&T
 - TIME WARNER CABLE
 - ATMOS GAS
 - MCI WORLDCOM
 - BROOKS CABLE
 - EXPLORER PIPELINE
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE TOWN OF ADDISON, FOR APPROVAL OF ALL MATERIALS TO BE ADDED TO THE PUBLIC INFRASTRUCTURE, PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
- THE UTILITY CONTRACTOR SHALL SUBMIT TO THE TOWN OF ADDISON AN APPROVED TRENCH SAFETY PLAN, SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS, FOR THE INSTALLATION OF UTILITIES GREATER THAN FIVE (5) FEET IN DEPTH.
- THE CONTRACTOR/DEVELOPER SHALL VERIFY COMPLIANCE WITH NPDES AND SUBMIT A SWPPP AS PART OF THE CONSTRUCTION PLANS.
- A TRAFFIC CONTROL PLAN THAT COMPLIES WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS SHALL BE SUBMITTED AS PART OF THE CONSTRUCTION PLANS.
- TEMPORARY OR PERMANENT BARRICADES SHALL REMAIN AT ALL POINTS OF INGRESS OR EGRESS TO PREVENT PUBLIC USE UNTIL THE WORK RECEIVES FINAL ACCEPTANCE.
- DURING CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALIFIED GEOTECHNICAL LAB TO PERFORM APPROPRIATE TESTING DURING THE CONSTRUCTION, AT THE REQUEST OF THE TOWN OF ADDISON.

PRIOR TO FINAL ACCEPTANCE BY THE TOWN OF ADDISON, THE FOLLOWING ITEMS SHALL BE COMPLETED:

- THE CONTRACTOR, AT THEIR EXPENSE, SHALL REPAIR ANY EXISTING PAVEMENT, CURB, IRRIGATION SYSTEM, LANDSCAPING, AND/OR SIDEWALKS DAMAGED OR REMOVED DUE TO CONSTRUCTION ACTIVITY.
- LOT PINS SHALL BE INSTALLED AFTER CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE. CONCRETE MONUMENTS SHALL BE PLACED AS SHOWN ON THE FINAL PLAT AND IRON PINS SHALL BE PLACED AT BLOCK CORNERS, CURVE POINTS, AND ANGLE POINTS IN PUBLIC RIGHT-OF-WAY. CONCRETE MONUMENTS SHALL BE SIX (6) INCHES IN DIAMETER AND TWENTY-FOUR (24) INCHES LONG. AN IRON ROD ONE-HALF INCH IN DIAMETER SHALL BE EMBEDDED AT LEAST THREE (3) INCHES INTO THE MONUMENT AT THE EXACT INTERSECTION POINT OF THE MONUMENT. THE MONUMENT SHALL BE SET AT SUCH AN ELEVATION THAT AFTER CONSTRUCTION, THE TOP OF THE MONUMENT WILL BE NOT LESS THAN TWELVE (12) INCHES BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL STAMP A 2-INCH "W" AND A 2-INCH "S" IN THE CURB AT THE LOCATION OF THE WATER AND SEWER SERVICE LINES, RESPECTIVELY. A 2-INCH "C" SHALL MARK CONDUITS CROSSING PAVEMENT, AND A 2-INCH "V" SHALL MARK WATER VALVES, WITH THE "POINT" OF THE "V" TOWARD THE VALVE.
- ALL EXISTING AND PROPOSED IMPROVEMENTS (VALVES, MANHOLES, FIRE HYDRANTS, WATER METERS, ETC.) SHALL BE ADJUSTED TO FINAL FINISHED GRADE BY THE CONTRACTOR.
- ANY ADJACENT PROPERTIES AFFECTED BY THE CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
- A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS SHALL CERTIFY THAT THE PROJECT WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS SPECIFICATIONS APPROVED BY THE TOWN OF ADDISON.
- THE OWNER SHALL PROVIDE ONE REPRODUCIBLE SET (MYLAR), TWO BLUE LINE SETS, AND ONE ELECTRONIC MEDIA (INTERGRAPH OR AUTOCAD, AND PDF) COPY OF THE DIMENSIONED "AS-BUILT" PLANS (DIMENSIONED, DATED, SEALED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS).
- A LIST OF MATERIALS AND APPURTENANCES INCLUDED IN THE PUBLIC INFRASTRUCTURE SHALL BE SUBMITTED. SQUARE FOOTAGE OF APPROACHES AND SIDEWALKS SHALL BE INCLUDED IN THIS LIST.
- THE CONTRACTOR SHALL PROVIDE VERIFICATION OF COMPLETION OF ALL REQUIRED TESTS (PRESSURE, BACTERIOLOGICAL, BACKFLOW, VACUUM, MANDREL, VHS VIDEO OF SANITARY SEWER, ETC.)
- A MAINTENANCE BOND SHALL BE SUBMITTED FOR THE PUBLIC INFRASTRUCTURE:
 - 100% FOR VALUATIONS LESS THAN OR EQUAL TO \$5,000.00
 - \$5,000.00 FOR VALUATIONS > \$5,000.00 BY < \$50,000.00
 - 10% FOR VALUATIONS > \$50,000.00
- THE BOND IS TYPICALLY SUBMITTED BY THE GENERAL CONTRACTOR, BUT MAY ALSO BE SUBMITTED BY THE PROPERTY OWNER. THE BOND SHALL BE FOR A PERIOD OF TWO YEARS BEGINNING WITH THE DATE OF FINAL ACCEPTANCE BY THE TOWN.
- THE CONTRACTOR SHALL CALL (972) 450-2847 TO REQUEST A WALK-THROUGH INSPECTION OF THE PUBLIC INFRASTRUCTURE.
- WATER AND SANITARY ACCOUNTS SHALL BE SET UP WITH UTILITY BILLING (972-450-7081) AND ALL NECESSARY DEPOSITS PAID BY THE PARTY RESPONSIBLE FOR THE WATER SERVICES.
- ISSUES IDENTIFIED DURING THE FINAL WALK-THROUGH INSPECTION THAT REQUIRE REVISION, REPAIR, OR ADDITIONAL WORK MAY BE ADDRESSED IN A LETTER TO THE TOWN OF ADDISON. THE LETTER SHOULD BE SENT TO THE ATTENTION OF THE ASSISTANT DIRECTOR OF PUBLIC WORKS, PO BOX 9010, ADDISON, TEXAS 75001, ON OFFICIAL LETTERHEAD (OWNER/GENERAL CONTRACTOR), AND WILL INCLUDE A LIST OF THE ITEMS AND THE PROJECTED COMPLETION DATE. UPON RECEIPT OF SAID LETTER, THE PUBLIC WORKS INSPECTOR MAY SIGN OFF ON A "TEMPORARY" CERTIFICATE OF OCCUPANCY PROVIDED THERE IS NO ENDANGERMENT TO HEALTH OR SAFETY.
- UPON COMPLETION OF ALL REQUIRED WORK IN A SATISFACTORY MANNER, AND RECEIPT OF ALL THE REQUIREMENTS LISTED ABOVE, THE PUBLIC WORKS INSPECTOR WILL SIGN OFF ON THE FULL CERTIFICATE OF OCCUPANCY. OTHER DEPARTMENTS OR AGENCIES MAY HAVE SEPARATE REQUIREMENTS NOT COVERED BY THE PUBLIC WORKS DEPARTMENT.

OWNER/DEVELOPER

ASHTON DALLAS RESIDENTIAL

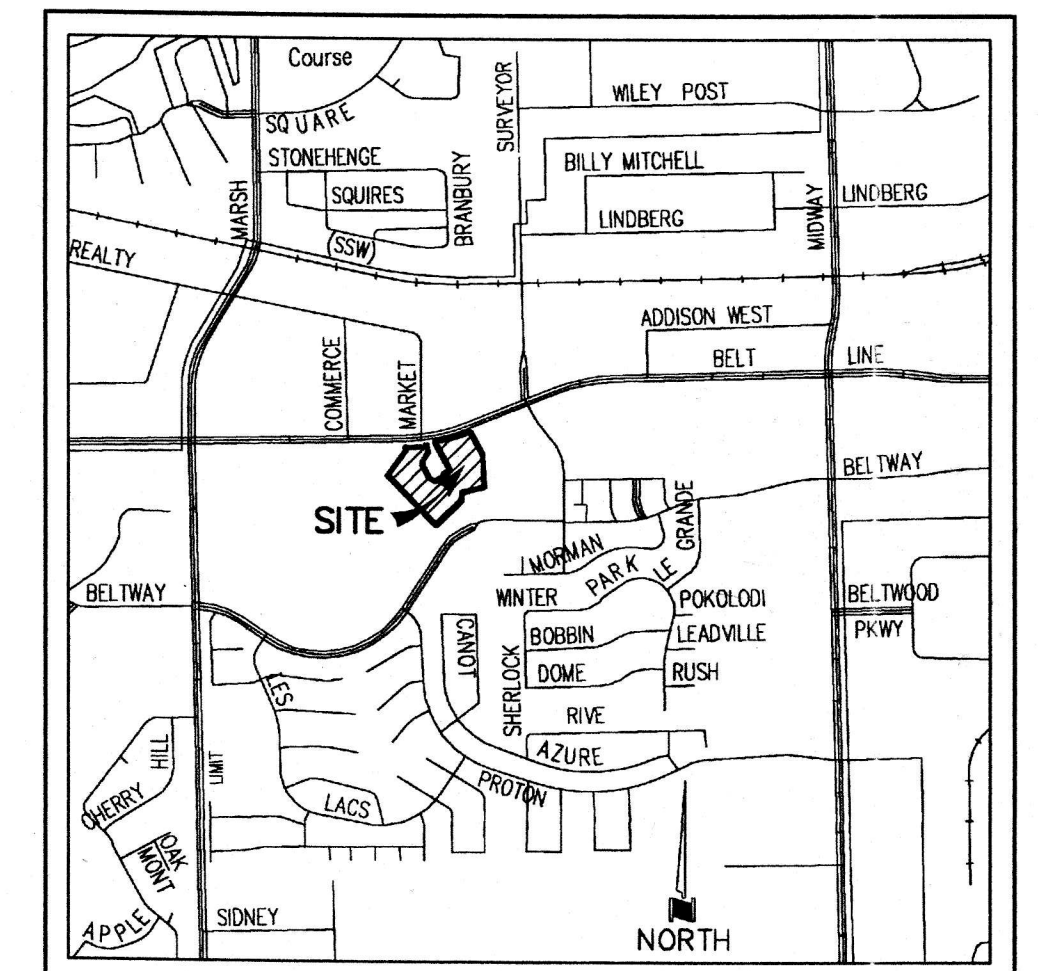
13800 MONTFORT DRIVE SUITE 100
(972) 490-3255 DALLAS, TEXAS 75240

ENGINEER

DOWDEY, ANDERSON & ASSOCIATES, INC.

5225 VILLAGE CREEK DRIVE SUITE 200
(972) 931-0694 PLANO, TEXAS 75093

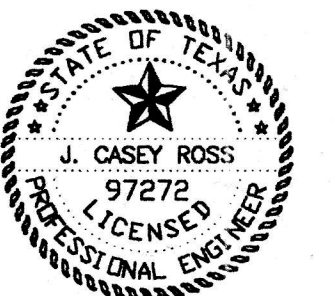
4500 MERCANTILE PLAZA DRIVE SUITE 234
(817) 546-1712 FORT WORTH, TEXAS 76137



LOCATION MAP
NOT TO SCALE

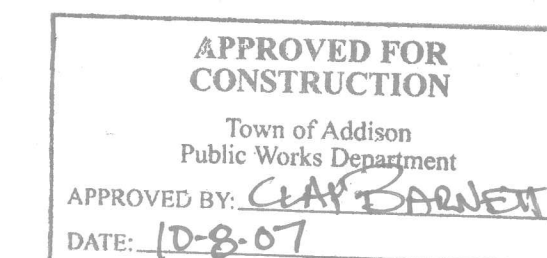
THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.

J. Casey Ross 10/4/07



INDEX

PLATE	DESCRIPTION
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22	TREE DRAIN PLAN
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27-28	8" WATER PROFILES
29	UTILITY LOCATION DETAILS
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31	SIGNAGE, STRIPING & LIGHTING PLAN
32	CONDUIT PLAN
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PLANS BY DAVID C. BALDWIN, INC.	
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L1.1-L1.3	HARDSCAPE PLAN
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L3.1-L3.4	LANDSCAPE PLAN
L4.1-L4.4	IRRIGATION PLAN



All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.

AUGUST

06010

ASBURY

CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD
C1	90°00'00"	20.50'	20.50'	32.20'
C2	90°00'00"	20.50'	20.50'	32.20'
C3	42°28'20"	20.00'	7.77'	14.83'
C28	57°14'27"	69.50'	37.92'	69.43'
C29	54°31'03"	100.00'	51.52'	95.15'
C30	35°12'35"	250.00'	79.33'	153.63'
C31	10°17'10"	150.00'	13.50'	26.93'
C37	28°08'08"	110.00'	27.58'	54.02'
C38	90°00'00"	37.00'	37.00'	52.33'
C39	43°18'58"	32.50'	12.89'	24.55'
C40	90°00'00"	32.00'	32.00'	50.27'
C41	35°05'59"	20.00'	6.33'	12.25'
C42	18°04'22"	200.00'	28.24'	56.10'
C43	90°00'00"	38.00'	38.00'	59.69'
C44	28°15'04"	28.00'	6.05'	11.81'
C45	18°04'22"	200.00'	28.24'	56.10'
C46	67°21'23"	37.00'	24.66'	43.50'
C47	22°38'37"	110.00'	22.02'	43.47'
C48	23°34'54"	66.50'	18.06'	35.35'
C49	9°54'41"	200.00'	17.34'	34.60'
C50	17°19'29"	200.00'	30.47'	60.47'
C51	61°00'46"	32.50'	18.15'	34.81'
C52	61°00'46"	32.50'	18.15'	34.81'
C53	16°04'22"	188.00'	26.54'	52.74'
C54	16°04'22"	212.00'	29.93'	59.47'
C55	16°04'22"	169.50'	23.93'	47.55'
C56	16°04'22"	230.50'	32.54'	64.66'
C57	13°23'01"	55.00'	6.45'	12.85'
C58	61°00'46"	20.00'	11.78'	21.30'
C59	61°00'46"	45.00'	26.51'	47.92'

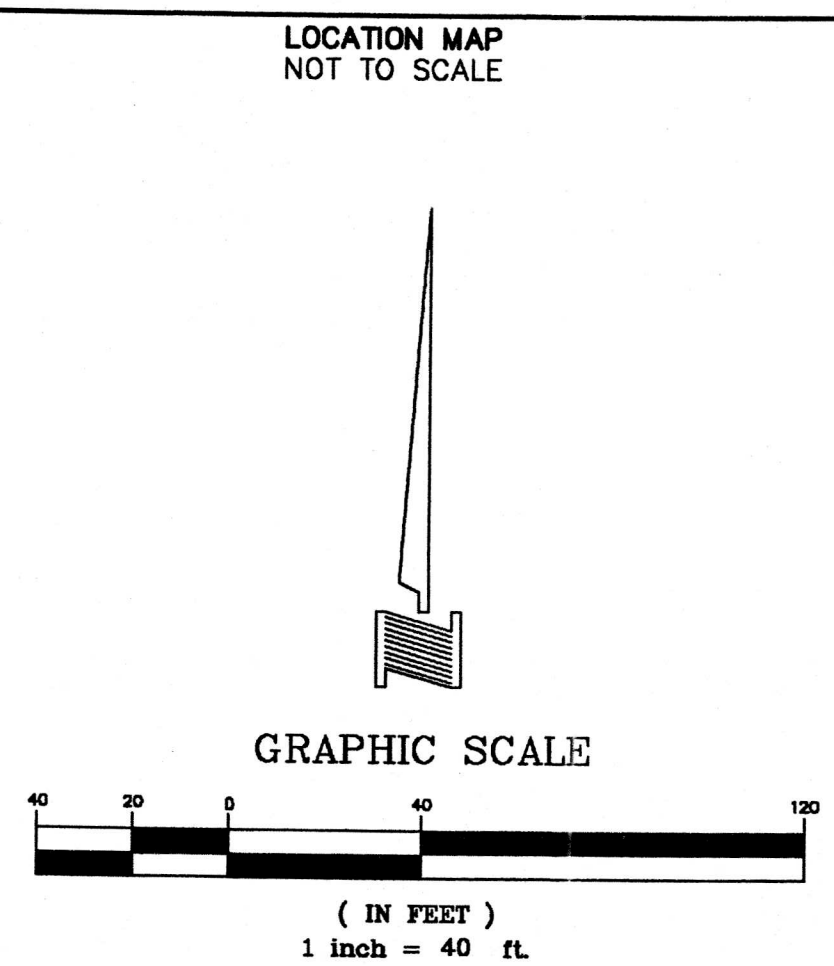
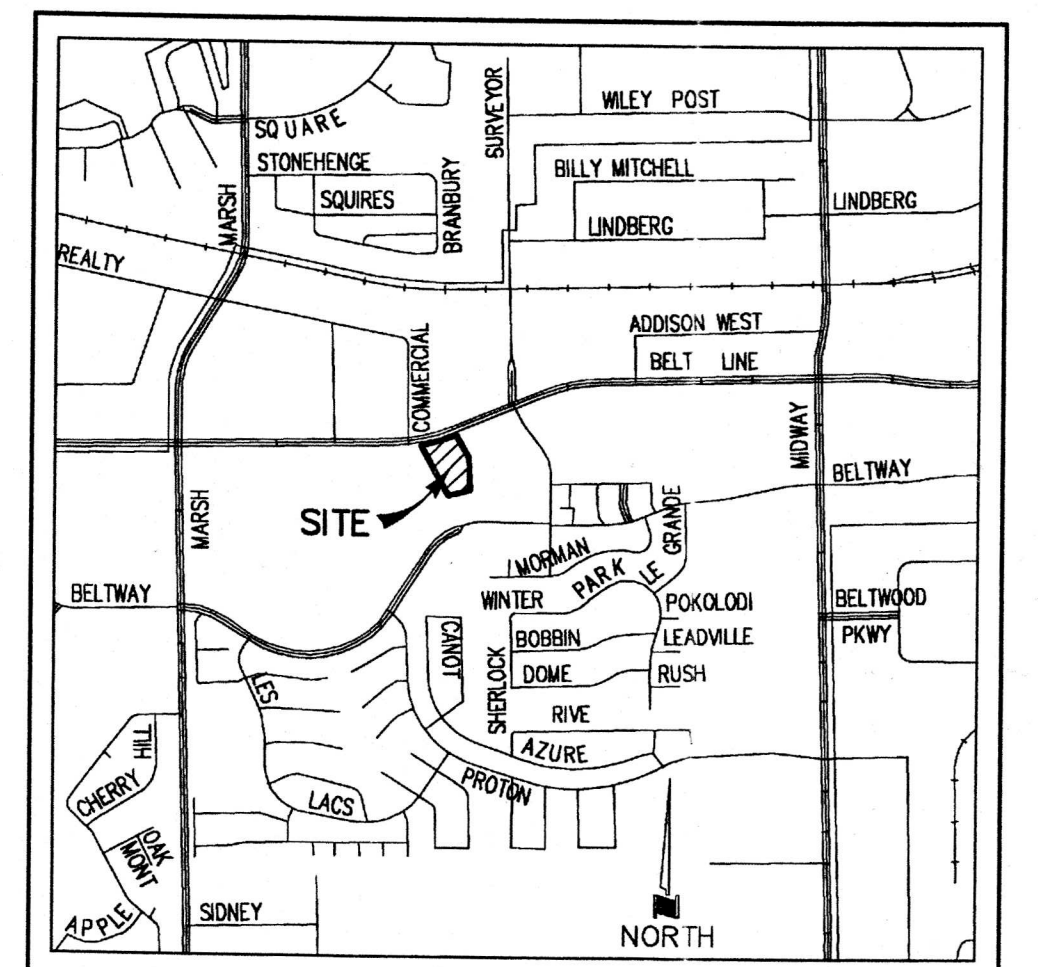
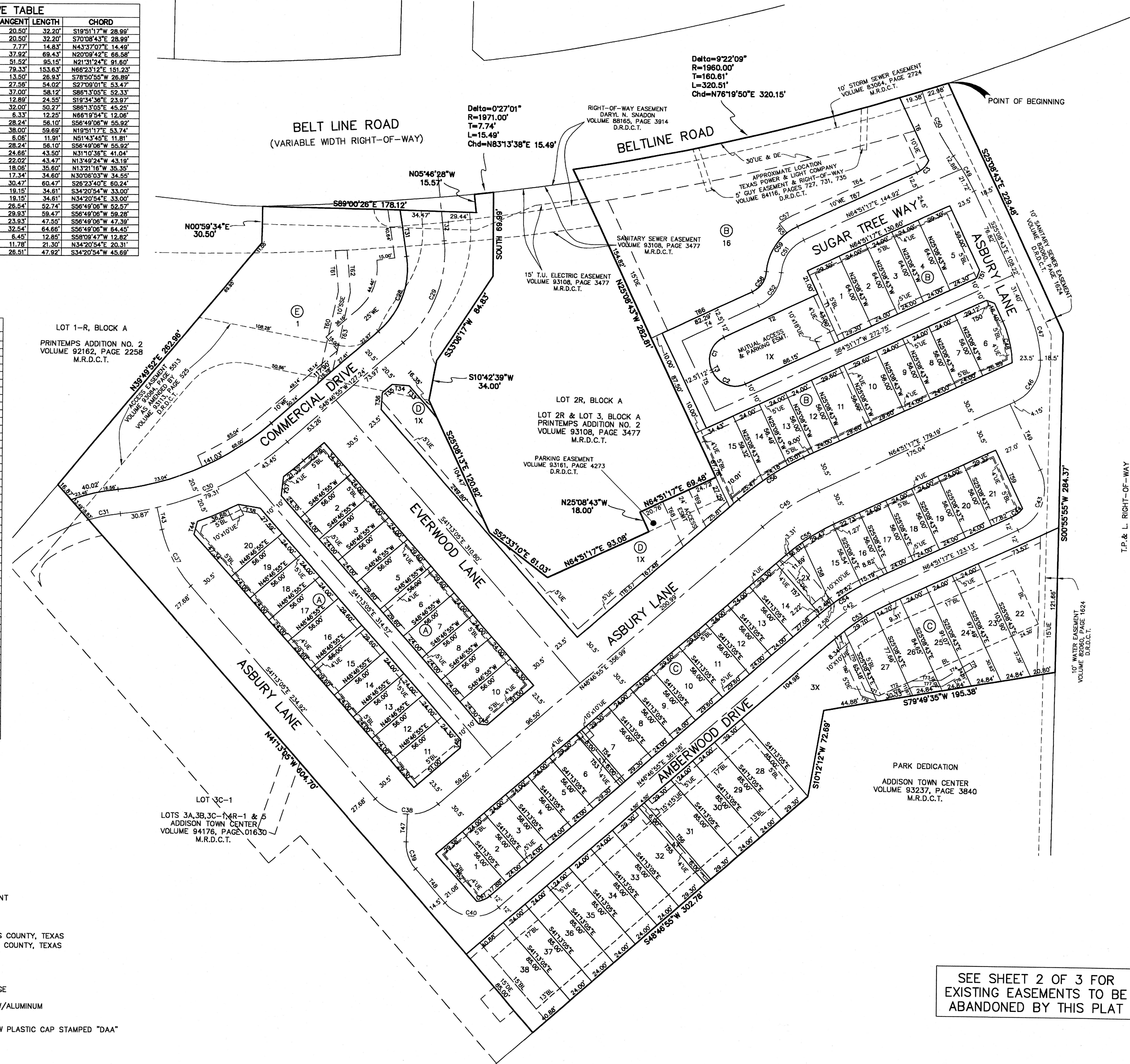
LINE	BEARING	LENGTH
T1	N25°08'43"W	64.00'
T2	N64°51'17"E	86.15'
T3	S28°08'43"E	2.00'
T4	N64°51'17"E	69.79'
T5	S28°08'43"E	65.00'
T6	N25°08'43"W	57.84'
T31	S08°27'32"E	38.98'
T32	N05°44'08"W	24.63'
T33	N41°13'05"W	35.65'
T34	S88°13'05"E	14.14'
T35	S48°46'55"W	10.79'
T36	S03°46'55"W	14.14'
T37	S08°40'31"W	16.09'
T38	N79°54'27"W	18.73'
T43	S13°04'58"E	18.77'
T44	S15°09'41"W	11.07'
T45	S88°13'05"E	7.07'
T46	S03°46'55"W	7.07'
T47	N02°03'53"E	23.30'
T48	S41°13'05"E	37.32'
T49	N25°08'43"W	60.50'
T50	N70°08'43"W	7.07'
T51	N19°51'17"E	7.07'
T52	S41°13'05"E	52.36'
T53	S41°13'05"E	56.00'
T54	S41°13'05"E	56.00'
T55	S41°13'05"E	85.00'
T56	S41°13'05"E	85.00'
T57	S41°13'05"E	56.01'
T58	N25°08'43"W	57.94'
T59	N25°08'43"W	53.32'
T60	N12°19'37"E	78.24'
T61	N04°50'18"W	33.53'
T62	S04°50'18"E	34.75'
T63	S12°21'11"W	67.25'
T64	N64°51'17"E	122.60'
T65	S38°31'43"E	10.00'
T66	N64°51'17"E	92.29'
T67	N64°51'17"E	109.10'
T68	S24°59'55"E	41.36'
T69	S24°59'55"E	34.37'
T70	N25°08'43"W	51.53'
T71	N70°08'43"W	12.07'
T72	S64°51'17"W	30.26'
T73	N88°23'22"E	23.88'
T74	N58°42'52"E	28.48'
T75	N31°17'08"W	5.00'
T76	N58°42'52"E	29.80'
T77	N88°23'22"E	24.16'
T78	S64°51'17"W	28.41'
T79	N70°08'43"W	14.73'
T80	N25°08'43"W	52.18'

LOT 1-R, BLOCK A
PRINTemps ADDITION NO. 2
VOLUME 92182, PAGE 2258
M.R.D.C.T.

LOT 3C-1
LOTS 3A,3B,3C-1,4R-1 & 5
ADDISON TOWN CENTER
VOLUME 94176, PAGE 01630
M.R.D.C.T.

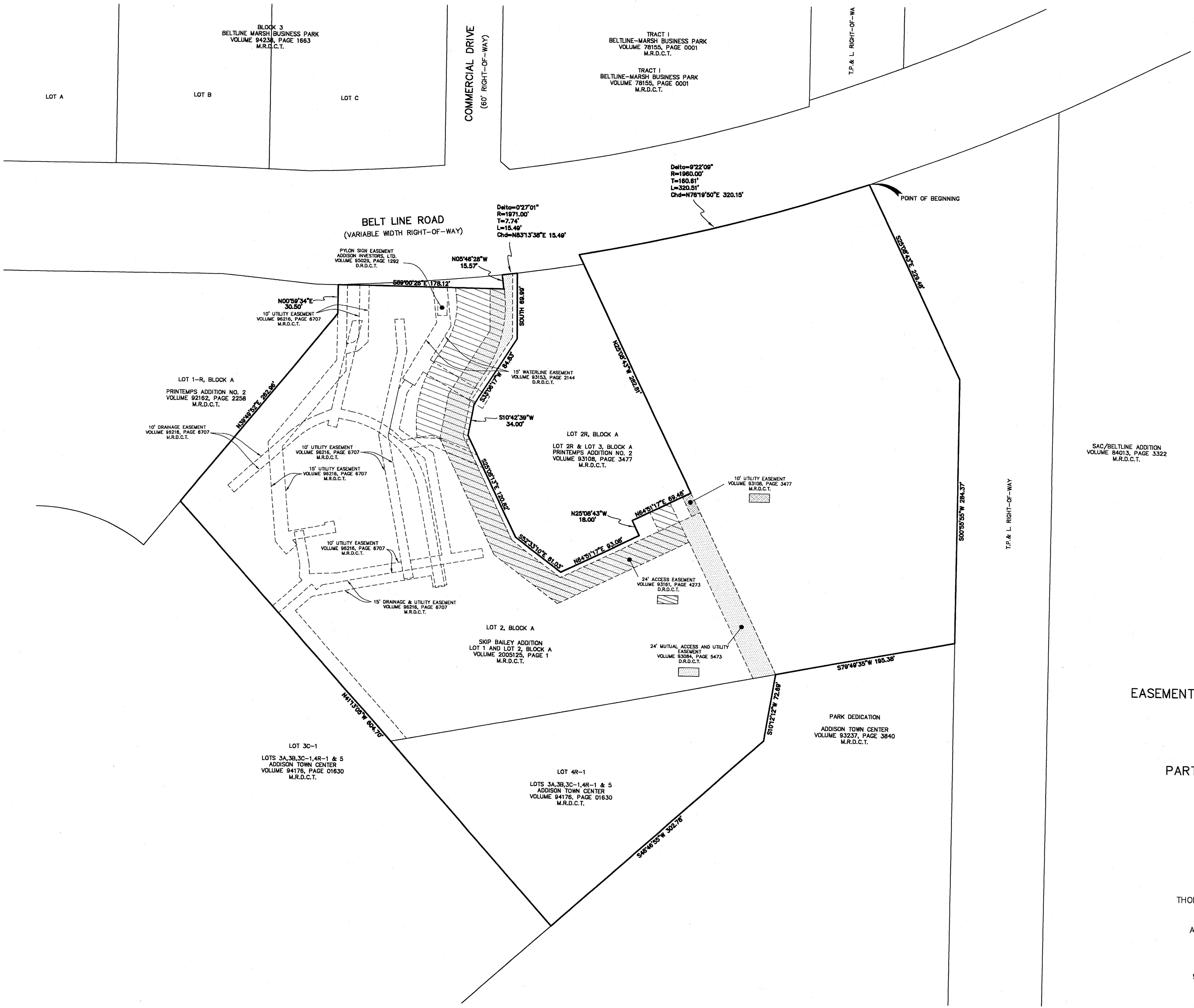
- LEGEND**
- BL = BUILDING LINE
 - DE = DRAINAGE EASEMENT
 - HOA = HOMEOWNER'S ASSOCIATION
 - SUE = SIDEWALK & UTILITY EASEMENT
 - SSE = SANITARY SEWER EASEMENT
 - UE = UTILITY EASEMENT
 - WE = WATER EASEMENT
 - D.R.D.C.T. = DEED RECORDS, DALLAS COUNTY, TEXAS
 - M.R.D.C.T. = MAP RECORDS, DALLAS COUNTY, TEXAS
 - DOC# = DOCUMENT NUMBER
 - IRF = IRON ROD FOUND
 - IPF = IRON PIPE FOUND
 - ◇ = DENOTES STREET NAME CHANGE
 - ⊙ = CONCRETE MONUMENT FOUND W/ALUMINUM DISK STAMPED AS NOTED
 - = 1/2" IRON ROD SET W/ YELLOW PLASTIC CAP STAMPED "DAA"

REVISED: September 26, 2007



73 LOTS ~ 8.140 ACRES
FINAL PLAT
ASBURY CIRCLE
BEING A REPLAT OF
PART OF LES LACS PLAZA SUBDIVISION
AND
SKIP BAILEY ADDITION
LOT 1 AND LOT 2, BLOCK A
AND
LOT 4R-1
ADDISON TOWN CENTER
LOTS 3A,3B,3C-1,4R-1 & 5
AN ADDITION TO THE CITY OF ADDISON
THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273
DALLAS COUNTY, TEXAS
AUGUST 2006 SCALE: 1"=40'
OWNER
ASHTON DALLAS RESIDENTIAL, L.L.C.
13800 MONFORT DRIVE SUITE 100
972-490-3255 DALLAS, TEXAS 75240
ENGINEER
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

SEE SHEET 2 OF 3 FOR
EXISTING EASEMENTS TO BE
ABANDONED BY THIS PLAT



06010

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS ASHTON DALLAS RESIDENTIAL, L.L.C. is the owner of a tract of land located in the THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273, Addison, Dallas County, Texas and being a part of LES LACS PLAZA SUBDIVISION, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 83064, Page 2724, Map Records, Dallas County, Texas and being all of a tract of land described in Deed to PHCG Investments, recorded in Volume 93233, Page 3084, Deed Records, Dallas County, Texas and and being all of Lot 2, Block A of SKIP BAILEY ADDITION, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 2005125, Page 1, Map Records, Dallas County, Texas and being all of Lots 3A, 3B, 3C-1, 4R-1 & 5 of ADDISON TOWN CENTER, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 94176, Page 1630, Map Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the South right-of-way line of Belt Line Road, a variable width right-of way, at the Northeast corner of said Addition and said PHCG tract;

THENCE South 25 degrees 08 minutes 43 seconds East, leaving said South right-of-way line and along the East line of said LES LACS PLAZA SUBDIVISION and said PHCG tract, a distance of 229.48 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;

THENCE South 00 degrees 55 minutes 55 seconds West, continuing along the East line of said LES LACS PLAZA SUBDIVISION and said PHCG tract, a distance of 284.37 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southeast corner of said PHCG tract and the Northeast corner of Addison Town Center, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 93237, Page 3840, Map Records, Dallas County, Texas;

THENCE South 79 degrees 49 minutes 35 seconds West, leaving the East line of said LES LACS PLAZA SUBDIVISION and along the common line of said PHCG tract and ADDISON TOWN CENTER, an Addition to the Town of Addison, Dallas County, Texas, according to the Plat thereof recorded in Volume 93237, Page 3840, Map Records, Dallas County, Texas, a distance of 195.38 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southwest corner of said PHCG tract and the Southeast corner of said Lot 2;

THENCE South 10 degrees 12 minutes 12 seconds West, leaving said common line, a distance of 72.69 feet to a 1/2 Inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE South 48 degrees 46 minutes 55 seconds West, a distance of 302.78 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE North 41 degrees 13 minutes 05 seconds West, passing at a distance of 261.78 feet a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southwest corner of said Lot 2, and continuing for a total distance of 604.70 feet to an "X" set at the most Westerly corner of said Lot 2;

THENCE North 39 degrees 49 minutes 52 seconds East, a distance of 262.96 feet to an "X" found in concrete paving at the most Southerly Northwest corner of said Lot 2;

THENCE North 00 degrees 59 minutes 34 seconds East, a distance of 30.50 feet to a 1/2 inch Iron rod found in said South right-of-way line of Belt Line Road at the most Northerly Northwest corner of said Lot 2;

THENCE Northerly and Easterly, along said South right-of-way line, the following three (3) courses and distances:

South 89 degrees 00 minutes 26 seconds East, a distance of 178.12 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

North 05 degrees 46 minutes 28 seconds West, a distance of 15.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner at the beginning of a non-tangent curve to the left having a central angle of 00 degrees 27 minutes 01 seconds, a radius of 1971.00 feet and a chord bearing and distance of North 83 degrees 13 minutes 38 seconds East, 15.49 feet;

Easterly, along said curve to the left, an arc distance of 15.49 feet to a 5/8 inch iron rod found at the Northwest corner of Lot 2R, Block A of PRINTEMPS ADDITION NO. 2, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 93108, Page 3477, Map Records, Dallas County, Texas;

THENCE Southerly and Easterly, leaving said South right-of-way line and along the common line of said Lot 2 and said Lot 2R, the following eight (8) courses and distances:

South, a distance of 69.99 feet to a 1/2 inch iron rod found for corner;

South 33 degrees 06 minutes 17 seconds West, a distance of 84.83 feet to an "X" found in concrete paving;

South 10 degrees 42 minutes 39 seconds West, a distance of 34.00 feet to an "X" found in concrete paving;

South 25 degrees 08 minutes 13 seconds East, a distance of 120.82 feet a 1/2 inch iron rod with a red plastic cap found for corner;

South 52 degrees 33 minutes 10 seconds East, a distance of 61.03 feet to a 1/2 inch Iron rod with a yellow plastic cap stamped "DAA" set for corner;

North 64 degrees 51 minutes 17 seconds East, a distance of 93.08 feet to a 1/2 inch iron rod with a red plastic cap found for corner;

North 25 degrees 08 minutes 43 seconds West, a distance of 18.00 feet to an "X" found in concrete paving;

North 64 degrees 51 minutes 17 seconds East, a distance of 69.48 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner in the West line of said LES LACS SUBDIVISION and said PHCG tract at the most Easterly Southeast corner of said Lot 2R;

THENCE North 25 degrees 08 minutes 43 seconds West, along the common line of said LES LACS SUBDIVISION and said PHCG tract, a distance of 282.81 feet to a 1/2 inch iron rod with a yellow plastic cap found in said South right-of-way line at the Northwest corner of said LES LACS SUBDIVISION and said PHCG tract and at the beginning of a non-tangent curve to the left having a central angle of 09 degrees 22 minutes 09 seconds, a radius of 1960.00 feet and a chord bearing and distance of North 76 degrees 19 minutes 50 seconds East, 320.15 feet;

THENCE Easterly, along said South right-of-way line and said curve to the left, an arc distance of 320.51 feet to the POINT OF BEGINNING and containing 8.140 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That ASHTON DALLAS RESIDENTIAL ("Owner") does hereby adopt this plat designating the hereinabove property as ASBURY CIRCLE, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon. The easement shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, election, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted. Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service. Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

Witness my hand at Dallas, Texas this the _____ day of _____, 2007.

ASHTON DALLAS RESIDENTIAL, L.L.C.

Eric Robinson
Division President

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public, on this day personally appeared Eric Robinson, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said Ashton Dallas Residential, L.L.C., and that he executed the same as the act of said Limited Partnership for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 20____.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

KNOW ALL MEN BY THESE PRESENTS:

That I, Sean Shropshire, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown hereon were found or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Town of Addison, Texas.

Sean Shropshire
Registered Professional Land Surveyor
No. 5674

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared Sean Shropshire, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 20____.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

APPROVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, ON THE _____ DAY OF _____, 2006.

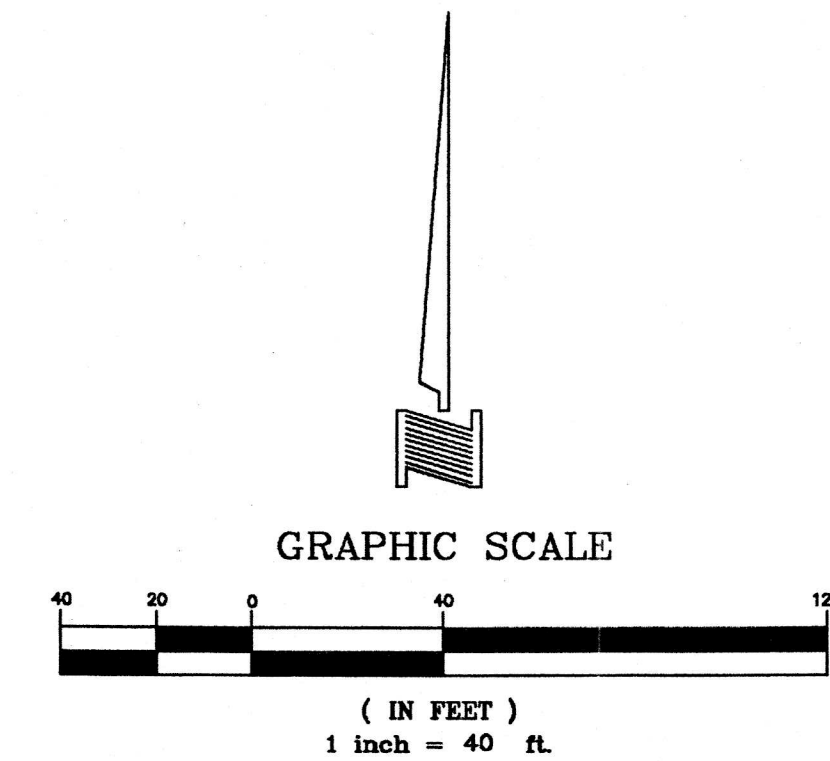
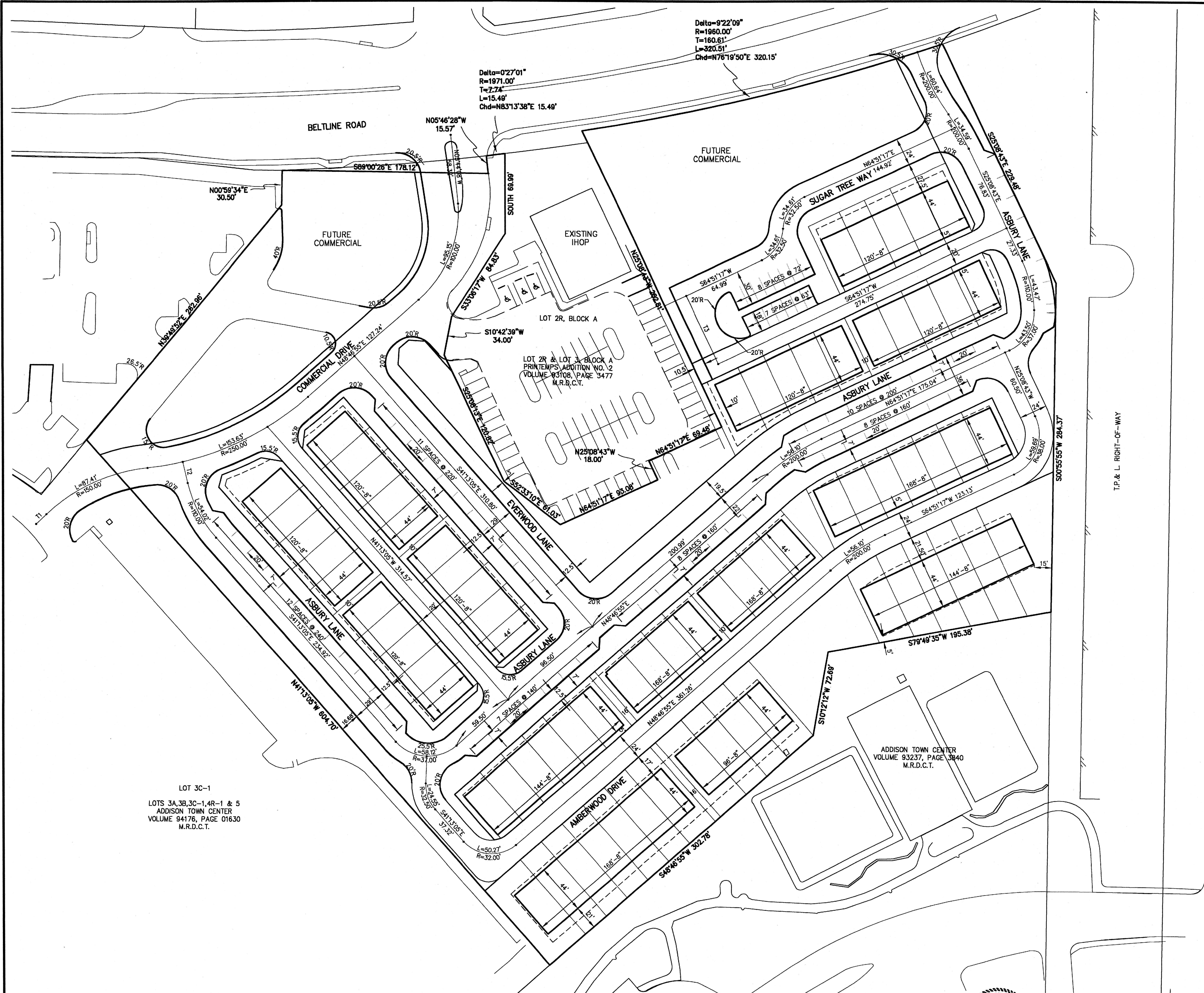
MAYOR

CITY SECRETARY

73 LOTS ~ 8.140 ACRES
FINAL PLAT
ASBURY CIRCLE
BEING A REPLAT OF
PART OF LES LACS PLAZA SUBDIVISION
AND
SKIP BAILEY ADDITION
LOT 1 AND LOT 2, BLOCK A
AND
LOT 4R-1
ADDISON TOWN CENTER
LOTS 3A,3B,3C-1,4R-1 & 5
AN ADDITION TO THE CITY OF ADDISON
THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273
DALLAS COUNTY, TEXAS
AUGUST 2006 SCALE: 1"=40'
OWNER
ASHTON DALLAS RESIDENTIAL, L.L.C.
13800 MONFORT DRIVE SUITE 100
972-490-3255 DALLAS, TEXAS 75240
ENGINEER

 DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

Projects: LDD06010.dwg(06/10) DIM.dwg, DIM, 9/25/2007 10:02:56 AM, Billing, Dowdey, Anderson & Associates, Inc., L3



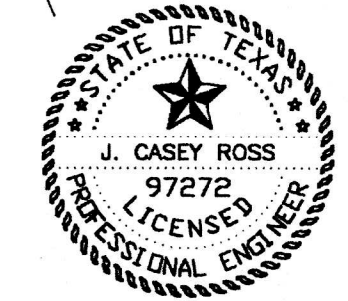
LINE TABLE		
LINE	BEARING	LENGTH
T1	N48°40'34"E	12.28'
T2	S13°04'58"E	18.77'
T3	S25°08'43"E	46.00'

- NOTES:
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

BENCHMARKS:
CITY OF ADDISON BENCHMARK NO. 13:
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET
AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR
BOULEVARD.
ELEVATION = 594.94'

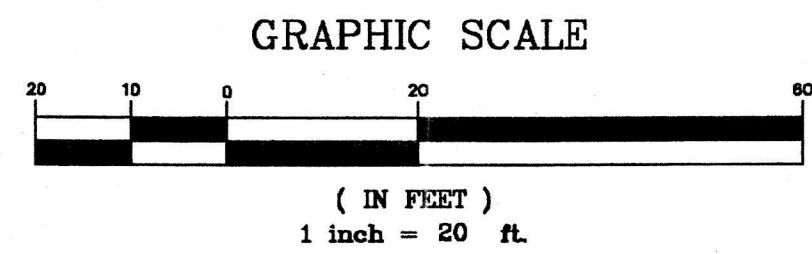
CITY OF ADDISON BENCHMARK NO. 18:
SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
CORNER OF BELTLINE ROAD AND MIDWAY ROAD.
ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272
J. Casey Ross 9/25/07

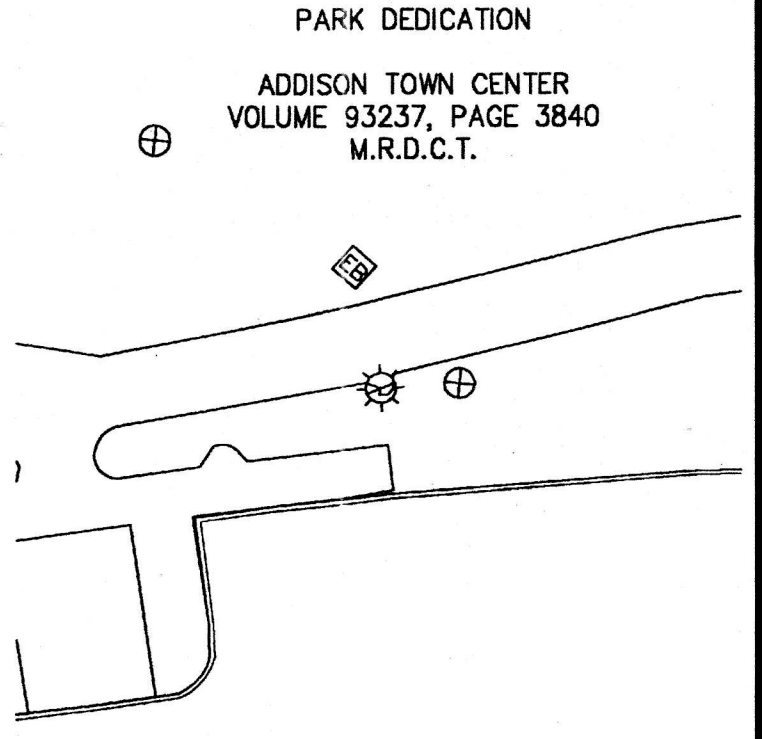
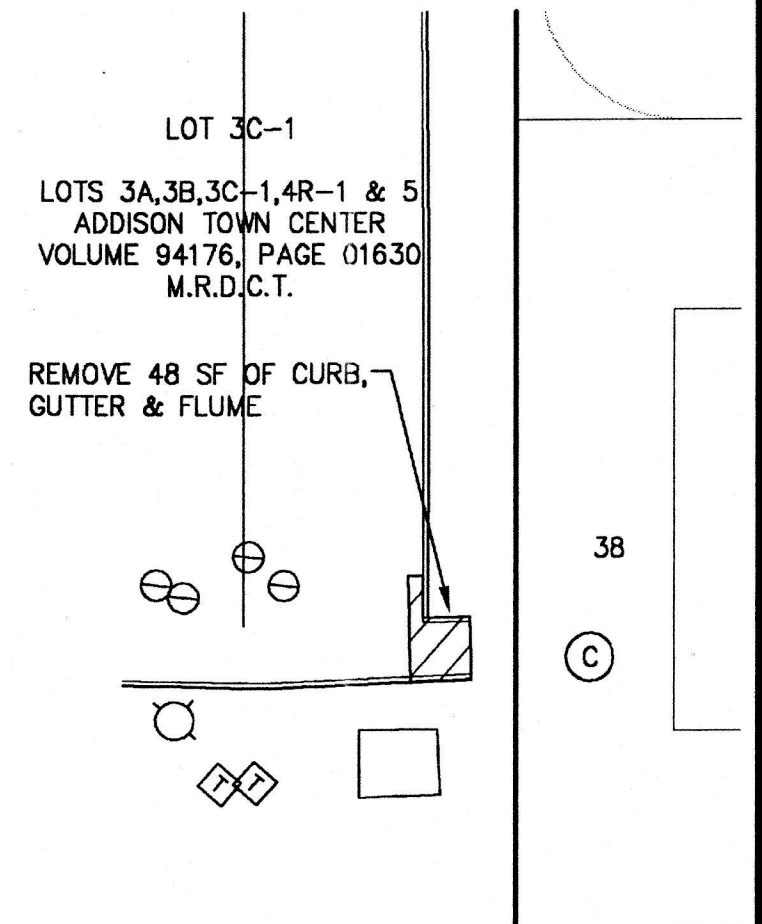


NO.	DATE	BY	REVISION

DIMENSION CONTROL PLAN							
ASBURY CIRCLE							
TOWN OF ADDISON							
DALLAS COUNTY, TEXAS							
DOWDEY, ANDERSON & ASSOCIATES, INC. 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694							
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET	
MMP	MMP	JCR	10/23/06	1" = 40'	06010	1	1



WARNING!!!
EXISTING UNDERGROUND UTILITIES
FIELD VERIFY
LOCATION PRIOR
TO CONSTRUCTION
OR EXCAVATION

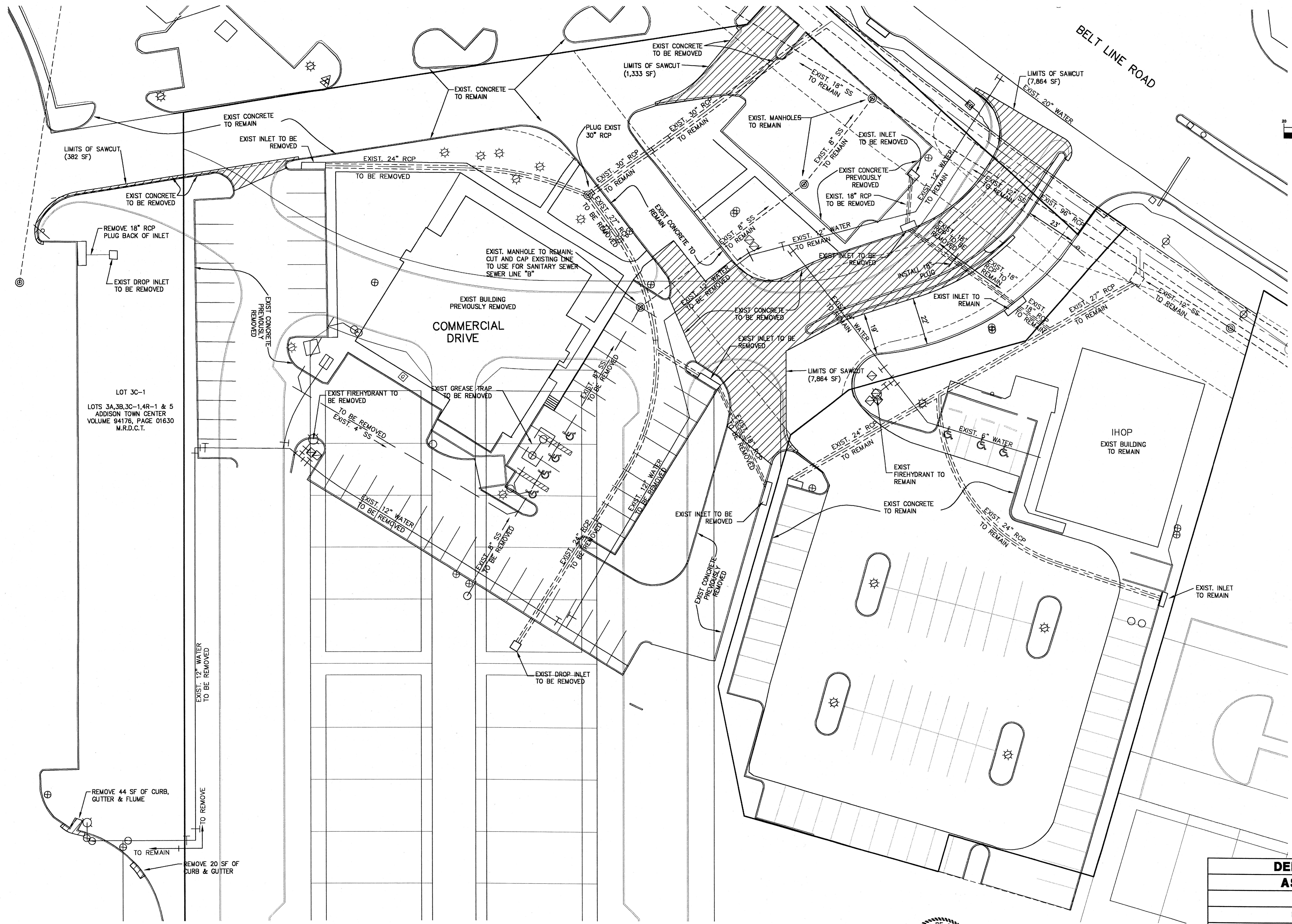


DEMOLITION PLAN							
ASBURY CIRCLE							
TOWN OF ADDISON							
DALLAS COUNTY, TEXAS							
DOWDEY, ANDERSON & ASSOCIATES, INC. 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694							
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JCR	MMP	JCR	8/28/06	1" = 20'	06010	1	



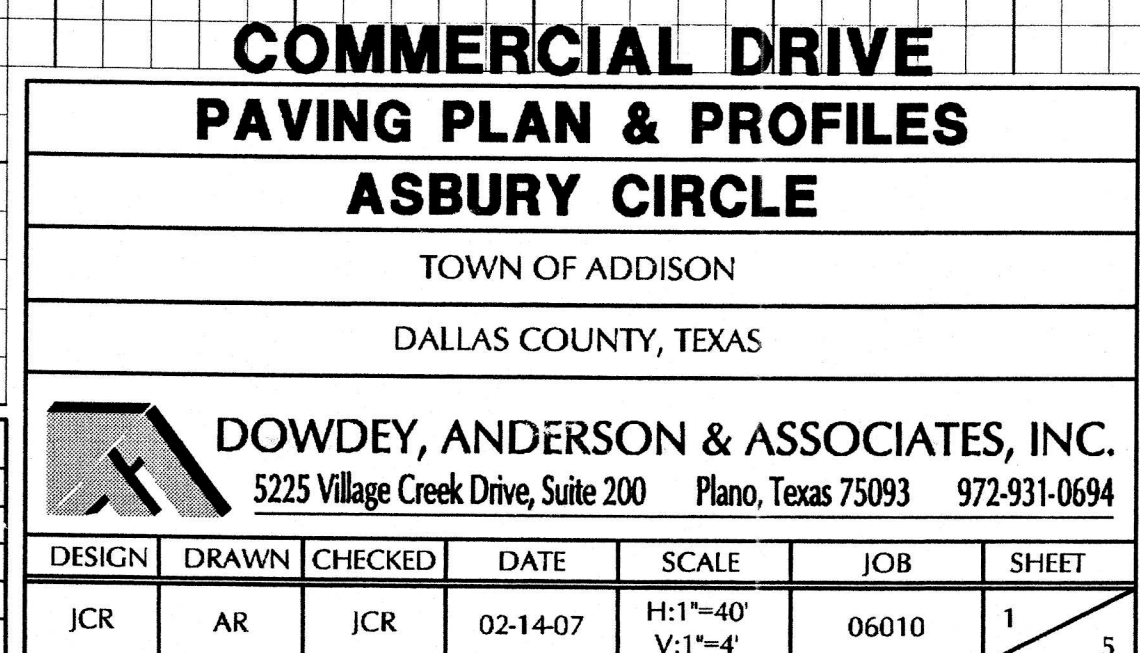
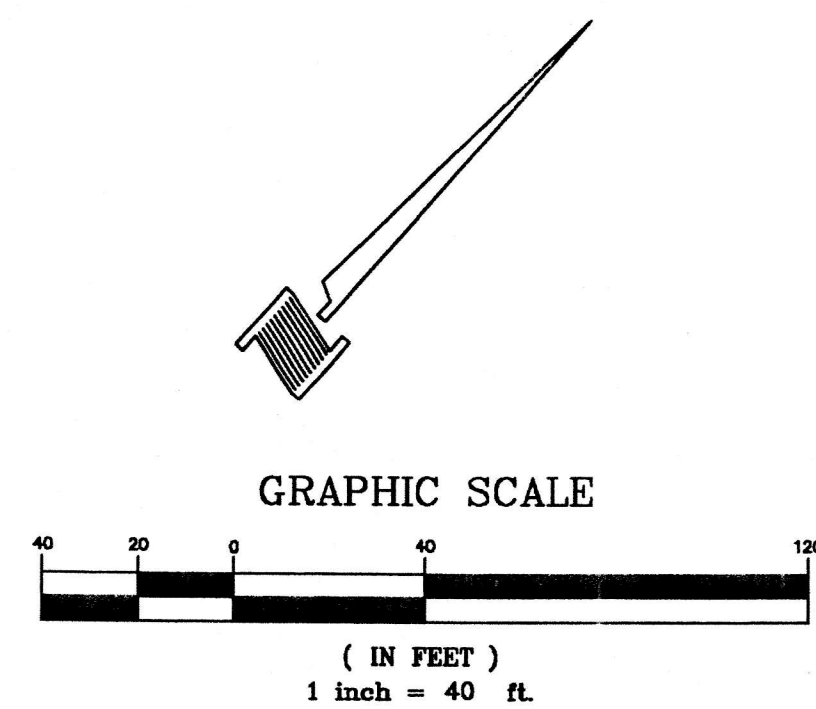
THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272
J. Casey Ross 9/25/07

NO.	DATE	BY	REVISION



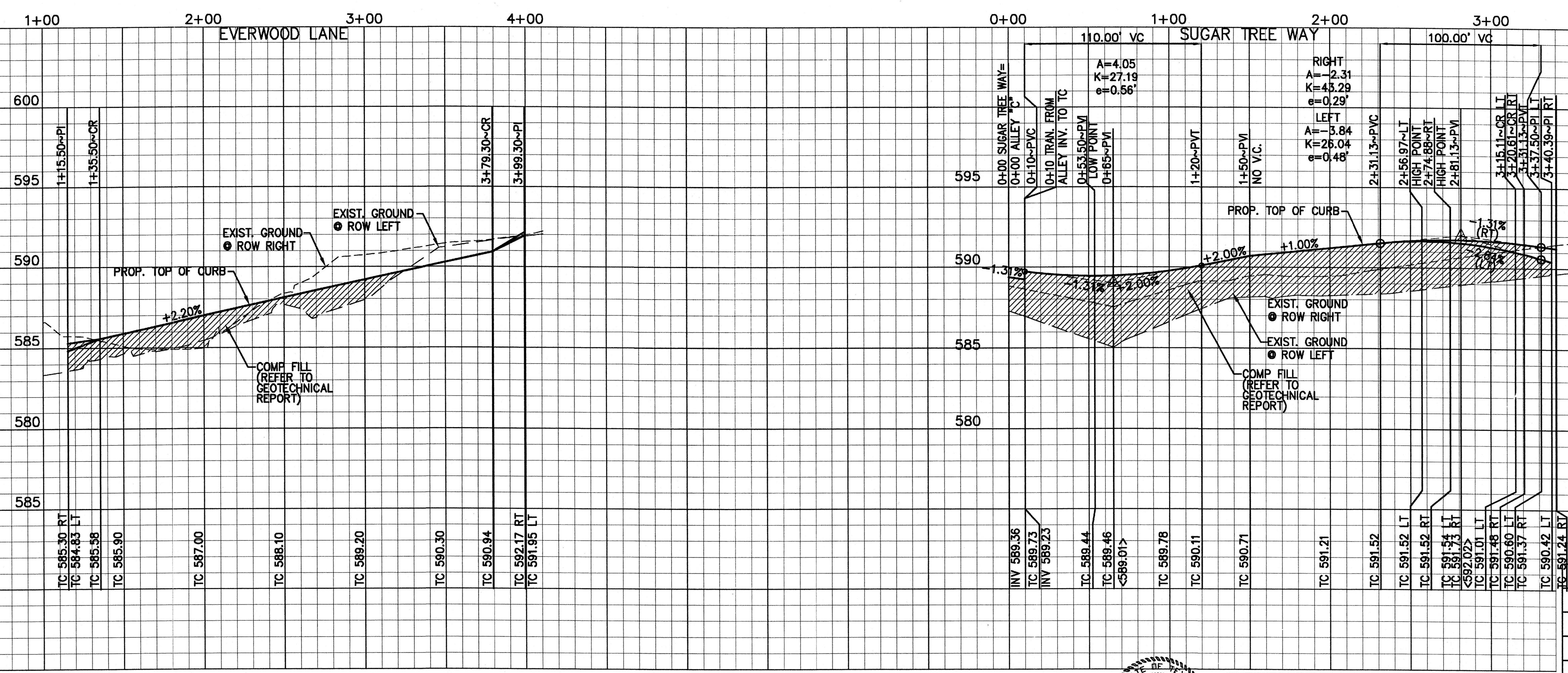
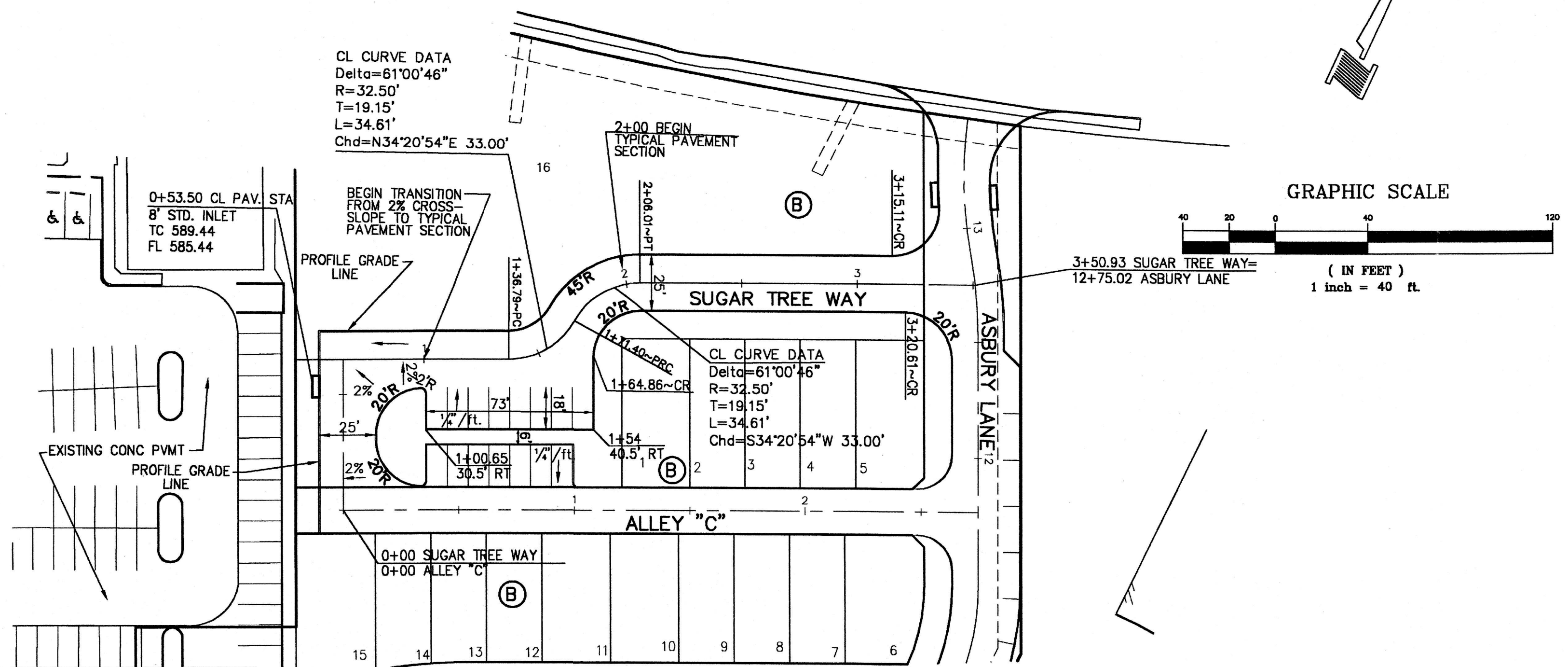
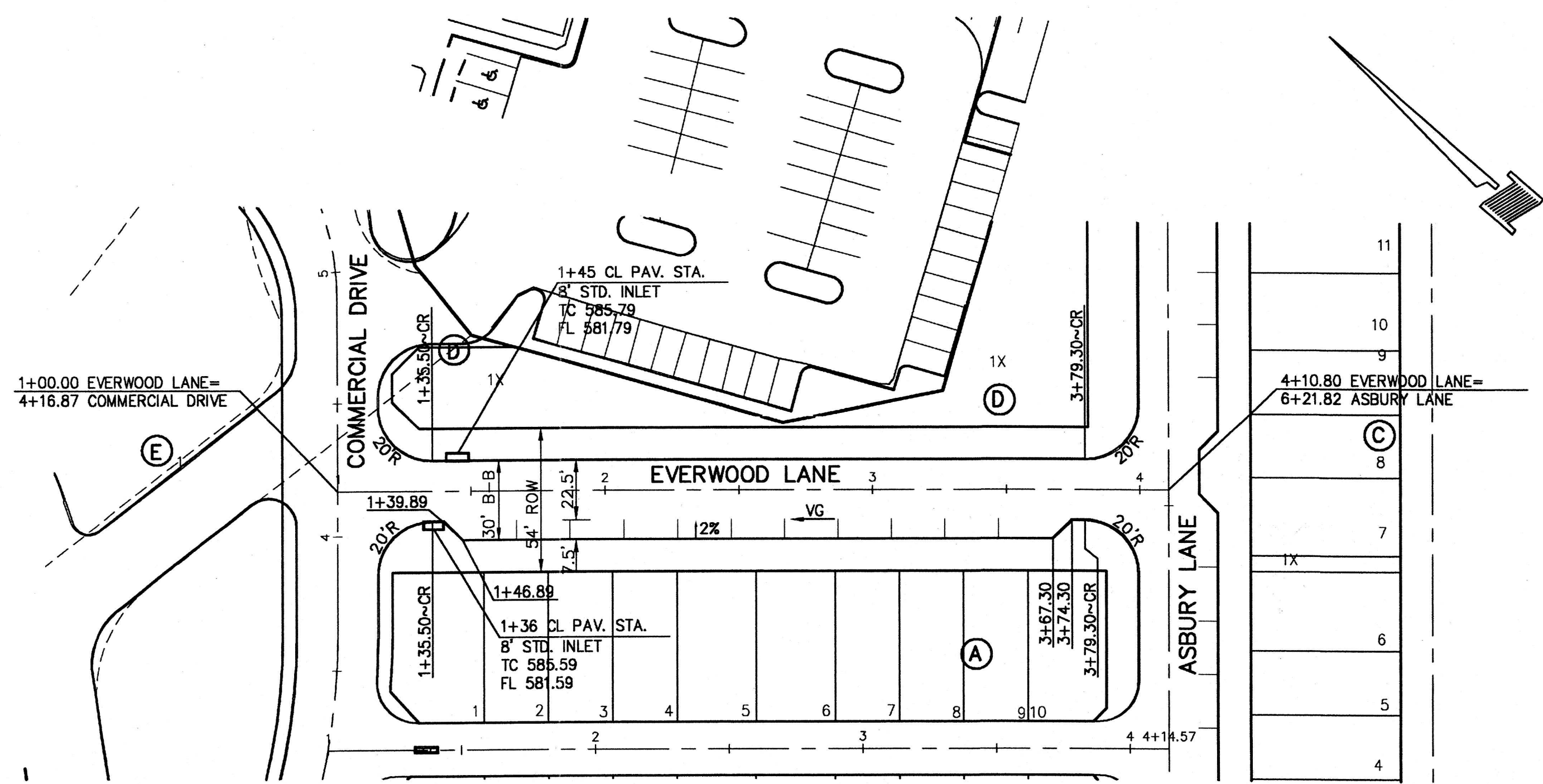
BENCHMARKS:
CITY OF ADDISON BENCHMARK NO. 13:
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET
AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR
BOULEVARD.
ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:
SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
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ELEVATION = 627.93'



STATE OF TEXAS
J. CASEY ROSS
97272
PROFESSIONAL ENGINEER

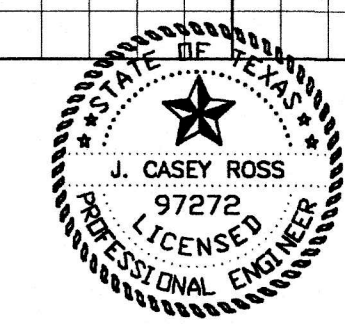
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NO. 37272
J. Casey Ross 9/25/07



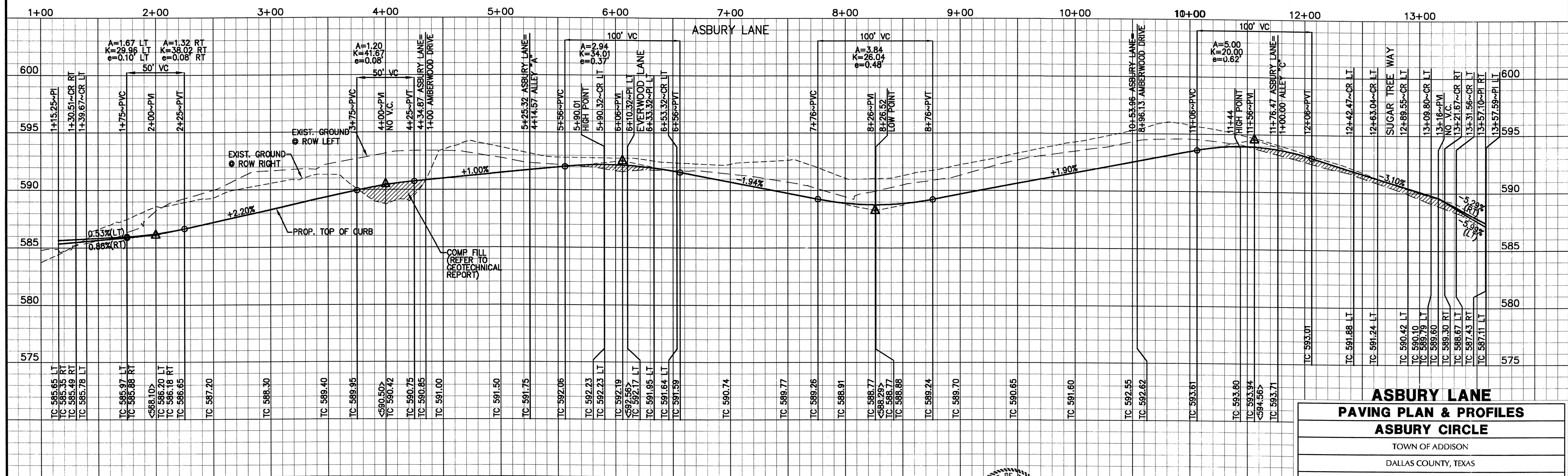
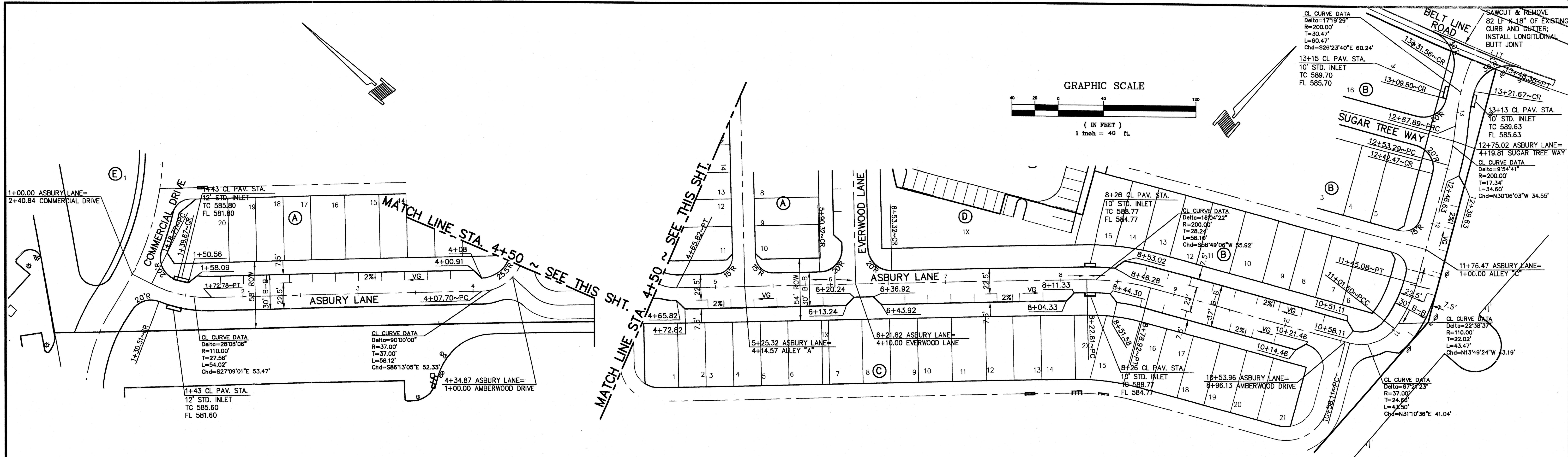
NO.	DATE	BY	REVISION

**EVERWOOD LANE AND
SUGAR TREE WAY
PAVING PLAN & PROFILES
ASBURY CIRCLE**

TOWN OF ADDISON
DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	02-14-07	H:1"=40' V:1"=4'	06010	2



BENCHMARKS:

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ASBURY LANE

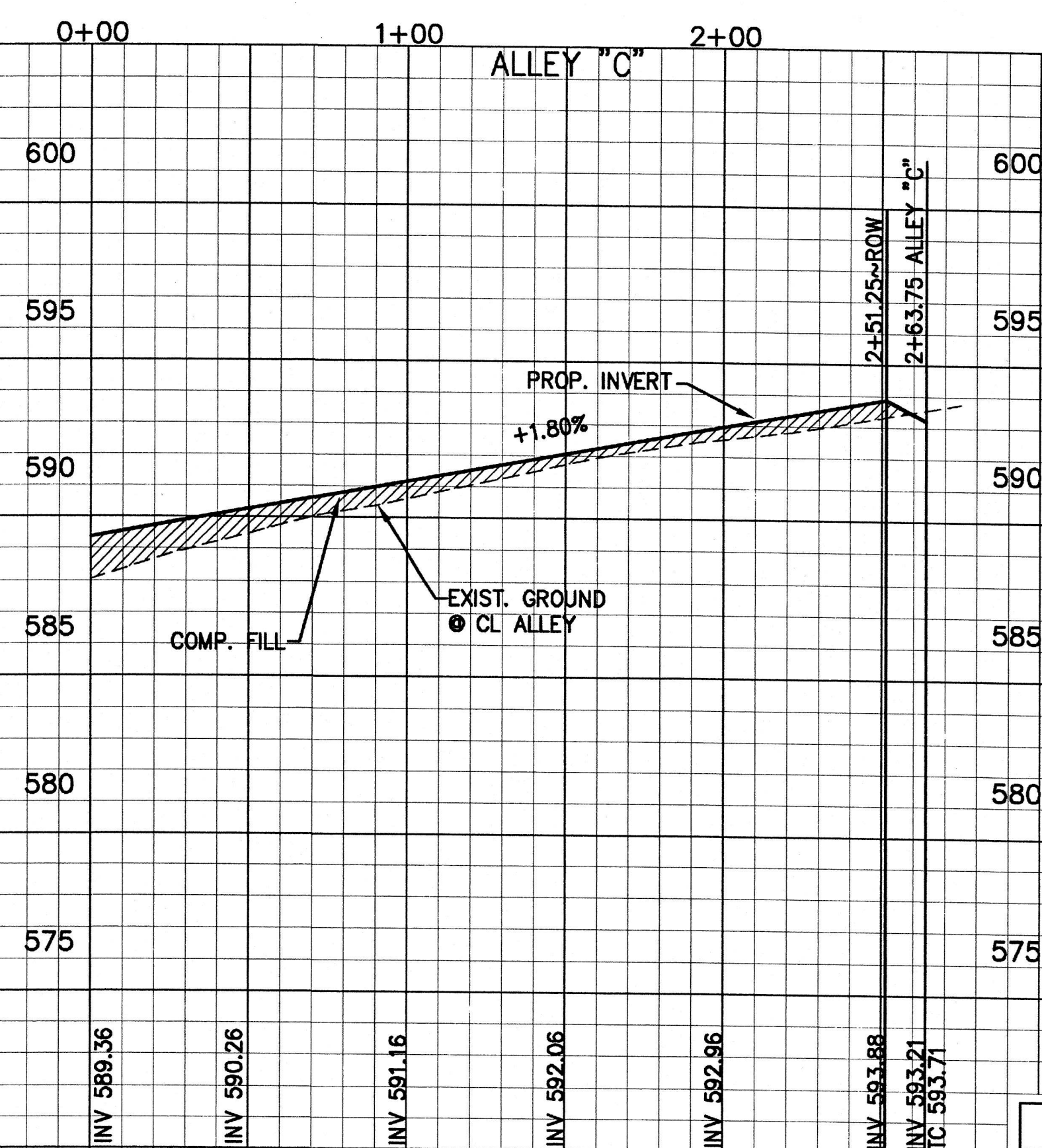
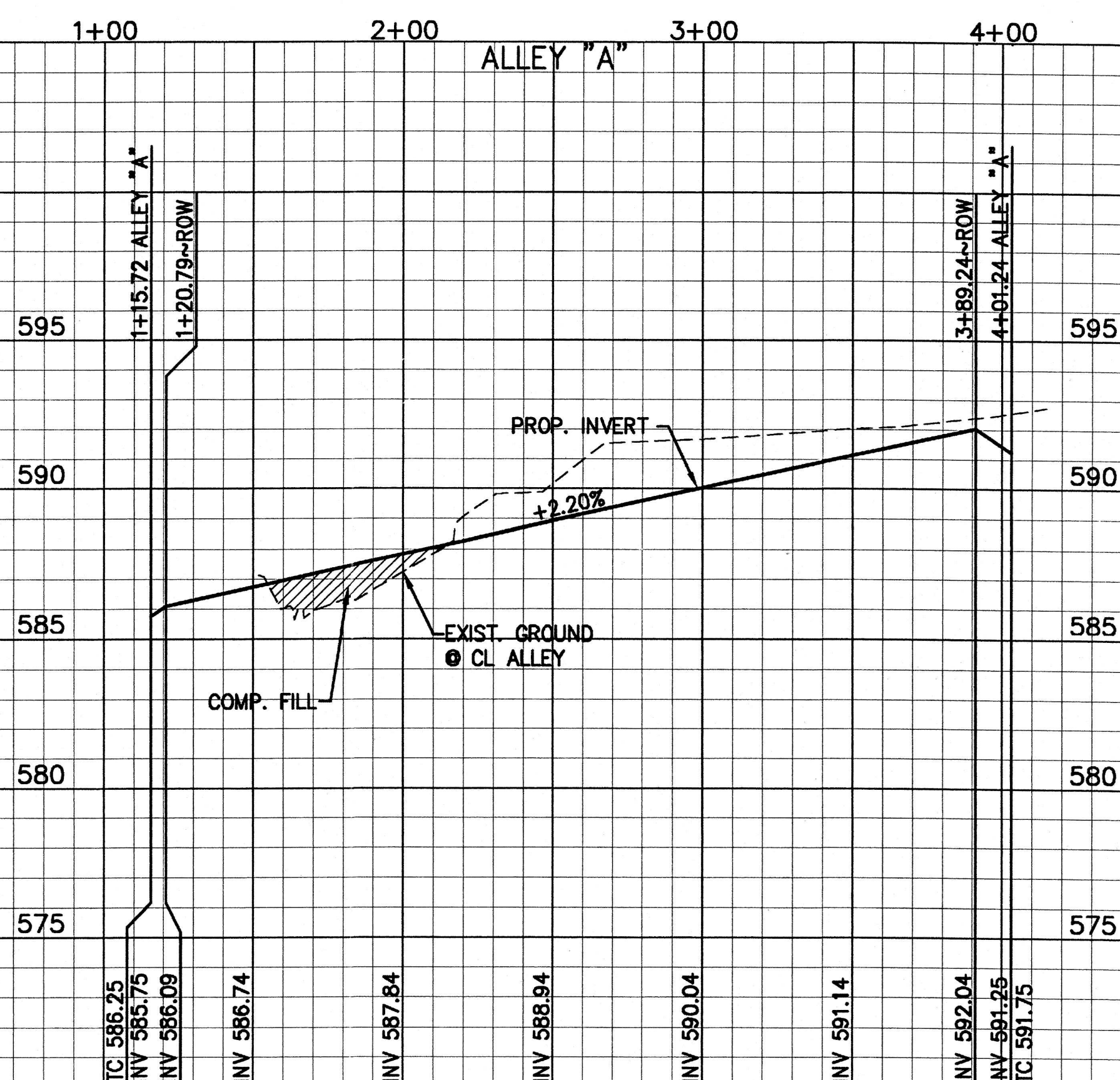
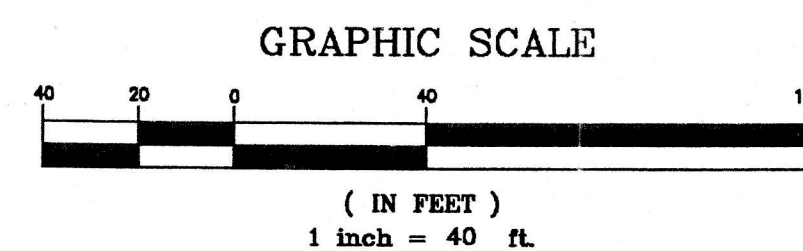
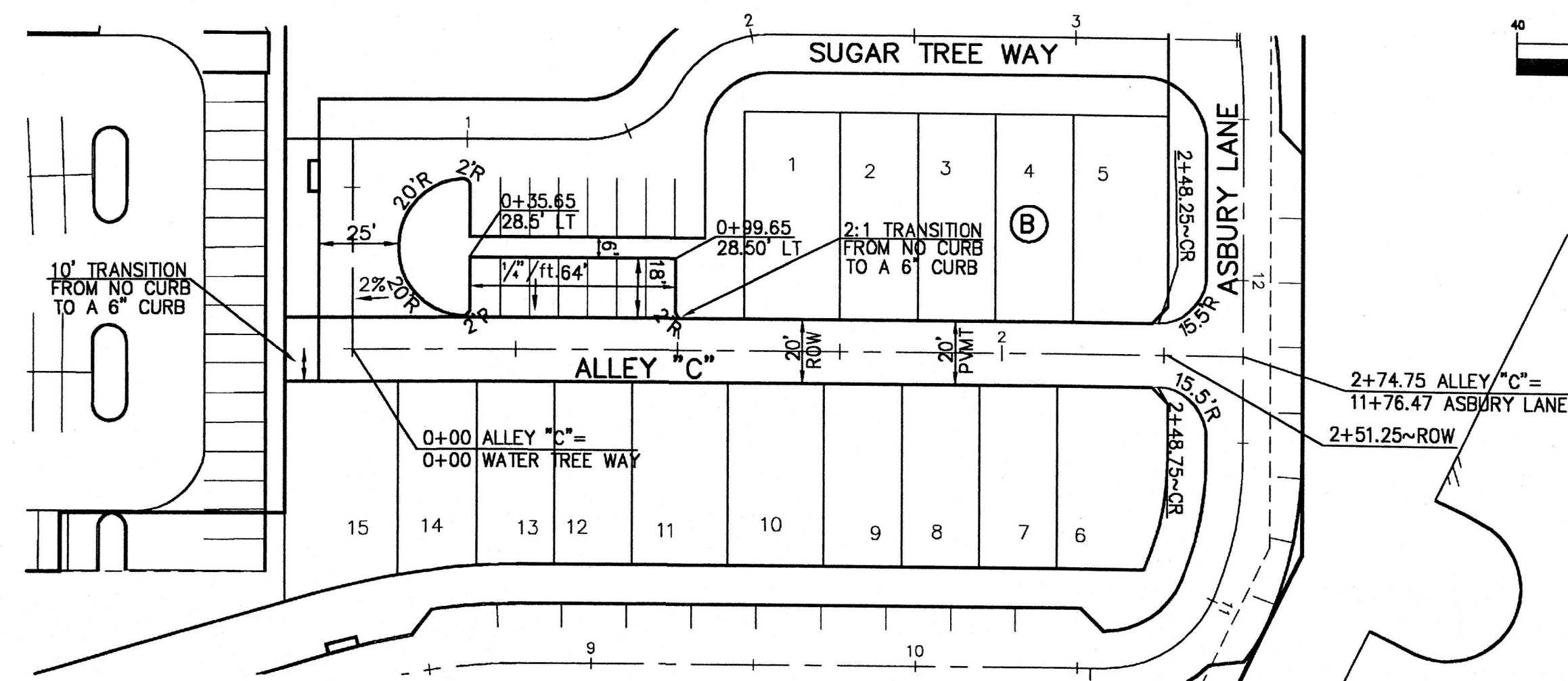
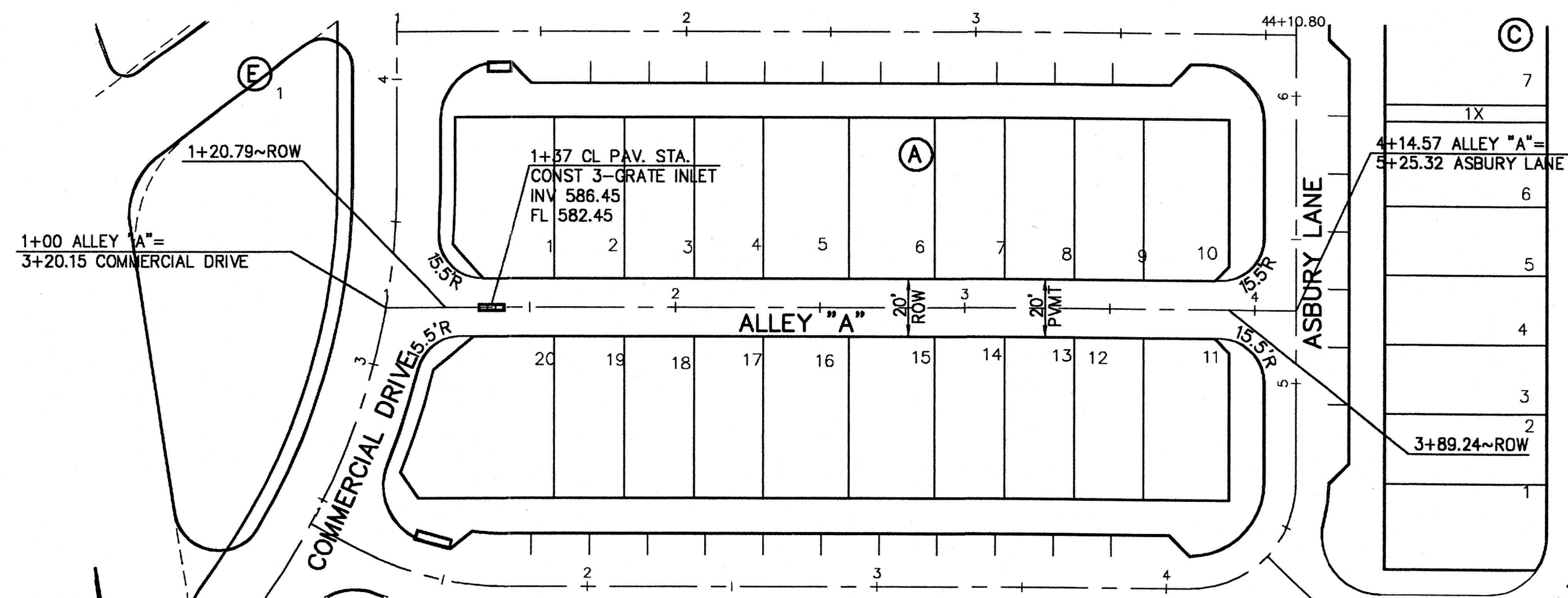
PAVING PLAN & PROFILES

ASBURY CIRCLE

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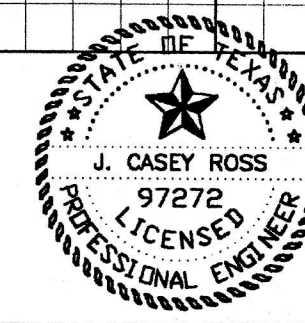
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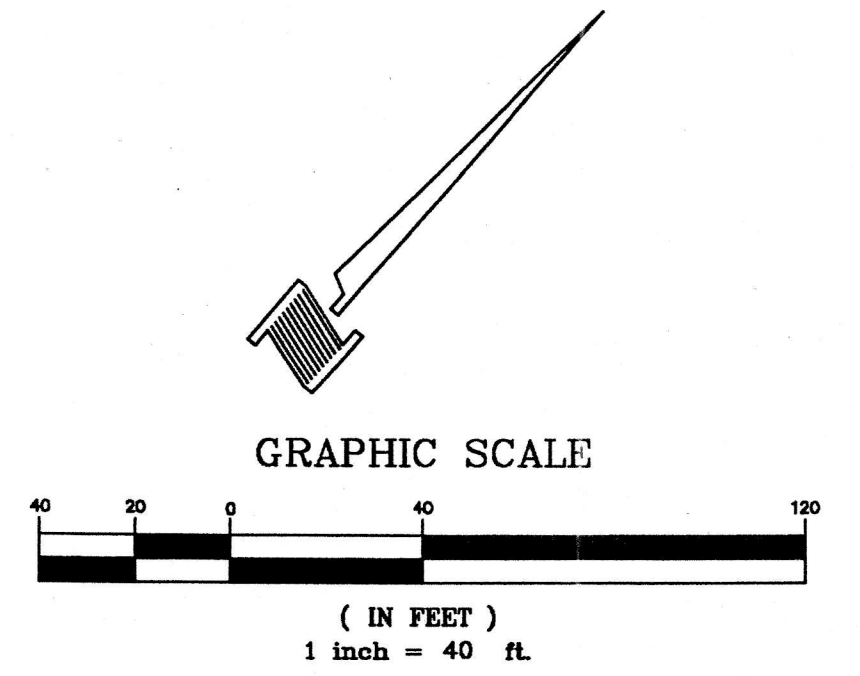
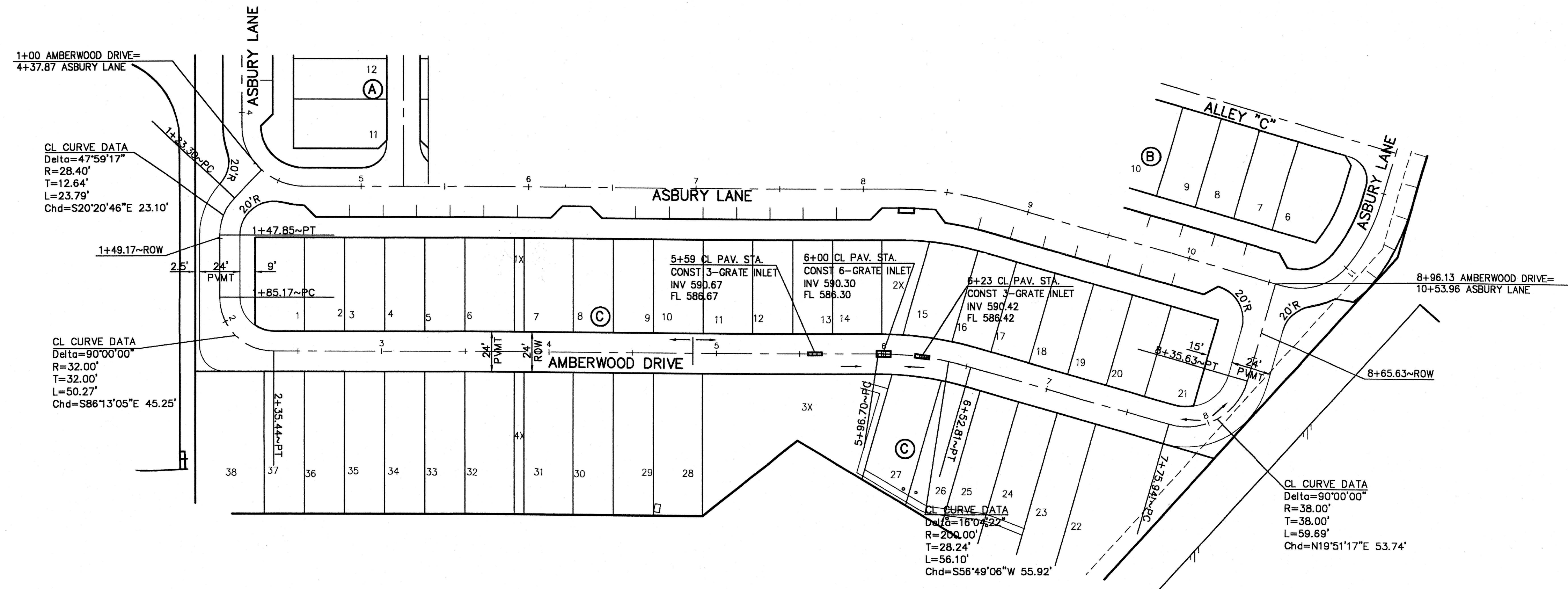
ALLEY 'A' & ALLEY 'C' PAVING PLAN & PROFILES ASBURY CIRCLE

TOWN OF ADDISON
DALLAS COUNTY, TEXAS

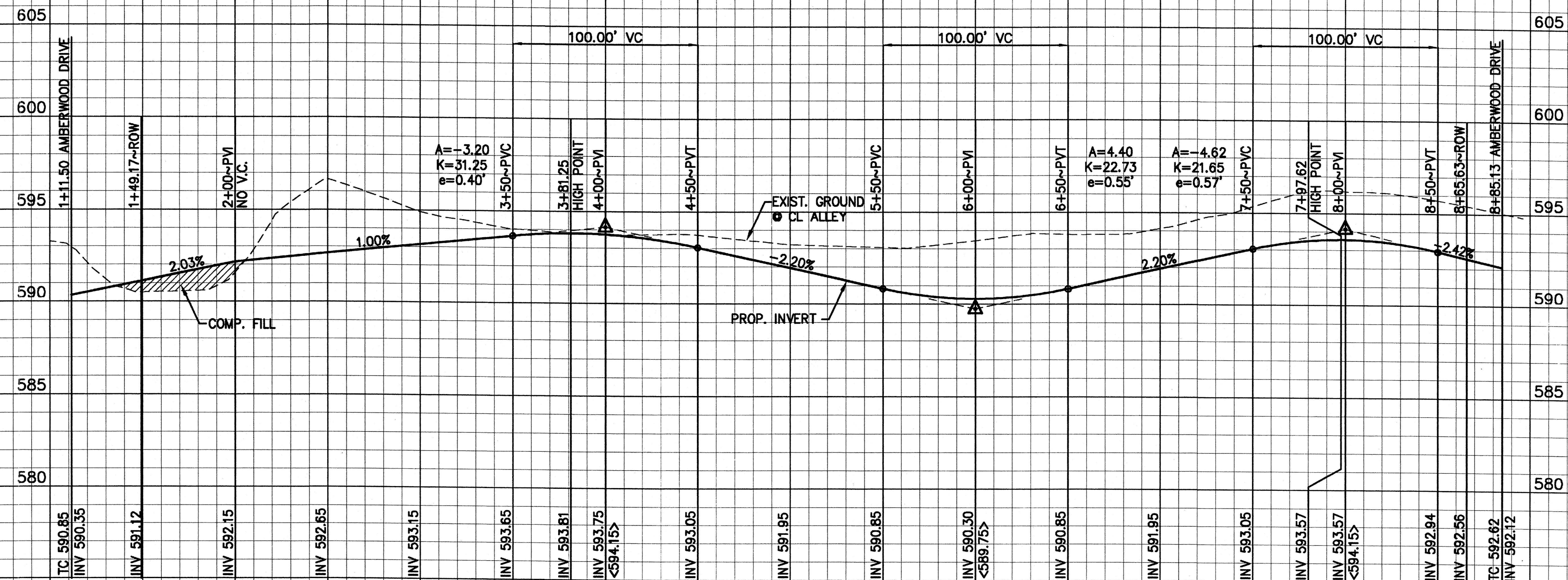


DOWDEY, ANDERSON & ASSOCIATES, INC.
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1+00 2+00 3+00 4+00 5+00 6+00 7+00 8+00
AMBERWOOD DRIVE

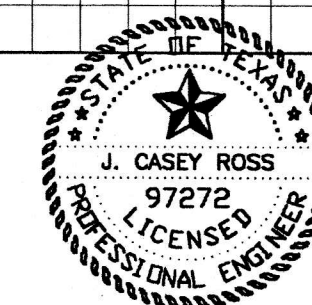
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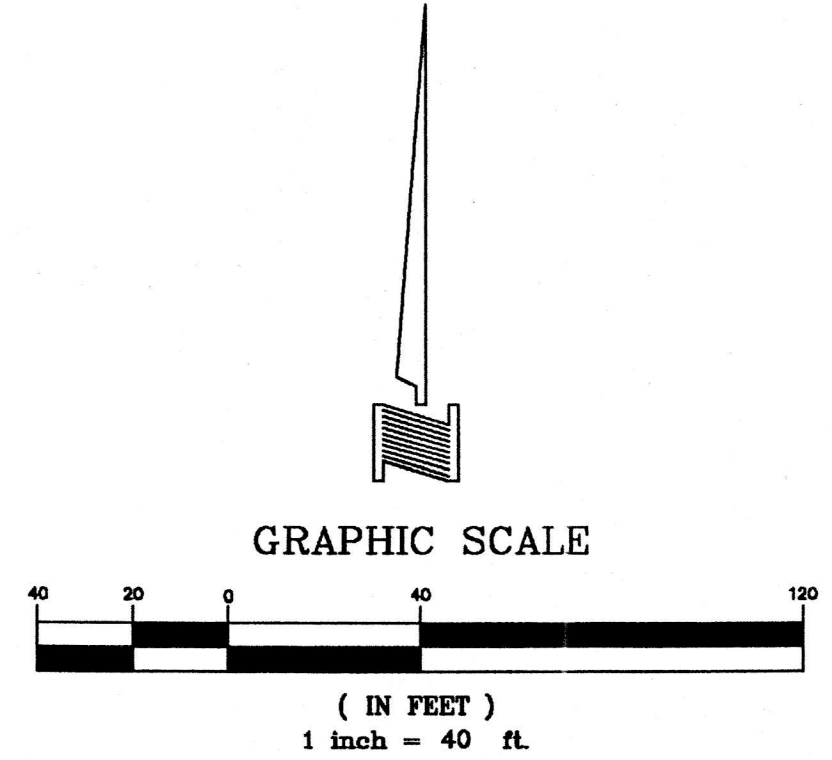
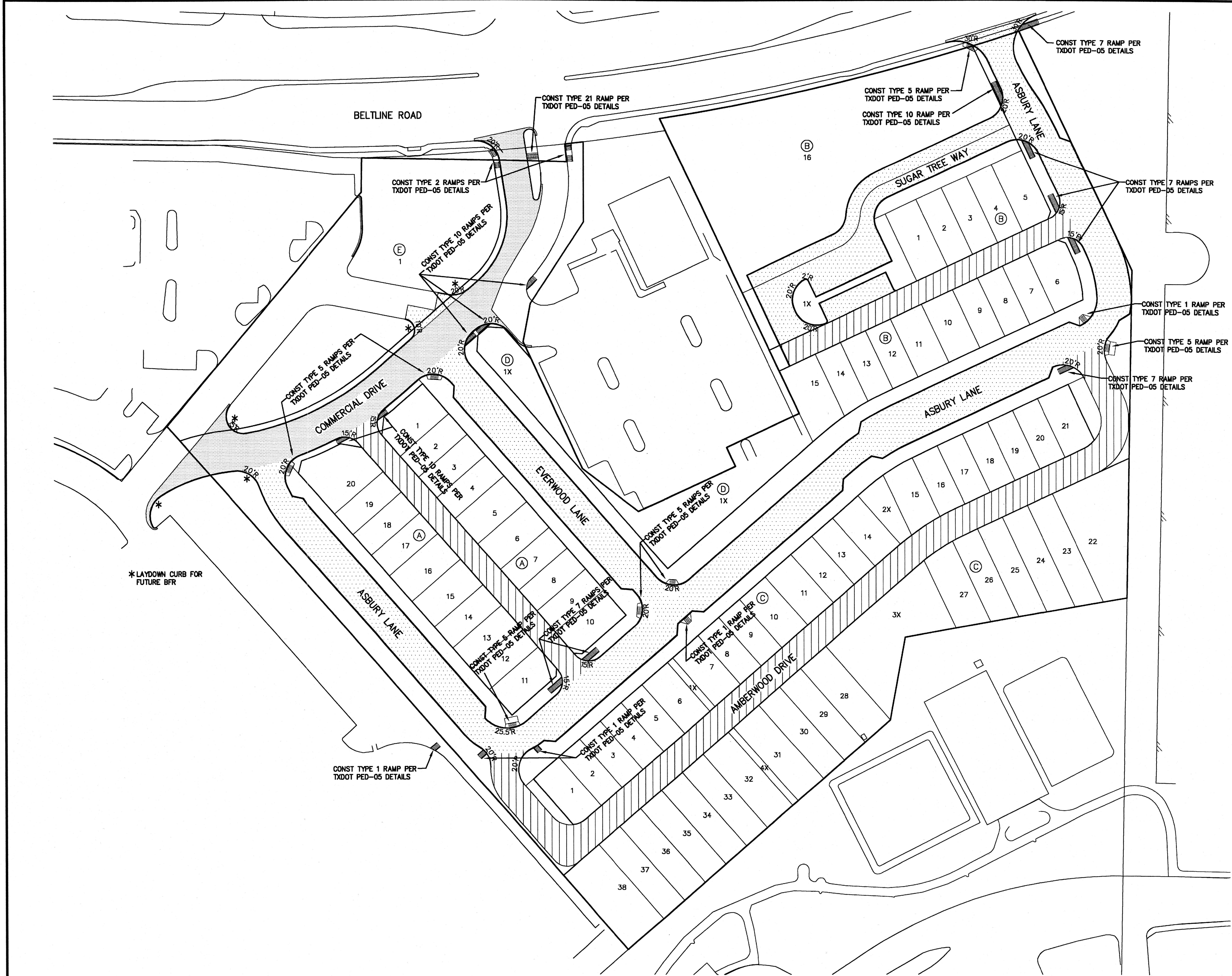
**AMBERWOOD DRIVE
PAVING PLAN & PROFILES
ASBURY CIRCLE**

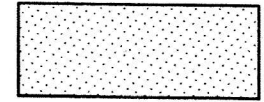


TOWN OF ADDISON
DALLAS COUNTY, TEXAS



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5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

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JCR	AR	JCR	02-14-07	H: 1"=40' V: 1"=4'	06010	5



-  COMMERCIAL DRIVE PAVEMENT SECTION
(REFERENCE PAVING DETAIL SHEET)
-  23' B-B PAVEMENT SECTION
(REFERENCE PAVING DETAIL SHEET)
-  ALLEY PAVEMENT SECTION
(REFERENCE PAVING DETAIL SHEET)

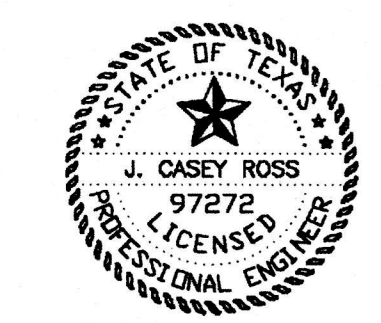
NOTE:
REFERENCE HARDSCAPE PLANS (SHEET L1.1 TO L1.3)
FOR SIDEWALK LOCATIONS. REFERENCE PLATE 12 FOR
BRICK SIDEWALK INSTALLATION DETAILS.

BARRIER FREE RAMP TOTALS:
 TYPE 1 - 5
 TYPE 2 - 2
 TYPE 5 - 7
 TYPE 7 - 7
 TYPE 10 - 6
 TYPE 21 - 1


BENCHMARKS:
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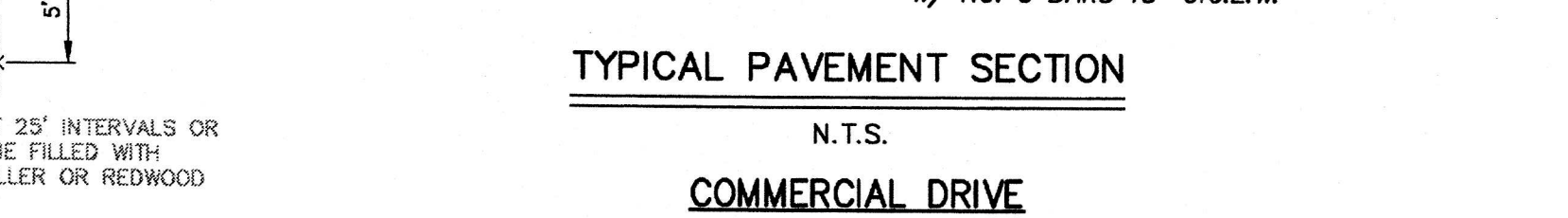
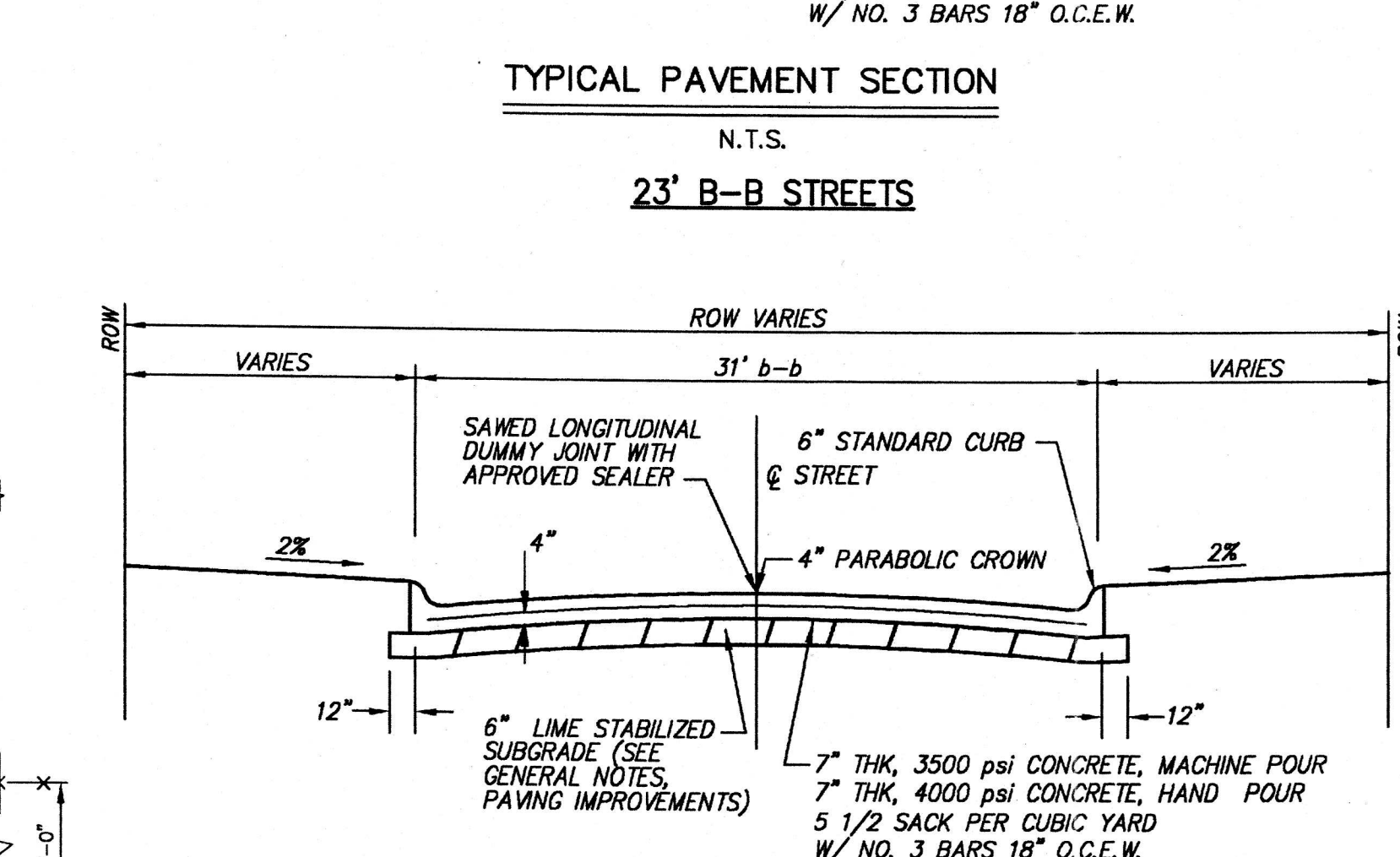
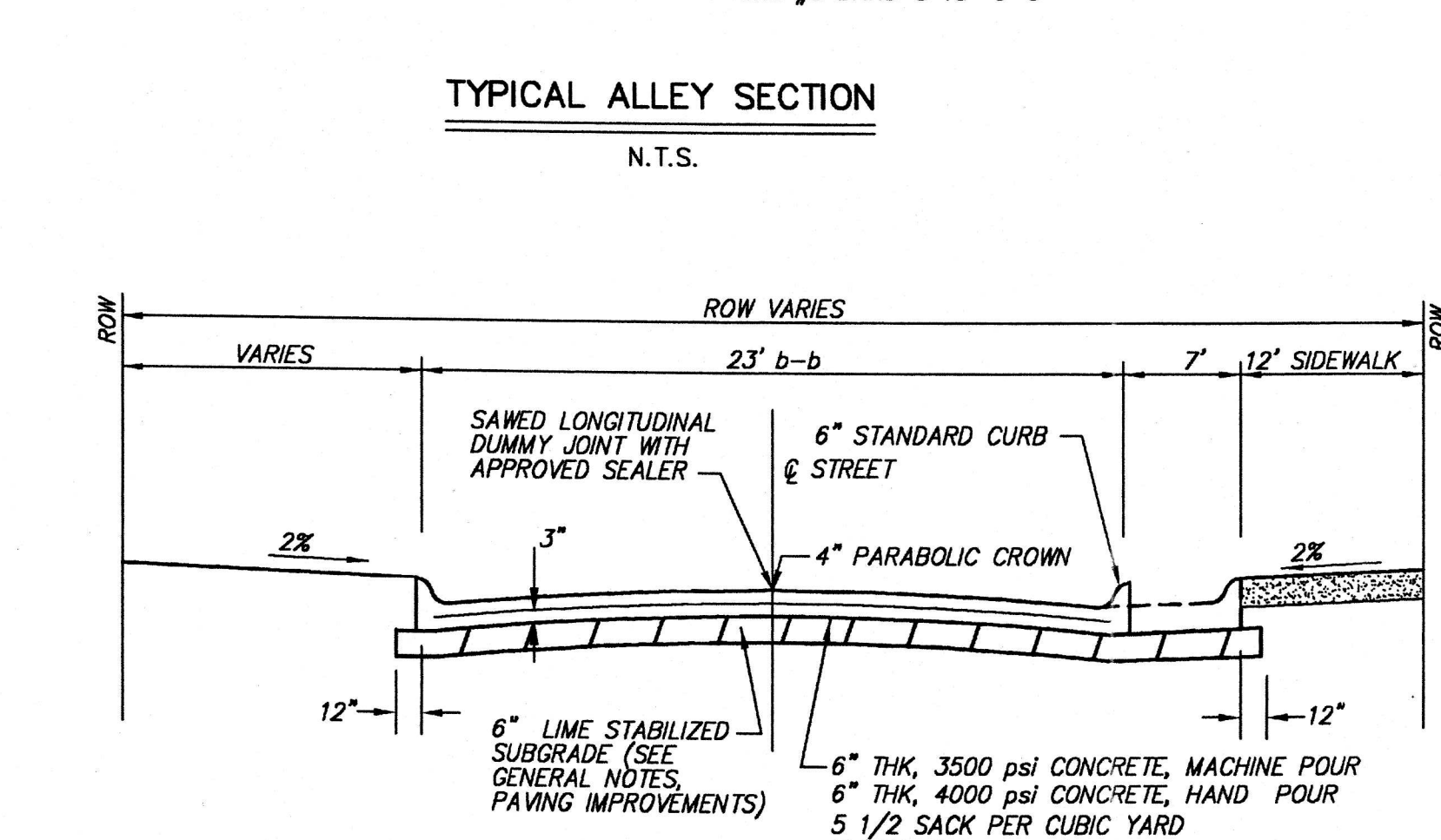
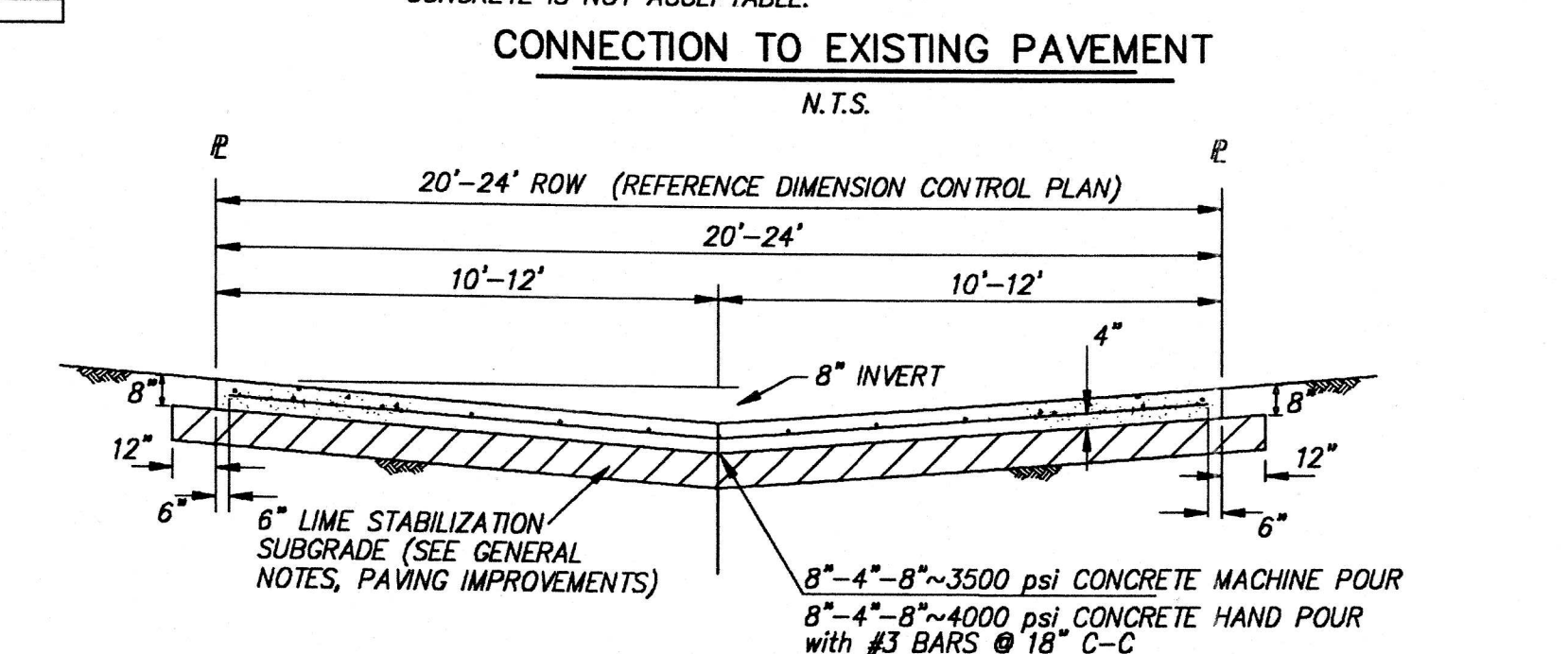
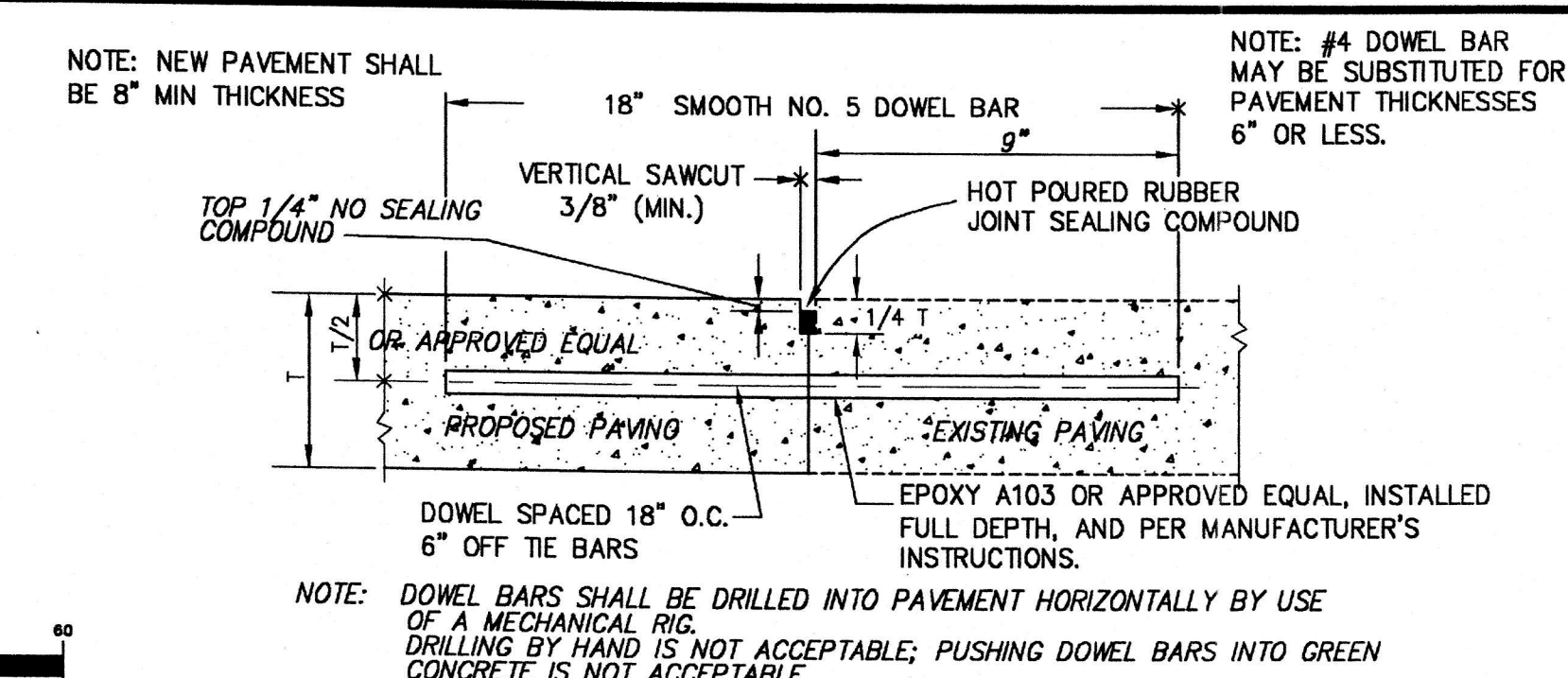
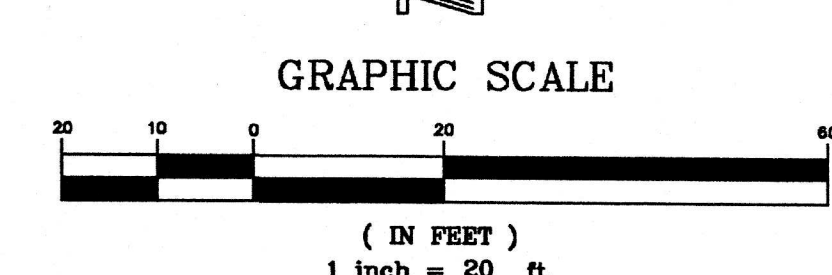
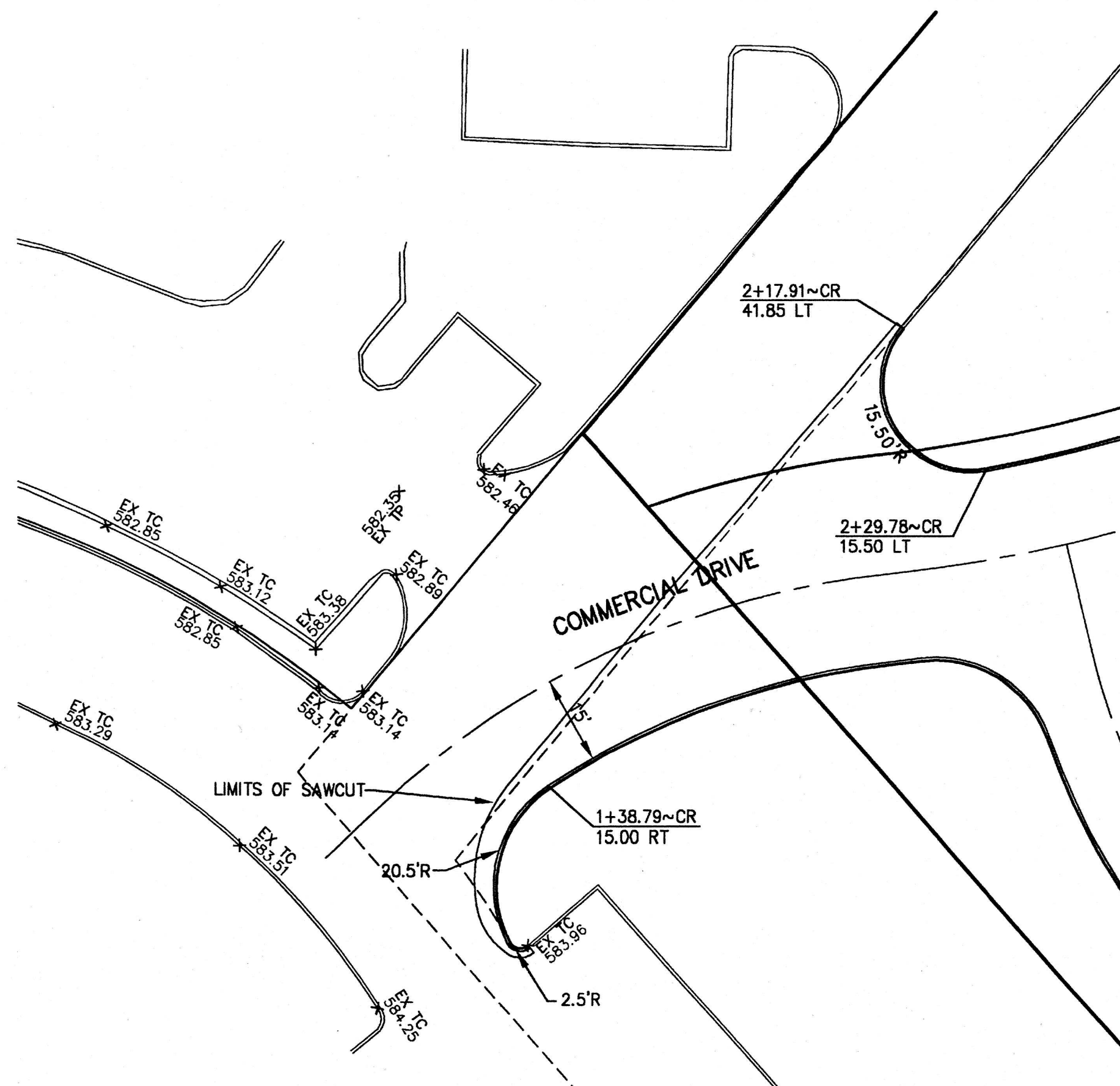
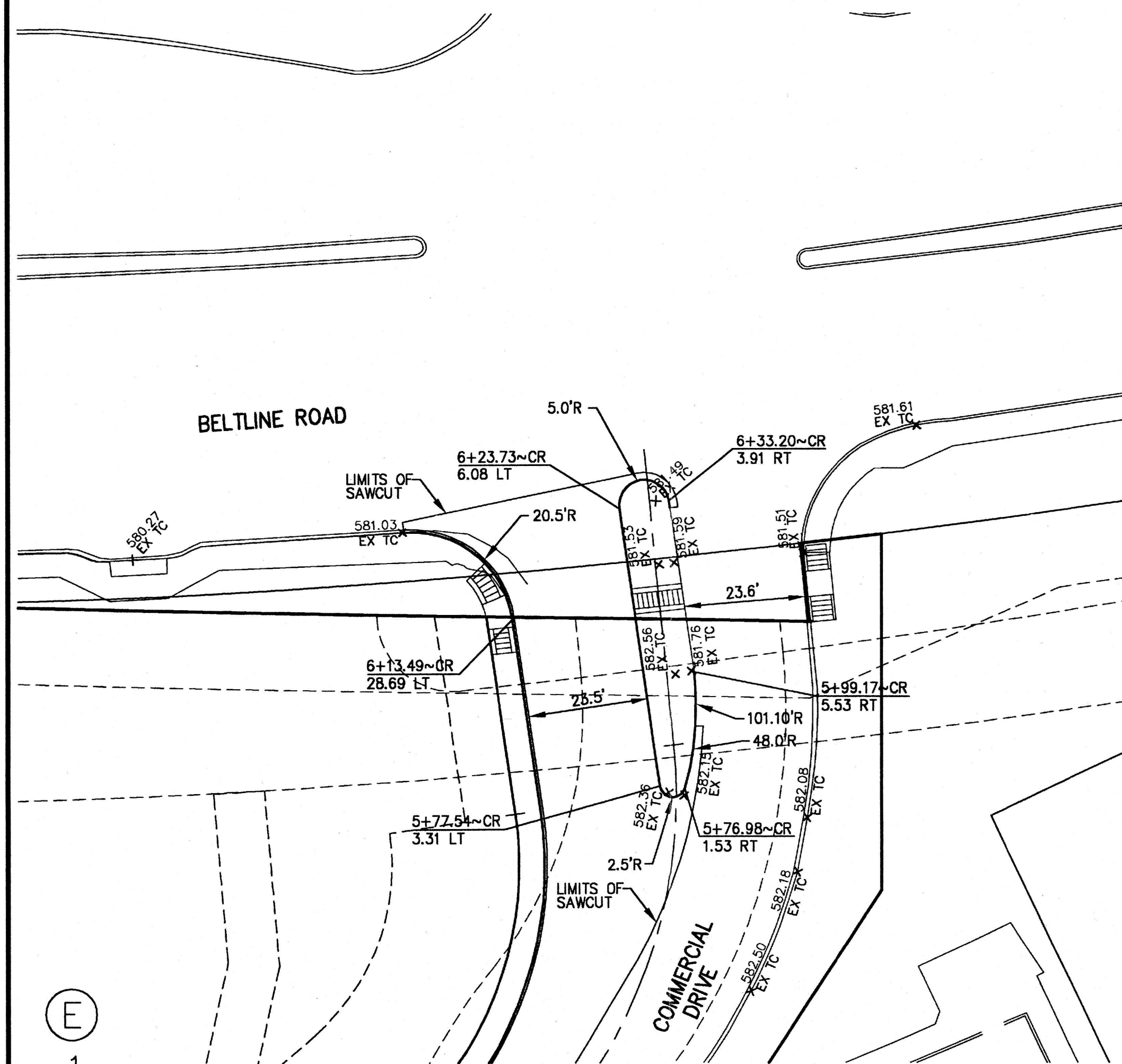
CITY OF ADDISON BENCHMARK NO. 18:
 SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
 NO. 97272
J. Casey Ross 9/25/07

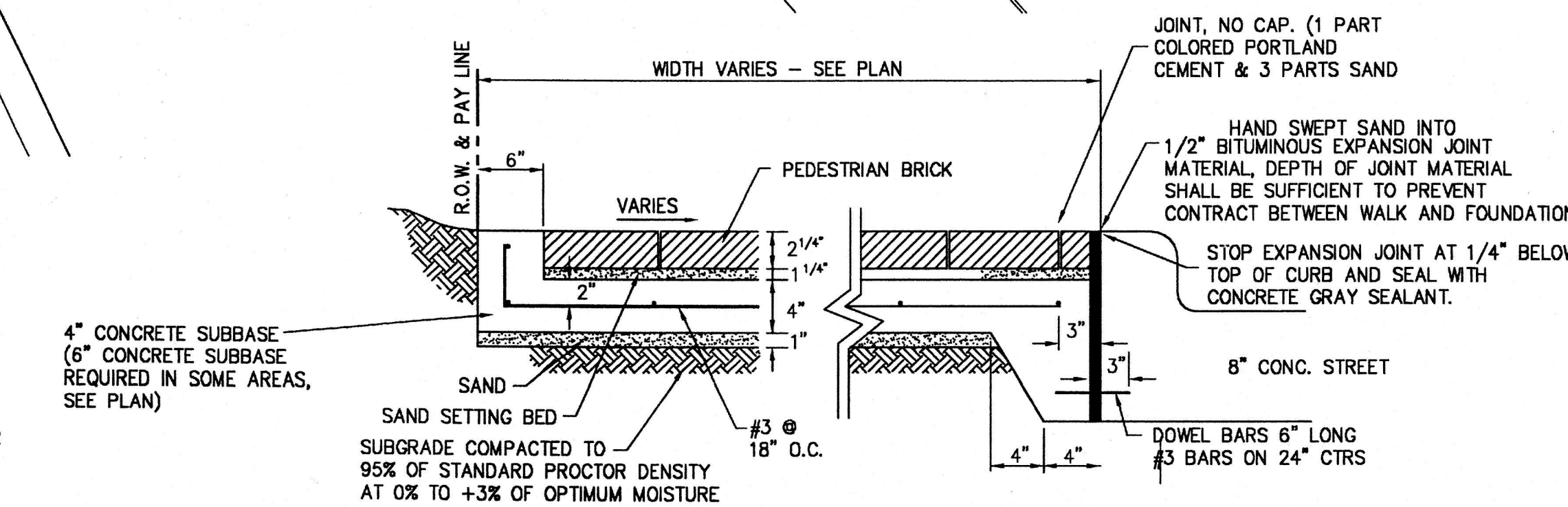


NO.	DATE	BY	REVISION

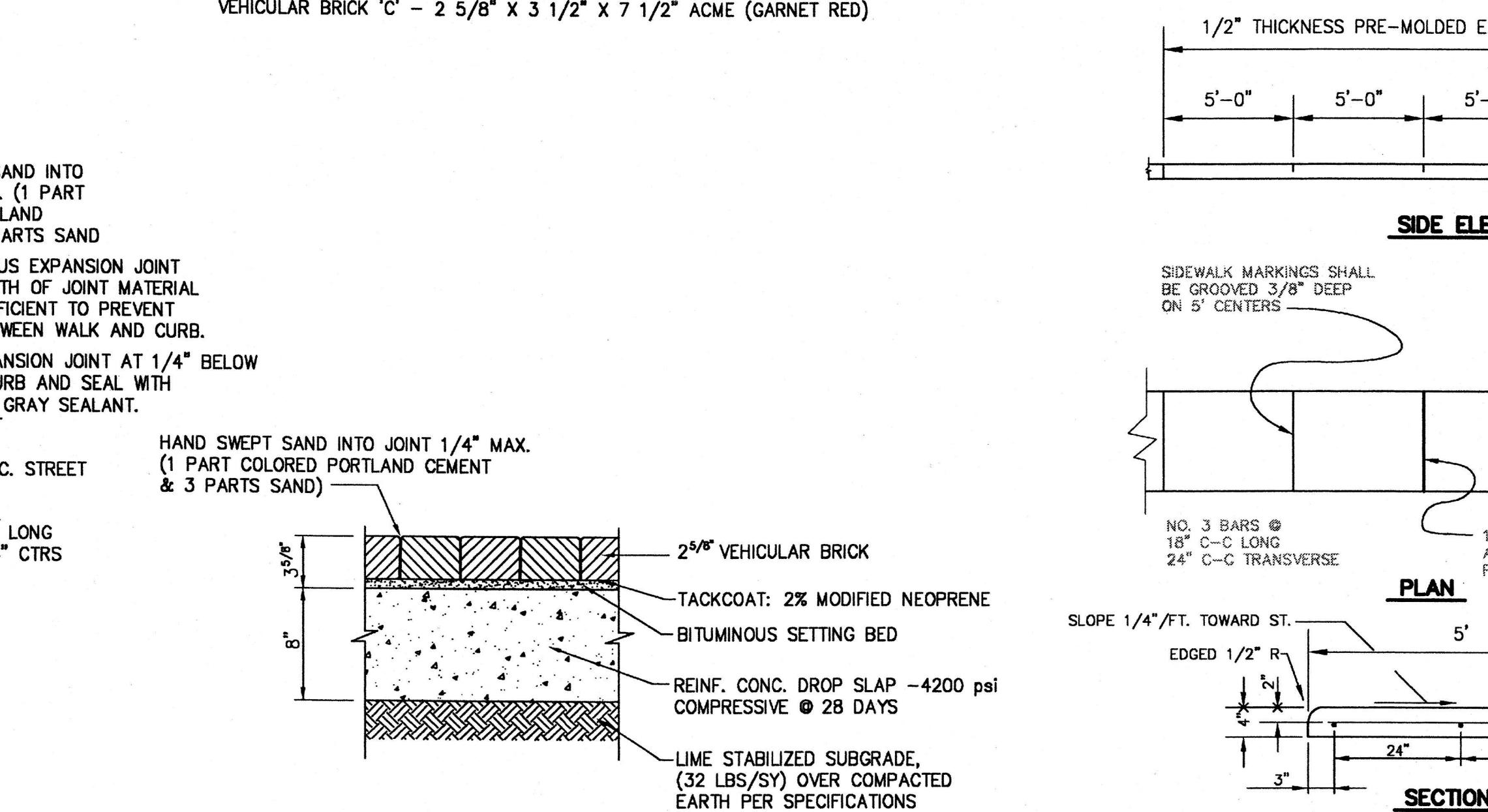
PAVING PLAN							
ASBURY CIRCLE							
TOWN OF ADDISON							
DALLAS COUNTY, TEXAS							
 DOWDEY, ANDERSON & ASSOCIATES, INC. 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694							
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET	
JCR	MMP	JCR	10/20/06	1"=40'	06010	1	



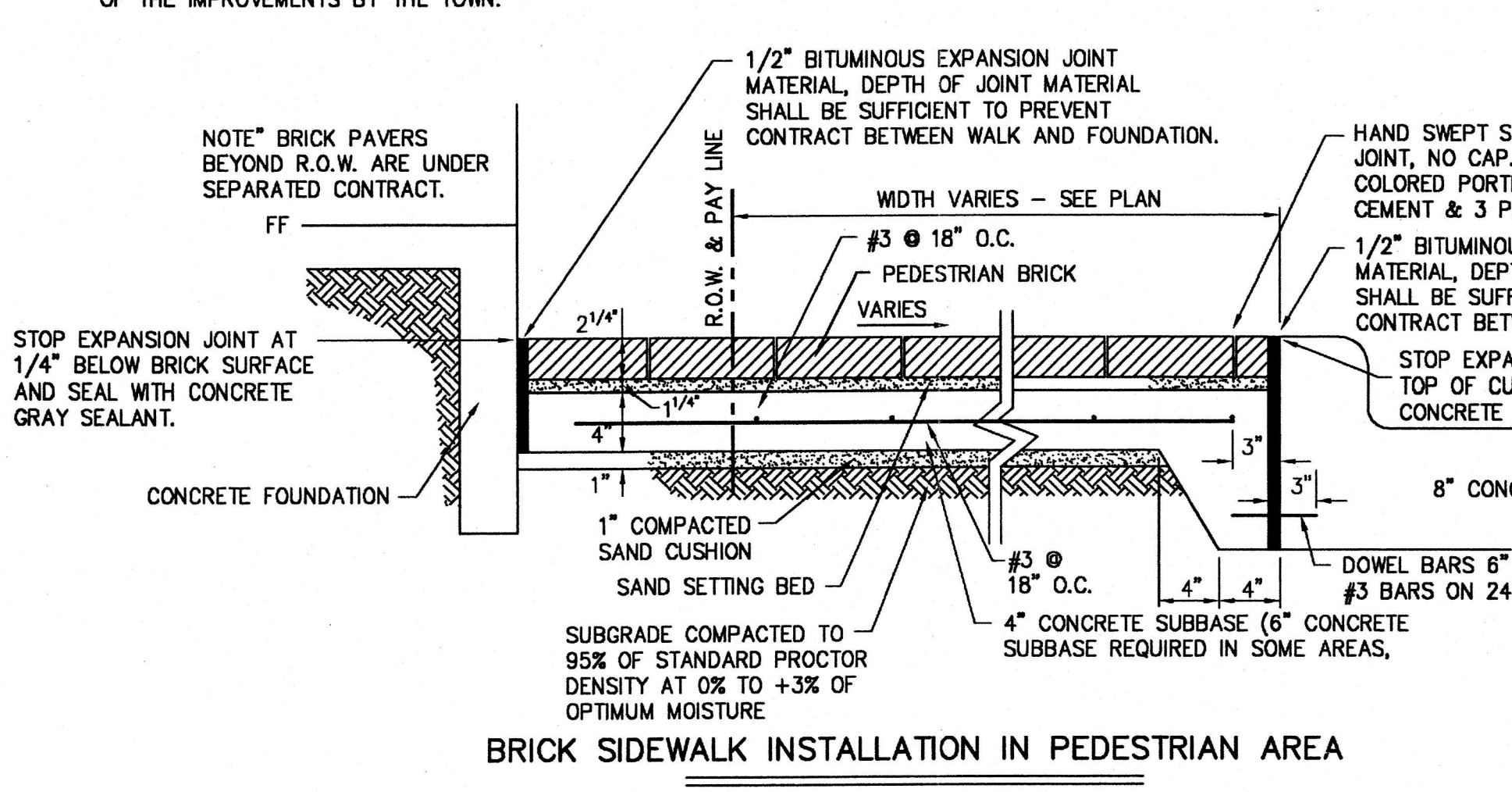
- GENERAL NOTES:**
- PAVING IMPROVEMENTS**
- 1) THE STREET AND ALLEY RIGHT-OF-WAY SHALL BE EXCAVATED FULL WIDTH IN ACCORDANCE WITH THE STREET AND SIDEWALK SECTION TO BE CONSTRUCTED.
 - 2) THE SUBGRADE FOR ALL STREET AND ALLEY PAVING SHALL BE STABILIZED WITH HYDRATED LIME MATERIAL. THE AMOUNT OF LIME MATERIAL SHALL BE 30 LBS/SY COMPACTED TO 95 PERCENT. LABORATORY TESTS MUST BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR APPROVAL. IF NO LABORATORY CONTROL IS USED, THE CONTRACTOR SHALL FURNISH AND PLACE AN AMOUNT OF LIME EQUAL TO SEVEN AND ONE HALF PERCENT (7 1/2%) BY UNIT DRY WEIGHT OF SOIL ESTIMATED AT 95 POUNDS PER CUBIC FOOT, OR 36 POUNDS OF LIME PER SQUARE YARD OF SURFACE AREA TREATED TO A SIX (6) INCH THICKNESS. ALTERNATE METHODS MAY BE USED WHERE RECOMMENDED BY GEOTECHNICAL FIRM, AND APPROVED BY THE TOWN ENGINEER.
 - 3) ALL CONCRETE PAVING FOR STREETS AND ALLEY CONSTRUCTION SHALL HAVE A MINIMUM OF FIVE AND ONE HALF (5 1/2) SACK PER CUBIC YARD AND DEVELOP A STRENGTH OF 3,600 POUNDS PER SQUARE INCH IN 28 DAYS. A FLY ASH CONCRETE BATCH DESIGN MAY BE SUBMITTED FOR APPROVAL ON A SPECIFIC JOB BASIS. THE DESIGN MUST BE SUBMITTED BY A CERTIFIED LAB.
 - 4) ALL ROADWAY EMBANKMENT SHALL BE COMPACTED TO A DRY DENSITY OF 95 PERCENT STANDARD PROCTOR AT OPTIMUM MOISTURE TO +3% OF OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS.
 - 5) ALL STABILIZED LIME TREATED SUBGRADE SHALL BE COMPACTED TO A DENSITY OF 95 PERCENT STANDARD PROCTOR AT OPTIMUM MOISTURE TO +3% OF OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS.
 - 6) TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE SPECIFIED STREET AND ALLEY IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
 - 7) THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE TOWN TO RUN TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE IMPROVEMENTS BY THE TOWN.



N.T.S.



N.T.S.



N.T.S.

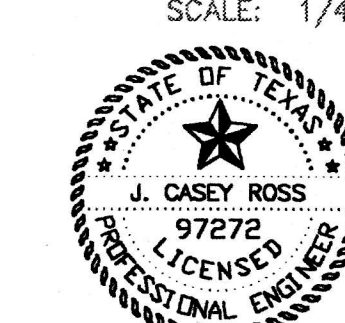
BENCHMARKS:

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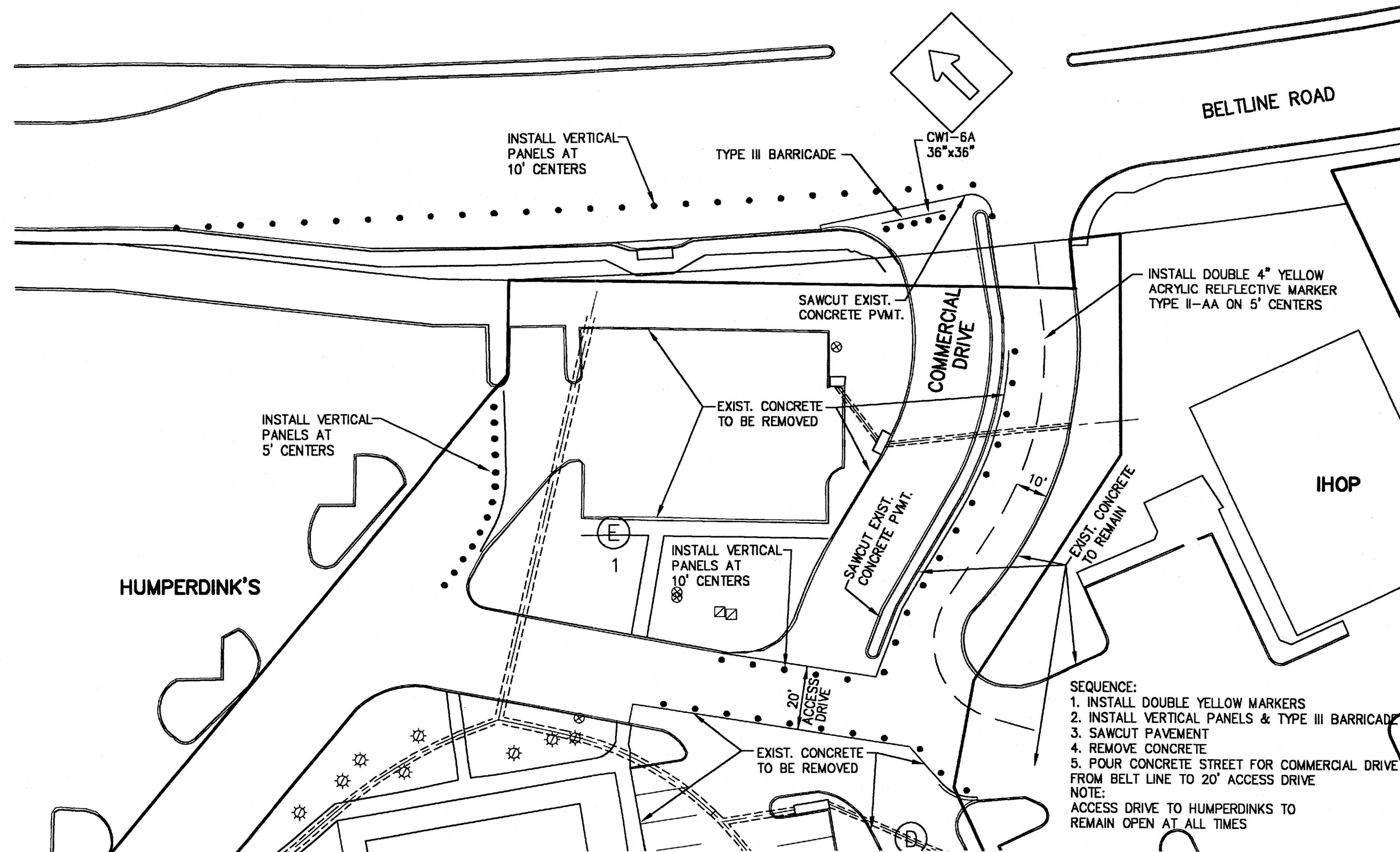
J. Casey Ross 9/25/07



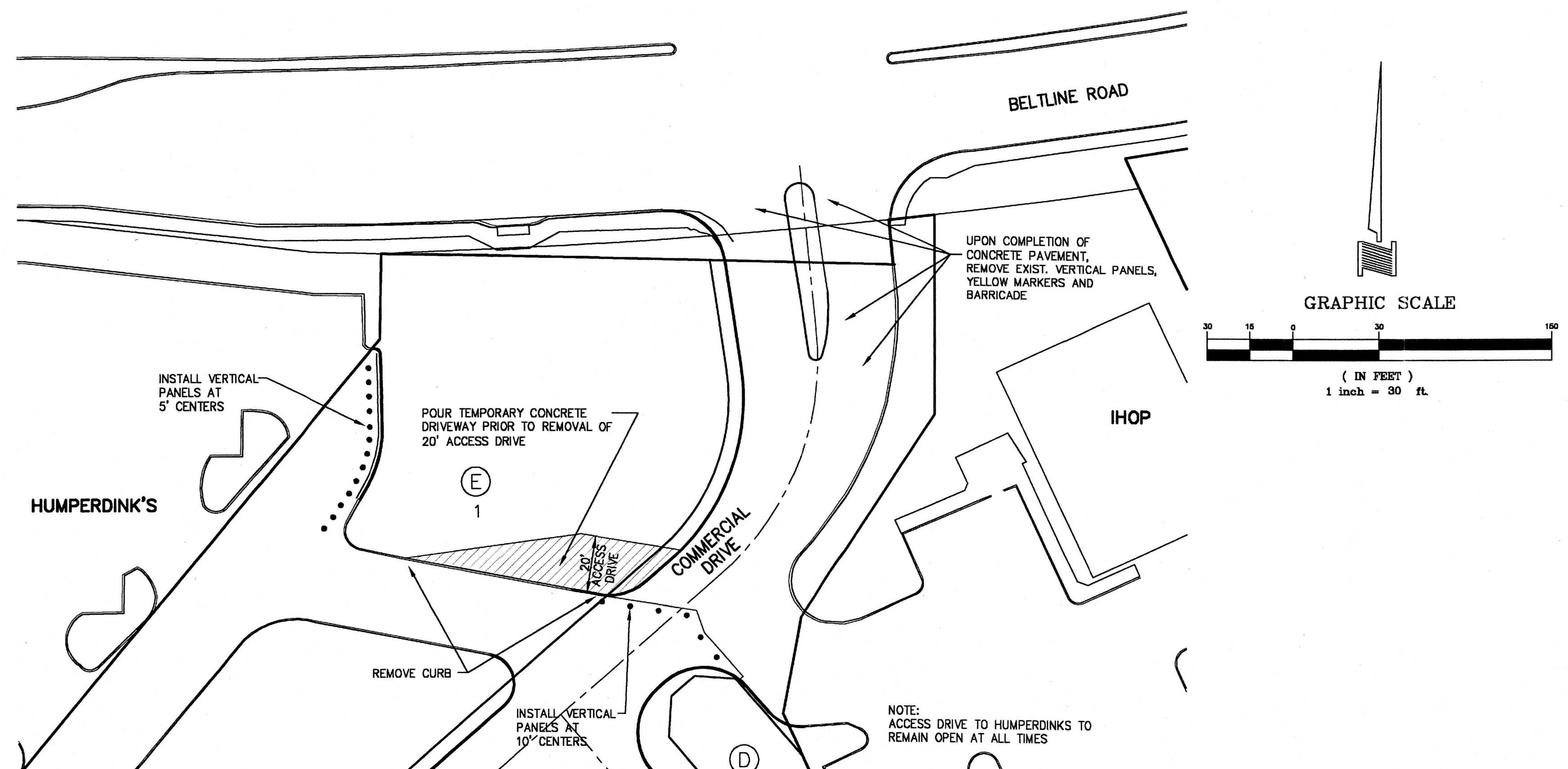
NO.	DATE	BY	REVISION

PAVING DETAILS						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	MMP	JCR	8/28/06	1" = 20'	06010	1

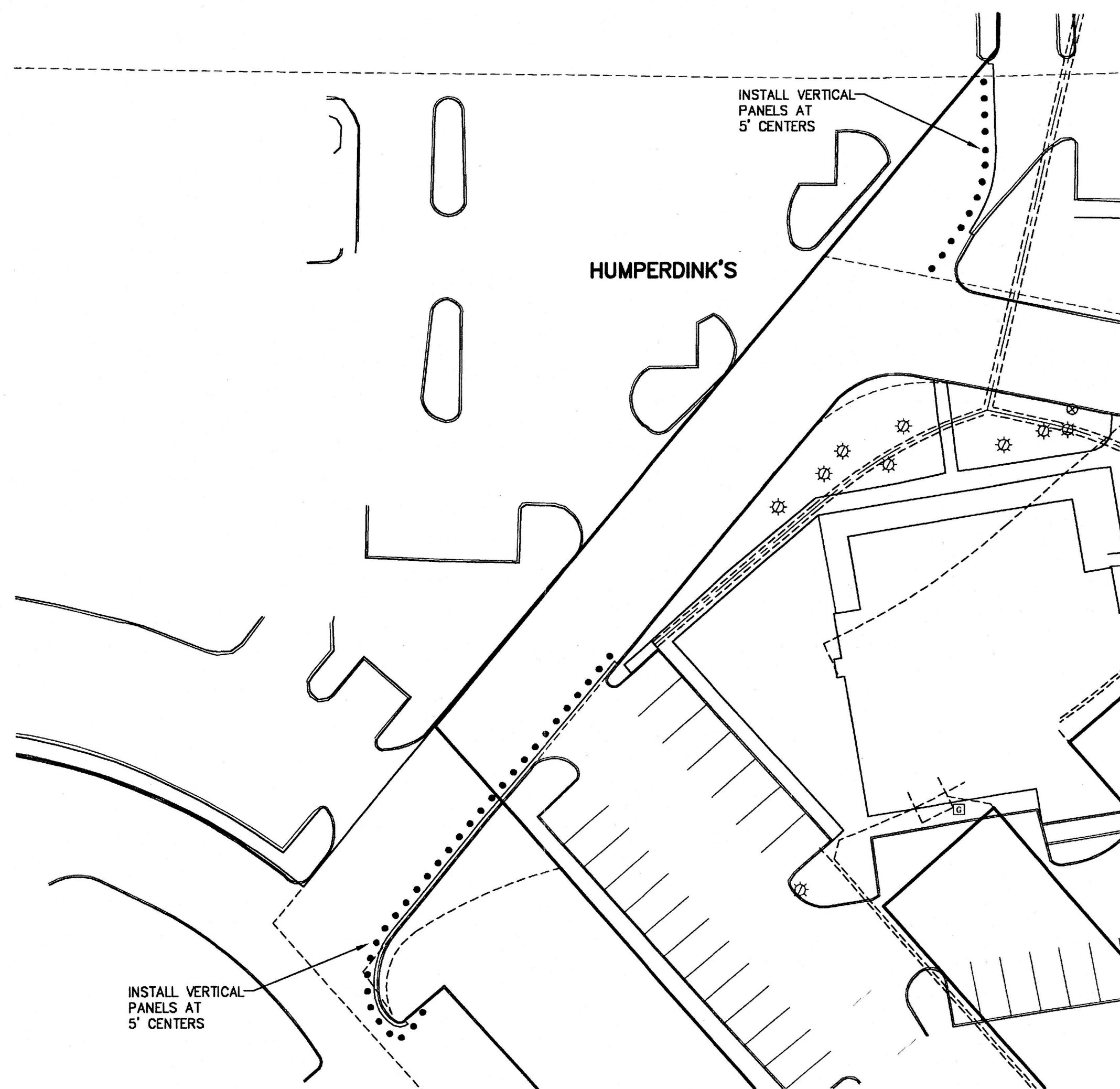
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PHASE ONE



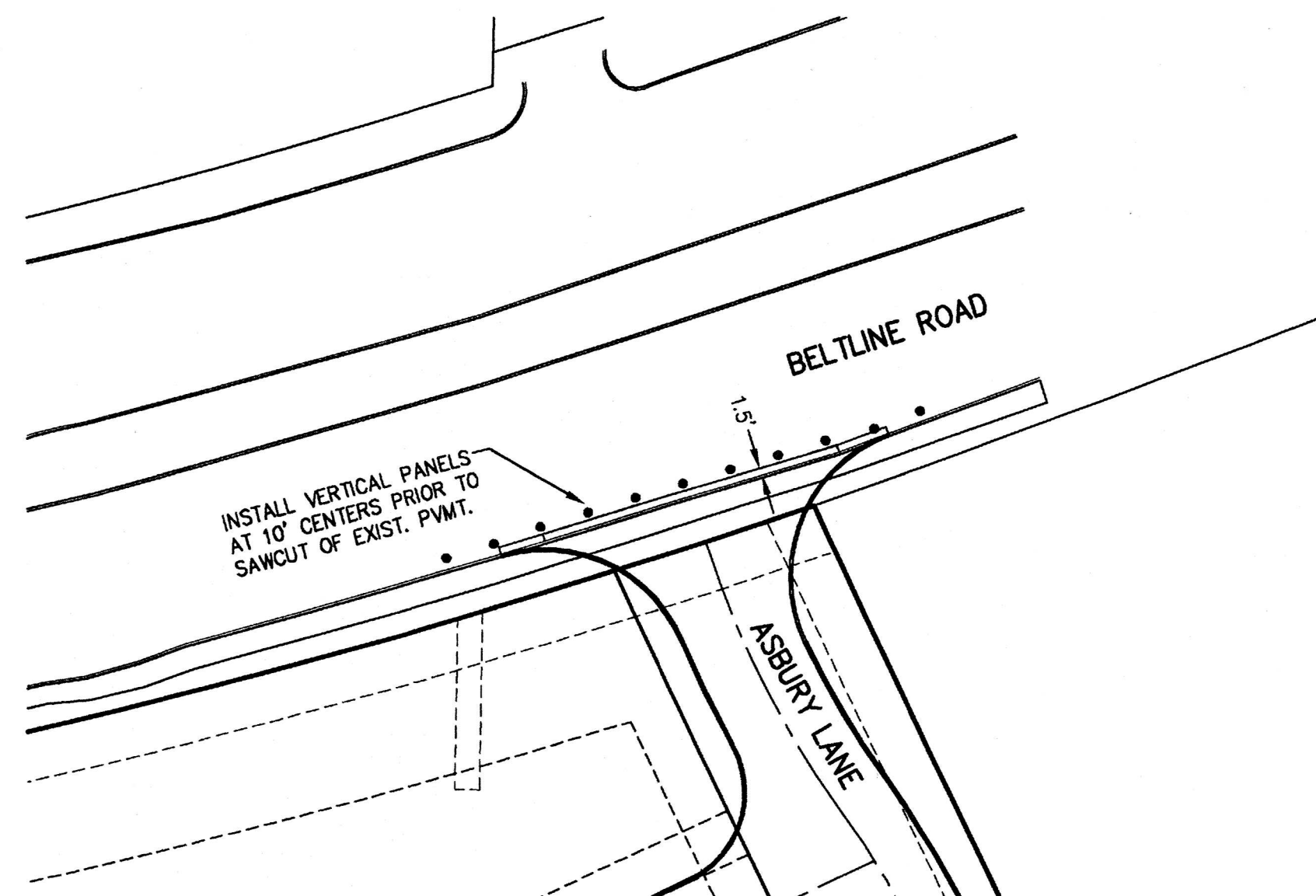
PHASE TWO



BENCHMARKS:

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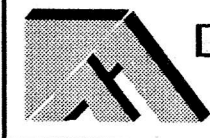
NO.	DATE	BY	REVISION

GENERAL NOTES:

1. All installations, materials, procedures, removals and maintenance of the traffic control devices (TCD's) shown on the plan shall conform with the latest edition of the Texas Manual on Uniform Traffic Control Devices (TMUTCD).
2. The contractor shall notify The Town of Addison Engineering Department at of intent to begin work 48 hours prior to installation of any signage.
3. Existing signs shall not be moved or altered without the written permission of The Town of Addison. Proposed signage shall be placed so as to not obstruct the driver's view of existing signs.
4. The height and positioning of proposed warning signs shall be as follows:
 - a. Single-panel signs shall be mounted a minimum height of 7' and double panel signs shall be mounted a minimum height of 6' as measured from the bottom edge of the bottom panel to the nearest roadway surface.
 - b. Warning signs shall be placed a minimum of 6' from the nearest pavement or shoulder edge as measured from the nearest panel edge.
5. Proposed sign posts shall be of breakaway material (portable, wood, perforated metal, etc.).
6. Sign panels shall have a smooth, sealed reflectorized surface of a color consistent with the TMUTCD with a contrasting legend.
7. Any hazard identification beacons used shall be Type "B" (High Intensity) with 8" dia. lenses and shall be capable of operating 24 hours a day.
8. Daily inspections of all proposed TCD's shall be made by the contractor to insure proper traffic control and good equipment condition.
9. Payment for installation, maintenance, removals, flagmen and other incidentals associated with the proposed traffic control plan on this sheet, will be subsidiary to the various bid items.
10. All work and materials shall be in accordance with the Town of Addison.
11. All lanes of Beltline Road shall remain open during daytime hours.
12. Access drive to Humperdink's to remain open at all times.

**TRAFFIC CONTROL PLAN
ASBURY CIRCLE**

TOWN OF ADDISON
DALLAS COUNTY, TEXAS



DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

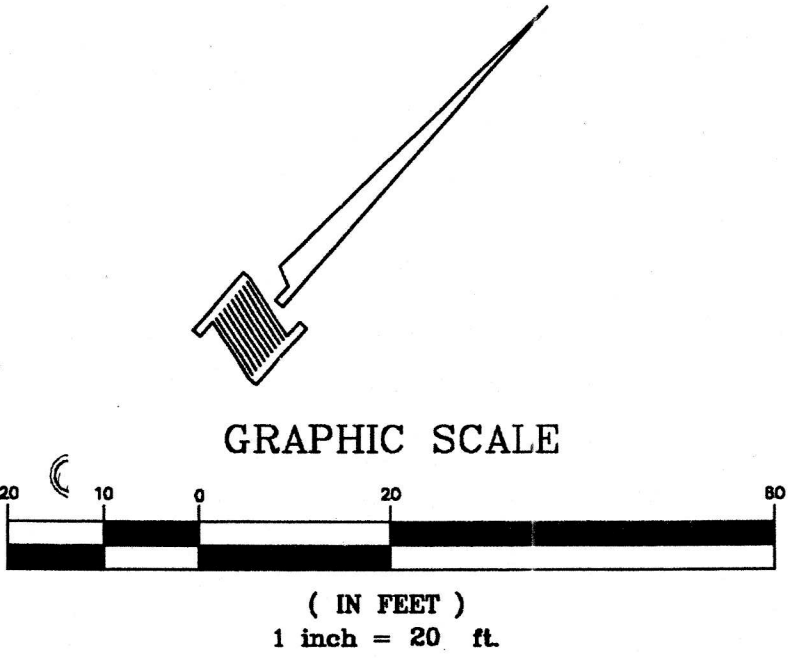
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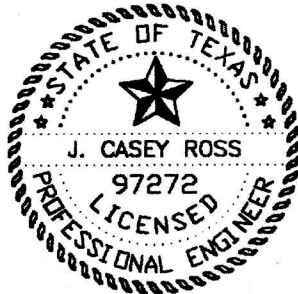
NOTES:

1. Finish Floor - 0.5' above finish pad.
2. All fill shall be placed as specified in HUD data sheet-79g.
3. Grade slopes away from building pads with a min. fall of 6" at points 10' (or lot line).
4. Driveway gradient shall not exceed 12%.
5. Solid sod all areas where slopes exceed 3:1.
6. Retaining walls required where slopes exceed 2:1.

LEGEND

- X TC 636.4 Proposed Top of Curb Grade
- X 636.4 Spot Grade
- X TP 632.5 Proposed Top of Pavement
- X EX TC 637.9 Existing Top of Curb Grade
- X INV 631.5 Proposed Invert Grade
- X TW 637.9 Retaining Wall Grade
- X BW 635.9 Flow Arrow
- Existing Contour
- FP 552.1 Finish Pad Elevation

THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272



GRADING PLAN
ASBURY CIRCLE

TOWN OF ADDISON

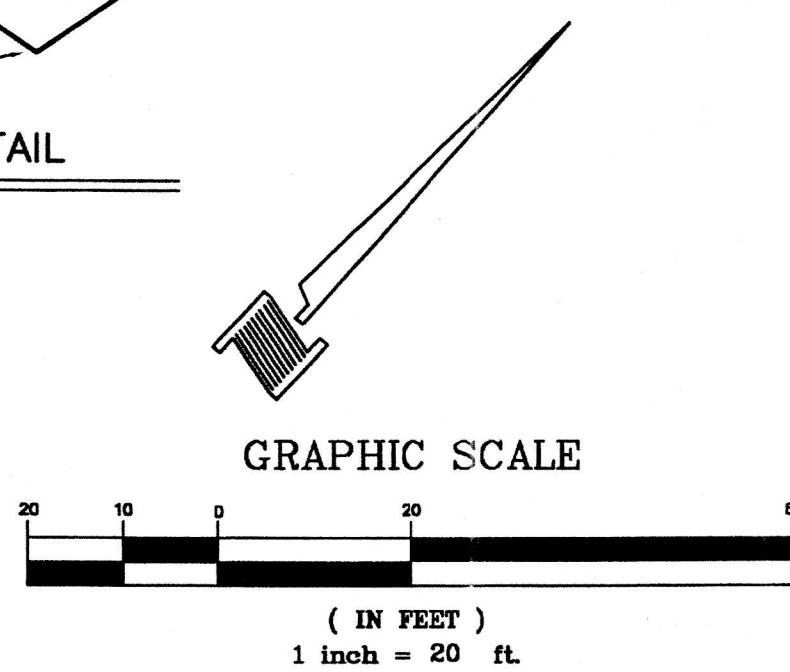
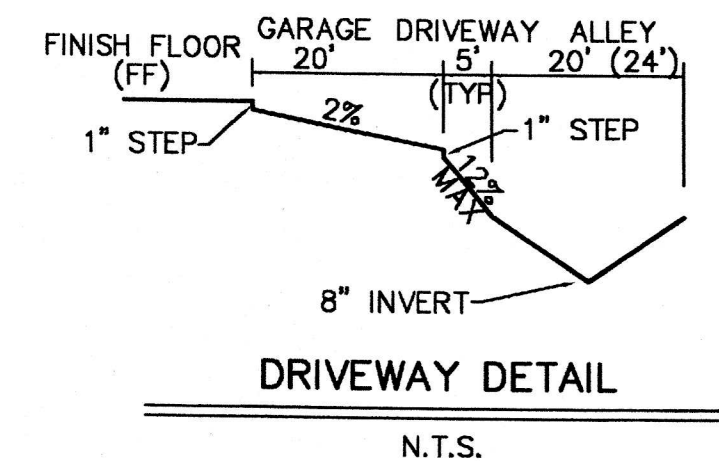
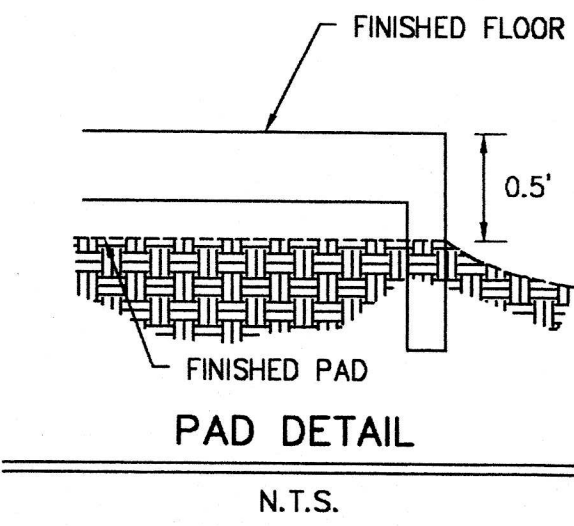
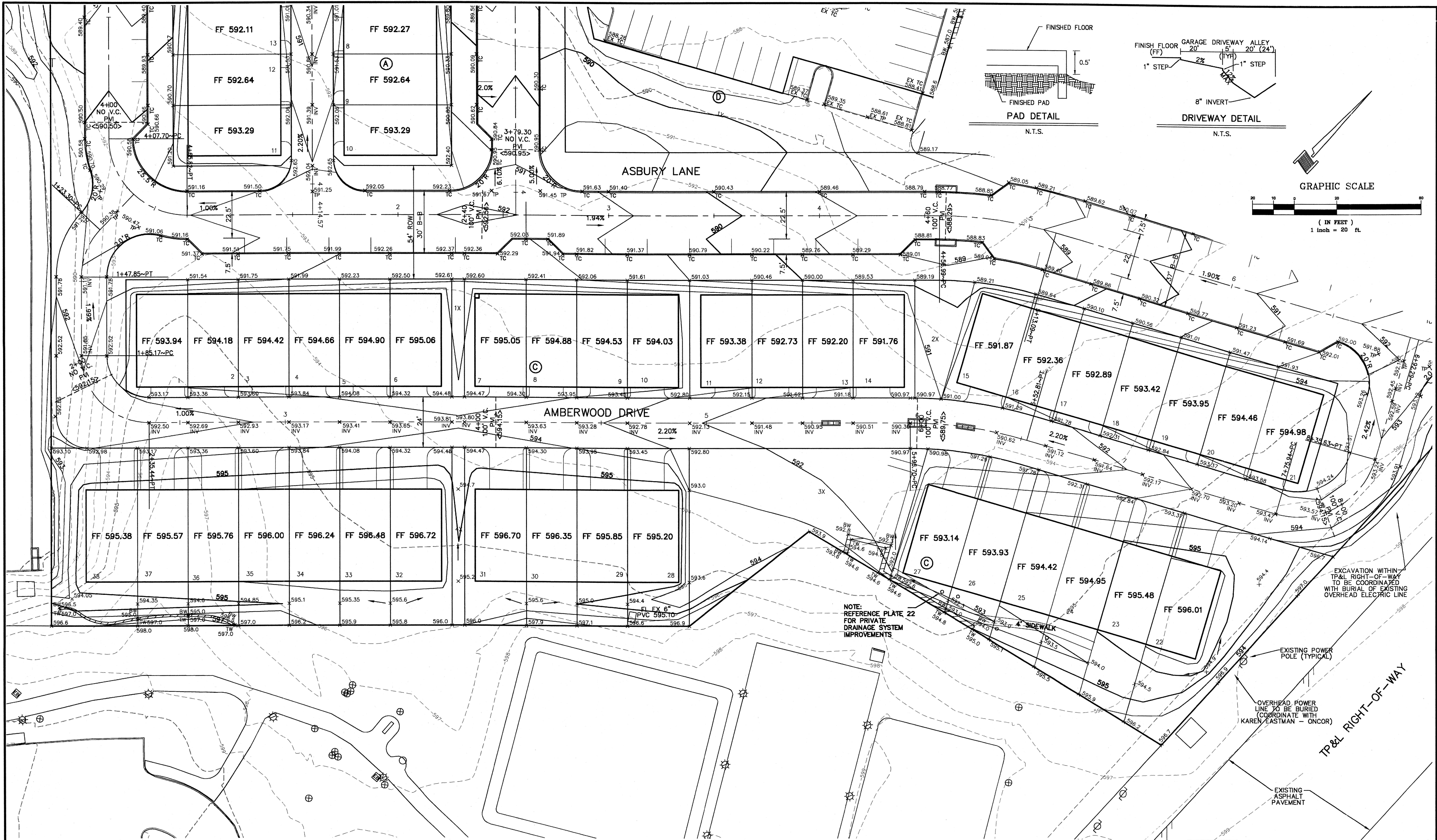
DALLAS COUNTY, TEXAS



DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	10/16/06	1" = 20'	06010	1

NO.	DATE	BY	REVISION



BENCHMARKS:
CITY OF ADDISON BENCHMARK NO. 13:
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN
INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND
SURVEYOR BOULEVARD.
ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:
SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
CORNER OF BELTLINE ROAD AND MIDWAY ROAD.
ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272

J. Casey Ross 9/30/01



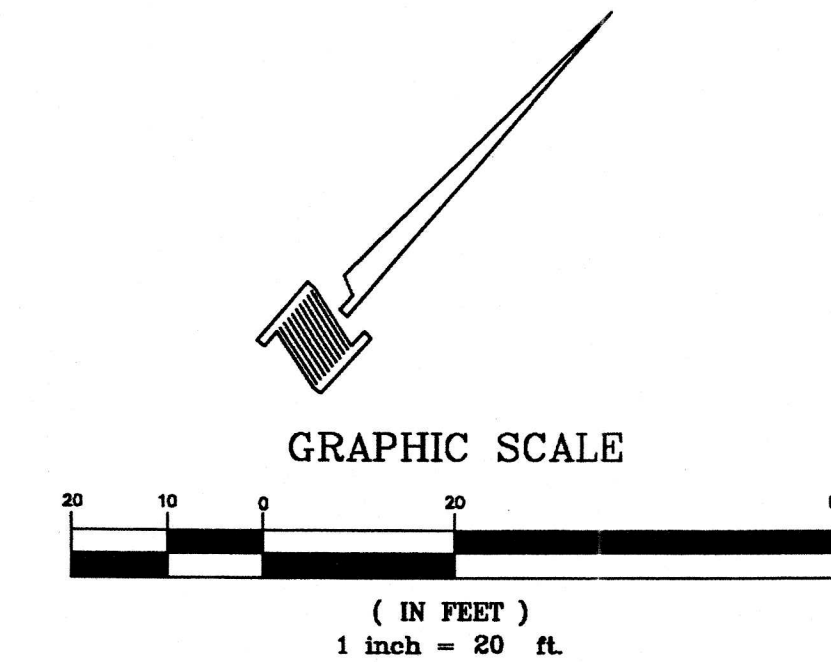
NO.	DATE	BY	REVISION

GRADING PLAN
ASBURY CIRCLE
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	10/16/06	1" = 20'	06010	2

\\projects\DD\06010\GRD\dwg\06010-GRD.dwg, Layout3, 10/12/2007 10:57:12 AM, cross, Dowdey, Anderson & Associates, Inc., JCR



- NOTES:
1. Finish Floor - 0.5' above finish pad.
 2. All fill shall be placed as specified in HUD data sheet-79g.
 3. Grade slopes away from building pads with a min. fall of 6" at points 10' (or lot line).
 4. Driveway gradient shall not exceed 12%.
 5. Solid sod all areas where slopes exceed 3:1.
 6. Retaining walls required where slopes exceed 2:1.

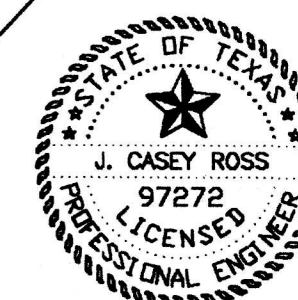
- LEGEND
- | | |
|---------------|----------------------------|
| X TC 636.4 | Proposed Top of Curb Grade |
| X 636.4 | Spot Grade |
| X TP 632.5 | Proposed Top of Pavement |
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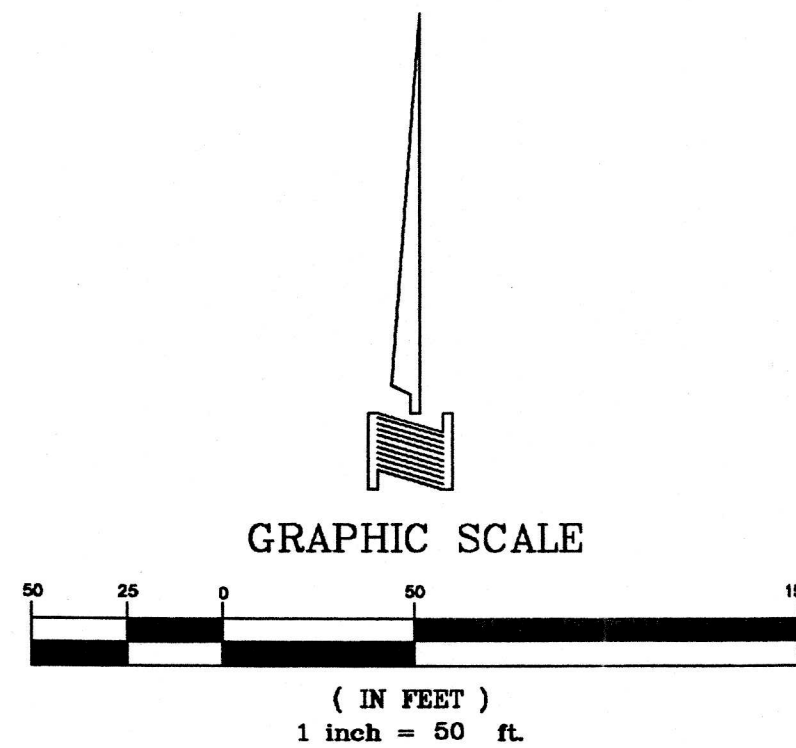
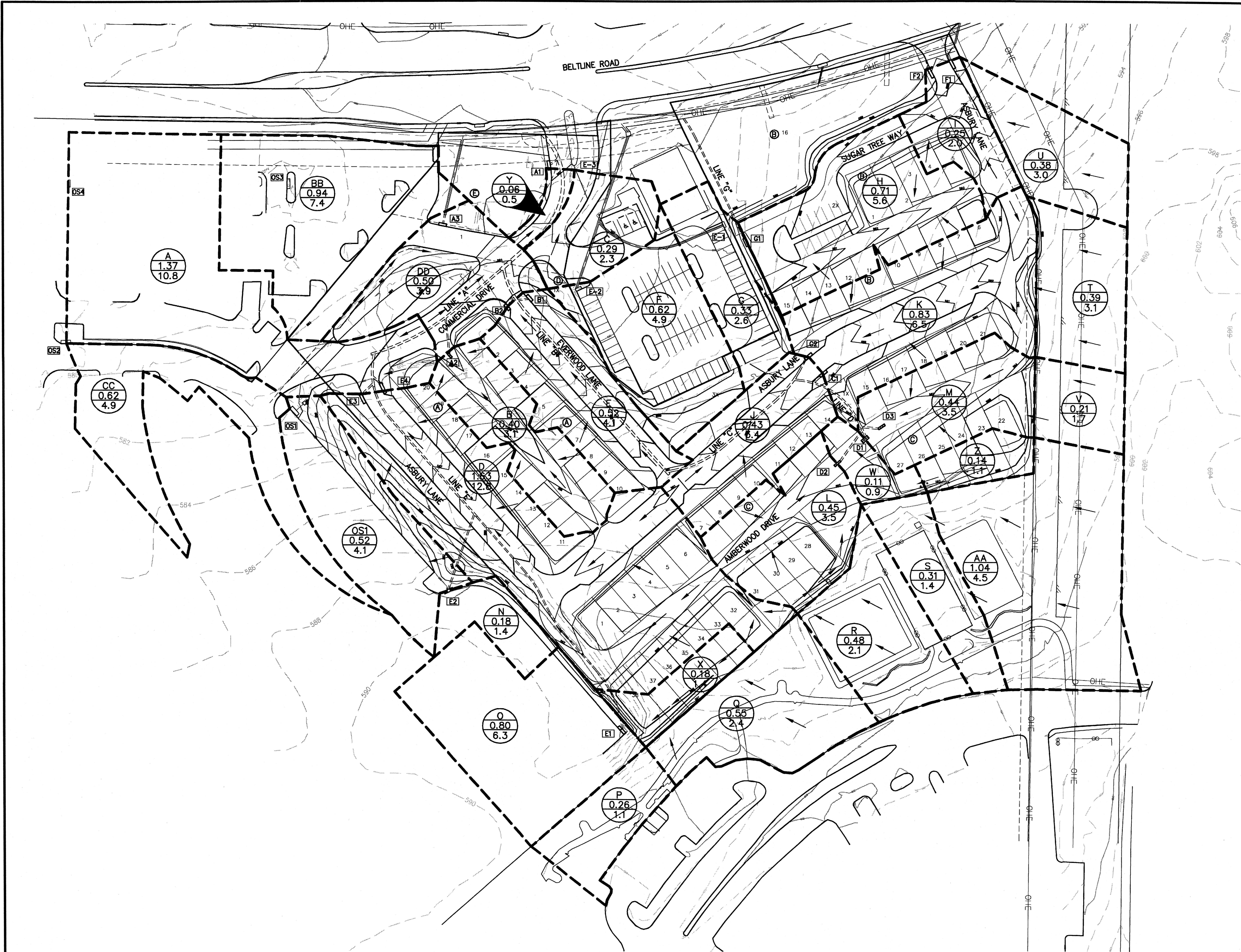
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NO. 97272

J. Casey Ross 9/30/07



NO.	DATE	BY	REVISION

GRADING PLAN						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	10/16/06	1" = 20'	06010	3



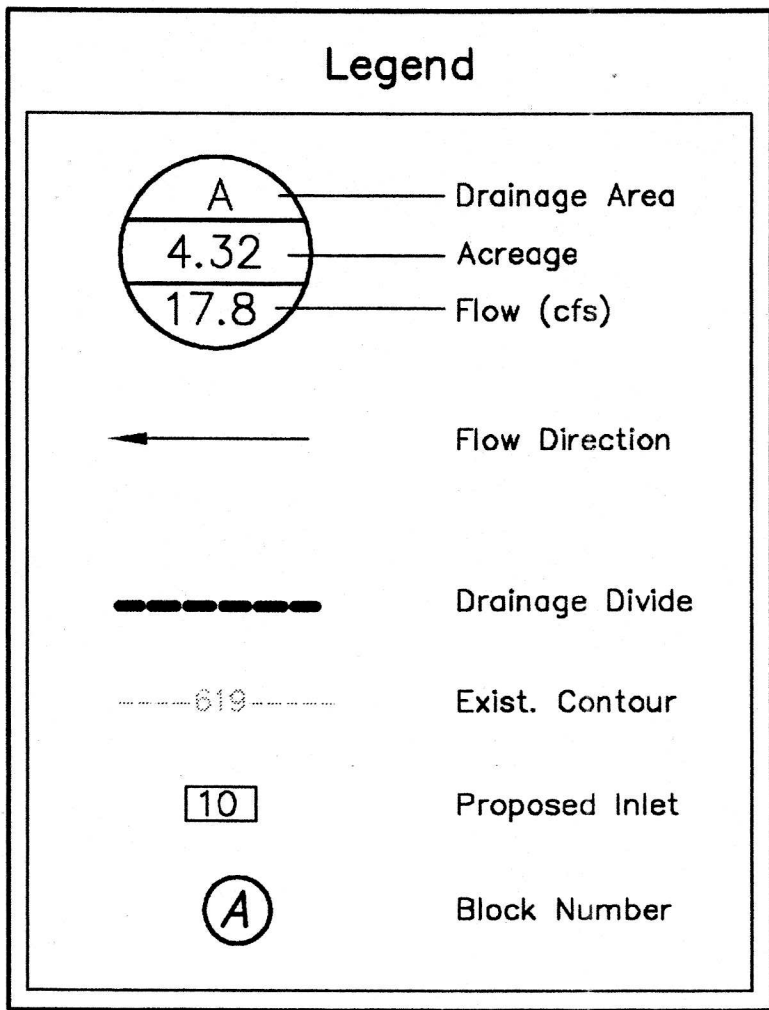
- NOTES:
1. INLET E-1, PER INTERNATIONAL HOUSE OF PANCAKES (LOT 2R, BLOCK A, PRINTEMPS ADDITION NO. 2) CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 21.9 CFS. THE PROPOSED DESIGN IS 2.6 CFS.
 2. INLET E-2, PER INTERNATIONAL HOUSE OF PANCAKES (LOT 2R, BLOCK A, PRINTEMPS ADDITION NO. 2) CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 14.1 CFS. THE PROPOSED DESIGN IS 4.9 CFS.
 3. INLET E-3, PER SPAGHETTI WAREHOUSE (LOT 3, BLOCK A, PRINTEMPS ADDITION NO. 2) CONSTRUCTION PLANS WAS DESIGN TO HANDLE 1.5 CFS. THE PROPOSED DESIGN IS 2.3 CFS.
 4. 141.2 ACRES (FROM TOWN OF ADDISON CONSTRUCTION PLANS FOR BELTLINE ROAD, DATED MAY, 1980) DRAINS TO EXISTING 96" RCP USING C=0.80 (AVERAGE OF COMMERCIAL AND RESIDENTIAL) AND THE HYDRO-35/TP-40 IDF CURVE, $t_{100}=8.01$ (TC=13 MIN.) FOR 96" RCP @ BELT LINE ROAD/COMMERCIAL DRIVE INTERSECTION. BASED ON BELTLINE ROAD PLANS DATED MAY, 1980, 96" RCP HAS ENOUGH CAPACITY TO TAKE ASBURY CIRCLE RESIDENTIAL AND COMMERCIAL DRAINAGE WITHOUT DETENTION.
 5. INLET OS1, PER COMP USA PLANS, WAS DESIGNED TO HANDLE 16.9 CFS. THE PROPOSED DESIGN IS 4.1 CFS.
 6. INLET OS2, PER COMP USA PLANS, WAS DESIGNED TO HANDLE 6.3 CFS. THE PROPOSED DESIGN IS 4.9
 7. INLET OS3 PER SPAGHETTI WAREHOUSE, INC. CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 8.8 CFS. THE PROPOSED DESIGN IS 7.4 CFS.
 8. INLET OS4 PER SPAGHETTI WAREHOUSE, INC. CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 10.9 CFS. THE PROPOSED DESIGN IS 10.8 CFS.

STREET CAPACITY CALCULATIONS

$293.0 \sqrt{S} =$ to top of curb.

ALLEY CAPACITY CALCULATIONS

$171.5 \sqrt{S} =$ Edge of pavement



BENCHMARKS:

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J. Casey Ross 9/25/07



NO.	DATE	BY	REVISION

DRAINAGE AREA MAP						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
AR	AR	JCR	10/16/06	1" = 50'	06010	1 / 2

Projects: LDD06010.dwg, 06010-DAM.dwg, Layout1 (2), 9/25/2007 10:00:56 AM, tilling, Dowdey, Anderson & Associates, Inc., TX

BENCHMARKS:

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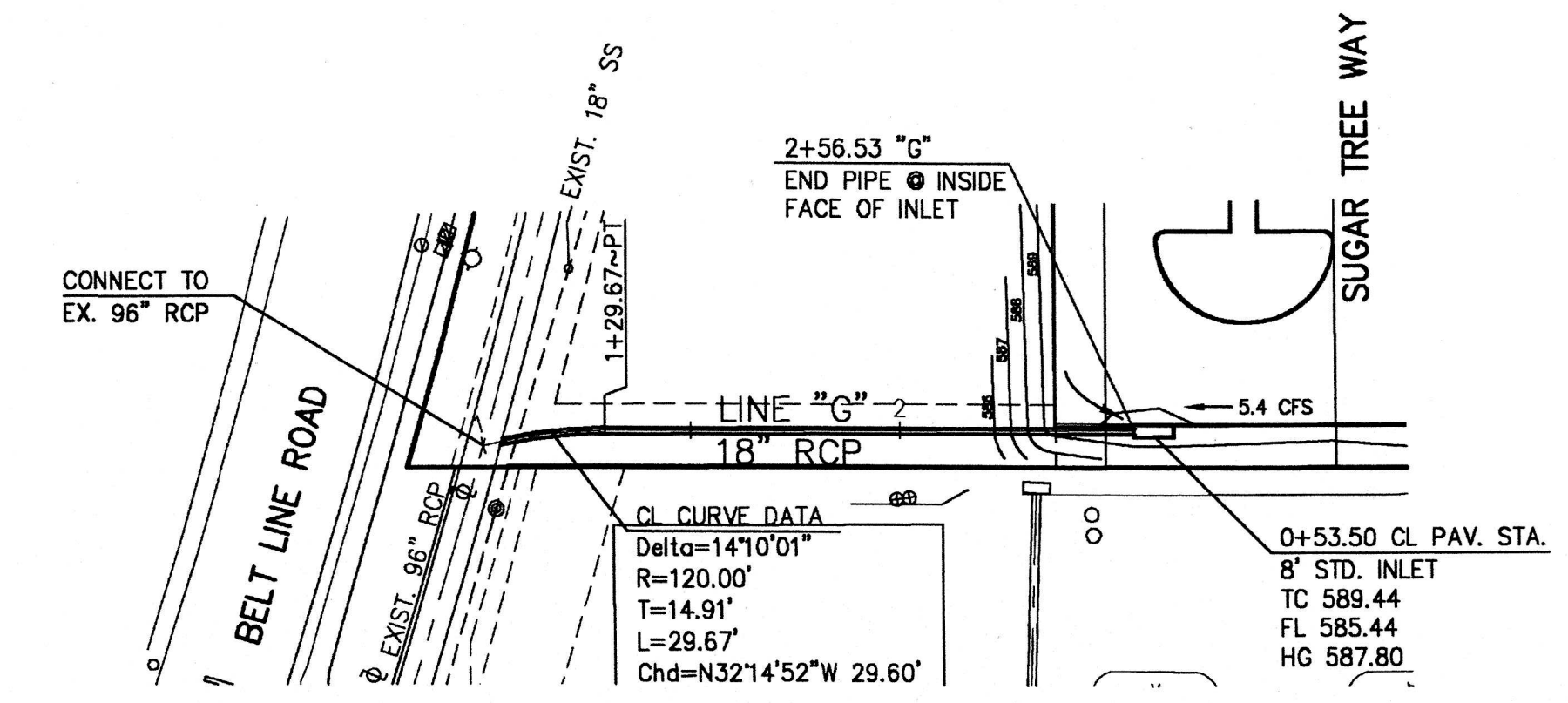
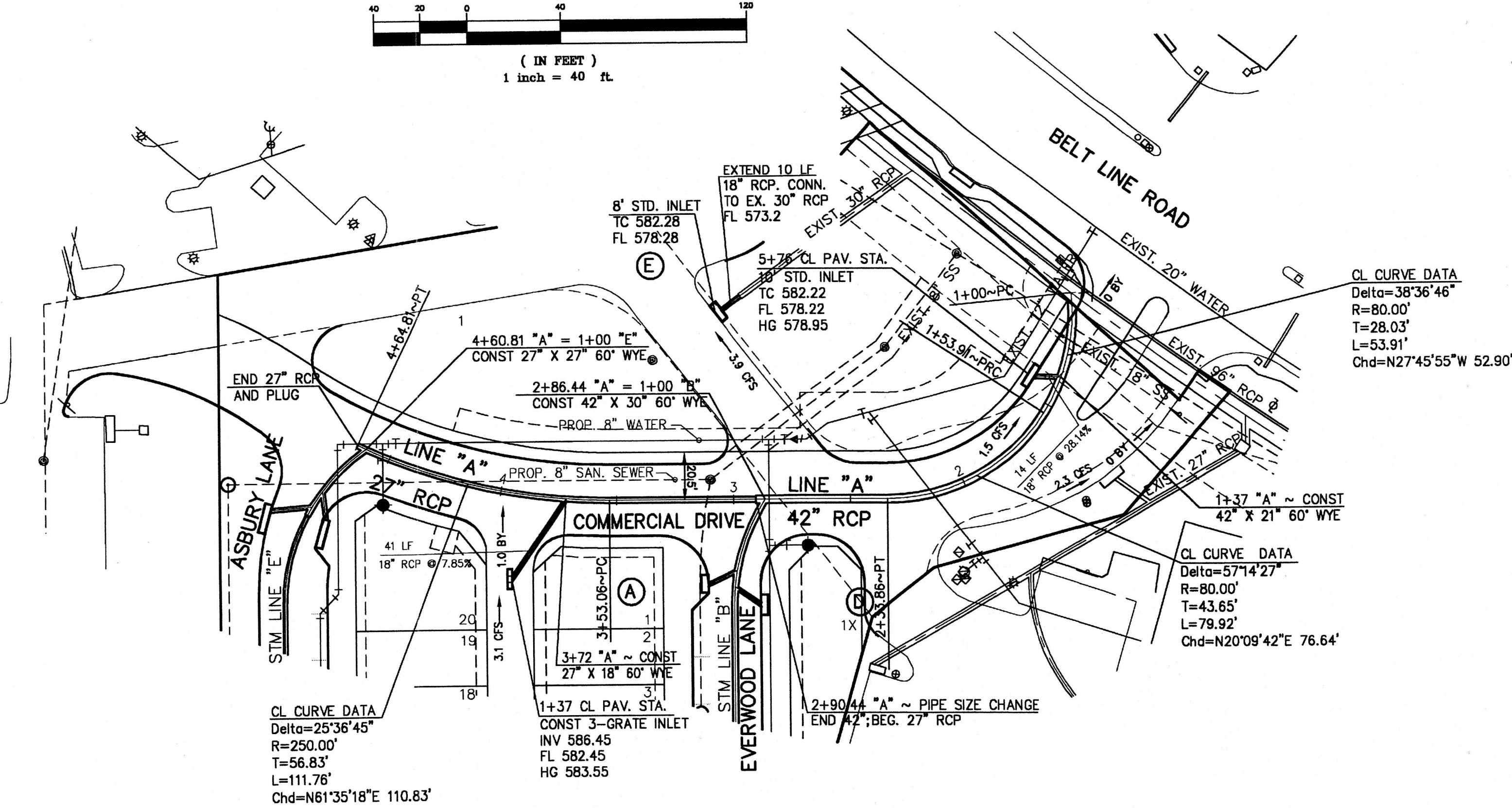
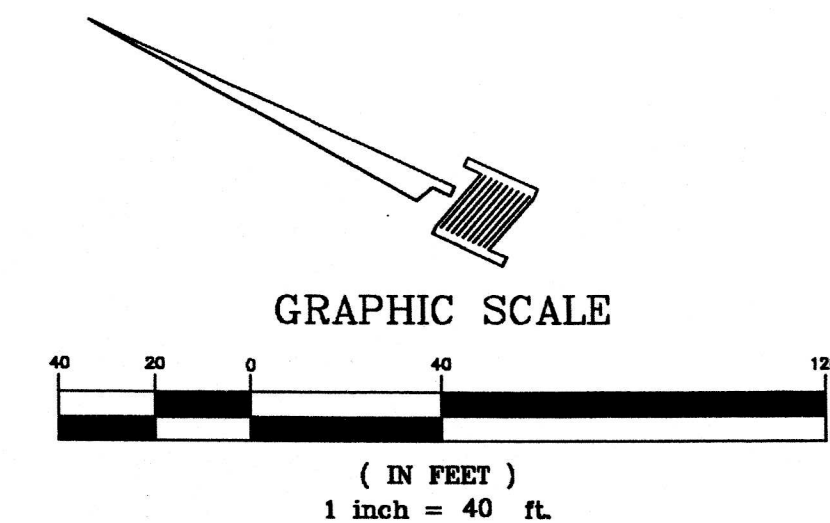
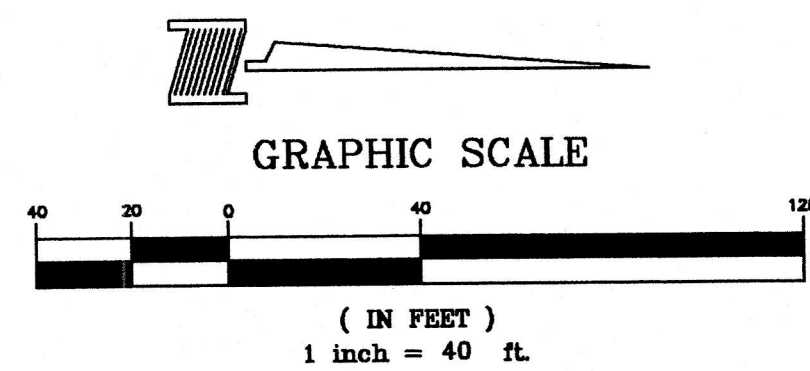


NO.	DATE	BY	REVISION

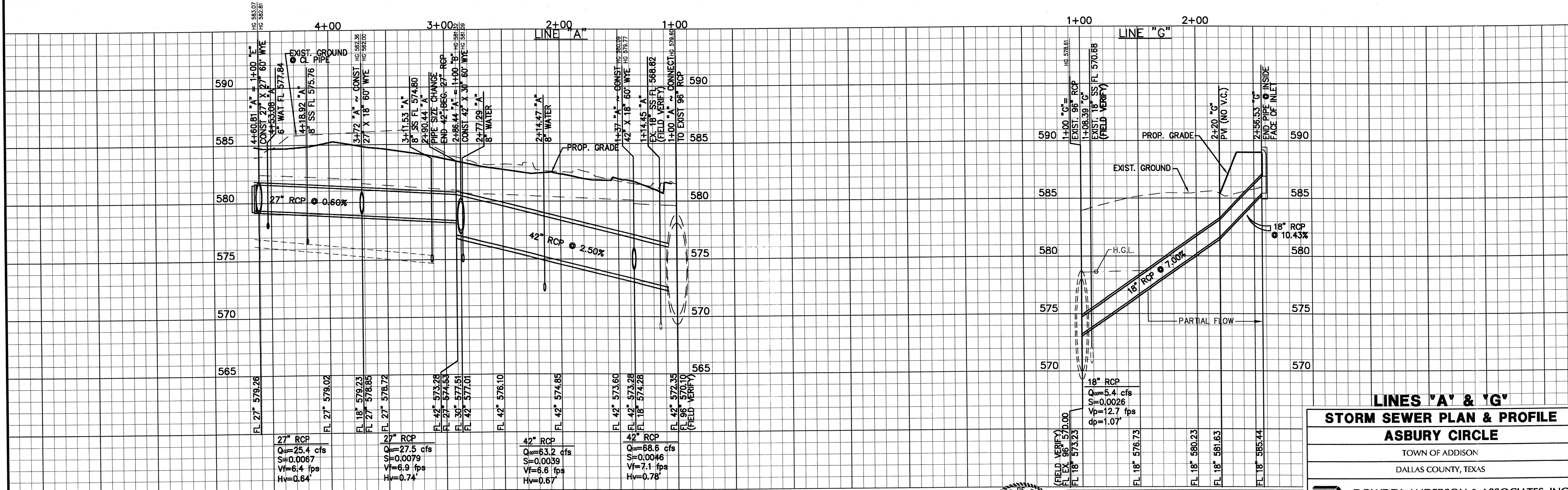
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DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB
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SHEET					2

DRAINAGE AREA DATA					
AREA NO.	AREA (ac.)	C _{ea}	TC (min.)	I _{ea} (in/hr)	Q _{ea} (cfs)
A	1.37	0.90	10	8.74	10.8
B	0.40	0.90	10	8.74	3.1
C	0.29	0.90	10	8.74	2.3
D	1.63	0.90	10	8.74	12.8
E	0.52	0.90	10	8.74	4.1
F	0.62	0.90	10	8.74	4.9
G	0.33	0.90	10	8.74	2.6
H	0.71	0.90	10	8.74	5.6
I	0.25	0.90	10	8.74	2.0
J	0.43	0.90	10	8.74	3.4
K	0.83	0.90	10	8.74	6.5
L	0.45	0.90	10	8.74	3.5
M	0.44	0.90	10	8.74	3.5
N	0.18	0.90	10	8.74	1.4
O	0.80	0.90	10	8.74	6.3
P	0.26	0.50	10	8.74	1.1
Q	0.55	0.50	10	8.74	2.4
R	0.48	0.50	10	8.74	2.1
S	0.31	0.50	10	8.74	3.4
T	0.39	0.90	10	8.74	3.1
U	0.38	0.90	10	8.74	3.0
V	0.21	0.90	10	8.74	1.7
W	0.11	0.90	10	8.74	0.9
X	0.18	0.90	10	8.74	1.4
Y	0.06	0.90	10	8.74	0.5
Z	0.14	0.90	10	8.74	1.1
AA	1.04	0.50	10	8.74	4.5
BB	1.43	0.90	10	8.74	11.3
CC	0.62	0.90	10	8.74	4.9
DD	0.50	0.90	10	8.74	3.9
OS1	0.52	0.90	10	8.74	4.1

INLET DESIGN CHART																			
INLET		Design Storm Freq. (yrs.)	AREA RUNOFF Q = CIA					Carry-Over From Upstrm Inlet (c.f.s.)	Total Gutter Flow (c.f.s.)	Gutter Capacity (c.f.s.)	Gutter Slope (ft./100 ft.)	Crown Type	Selected Inlet Length "L" (Feet)	Type	Carry-Over To Downstrm Inlet (c.f.s.)	Inlet Capacity (c.f.s.)			
No.	Location		Time of Conc. (min.)	Intensity I (in./hr.)	Runoff Coeff. ("C")	Area (Ac.)	"Q" (c.f.s.)												
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17			
A1	5+83 Town Center Parkway	100	10	8.74	0.90	0.06	0.50	1.0	1.5	35.8	0.0130	2K	10	Std.	0	5.6			
A2	1+37 Alley "A"	100	10	8.74	0.90	0.40	3.1	—	3.1	35.8	0.0220	8" Inv.	3-Grate	Std.	1.0	2.1			
A3	Existing Road	100	10	8.74	0.90	0.50	3.9	—	3.9	35.8	0.0130	8" Inv.	8	Std.	—	4.9			
B1	1+58 Everwood Drive	100	10	8.74	0.90	0.26	2.0	—	2.0	20.5	0.0220	3K	8	Std.	0	4.1			
B2	1+58 Everwood Drive	100	10	8.74	0.90	0.26	2.1	—	2.1	20.5	0.0220	3K	8	Std.	0	4.1			
C1	5+00 Asbury Lane	100	10	8.74	0.90	0.83	6.5	—	6.5	—	"seg"	3K	10	Std.	—	21.0			
C2	5+00 Asbury Lane	100	10	8.74	0.90	0.82	6.5	—	6.5	—	"seg"	3K	10	Std.	—	21.0			
D1	5+80 Amberwood Drive	100	10	8.74	0.90 & 0.50	0.25 & 1.35	7.9	2.8	10.7	—	"seg"	8" Inv.	6-Grate	Std.	—	12.5			
D2	5+52 Amberwood Drive	100	10	8.74	0.90 & 0.50	0.45 & 0.48	5.6	—	5.6	25.4	0.0220	8" Inv.	3-Grate	Std.	1.6	4.0			
D3	6+14 Amberwood Drive	100	10	8.74	0.90	0.65	5.2	—	5.2	25.4	0.0220	8" Inv.	3-Grate	Std.	1.2	3.9			
E1	2+13.97 LINE "E" 84.12' RT.	100	10	8.74	0.90 & 0.50	0.81 & 0.98	11.2	—	—	—	"seg"	—	10	Std.	—	21.0			
E2	3+78.97 LINE "E" 84.11' RT.	100	10	8.74	0.90	0.18	1.4	—	11.0	—	"seg"	—	10	Std.	—	21.0			
E3	1+43 Amberwood Drive	100	10	8.74	0.90	0.81	6.4	—	6.4	—	0.0220	3K	12	Std.	0	7.25			
E4	1+43 Amberwood Drive	100	10	8.74	0.90	0.82	6.4	—	6.4	—	0.0220	3K	12	Std.	0	7.25			
F1	3+76 Asbury Lane	100	10	8.74	0.90	0.32	2.5	—	2.5	—	0.0310	3K	10	Std.	0	5.2			
F2	3+72 Asbury Lane	100	10	8.74	0.90	0.31	2.5	—	2.5	—	0.0310	3K	10	Std.	0	5.2			
G1	1+65 Sugar Tree Way	100	10	8.74	0.90	0.71	5.6	—	5.6	—	"seg"	3K	10	Std.	0	15.0			
OS1	EXISTING PARKING LOT	100	10	8.74	0.90	0.52	4.1	—	4.1	—	"seg"	—	10	Std.	0	21.0			
OS2	EXISTING PARKING LOT	100	10	8.74	0.90	0.69	4.9	—	4.9	—	0.0130	—	6	Std.	0	6.6			
OS3	EXISTING PARKING LOT	100	10	8.74	0.90	0.94	7.4	—	7.4	—	"seg"	—	10	Std.	0	21.0			
OS4	EXISTING PARKING LOT	100	10	8.74	0.90	1.37	10.8	—	10.8	—	"seg"	—	8	Std.	0	11.1			



- NOTES:
1. ALL STORM SEWER PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.
 2. CONSTRUCTION SHALL BE PER THE TOWN OF ADDISON STANDARDS.



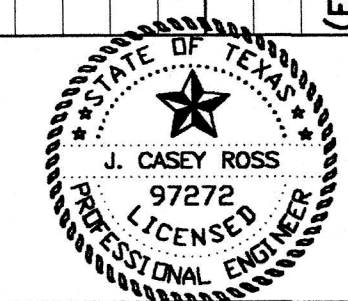
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NO. 97272

J. Casey Ross 9/25/07



NO.	DATE	BY	REVISION

LINES 'A' & 'C'

STORM SEWER PLAN & PROFILE

ASBURY CIRCLE

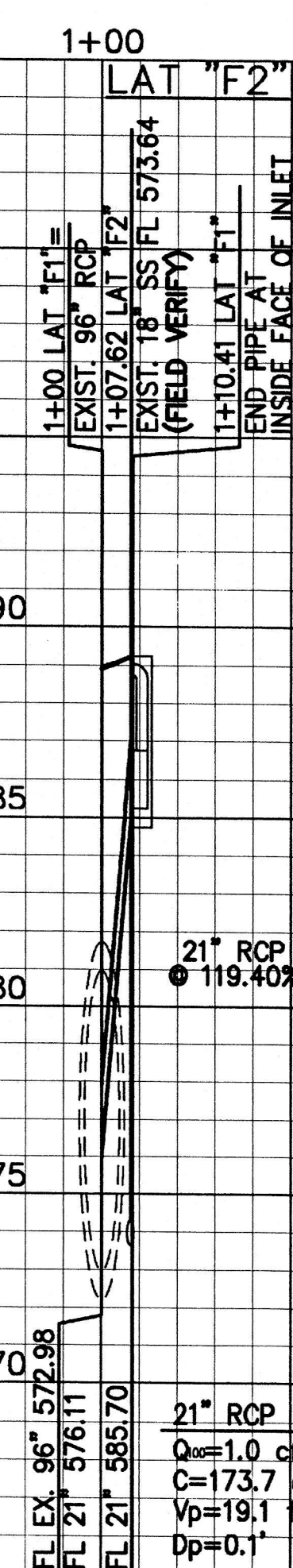
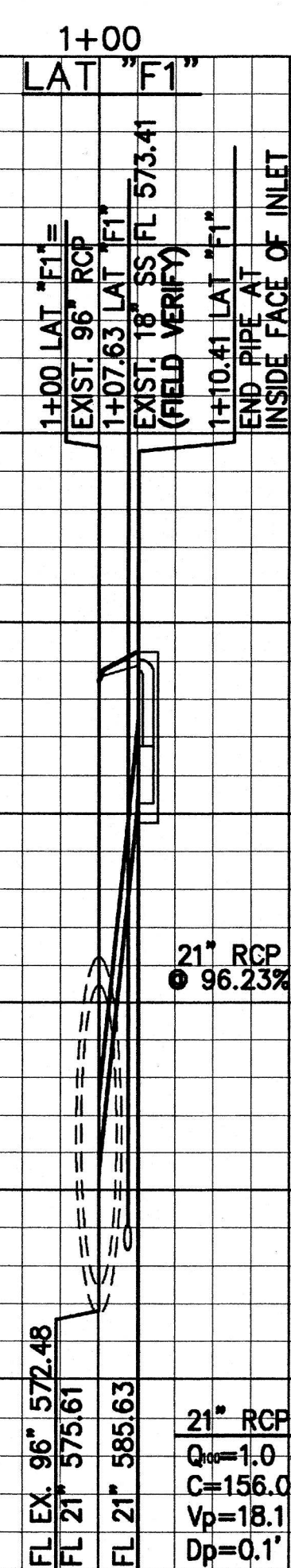
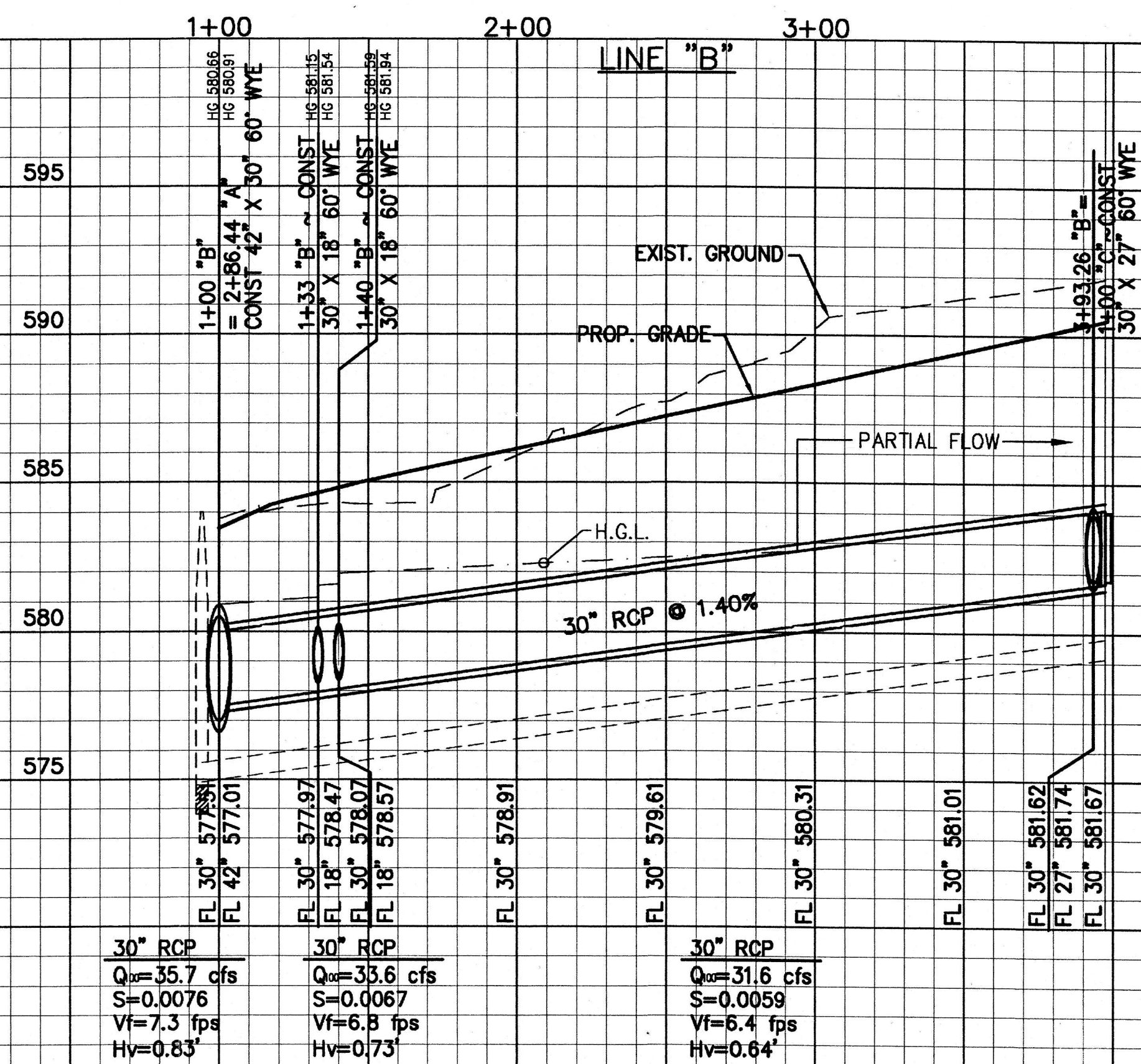
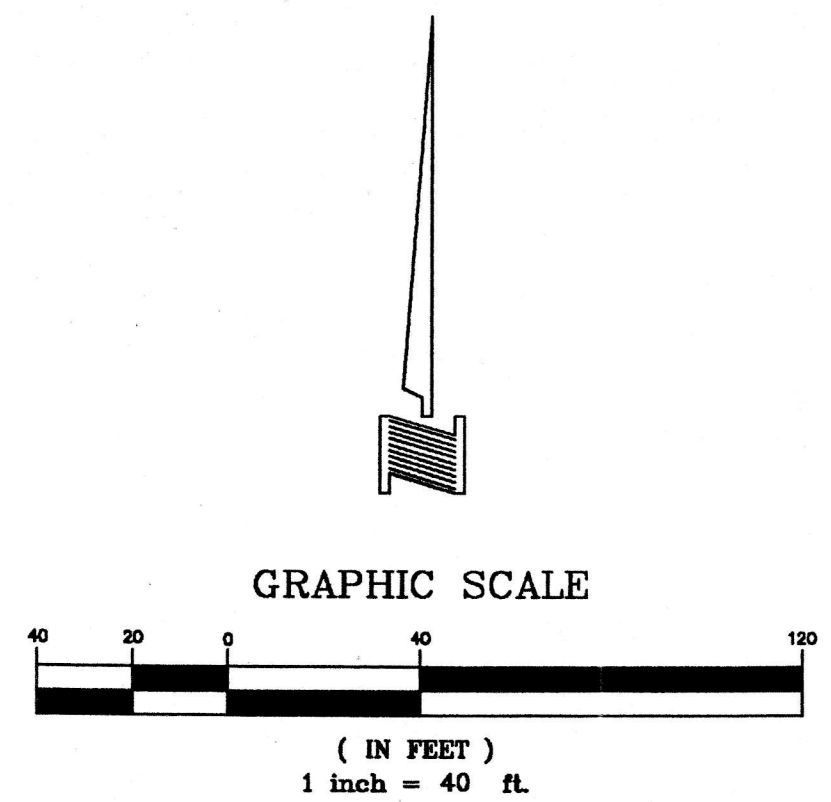
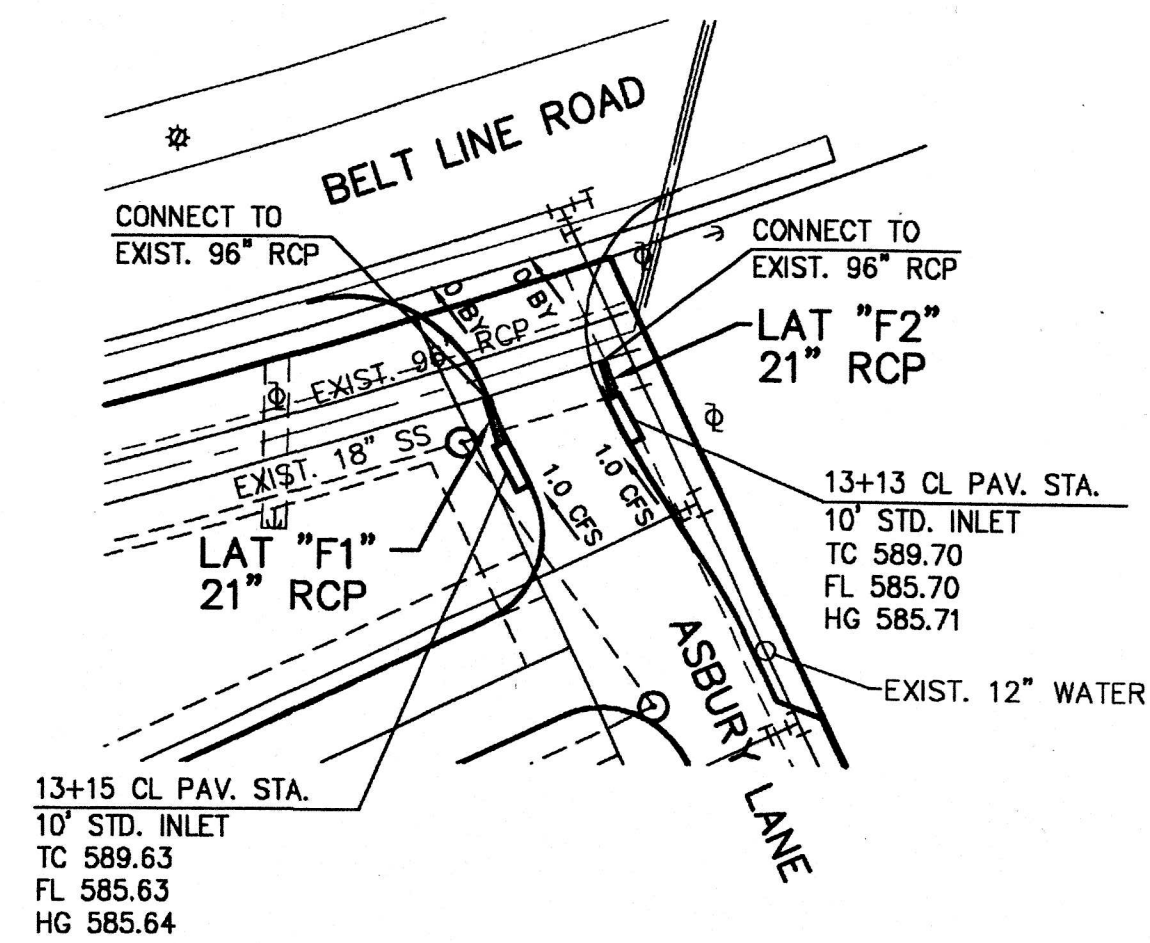
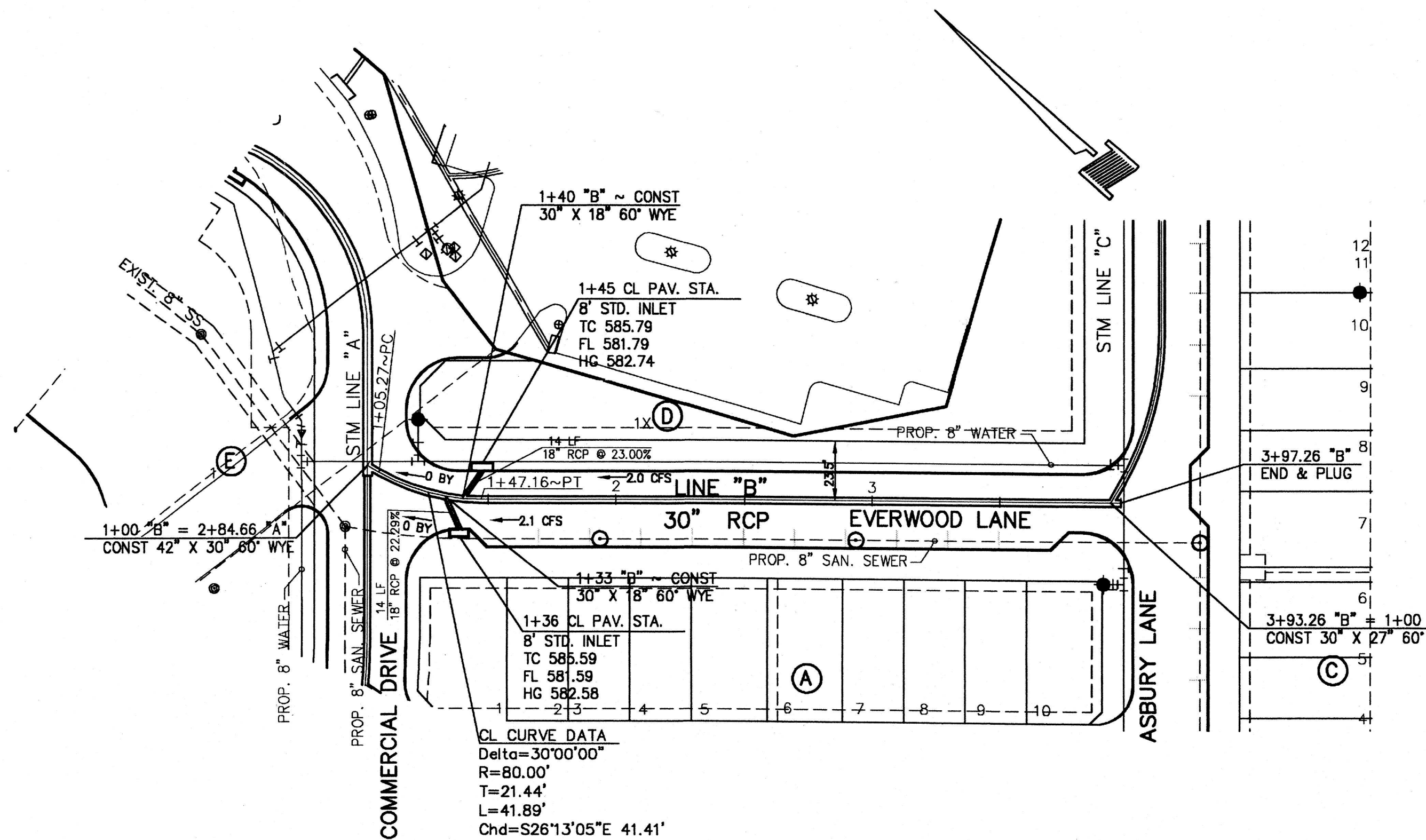
TOWN OF ADDISON

DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.

5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
AR	AR	JCR	8/28/06	H: 1"=40' V: 1"=4'	06010	1



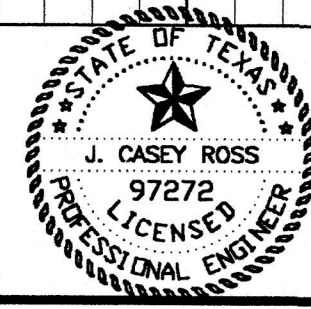
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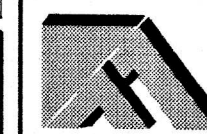
J. Casey Ross 9/25/07



NO.	DATE	BY	REVISION

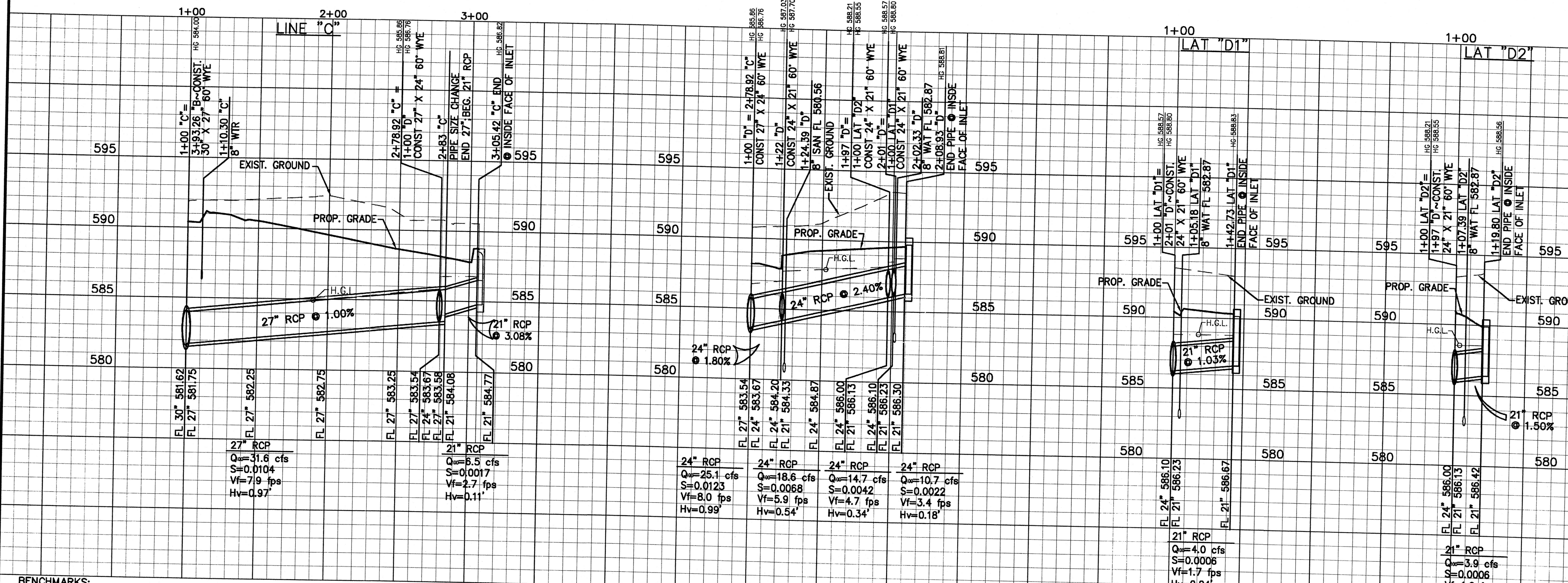
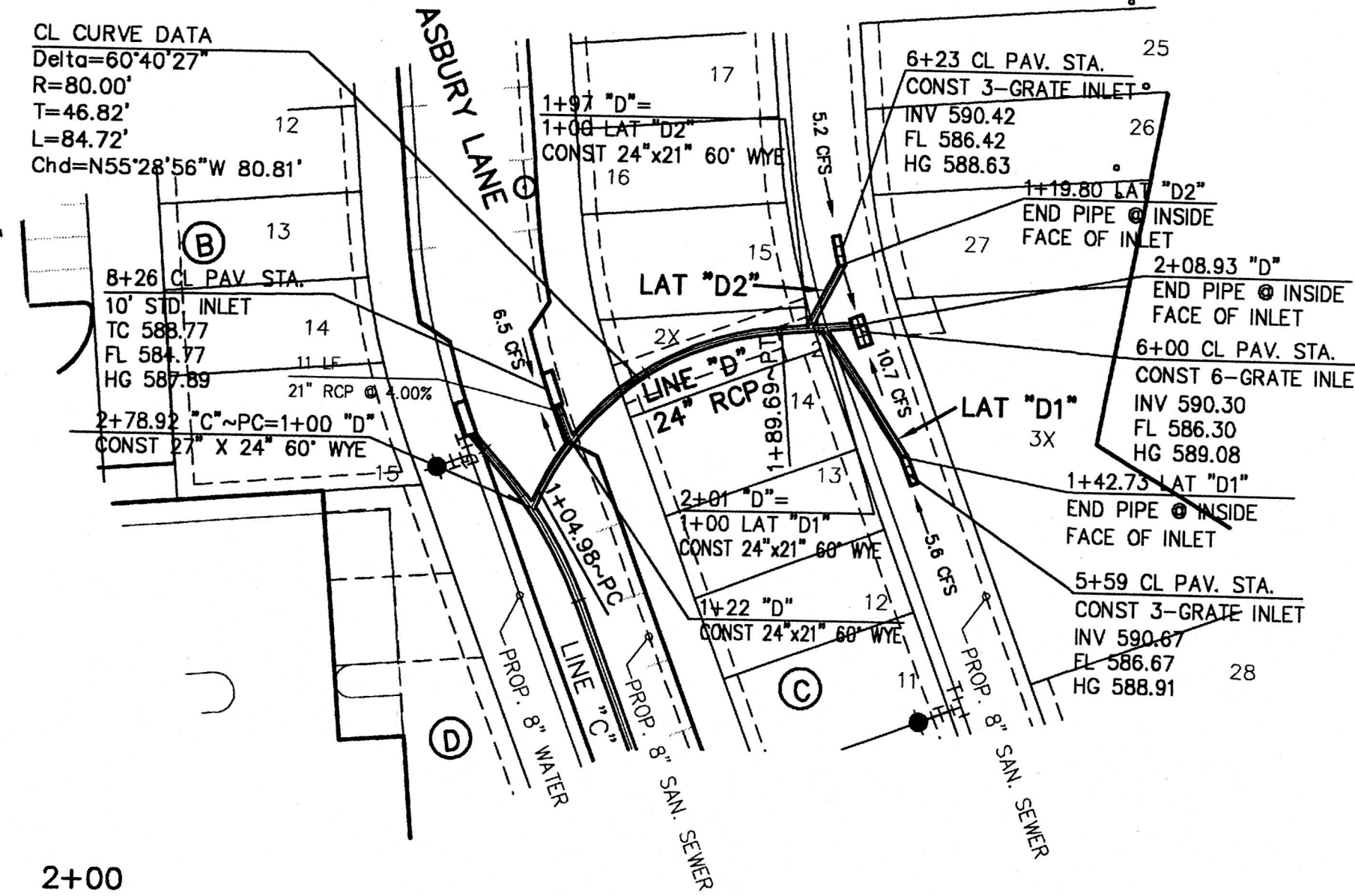
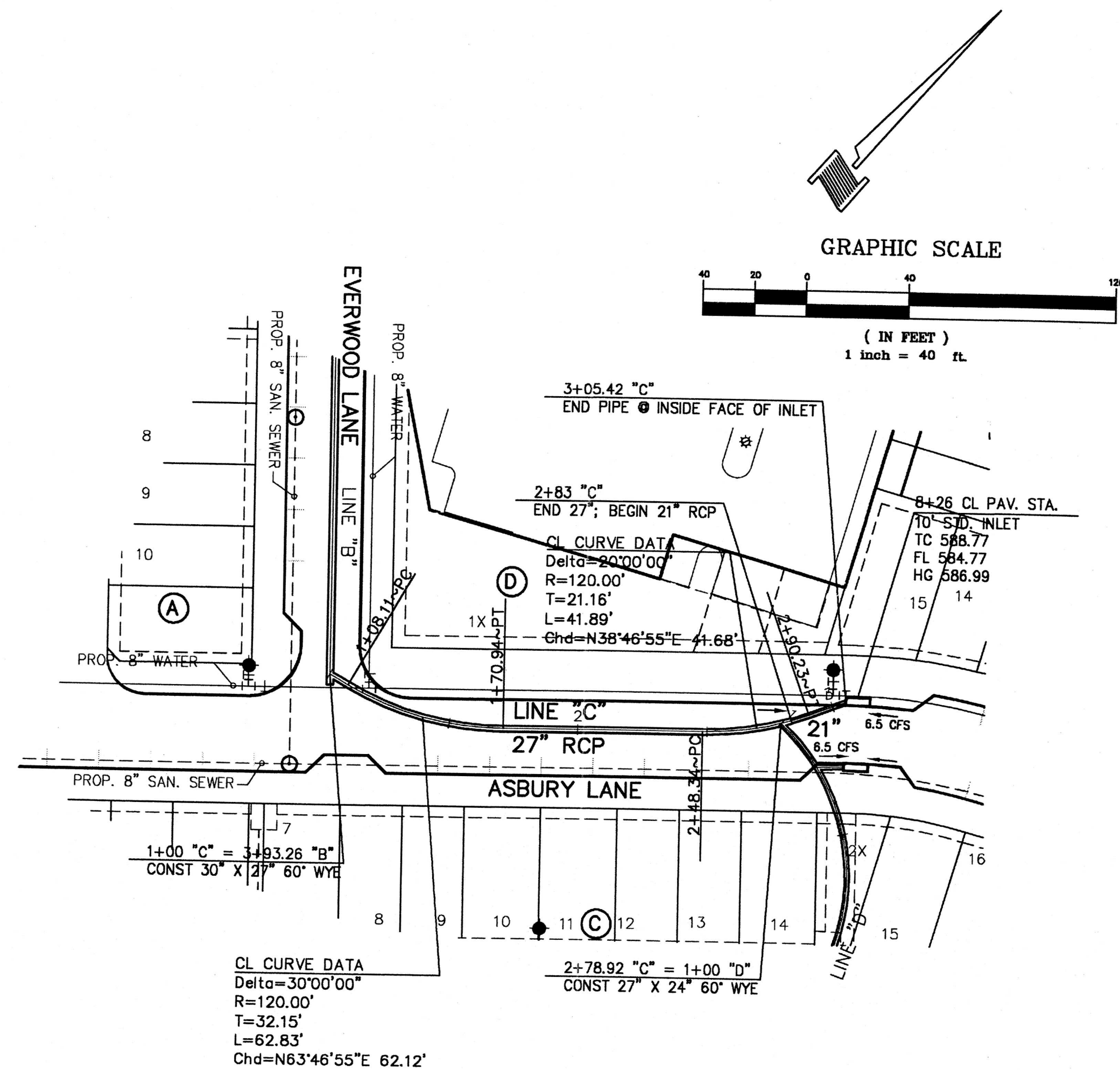
LINE 'B', LAT 'F1' & LAT 'F2' STORM SEWER PLAN & PROFILE ASBURY CIRCLE

TOWN OF ADDISON
DALLAS COUNTY, TEXAS



DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
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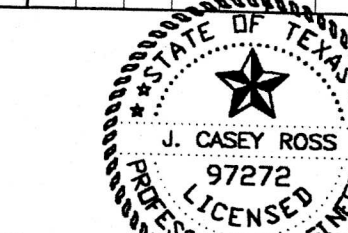
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Casey Ross 8/9/07



NO.	DATE	BY	REVISION

**LINE 'C', LINE 'D',
LAT 'D1' & LAT 'D2'**

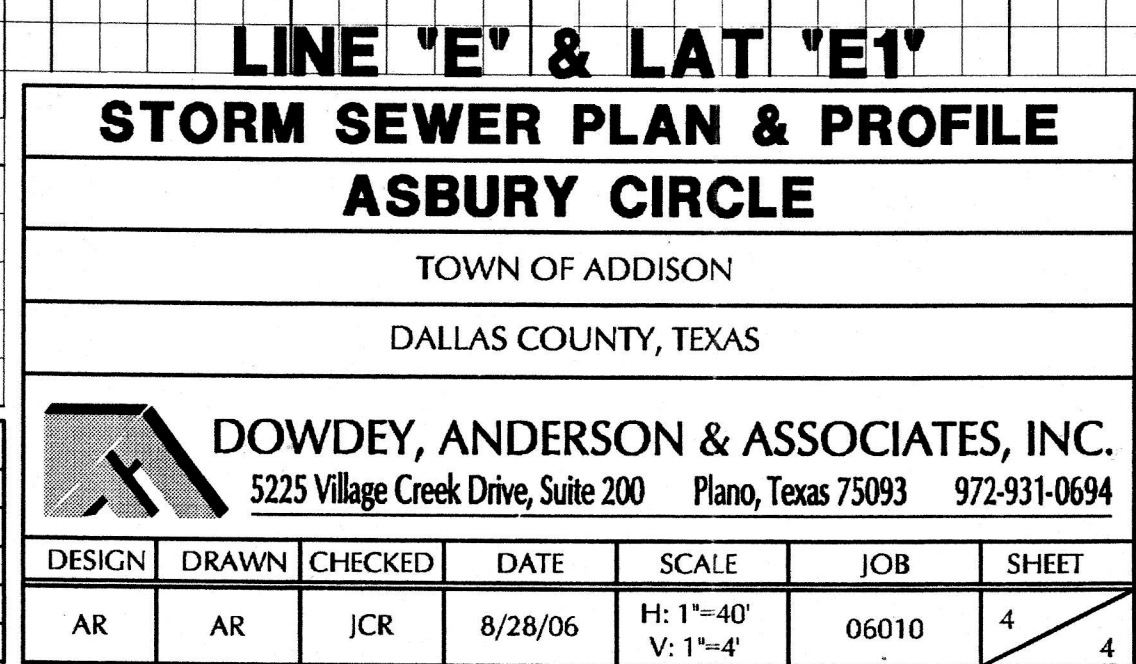
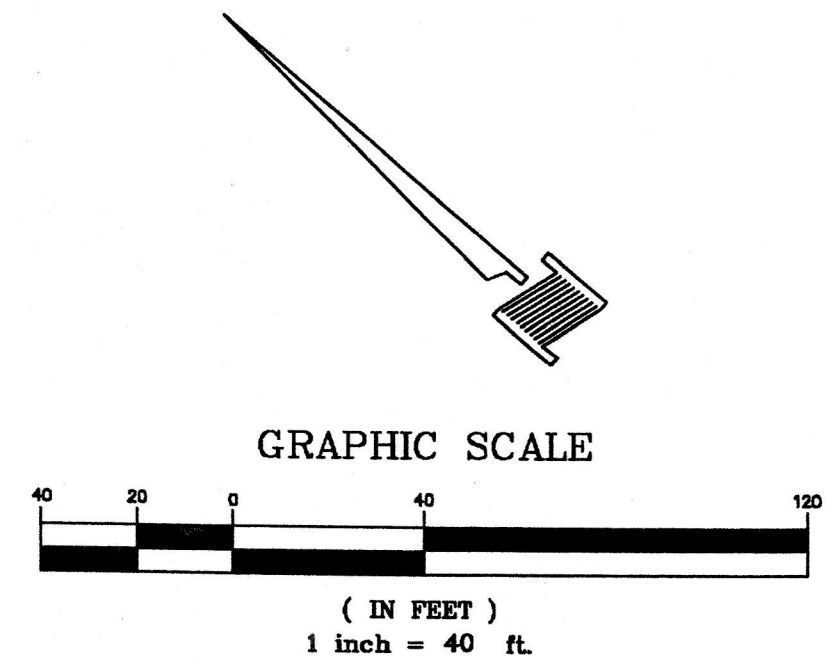
STORM SEWER PLAN & PROFILE

ASBURY CIRCLE

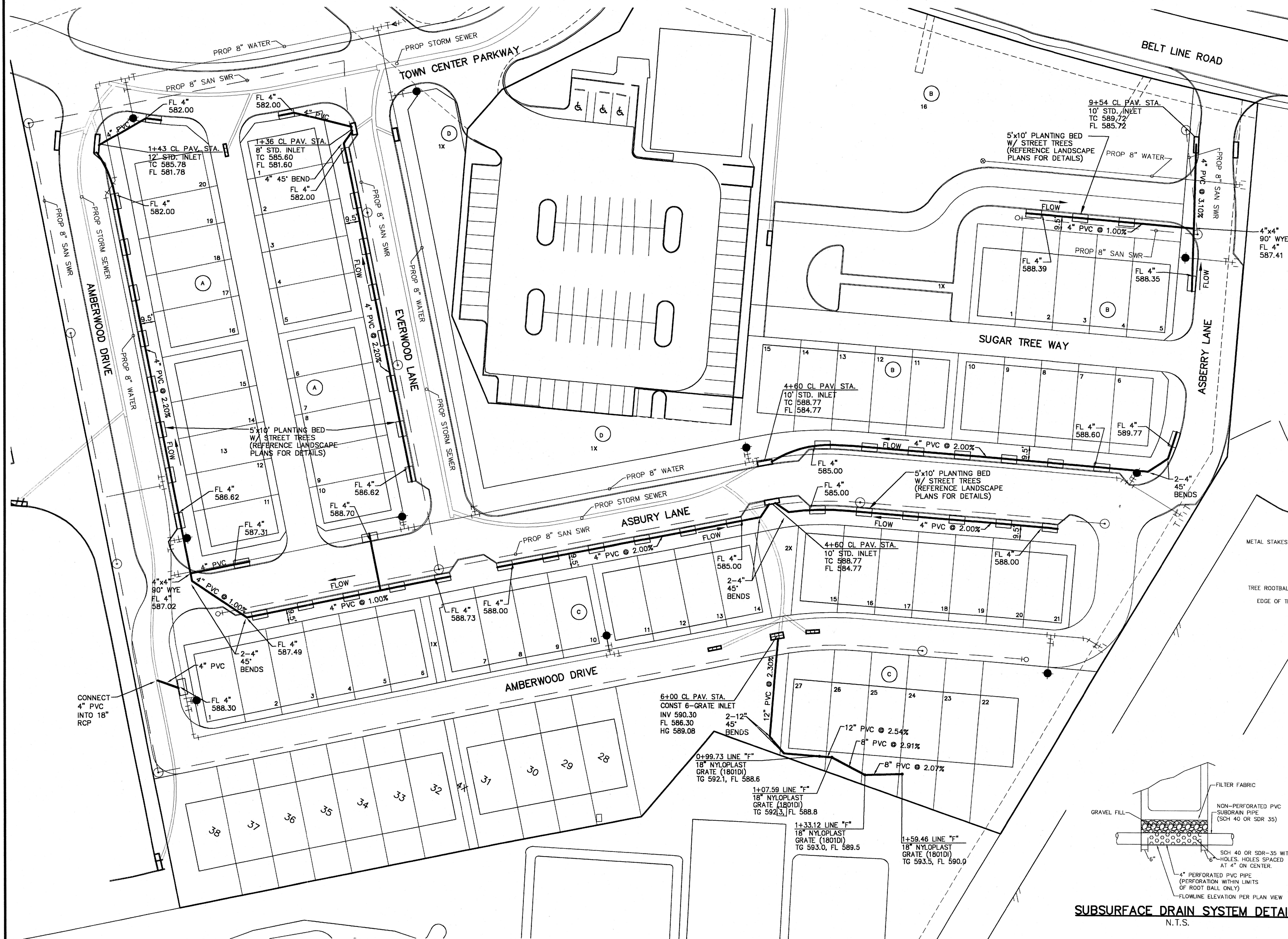
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

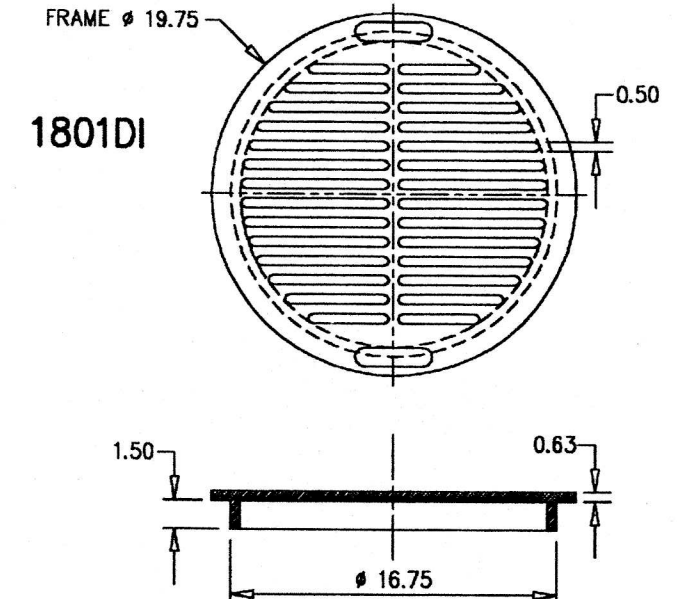
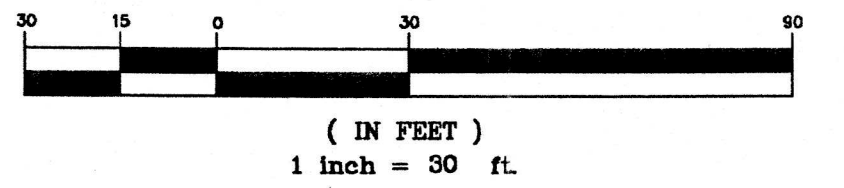
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NO.	DATE	BY	REVISION



GRAPHIC SCALE

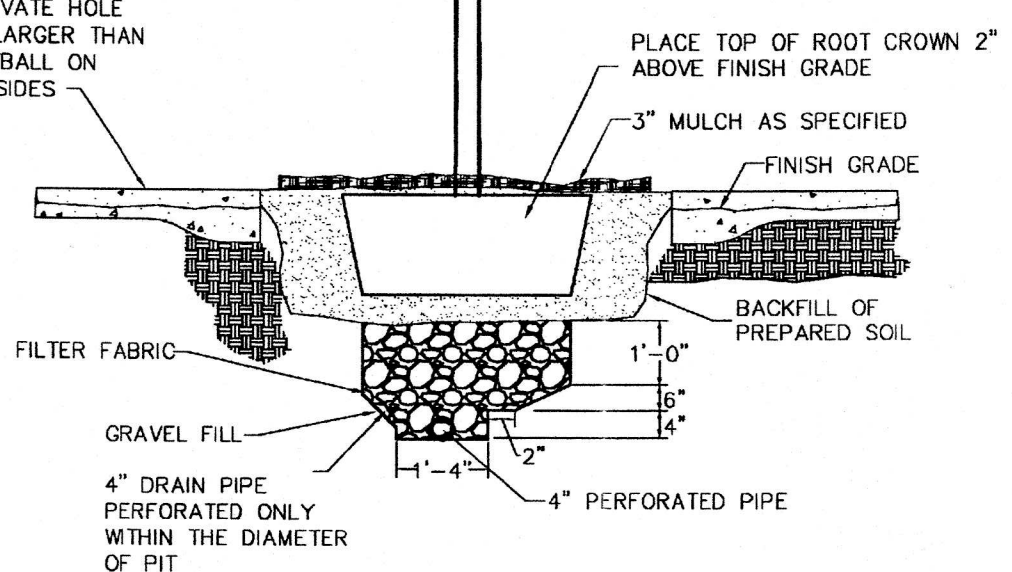
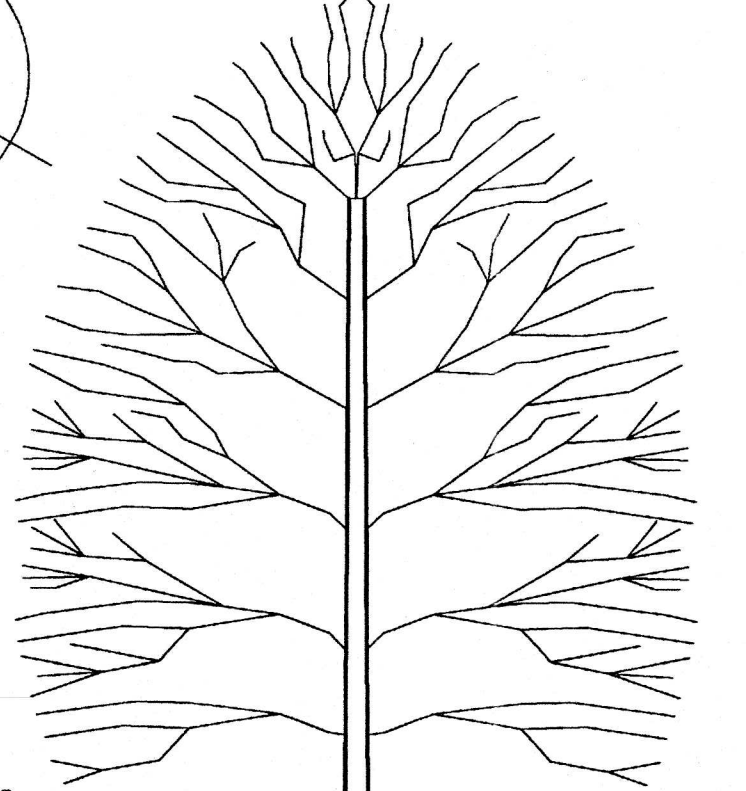
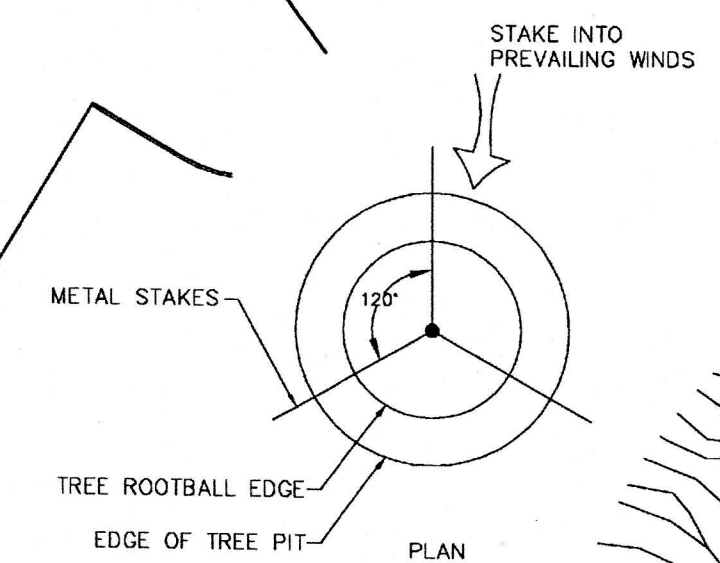
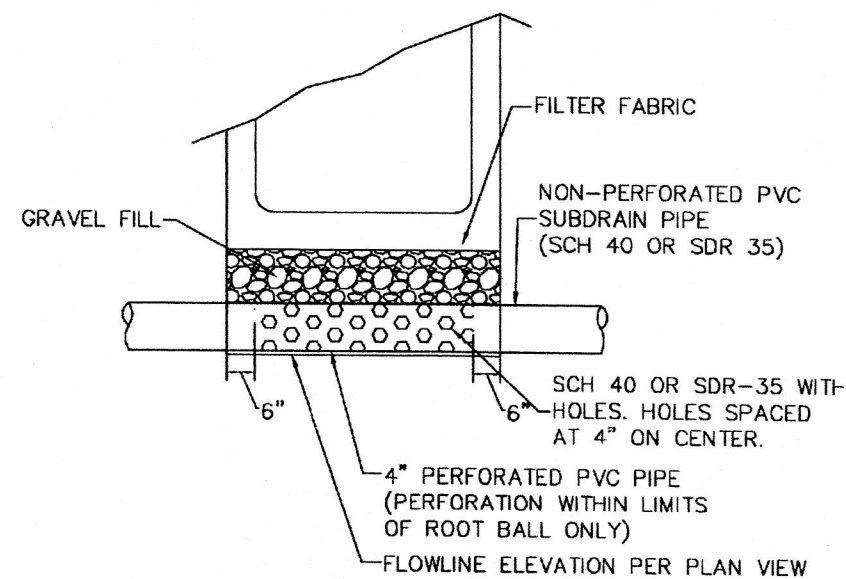


18" NYLOPLAST DROP-IN GRATE

1. QUALITY: MATERIAL SHALL CONFORM TO ASTM A536 GRADE 70-50-05.
2. MATERIAL: DUCTILE IRON.
3. PAINT: CASTING ARE FURNISHED WITH A BLACK PAINT.
4. LOCKING DEVICE AVAILABLE UPON REQUEST
5. CONTRACTOR TO USE NYLOPLAST OR EQUAL; FOR ORDERING CALL 1-800-821-6710.

NOTES:

- 1) ALL PVC SHALL BE SCHEDULE 40 OR SDR-35

TREE IN GRATE DETAIL
N.T.S.SUBSURFACE DRAIN SYSTEM DETAIL
N.T.S.

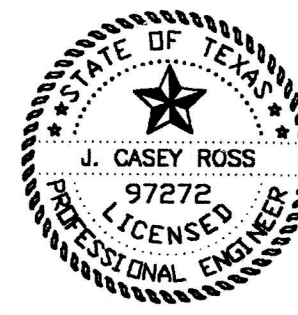
BENCHMARKS:

CITY OF ADDISON BENCHMARK NO. 13:
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN
INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND
SURVEYOR BOULEVARD.
ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:
SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
CORNER OF BELTLINE ROAD AND MIDWAY ROAD.
ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272.

J. Casey Ross 8/9/07



NO.	DATE	BY	REVISION

TREE DRAIN PLAN ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	JCR	JCR	11/15/06	1"=30'	06010	1

WATER SERVICE SCHEDULE

TYPE	SIZE	NO.
DOM.	1"	73
FIRE	1"	73
IRRIG.	2"	2
IRRIG.	1"	1

Legend

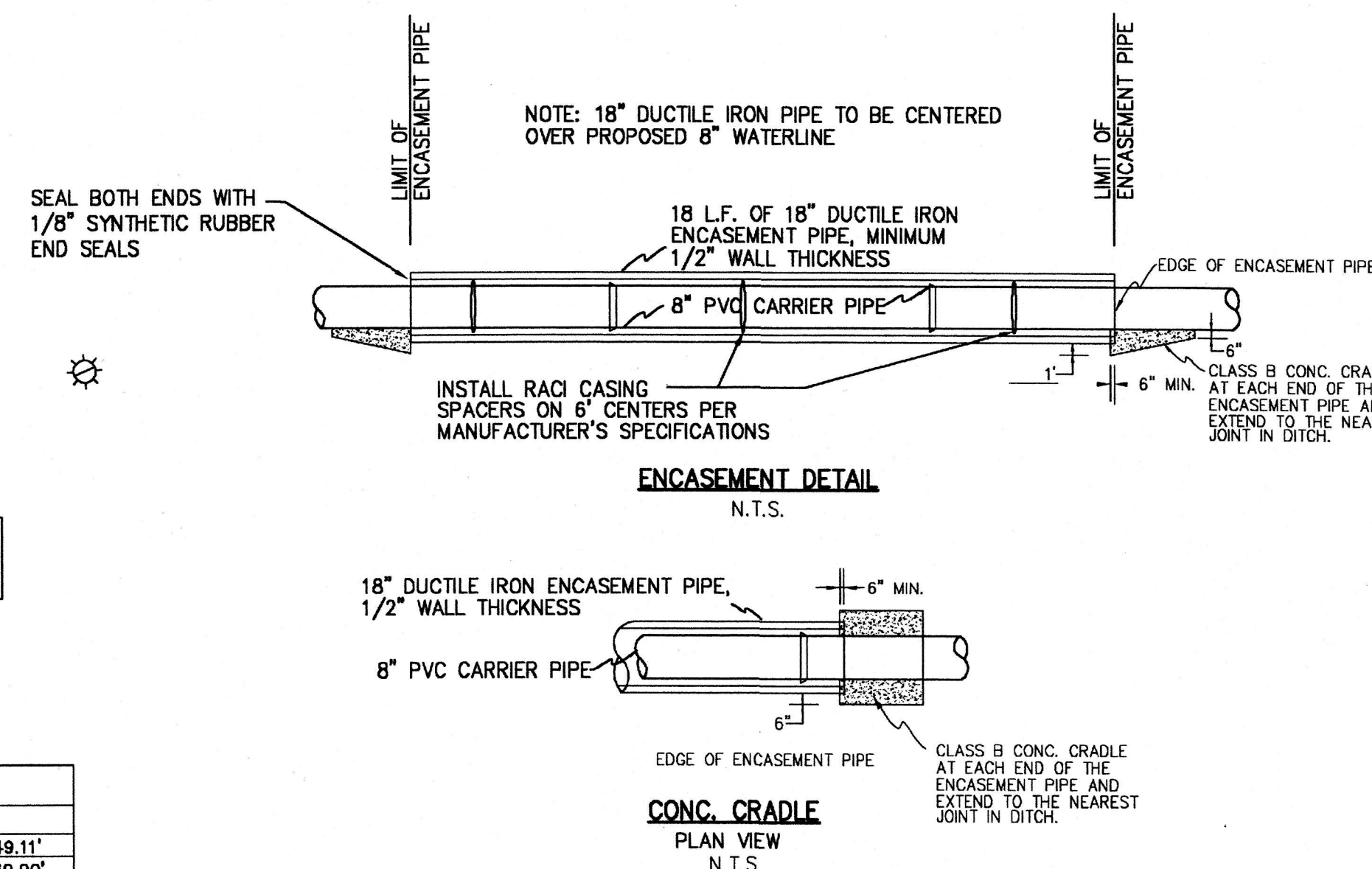
	Prop. San. Sewer
	Prop. Manhole
	Prop. wvac
	Prop. San. Sewer Flow Direction
	Prop. Water
	Prop. Fire Hydrant
	Exist. San. Sewer
	Exist. Manhole
	Exist. Clean-out
	Exist. Water
	Exist. Fire Hydrant
	Fire Water Service
	Electric Transformer

SANITARY SEWER SERVICES

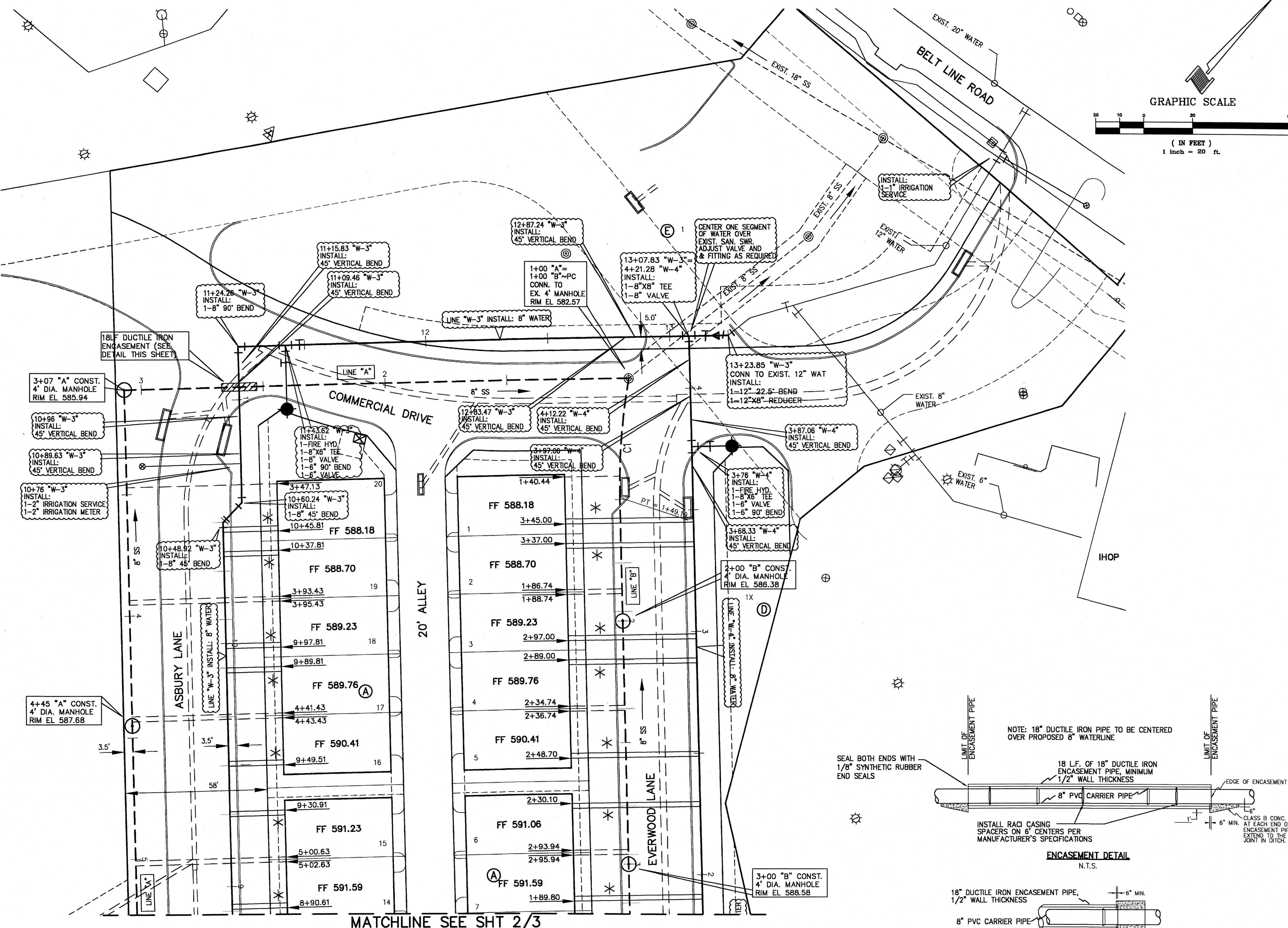
TYPE	SIZE	NO.
PVC	4"	73

WATER LINE GENERAL NOTES

- ALL WORK AND MATERIAL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
- BASE BID, MAINS 8" AND LARGER SHALL BE AWWA C-909 CLASS 150, 8" HYDRANT LEADS SHALL BE C-909 CLASS 200. FOR PVC SERVICE TAPPING SADDLES SHALL BE USED.
- ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10" AND 12": 48" BELOW FINISHED PAVEMENT GRADE, OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
- EXTEND WATER DEADHEADS AND SANITARY SEWER LATERALS BEYOND PROPOSED CURB AS SHOWN ON THE WATER PLAN.
- FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED (MUELLER CENTURION MODEL).
- VALVES TO BE TOWN OF ADDISON APPROVED.
- THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB, WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWING".
- FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
- STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
- ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
- ALL WATER LINES SHALL BE STERILIZED PER TCEQ STANDARDS AND SPECIFICATIONS.
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" OR BOLLARDS.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AS TO WHETHER ADDITIONAL FACILITIES EXIST.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS (95% STANDARD PROCTOR DENSITY).
- ANCHOR FITTING SHALL BE USED TO ATTACH FIRE HYDRANTS.
- ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY CONTRACTOR PRIOR TO PLACEMENT OF PERMANENT PAVING.
- A NO. 12 PLASTIC COATED WIRE SHALL BE PLACED IN THE TRENCH OVER ALL WATER LINES. THE WIRE SHALL BE TIED TO ALL VALVES AND FIRE HYDRANTS AND ATTACHED DIRECTLY TO THE TOP OF THE PIPE AND EXTENDED TO SIX INCHES ABOVE FINISHED GRADE ALONG THE OUTSIDE OF ALL VALVE STACKS AND FIRE HYDRANTS.
- ALL LOCATION DIMENSIONS SHOWN ARE CENTERLINE OF PIPE.
- CONTRACTOR SHALL KEEP WATER AND ELECTRICAL SERVICES TO THE EXISTING LANDSCAPE MEDIANS IN SERVICE AT ALL TIMES DURING CONSTRUCTION. IF THE CONSTRUCTION OF THE PROJECT REQUIRES THE RELOCATION OF EXISTING CITY LANDSCAPE FACILITIES INCLUDING METERS, VALVES, LINES, ETC., THIS WORK WILL BE COMPLETED BY A LICENSED IRRIGATION AND/OR ELECTRICIAN AT THE CONTRACTOR'S EXPENSE.
- ALL VALVES DEEPER THAN FOUR FEET REQUIRE EXTENSION RODS TO BRING OPERATING NUT TO WITHIN FOUR FEET OF SURFACE.
- ALL FITTINGS SHALL HAVE EBAA PV 2000 RESTRAINING GLAND OR APPROVED EQUAL.
- A DOUBLE CLEANOUT SHALL BE INSTALLED AT THE RIGHT-OF-WAY LINE OF ALL SANITARY SEWER SERVICES.
- WATER SERVICE TO THE EXISTING IHOP SHALL REMAIN ON AT ALL TIMES.



CURVE TABLE					
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	11°18'25"	250.00'	24.67'	49.19'	S35°34'52"E 49.11'
C2	16°04'22"	250.00'	35.30'	70.13'	S56°49'06"W 69.90'
C3	16°04'22"	250.00'	35.30'	70.13'	S56°49'06"W 69.90'

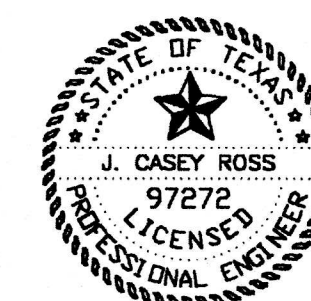


BENCHMARKS:

CITY OF ADDISON BENCHMARK NO. 13:
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ELEVATION = 594.94'

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SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
CORNER OF BELTLINE ROAD AND MIDWAY ROAD.
ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272



NO.	DATE	BY	REVISION

WATER & SANITARY SEWER PLAN
ASBURY CIRCLE

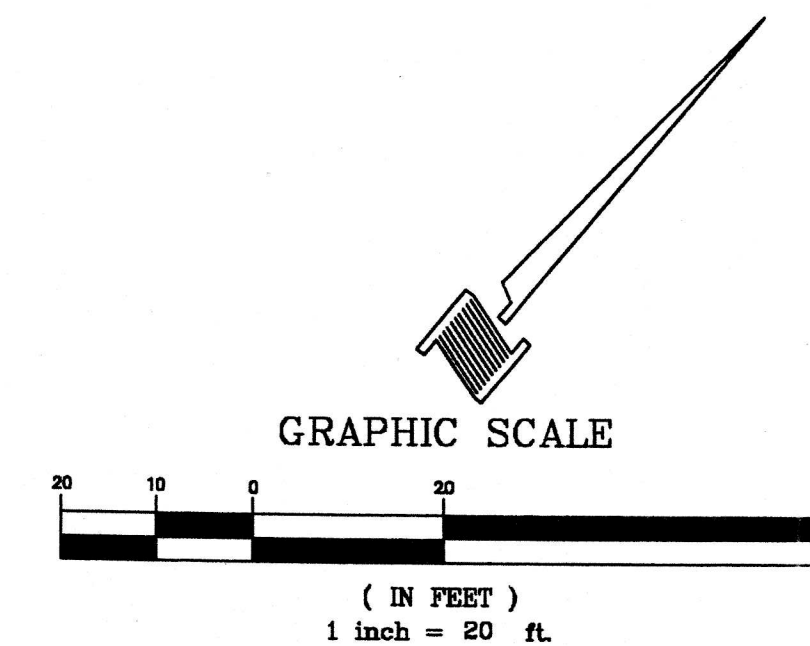
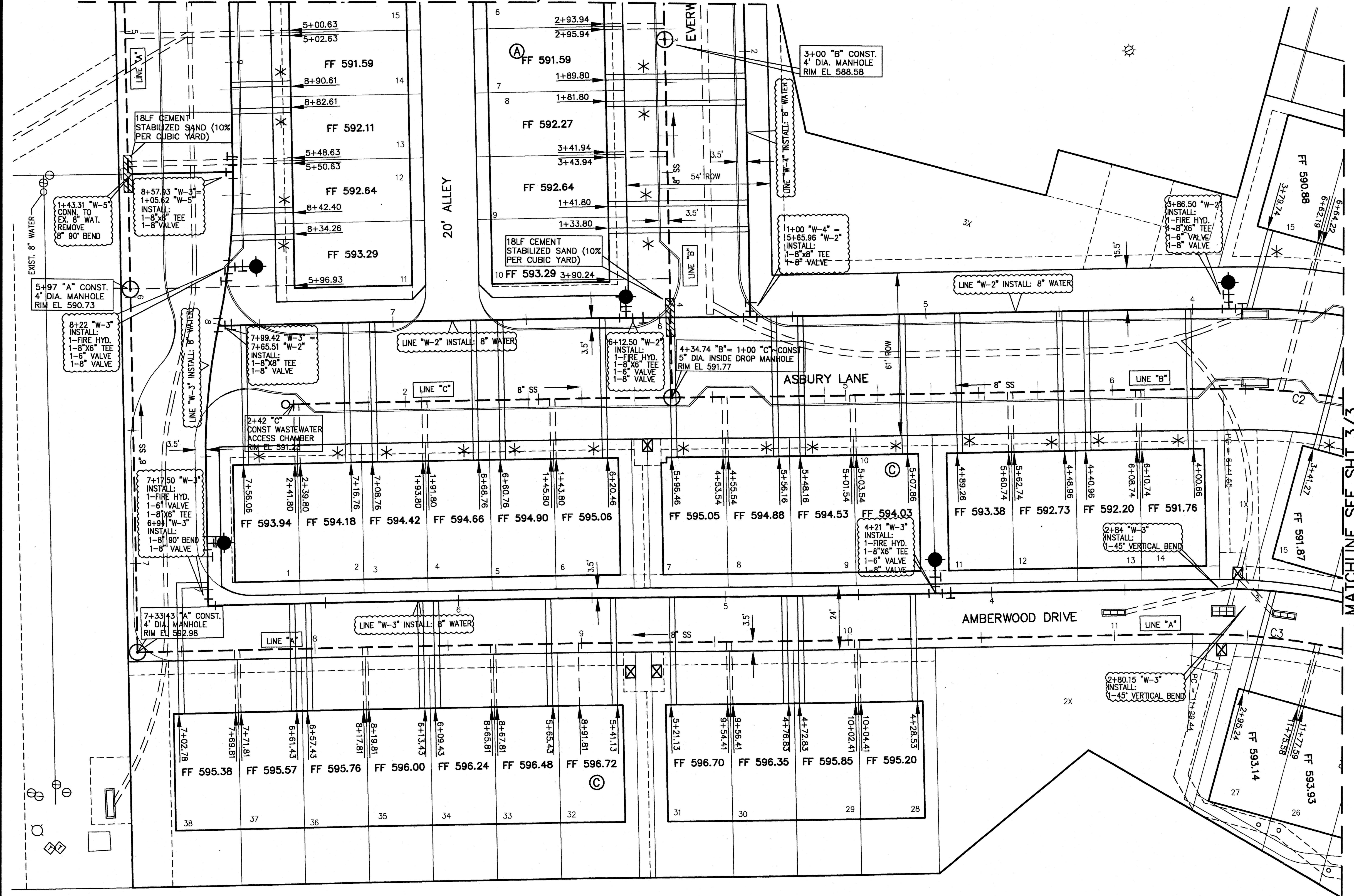
TOWN OF ADDISON

DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/13/2006	1" = 20'	06010	1/3

MATCHLINE SEE SHT 1/3



WATER SERVICE SCHEDULE

TYPE	SIZE	NO.
DOM.	1"	73
FIRE	1"	73
IRRIG.	2"	2

SANITARY SEWER SERVICES

TYPE	SIZE	NO.
PVC	4"	73

Legend

	Prop San. Sewer
	Prop Manhole
	Prop wvac
	San Sewer Flow Direction
	Prop Water
	Prop Fire Hydrant
	Exist. San. Sewer
	Exist. Manhole
	Exist. Clean-out
	Exist. Water
	Exist. Fire Hydrant
	Fire Water Service
	Electric Transformer

CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	11°16'25"	250.00'	24.67'	49.19'	S35°34'52"E 49.11'
C2	16°04'22"	250.00'	35.30'	70.13'	S56°49'06"W 69.90'
C3	16°04'22"	250.00'	35.30'	70.13'	S56°49'06"W 69.90'

BENCHMARKS:

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J. Casey Ross 9/25/07



NO.	DATE	BY	REVISION

WATER & SANITARY SEWER PLAN
ASBURY CIRCLE

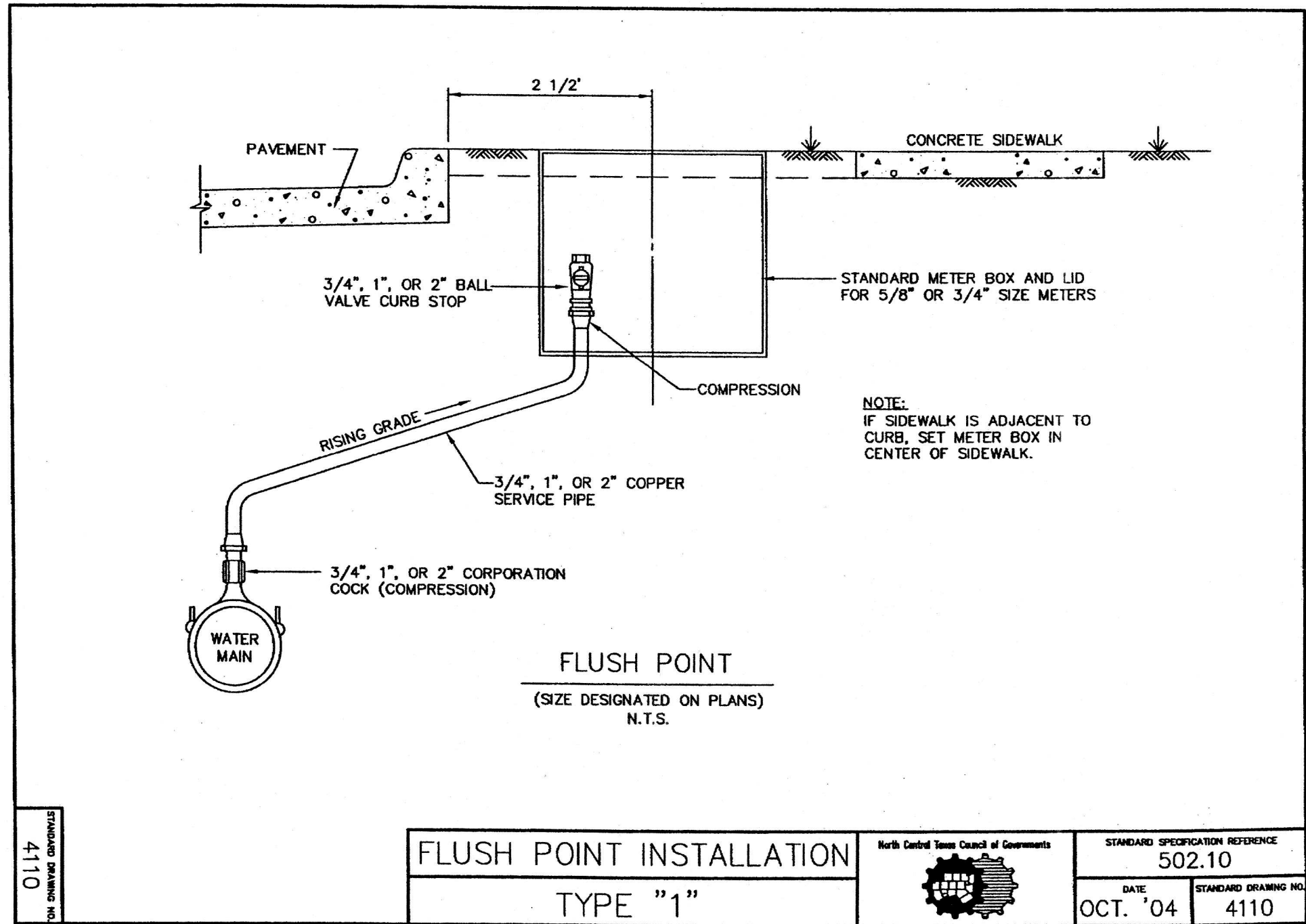
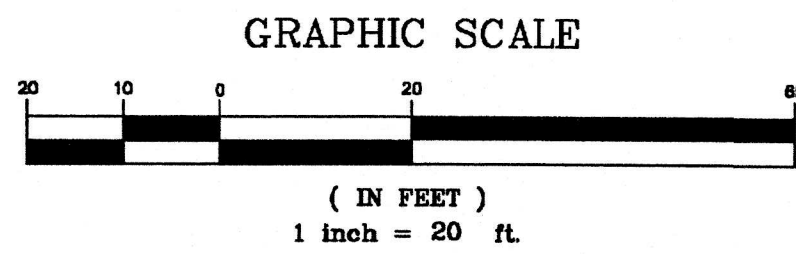
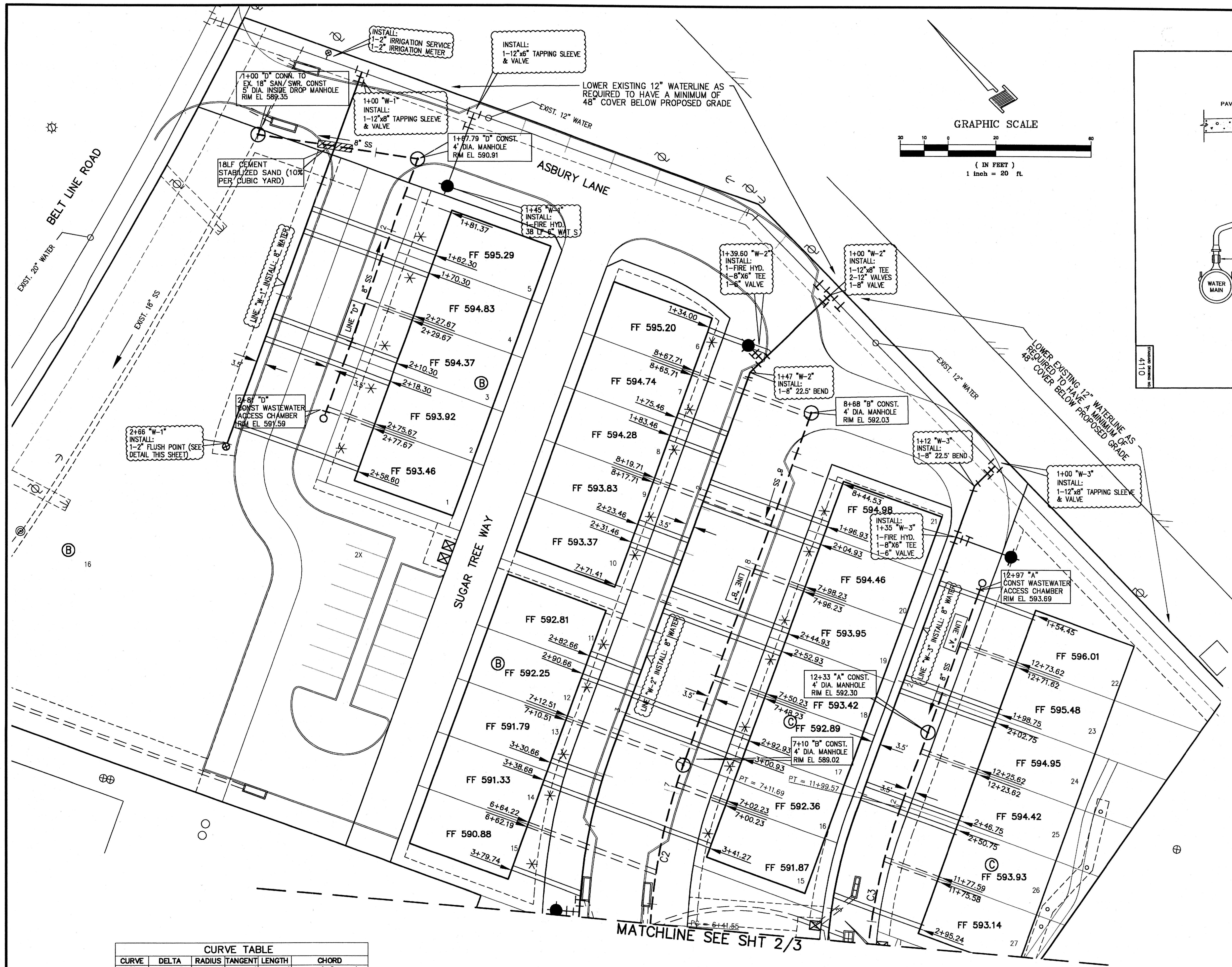
TOWN OF ADDISON

DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
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Legend	
	Prop San. Sewer
	Prop Manhole
	Prop wvac
	San Sewer Flow Direction
	Prop Water
	Prop Fire Hydrant
	Exist. San. Sewer
	Exist. Manhole
	Exist. Clean-out
	Exist. Water
	Exist. Fire Hydrant
	Fire Water Service
	Electric Transformer

SANITARY SEWER SERVICES		
TYPE	SIZE	NO.
PVC	4"	73

WATER SERVICE SCHEDULE		
TYPE	SIZE	NO.
DOM.	1"	73
FIRE	1"	73
IRRIG.	2"	2

CURVE TABLE				
CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD
C1	117°02'	250.00'	24.67'	49.19'
C2	160°42'	250.00'	35.30'	70.13'
C3	160°42'	250.00'	35.30'	70.13'

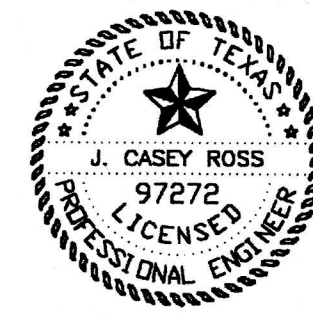
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CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272

J. Casey Ross 9/25/07



NO.	DATE	BY	REVISION

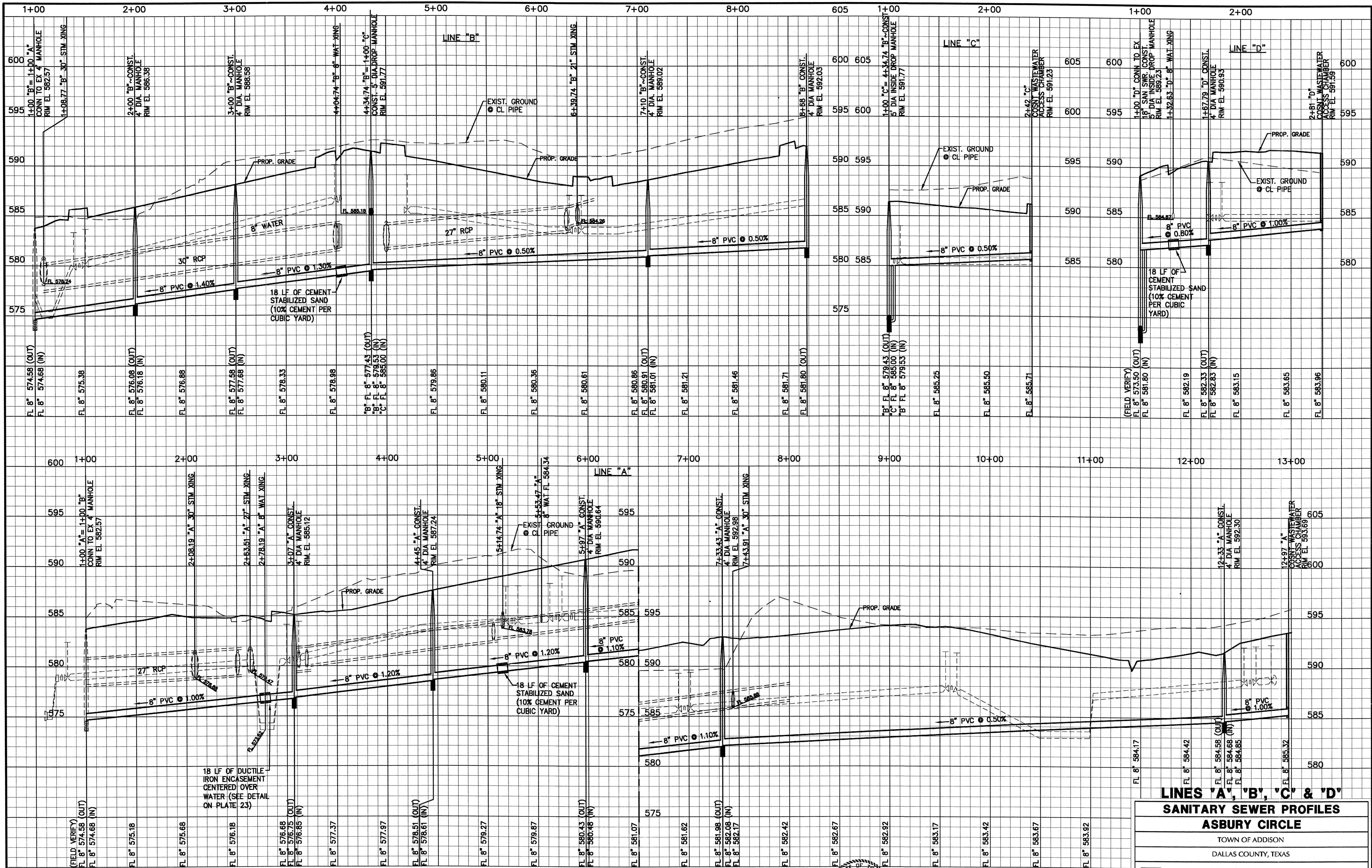
**WATER & SANITARY SEWER PLAN
ASBURY CIRCLE**

TOWN OF ADDISON

DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/13/2006	1" = 20'	06010	3

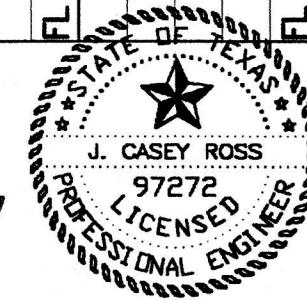


BENCHMARKS:
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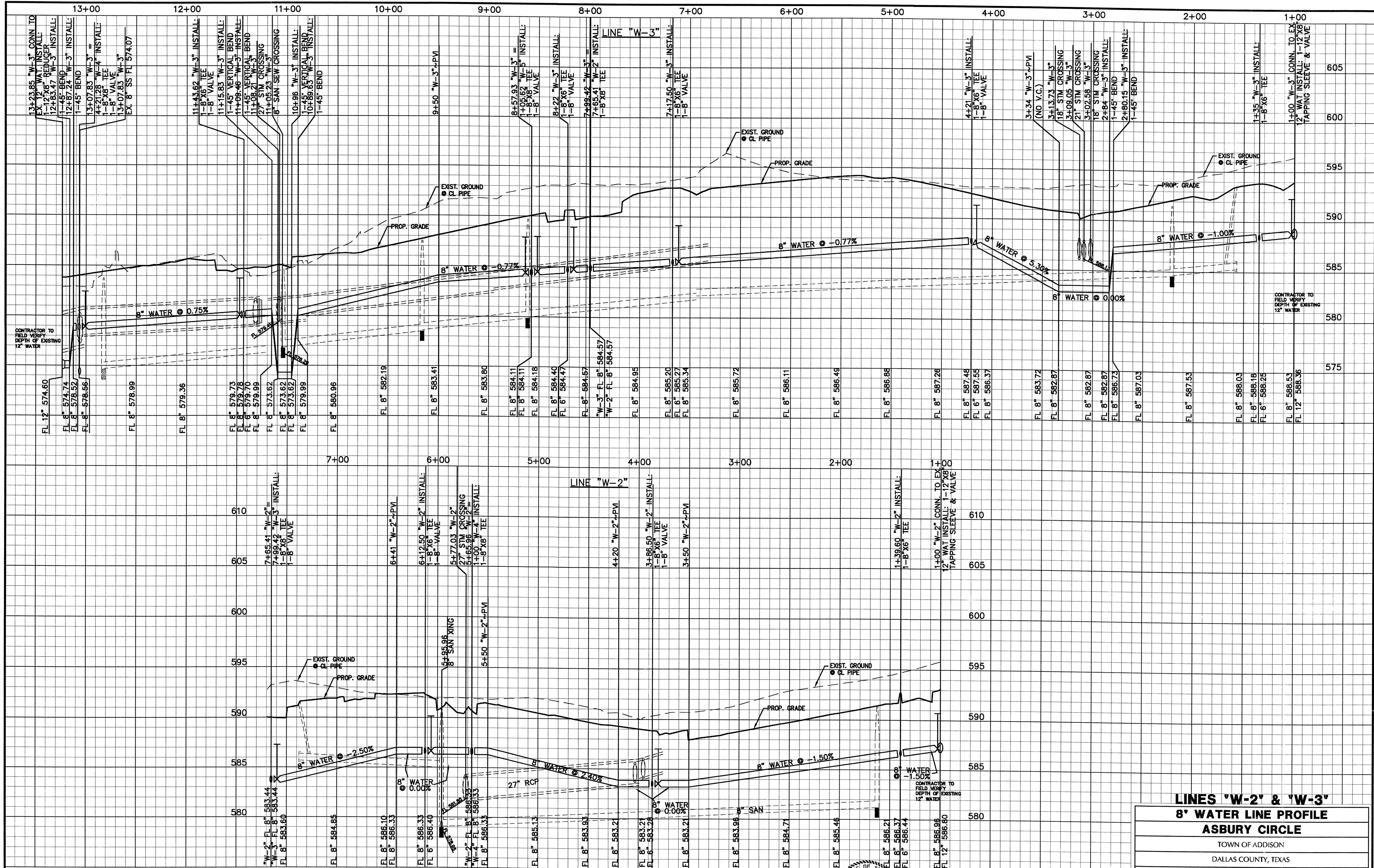
Casey Ross 9/25/07



NO.	DATE	BY	REVISION

LINES 'A', 'B', 'C' & 'D'						
SANITARY SEWER PROFILES						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/16/06	H: 1" = 40' V: 1" = 4'	06010	1

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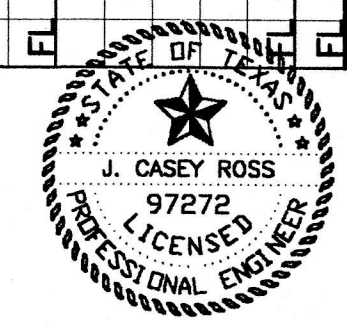
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NO. 97272

J. Casey Ross 8/9/07



NO.	DATE	BY	REVISION

LINE 'W-2' & 'W-3'
8' WATER LINE PROFILE
ASBURY CIRCLE

TOWN OF ADDISON
DALLAS COUNTY, TEXAS

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/17/2006	H: 1"=40' V: 1"=4'	06010	1

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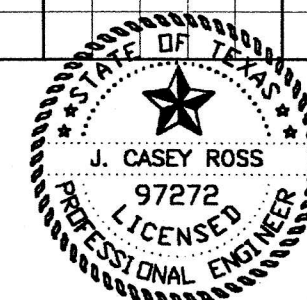
BENCHMARKS:

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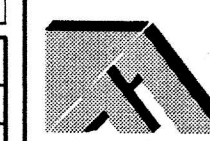
NO.	DATE	BY	REVISION

LINES 'W-1', 'W-4,' & 'W-5'

**8" WATER LINE PROFILE
ASBURY CIRCLE**

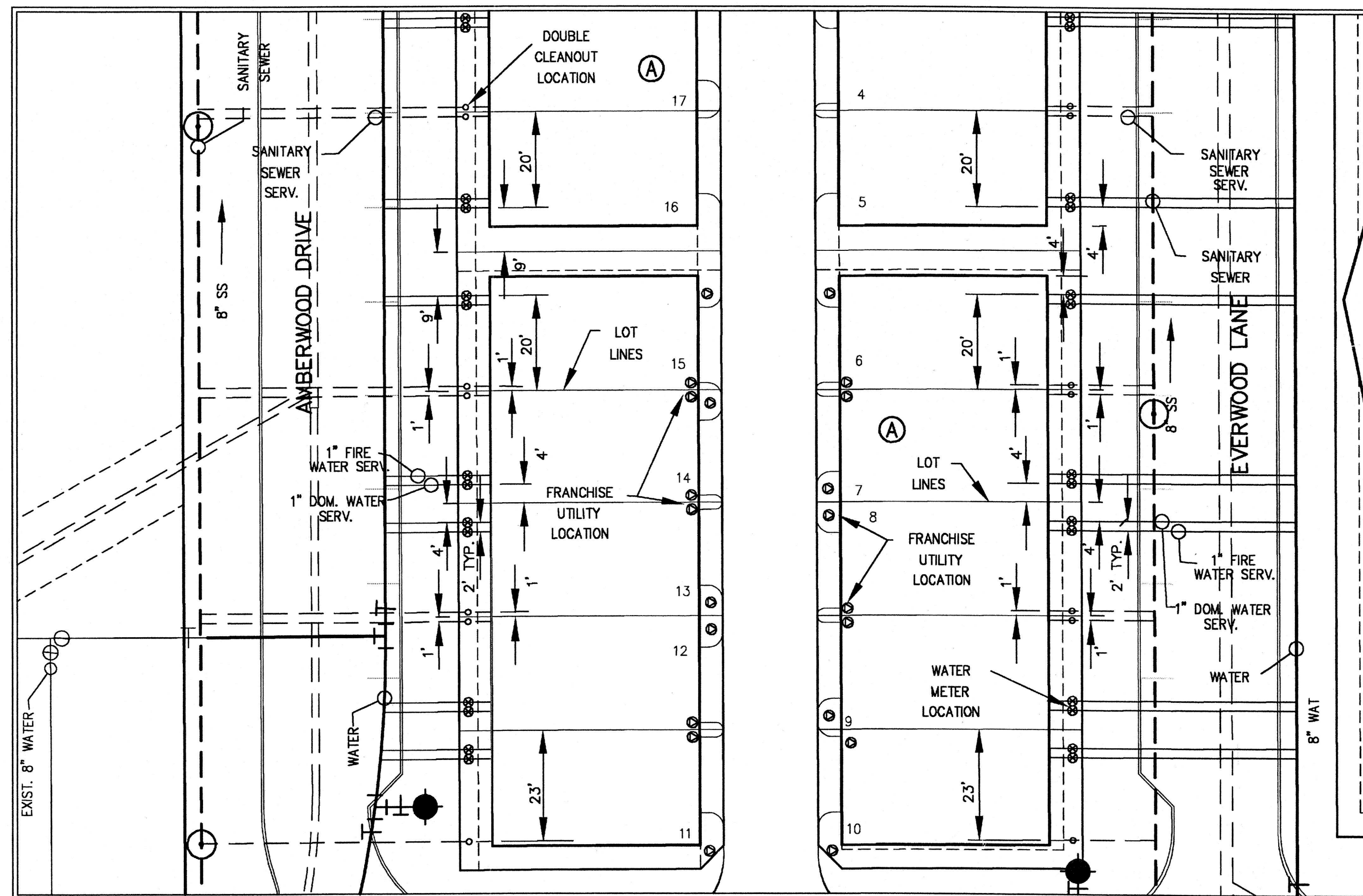
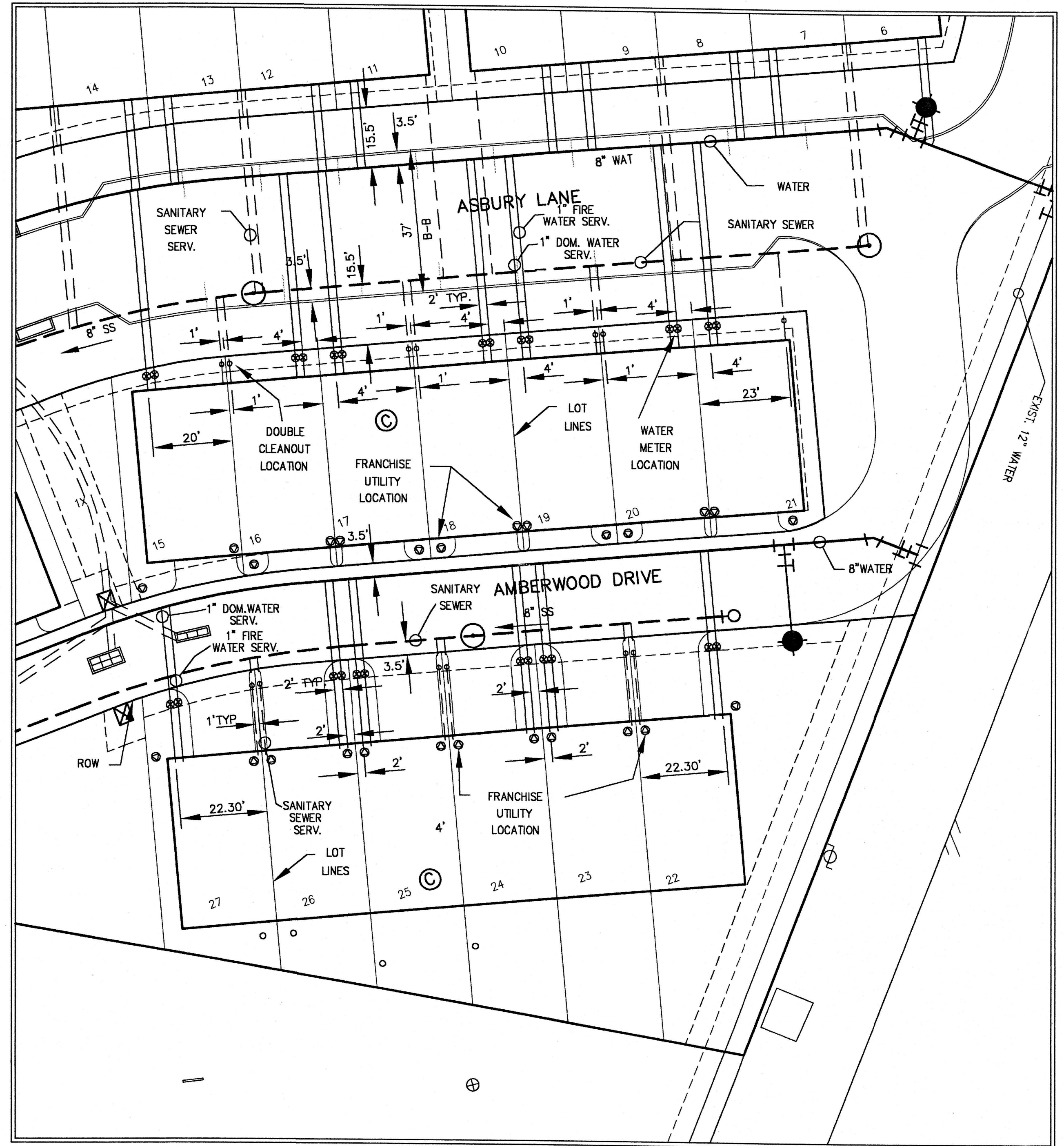
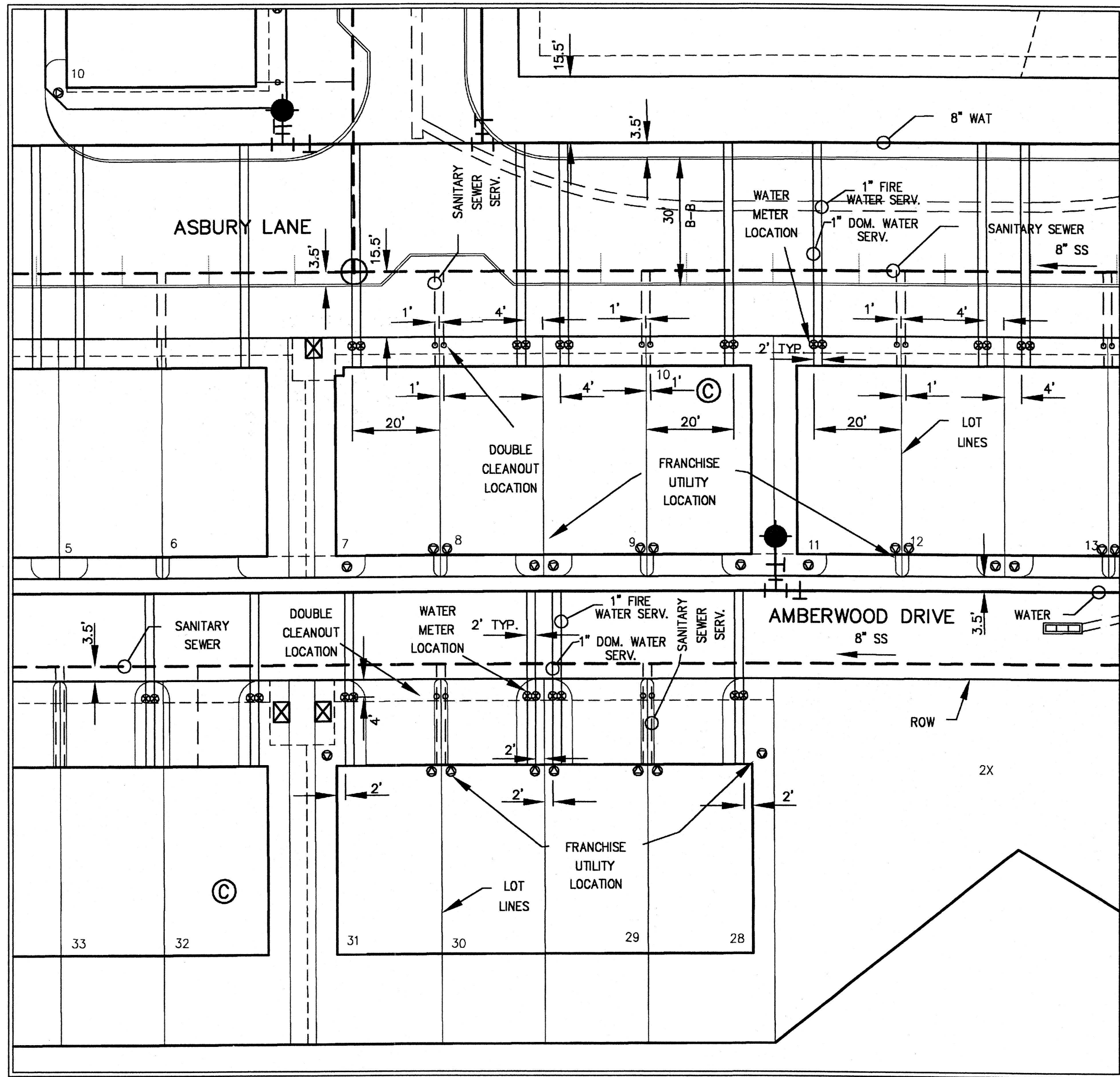
TOWN OF ADDISON

DALLAS COUNTY, TEXAS



DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

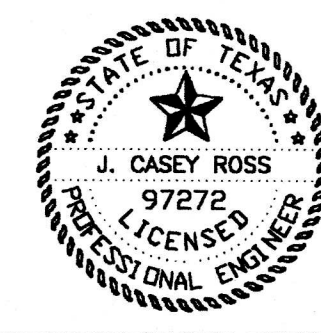
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/17/2006	H: 1"=40' V: 1"=4'	06010	2




- NOTE:
1. ALL CLEANOUTS MUST BE CAST IRON IF LOCATED IN PAVEMENT
 2. NO WATER METERS PERMITTED IN PAVEMENT

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.

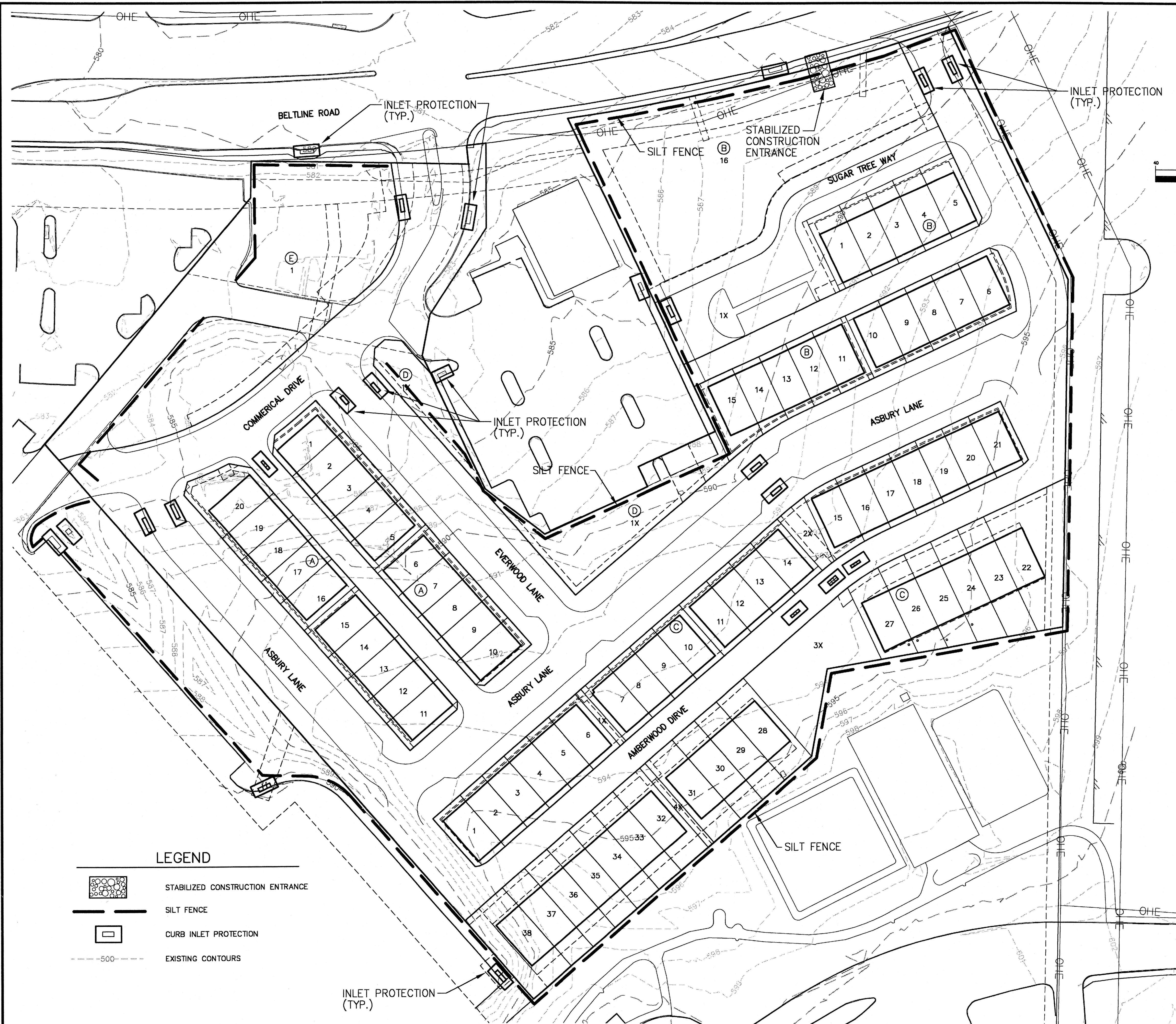
J. Casey Ross 8/9/07



NO.	DATE	BY	REVISION

UTILITY LOCATION DETAILS							
ASBURY CIRCLE							
TOWN OF ADDISON							
DALLAS COUNTY, TEXAS							
 DOWDEY, ANDERSON & ASSOCIATES, INC. 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694							
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET	
MMP	MMP	JCR	10/13/06	1" = 20'	06010	1	1

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LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- CURB INLET PROTECTION
- EXISTING CONTOURS

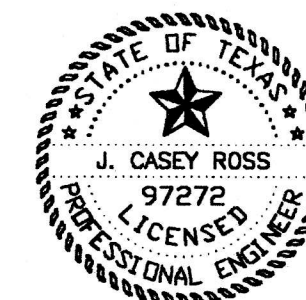
BENCHMARKS:

CITY OF ADDISON BENCHMARK NO. 13:
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN
INLET AT THE SOUTHEAST CORNER OF BELTSLINE ROAD AND
SURVEYOR BOULEVARD.
ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:
SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST
CORNER OF BELTSLINE ROAD AND MIDWAY ROAD.
ELEVATION = 627.93'

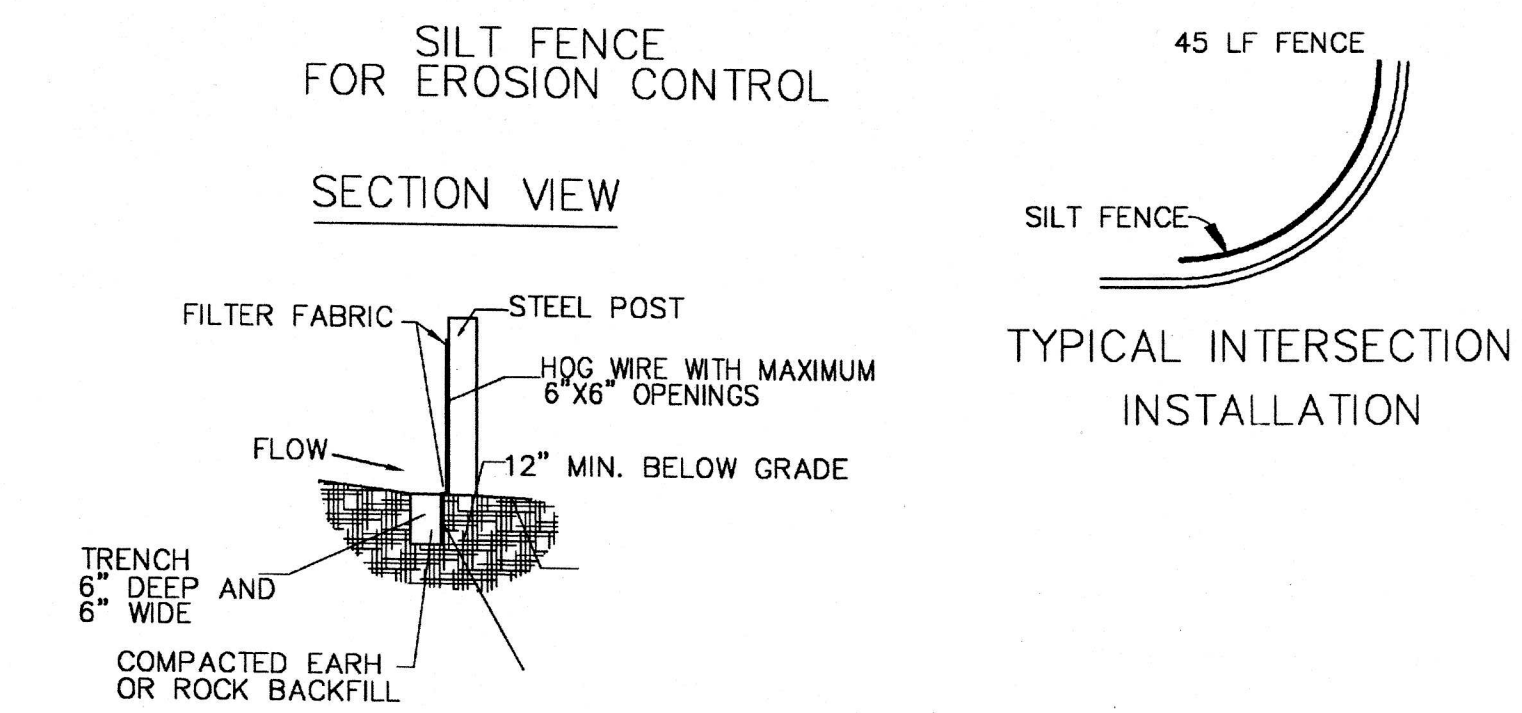
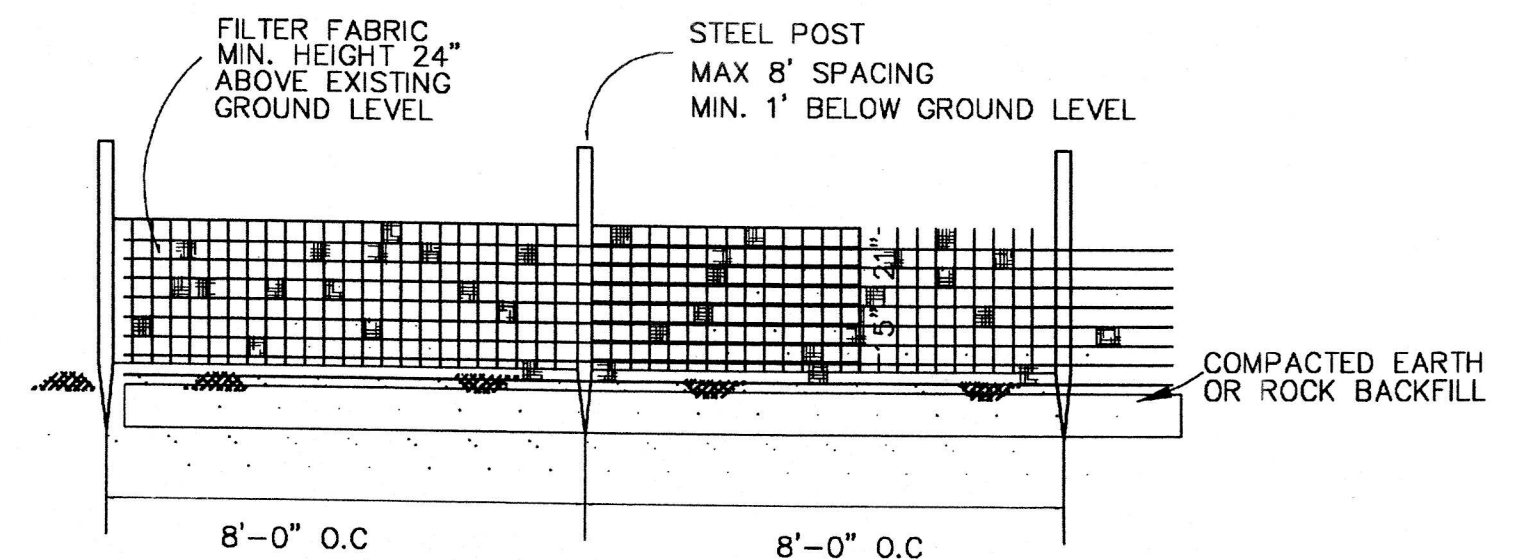
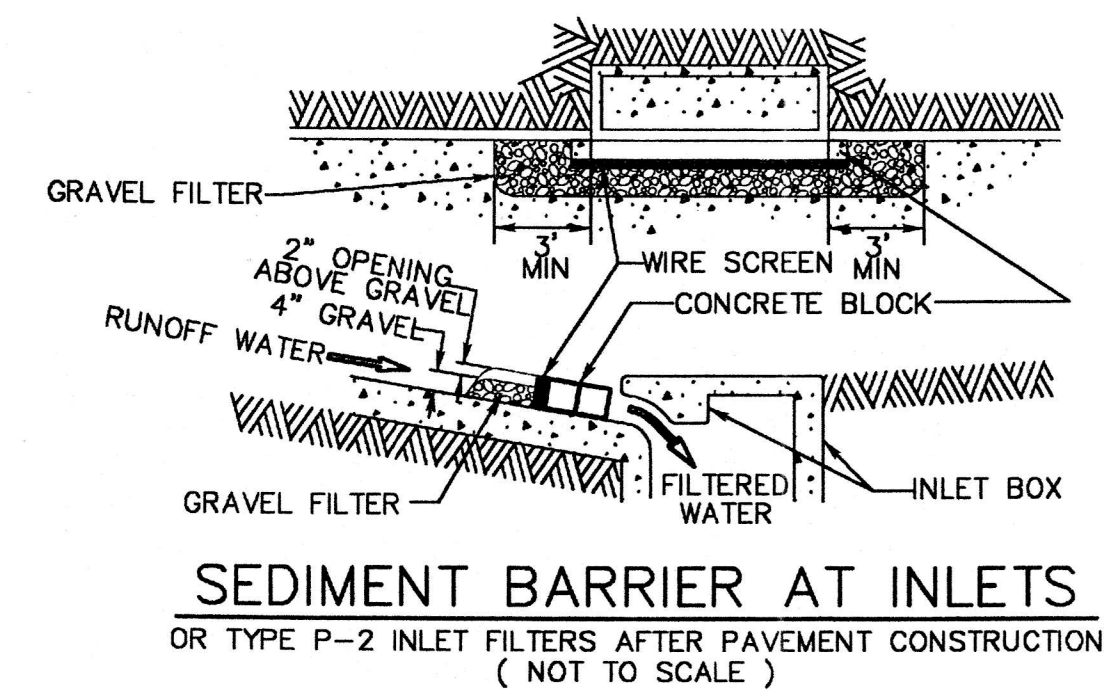
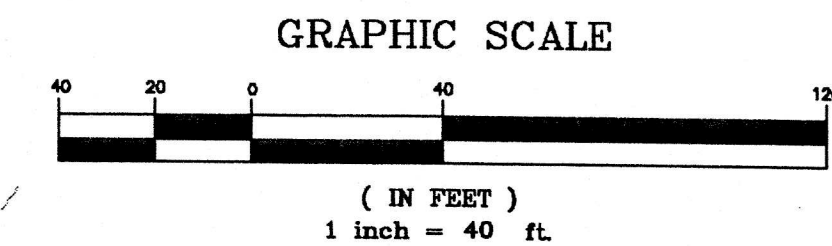
THESE CONSTRUCTION PLANS WERE PREPARED
UNDER THE RESPONSIBLE SUPERVISION OF J.
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER
NO. 97272.

J. Casey Ross 8/9/07



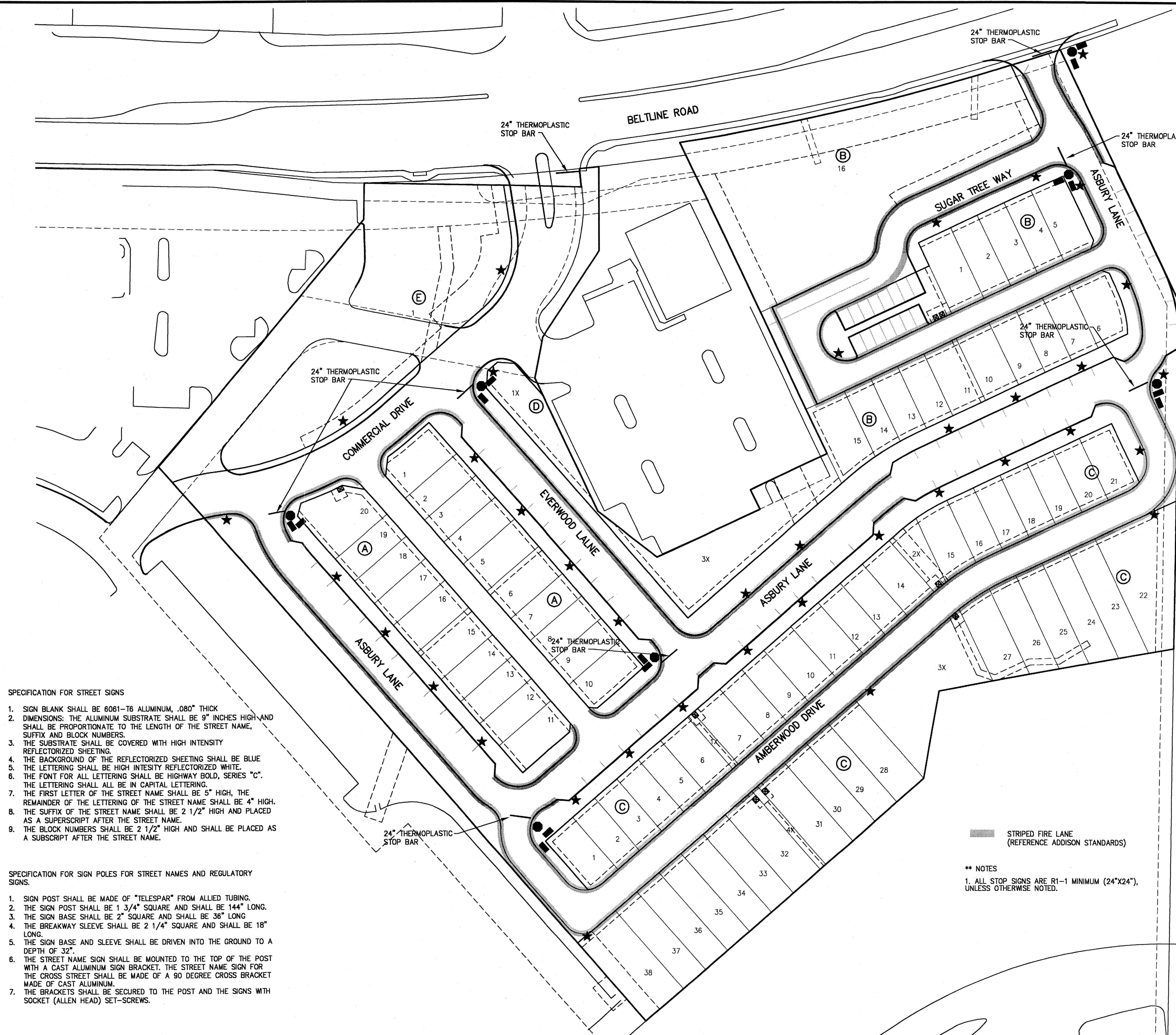
NO.	DATE	BY	REVISION

EROSION CONTROL PLAN						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	MMP	JCR	10/20/2006	1" = 40'	06010	1



LENGTH AS SHOWN ON PLANS		STABILIZED CONSTRUCTION ENTRANCE	
GRADE TO PREVENT RUNOFF FROM LEAVING SITE		GENERAL NOTES	
EXISTING GRADE		1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.	
PAVED SURFACE		2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.	
PROPOSED VIEW		3. THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.	
RADIUS		4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.	
LENGTH AS SHOWN ON PLANS		5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE, ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.	
GRADE TO DRAIN AWAY FROM STABILIZATION AND STREET PAVED SURFACE		6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.	
DRAINAGE MUST FLOW AWAY FROM ENTRANCE		7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.	
PLAN VIEW			
STABILIZED CONSTRUCTION ENTRANCE		02270.Q	STABILIZED CONSTRUCTION ENTRANCE
		DEC. 92 2070 A	

Projects: LDD06010.dwg(06/10-STLIGHT.dwg, ST-LIGHT, 9/27/2007 4:21:10 PM, cross, Dowdey, Anderson & Associates, Inc., JCR



SPECIFICATION FOR STREET SIGNS

1. SIGN BLANK SHALL BE 6061-T6 ALUMINUM, .080" THICK
2. DIMENSIONS: THE ALUMINUM SUBSTRATE SHALL BE 9" INCHES HIGH AND SHALL BE PROPORTIONATE TO THE LENGTH OF THE STREET NAME, SUFFIX AND BLOCK NUMBERS.
3. THE SUBSTRATE SHALL BE COVERED WITH HIGH INTENSITY REFLECTORIZED SHEETING.
4. THE BACKGROUND OF THE REFLECTORIZED SHEETING SHALL BE BLUE
5. THE LETTERING SHALL BE HIGH INTENSITY REFLECTORIZED WHITE.
6. THE FONT FOR ALL LETTERING SHALL BE HIGHWAY BOLD, SERIES "C". THE LETTERING SHALL ALL BE IN CAPITAL LETTERING.
7. THE FIRST LETTER OF THE STREET NAME SHALL BE 5" HIGH, THE REMAINDER OF THE LETTERING OF THE STREET NAME SHALL BE 4" HIGH.
8. THE SUFFIX OF THE STREET NAME SHALL BE 2 1/2" HIGH AND PLACED AS A SUPERScript AFTER THE STREET NAME.
9. THE BLOCK NUMBERS SHALL BE 2 1/2" HIGH AND SHALL BE PLACED AS A SUBSCRIPT AFTER THE STREET NAME.

SPECIFICATION FOR SIGN POLES FOR STREET NAMES AND REGULATORY SIGNS

1. SIGN POST SHALL BE MADE OF "TELESPAR" FROM ALLIED TUBING.
2. THE SIGN POST SHALL BE 1 3/4" SQUARE AND SHALL BE 144" LONG.
3. THE SIGN BASE SHALL BE 2" SQUARE AND SHALL BE 36" LONG
4. THE BREAKWAY SLEEVE SHALL BE 2 1/4" SQUARE AND SHALL BE 18" LONG.
5. THE SIGN BASE AND SLEEVE SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF 32".
6. THE STREET NAME SIGN SHALL BE MOUNTED TO THE TOP OF THE POST WITH A CAST ALUMINUM SIGN BRACKET. THE STREET NAME SIGN FOR THE CROSS STREET SHALL BE MADE OF A 90 DEGREE CROSS BRACKET MADE OF CAST ALUMINUM.
7. THE BRACKETS SHALL BE SECURED TO THE POST AND THE SIGNS WITH SOCKET (ALLEN HEAD) SET-SCREWS.

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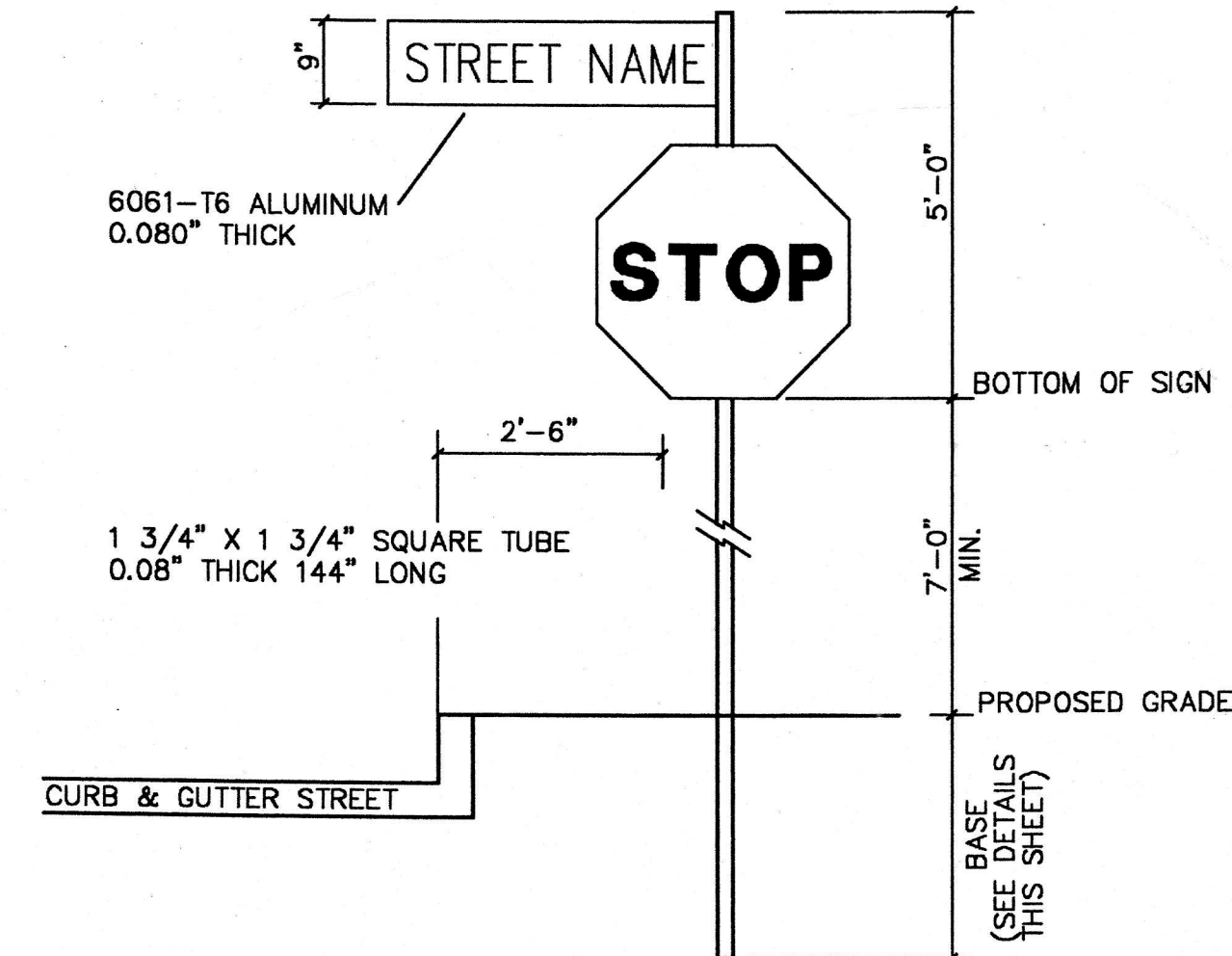
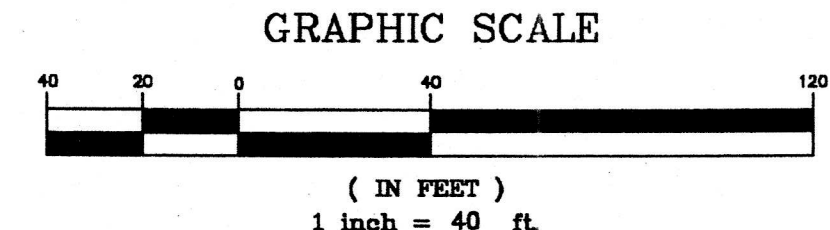
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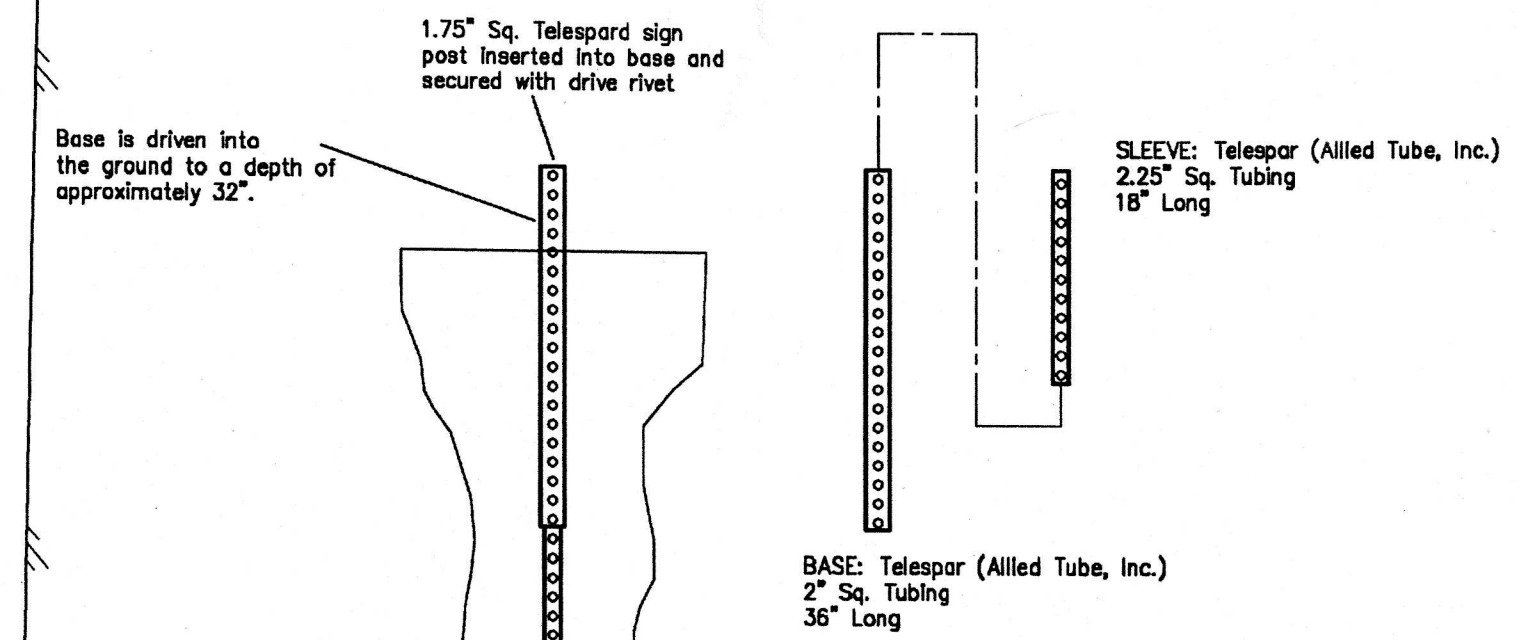


NO.	DATE	BY	REVISION

SIGNAGE, STRIPING & LIGHTING PLAN						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
DOWDEY, ANDERSON & ASSOCIATES, INC.						
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
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TYPICAL CORNER POST DETAIL
NTS



BASE DETAILS
NTS

LEGEND

- ☆ — EXIST. STREET LIGHT (12' POLE)
- — EXIST. STREET NAME SIGN
- — EXIST. STOP SIGN
- ★ — PROPOSED STREET LIGHT (12' POLE)
- — PROPOSED STREET NAME SIGN
- — PROPOSED STOP SIGN
- ⊠ — PROPOSED TRANSFORMER
- ⊡ — EXIST TRAFFIC SIGN