

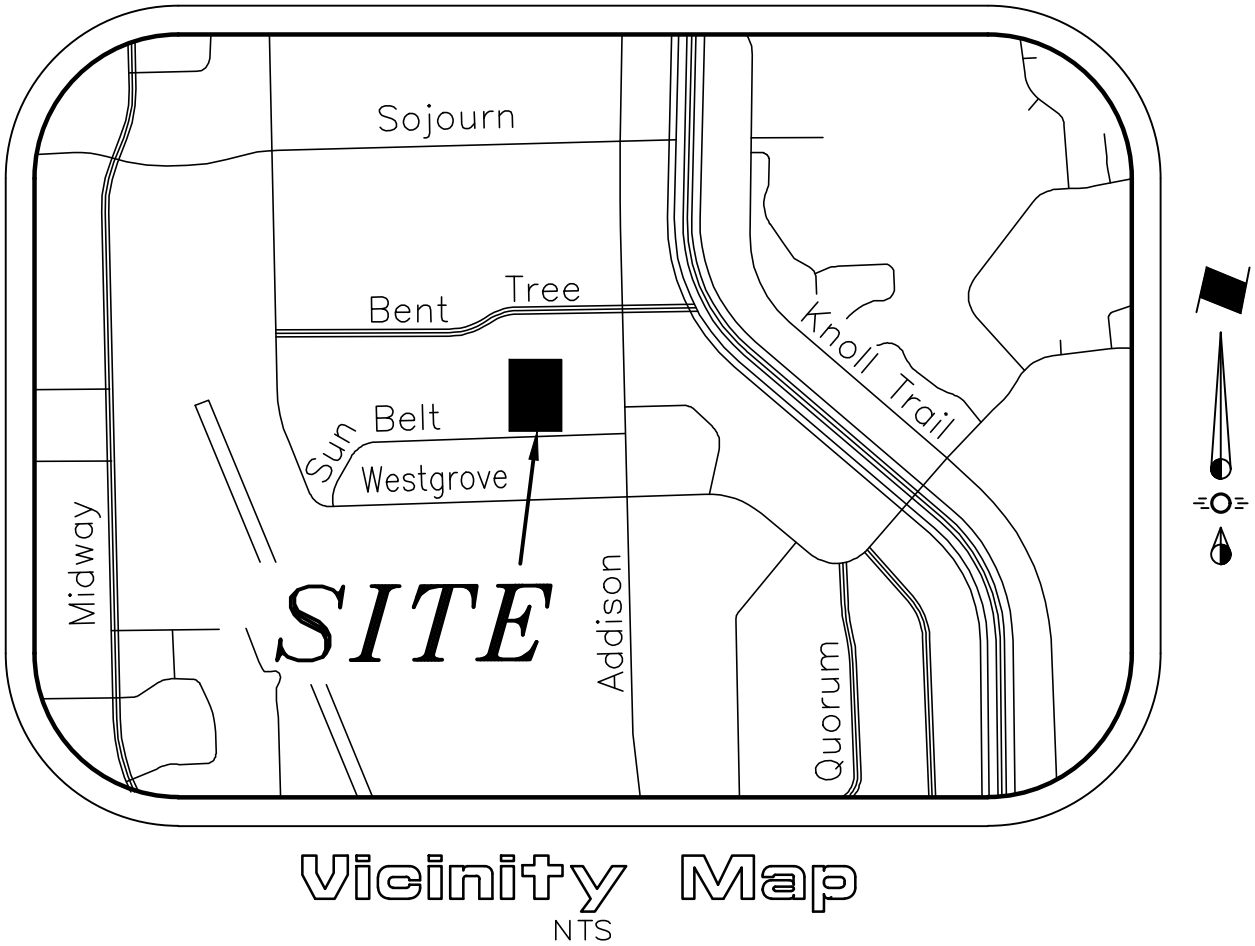
# ENGINEERING PLANS

## 4551 SUNBELT DRIVE

### Addison, Texas

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Prepared For

# Water Tower Park, LLC.

15842 Addison Rd.  
Addison, Texas 75001

Engineer

**CROSS ENGINEERING CONSULTANTS**

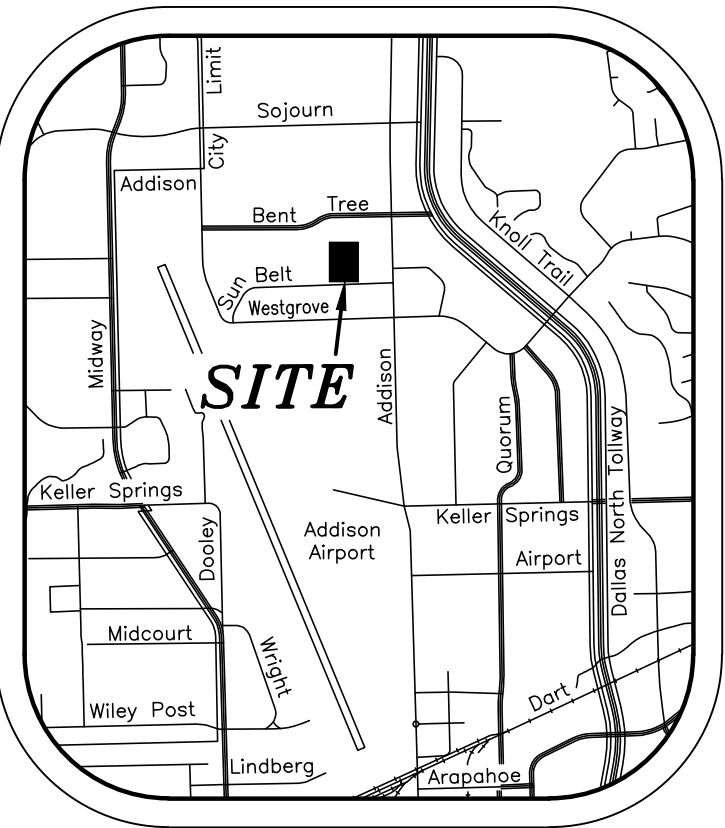
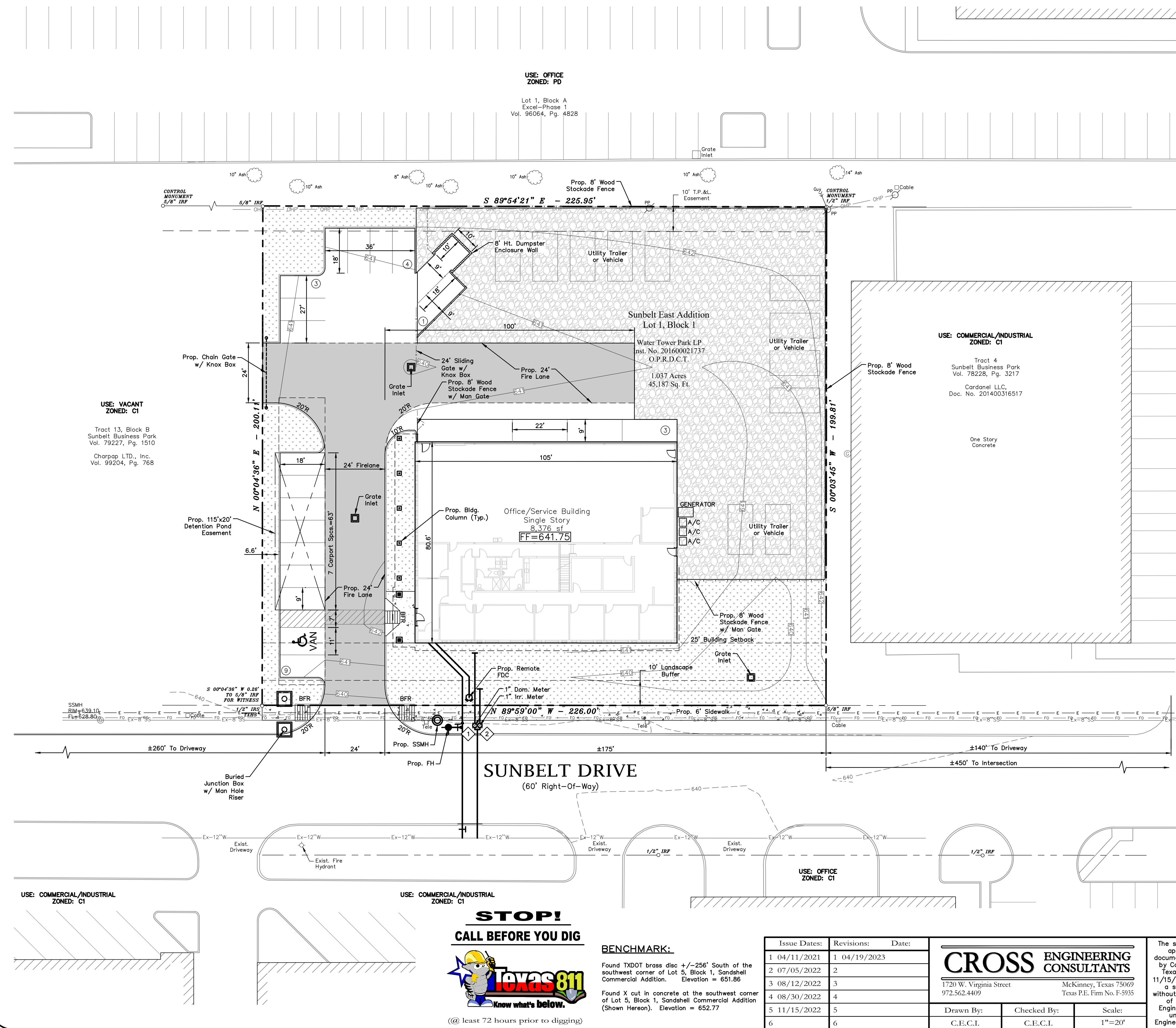
1720 W. Virginia Street  
972.562.4409  
McKinney, Texas 75069  
Texas P.E. Firm No. F-5935

This Record Drawing is a combination of the sealed engineering contract drawings for this project, modified by revision, change order, field order and information furnished by the contractor. The information shown on the Record Drawings is believed to be accurate based on information furnished by the contractor. The original sealed drawings are on file at the office of:  
Cross Engineering Consultants  
131 S. Tennessee Street  
McKinney, Texas 75069  
(972) 562-4409  
Record Drawings Prepared On:  
12/10/2024

<b>ENGINEER:</b> Cross Engineering Consultants, Inc. 131 S. Tennessee St. McKinney, Texas 75069 Phone (972) 562-4409 Contact: Jon David Cross, P.E.	<b>ARCHITECT:</b> Batten Architects. P.O. Box Celeste, Texas 75423 Phone (214) 763-6815 Contact: Michael Batten
<b>OWNER:</b> Water Tower Park, LLC 15842 Addison Road Addison, Texas 75001 Phone (972) 239-1324 Contact: Mike Hope	<b>STRUCTURAL:</b> McHale Engineering, Inc. 2000 Avenue G, Suite 800 Plano, Texas 75074 Phone (972) 423-5908 Contact: Gary B. McHale, P.E.
<b>SURVEYOR:</b> Texas Heritage Surveying, LLC 10610 Metric Drive, Suite 124 Dallas, Texas 75243 Phone (214) 340-9700	<b>MEP:</b> RCS Enterprises, LP 400 N. Allen Drive Allen, Texas 75013 Phone (972) 727-8572 Contact: Spencer Montgomery, P.E.

The seal that originally appeared on this document was authorized by Casey R. McBroom, Texas No. 110104, on 11/15/2022. Alteration of a sealed document without proper notification of the responsible Engineer is an offense under the Texas Engineering Practice Act.

ISSUE DATES:	REVISIONS:	DATE	BY
04/11/2022	01 Existing Utility Conflicts	04/19/23	CRM
07/05/2022			
08/12/2022			
08/30/2022			
11/15/2022			



- LEGEND
- Proposed Gravel
  - Proposed Sidewalk
  - Proposed Landscape
  - Existing Fire Hydrant
  - Proposed Fire Hydrant
  - BFR Barrier Free Ramp
  - Proposed Firelane

Town of Addison Site Plan Notes:

- Any revision to this plan will require Town approval and will require revisions to any corresponding plans to avoid conflicts between plans.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Buildings with an aggregate sum of 500 square feet or greater on a lot shall have automatic fire sprinklers installed throughout all structures. Alternative fire protection measures may be approved by the Fire Department.
- All signage is subject to Town approval.
- All fences and retaining walls shall be shown on the site plan and are subject to Building Inspection Division approval.

SITE DATA SUMMARY TABLE:

Zoning:	C1
Proposed Use:	Office/Service
Lot Area:	1.0373 Acres (45,187 sf)
Building Height:	24' (2 Story)
Building Area (1st):	8,376 sf
Building Area (2nd):	2,033 sf (Attic)
Building Area Total:	10,049 sf
Lot Coverage:	18.54% (Total Bldg Area 8,376 sf)
Total Parking Required:	Office: 1:300 (4,200/300) = 14 Spcs. Warehouse: 1:1,000 (4,176/1,000) = 5 Spcs. Total: 19
Total Parking Provided:	20 Parking Spaces (1 HC, 7 Covered)
Usable Open Space Required:	9,551 SF (20% of Site Area)
Usable Open Space Provided:	9,743 SF (20.4% of Site Area)
Impervious Area:	17,933 sf (40%)

\*Handicap parking is provided in accordance with ADA standards.

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Water Tower Park, LLC  
15842 Addison Road  
Addison, Texas 75001  
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Contact: Mike Hope

SURVEYOR:  
Texas Heritage Surveying, LLC  
10610 Metric Drive, Suite 124  
Dallas, Texas 75243  
Phone (214) 340-9700  
Fax (214) 340-9710

WATER METER CHART		
No.	Proposed Meter	Size
1	Domestic Meter	1"
2	Irrigation Meter	1"

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Town Project No. : SP2022-02

SITE PLAN  
1.037 ACRES  
4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.

SP

Project No.  
19121

4551 SUNBELT DRIVE

<p><b>1. GENERAL NOTES FOR ALL CONSTRUCTION ACTIVITIES</b></p> <p>1.1. ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS. IF NOT EXPLICITLY SPECIFIED IN TOWN DOCUMENTS, NCTCOG OR THE APPROPRIATE GOVERNING BODY'S, STANDARDS AND DETAILS SHALL REGULATE CONSTRUCTION, TESTING, AND MATERIALS.</p> <p>1.2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT PUBLIC WORKS &amp; ENGINEERING SERVICES DEPARTMENT FOR A PERMIT TO WORK WITHIN TOWN ROW.</p> <p>1.3. ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE TOWN, SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 21 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE TOWN.</p> <p>1.4. CONTRACTOR SHALL NOTIFY THE TOWN AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.</p> <p>1.5. CONTRACTORS ARE ALLOWED TO MAKE CONNECTIONS TO THE TOWN WATER SYSTEM BY OPENING AN ACCOUNT THROUGH THE ADDISON FINANCE DEPARTMENT AND RENTING A FIRE HYDRANT METER. THE COMPANY OR INDIVIDUAL IS SOLELY RESPONSIBLE FOR THE COST, MAINTENANCE, PROPER USE, AND SECURITY OF THE RENTAL EQUIPMENT. THE COMPANY OR INDIVIDUAL IS ALSO RESPONSIBLE FOR THE COST OF THE WATER USED.</p> <p>1.6. CONTRACTOR MUST KEEP AVAILABLE ONSITE, AT ALL TIMES, APPROVED CONSTRUCTION PLANS AND COPIES OF ANY/ALL REQUIRED PERMITS ALONG WITH THE APPROPRIATE VERSIONS OF THE FOLLOWING APPLICABLE REFERENCES:</p> <p>1.6.1. TOWN OF ADDISON ENGINEERING STANDARDS &amp; DETAILS</p> <p>1.6.2. NCTCOG STANDARDS &amp; SPECIFICATIONS</p> <p>1.6.3. TCEQ STANDARDS &amp; SPECIFICATIONS</p> <p>1.6.4. TXDOT SPECIFICATIONS &amp; STANDARD DRAWINGS, AS APPLICABLE.</p> <p>1.7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.</p> <p>1.8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE TOWN.</p> <p>1.9. TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY SPECIFIED BY OR APPROVED BY THE TOWN. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO</p>	<p>THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS. COPIES OF TESTING REPORTS SHALL BE FURNISHED TO THE TOWN IMMEDIATELY UPON RECEIPT BY THE CONTRACTOR.</p> <p>1.10. FOR PUBLIC PROJECTS, CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE AND WEEKLY PROGRESS REPORTS.</p> <p>1.11. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF DIRT, MUD, AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.</p> <p>1.12. THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR MAY BE REQUIRED EXPOSE THESE FACILITIES AT NO COST TO THE TOWN. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.</p> <p>1.13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.</p> <p>1.14. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND/OR THE TOWN, AS APPLICABLE.</p> <p>1.15. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE TOWN. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE TOWN.</p> <p>1.16. UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.</p> <p>1.17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE TOWN'S RECORDS.</p>	<p><b>2. GENERAL NOTES FOR PAVING SYSTEMS</b></p> <p>2.1. ALL PAVING CONSTRUCTION, TESTING, AND MATERIALS, INCLUDING CONCRETE, REINFORCEMENT, JOINTING, AND SUBGRADE PREPARATION AND TREATMENT SHALL BE IN ACCORDANCE WITH THE TOWN'S CURRENT STANDARDS, DETAILS, AND CONSTRUCTION SPECIFICATIONS UNLESS OTHERWISE NOTES.</p> <p>2.2. NO EARTHWORK, LIME APPLICATION, OR OTHER PREPARATION OF THE SUBGRADE FOR PAVING OF STREETS, ALLEYS, OR FIRE LANES SHALL BE INITIATED WITHOUT AUTHORIZATION FROM THE TOWN. THE TOWN WILL AUTHORIZE THE SUBGRADE ENGINEERING STANDARDS WORK IN PREPARATION FOR PAVING AFTER UTILITY TRENCH BACKFILL TESTING HAS BEEN COMPLETED AND VERIFIED TO MEET THE TOWN REQUIREMENTS.</p> <p>2.3. SUBGRADE</p> <p>2.3.1. SHALL EXTEND 12" MIN. BEHIND THE BACK OF CURB.</p> <p>2.3.2. SUBGRADE UNDER ALL PAVEMENT SHALL BE 6" THICK AND SHALL BE STABILIZED HTH AT LEAST 30 LBS. PER SQ. YD. HYDRATED LIME, COMPACTED TO A DENSITY NOT LESS THAN 95 PERCENT.</p> <p>2.3.3. LABORATORY TESTS MUST BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR APPROVAL TO DETERMINE AMOUNT OF LIME REQUIRED. LABORATORY TEST MAY BE WAIVED PROVIDED AT LEAST 36 LBS. OF LIME PER SQ. YD. IS USED. SEE NCTCOG ITEM 301.2 "LIME TREATMENT".</p> <p>2.3.4. FLEXIBLE BASE (CRUSHED STONE/CONCRETE) PER NCTCOG ITEM 301.5 MAY BE SUBSTITUTED FOR LIME TREATMENT WITH THE APPROVAL OF THE TOWN ENGINEER.</p> <p>2.4. REINFORCING STEEL</p> <p>2.4.1. BAR LAPS SHALL BE THIRTY DIAMETERS.</p> <p>2.4.2. REINFORCING STEEL SHALL BE #3 REBAR (3/8") ON 18' CENTERS FOR 8" OR LESS PAVEMENT THICKNESS, #4 FOR 10" OR MORE PAVEMENT THICKNESS.</p> <p>2.4.3. REBAR SHALL BE SUPPORTED BY BAR CHAIRS OR OTHER DEVICES APPROVED BY TOWN ENGINEER.</p> <p>2.4.4. NO TRAFFIC ON FINISHED SUBGRADE SHALL BE PERMITTED AFTER REINFORCING STEEL IS INSTALLED ABOVE SUBGRADE. NO TRAFFIC SHALL BE PERMITTED BEFORE OR DURING THE PLACING OF CONCRETE.</p> <p>2.5. CONCRETE PAVEMENT:</p> <p>2.5.1. ALL CONCRETE STRENGTH AND MIX DESIGN SHALL BE AS SHOWN IN LATEST EDITION OF NCTCOG SECTION 303.3</p> <p>2.5.2. CLASS P1 PAVEMENT : MACHINE FINISHED: A SLIP-FORM PAVING MACHINE SHALL BE USED FOR ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PUBLIC WORKS &amp; ENGINEERING SERVICES. MIN. 4000 PSI 28-DAY COMPRESSIVE STRENGTH.</p>	<p>2.5.3. CLASS P2 PAVEMENT : HAND FINISHED: HAND FINISHED PAVEMENT IS PERMITTED FOR TURN LANES, DECELERATION LANES, DRIVEWAY APPROACHES, OR PANEL REPLACEMENT OF PUBLIC STREETS OR ALLEYS. MIN. 4500 PSI 28-DAY COMPRESSIVE STRENGTH</p> <p>2.5.4. MINIMUM PAVEMENT THICKNESS SHALL BE AS FOLLOWS:</p> <p>2.5.4.1. MAJOR ARTERIAL - 10" CLASS "P1" OR "P2"</p> <p>2.5.4.2. MINOR ARTERIAL - 8" CLASS "P1" OR "P2"</p> <p>2.5.4.3. COMMERCIAL/ INDUSTRIAL COLLECTOR - 8" CLASS "P1" OR "P2"</p> <p>2.5.4.4. RESIDENTIAL COLLECTOR - 8" CLASS "P1" OR "P2"</p> <p>2.5.4.5. RESIDENTIAL LOCAL - 8" CLASS "P1" OR "P2"</p> <p>2.5.4.6. SIDEWALK AND BFR'S - 4" - CLASS "A"</p> <p>2.5.4.7. DRIVE APPROACH 8" - CLASS "P2"</p> <p>2.5.4.8. ALLEY - 6" CLASS "P1" OR "P2"</p> <p>2.5.5. CONCRETE FOR ALLEY RETURNS AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS IDENTICAL TO THAT SPECIFIED FOR THE STREET PAVEMENT OR BASE WHEN BUILT AS COMPONENTS OF A CONCRETE PAVING PROJECTS. WHEN BUILT SEPARATELY, THE STRENGTH SHALL BE AS SPECIFIED ON THE CONSTRUCTION PLAN.</p> <p>2.5.6. SPACING AND CONSTRUCTION OF JOINTS SHALL CONFORM TO TOWN OF ADDISON STANDARD CONSTRUCTION DETAILS.</p> <p>2.5.7. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL PEDESTRIAN WORK MEETS OR EXCEEDS THE CURRENT AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE TEXAS ACCESSIBILITY STANDARDS (TAS), AND PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). THE CONTRACTOR SHALL REMOVE AND REPLACE ANY CONSTRUCTED OR INSTALLED ITEMS NOT MEETING THE CURRENT ADAAG, TAS, &amp; PROWAG REQUIREMENTS AT NO ADDITIONAL COST TO THE TOWN.</p> <p>2.5.8. ALL MEDIANS AND PARKWAYS SHALL BE PROVIDED WITH GROUND COVER. TYPE OF GROUNDCOVER SHALL BE DETERMINED BY THE PARKS &amp; RECREATION DEPARTMENT, OR SHALL BE RESTORED TO MATCH EXISTING PLANT MATERIALS IN EQUAL OR BETTER CONDITION. ALL TURF AREAS SHALL BE SOLID SOD, AND GROUNDCOVER SHALL BE MINIMUM ONE (1) GALLON PLANT MATERIAL.</p>	TOA General Construction Notes   01/2022	3	TOA General Construction Notes   01/2022	4	TOA General Construction Notes   01/2022	5	TOA General Construction Notes   01/2022	6
<p><b>3. GENERAL NOTES FOR WATER AND WASTEWATER SYSTEMS</b></p> <p>3.1. ALL WATER AND WASTEWATER CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MORE RESTRICTIVE OF THE CURRENT TCEQ REGULATIONS OR THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.</p> <p>3.2. TRENCH SAFETY</p> <p>3.2.1. PRIVATE DEVELOPMENT: CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.</p> <p>3.2.2. PUBLIC PROJECTS : CONTRACTOR AND/OR DESIGN ENGINEER SHALL SUBMIT A TRENCH SAFETY PLAN AS PART OF THE CIVIL CONSTRUCTION DOCUMENTS PACKAGE.</p> <p>3.3. CONTRACTOR SHALL NOT OPERATE ANY WATER VALVES THAT ARE PART OF THE ACTIVE TOWN OF ADDISON WATER SYSTEM. CONTACT THE TOWN'S PUBLIC WORKS &amp; ENGINEERING SERVICES TO REQUEST VALVE CHANGES.</p> <p>3.4. ANY EXISTING FIRE HYDRANT THAT IS TO BE MODIFIED AND HAS A DATE THAT EXCEEDS 8 YEARS IN AGE SHALL BE REPLACED AND THE OLD FIRE HYDRANT RETURNED TO THE PUBLIC WORKS &amp; ENGINEERING SERVICES BY THE CONTRACTOR AT HIS EXPENSE.</p> <p>3.5. ANY EXISTING MANHOLE WITH AN OPENING SMALLER THAN 30" DIAMETER THAT IS MODIFIED SHALL HAVE THE CONE SECTION, RING, AND COVER REPLACED WITH A MINIMUM OF 30" DIAMETER CONE SECTION, RING, AND COVER BY THE CONTRACTOR AT HIS EXPENSE.</p>	<p><b>4. GENERAL NOTES FOR STORM DRAIN SYSTEMS</b></p> <p>4.1. ALL STORM DRAIN CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF NCTCOG'S SPECIFICATIONS AND DETAILS, AND THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.</p> <p>4.2. TRENCH SAFETY</p> <p>4.2.1. PRIVATE DEVELOPMENT: CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.</p> <p>4.2.2. PUBLIC PROJECTS : CONTRACTOR AND/OR DESIGN ENGINEER SHALL SUBMIT A TRENCH SAFETY PLAN AS PART OF THE CIVIL CONSTRUCTION DOCUMENTS PACKAGE.</p> <p>4.3. ALL CONCRETE DRAINAGE STRUCTURES SHALL BE MINIMUM CLASS C CONCRETE.</p> <p>4.4. ALL CRUSHED STONE SHALL BE ¾", PASSING #4 SIEVE (GRADE 4).</p> <p>4.5. ALL FIELD JOINTS WILL BE APPROVED BY THE TOWN ENGINEER IF NECESSARY. FIELD JOINTS SHALL BE WIPED ON THE INSIDE AND OUTSIDE AND PROVIDE FOR SMOOTH FLOW OF WATER.</p> <p>4.6. RAMNECK COMPOUND OR APPROVED EQUAL SHALL BE USED FOR JOINT SEALS.</p> <p>4.7. CLEANING &amp; INSPECTION</p> <p>4.7.1. ALL STORM SEWER PIPE SHALL BE CAMERA INSPECTED AFTER THE INSTALLATION OF ALL PAVING AND UTILITIES AND PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.</p> <p>4.7.2. CONTRACTOR SHOULD INSPECT ALL STORM DRAIN OUTFALLS NO EARLIER THAN ONE WEEK PRIOR TO FINAL INSPECTION AND REMOVE ALL SILT AND DEBRIS.</p>	<p><b>5. GENERAL NOTES FOR EROSION CONTROL</b></p> <p>5.1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS &amp; CONDITIONS OF THE TCEQ TPDES GENERAL PERMIT NO. 150000.</p> <p>5.1.1. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON THE SITE AT ALL TIMES BY EACH OPERATOR. A COPY OF THE NOI MUST BE PROVIDED TO THE PUBLIC WORKS &amp; ENGINEERING SERVICES PRIOR TO START OF CONSTRUCTION.</p> <p>5.1.2. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR, EPA, AND TCEQ.</p> <p>5.1.3. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, THAT OPERATOR OR CONTRACTOR IN VIOLATION SHALL BE NOTIFIED AS WELL AS THE FACILITY OPERATOR.</p> <p>5.2. EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO ANY SOIL DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE TOWN.</p> <p>5.2.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY , THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS, AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.</p> <p>5.2.1.1. QUALIFIED OPERATOR PERSONNEL MUST INSPECT THE SITE WEEKLY, AND WITHIN 24 HRS (BEFORE AND AFTER) A STORM EVEN OF 0.5 INCHES OR GREATER.</p> <p>5.2.1.2. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES THREE INCHES (3") OF 25% OF THE HEIGHT OF THE DEVICE (WHICHEVER IS LESS). THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER SO AS NOT TO CONTRIBUTE TO ADDITIONAL SILTATION.</p> <p>5.2.2. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR TOWN.</p> <p>5.2.3. MODIFICATIONS TO THE SWPPP SHALL BE IMPLEMENTED AND IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD. ANY MAJOR MODIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER AND PUBLIC WORKS &amp; ENGINEERING SERVICES PRIOR TO IMPLEMENTATION.</p> <p>5.3. CONSTRUCTION ENTRANCES AND WASHOUTS</p> <p>5.3.1. ASPHALT BAGS SHALL BE PLACED AT CONSTRUCTION ENTRANCES TO PREVENT CURB DAMAGE.</p> <p>5.3.2. GEOTEXTILE FABRIC SHALL BE PLACED ON SUBGRADE PRIOR TO STONE PLACEMENT FOR CONSTRUCTION ENTRANCES.</p> <p>5.3.3. NO EQUIPMENT SHALL BE CLEANED ON-SITE, OR OTHER LIQUIDS DEPOSITED AND ALLOWED TO FLOW OVERLAND OR SUBTERRANEAN WITHIN THE LIMITS OF</p>	<p>THE CRITICAL ROOT ZONE OF TREES THAT REMAIN ON SITE. THIS INCLUDES PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, CONCRETE EQUIPMENT WASH WATER, MORTAR OF SIMILAR MATERIALS.</p> <p>5.4. WASTE DISPOSAL</p> <p>5.4.1. CONTRACTOR SHALL PROVIDE WASTE DISPOSAL CONTAINERS ON THE SITE FOR DISPOSAL OF ALL NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS. THE CONTAINERS SHALL BE HAULED TO THE APPROPRIATE DISPOSAL LOCATION BY THE CONTRACTOR.</p> <p>5.4.2. ALL HAZARDOUS MATERIALS SHALL BE HANDLED AND DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.</p> <p>5.5. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING, AND GENERAL CLEANUP, THE CONTRACTOR SHALL ESTABLISH GRASS GROUNDCOVER IN ALL STREET PARKWAYS, LOTS, AND ALL OTHER DISTURBED AREAS. SODDING SHALL BE DONE AS SPECIFIED BY THE MORE RESTRICTIVE OF CURRENT NCTCOG OR TOWN STANDARDS.</p> <p>5.6. SILT FENCE NOTES.</p> <p>5.6.1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POST MUST BE EMBEDDED A MINIMUM OF 18". STEEL POSTS SHALL NOT BE USED TO INSTALL EROSION CONTROL MEASURES WITHIN TOWN ROW.</p> <p>5.6.2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.</p> <p>5.6.2.1. THE TRENCH MUST BE A MINIMUM OF SIX INCHES (6") DEEP AND SIX INCHES (6") WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.</p> <p>5.6.2.2. WHERE THE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON THE UPHILL SIDE TO PREVENT FLOW UNDER FENCE.</p> <p>5.6.3. WIRE REINFORCEMENT SHALL BE USED ON ALL SILT FENCE USED FOR EROSION CONTROL. SILT FENCE SHALL BE SECURELY FASTENED TO EACH SUPPORT POST. THERE SHALL BE A SIX INCH (6") DOUBLE OVERLAP, SECURELY FASTENED, WHERE ENDS OF FABRIC MEET.</p> <p>5.6.4. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.</p>	TOA General Construction Notes   01/2022	7	TOA General Construction Notes   01/2022	8	TOA General Construction Notes   01/2022	9	TOA General Construction Notes   01/2022	10

STOP!

CALL BEFORE YOU DIG



Know what's Below.

(@ least 72 hours prior to digging)

**BENCHMARK:**

Found TXDOT brass disc +/-256" South of the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition. Elevation = 651.86

Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

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CROSS ENGINEERING CONSULTANTS		
1720 W. Virginia Street McKinney, Texas 75069 972.562.4409 Texas P.E. Firm No. F-5935		
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

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Town Project No. : SP2022-02	
GENERAL CONSTRUCTION NOTES 1.037 ACRES 4551 SUNBELT DRIVE SUNBELT BUSINESS PARK TRACT 13 TOWN OF ADDISON, DALLAS COUNTY, TEXAS	Sheet No.
	GN1
	Project No.
	19121

<p><b>6. GENERAL NOTES FOR LANDSCAPING</b></p> <p>6.1.ALL LANDSCAPING CONSTRUCTION, INSTALLATION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.</p> <p>6.2.CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.</p> <p>6.3.CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO TOWN.</p> <p>6.4.EXCAVATION OR GRADE CHANGES BELOW THE DRIPLINE OF EXISTING TREES IS NOT ALLOWED UNLESS A TREE PROTECTION PLAN WHICH CONTAINS SPECIFIC INFORMATION ON THE ROOTS OF EACH TREE IS PROVIDED, AND APPROVED BY THE PARKS &amp; RECREATION DEPARTMENT.</p> <p>6.5.PRIOR TO OBTAINING A GRADING PERMIT OR SCHEDULING A PRE-CONSTRUCTION MEETING:</p> <p>6.5.1. WHERE TRANSPLANTING OR TREE REMOVAL IS REQUIRED, CONTRACTOR MUST APPLY FOR A TREE PERMIT. CONTACT PARKS &amp; RECREATION DEPARTMENT FOR TREE REMOVAL PERMIT.</p> <p>6.5.2. ALL TREE MARKINGS AND PROTECTIVE FENCING MUST BE INSTALLED BY THE CONTRACTOR AND BE INSPECTED BY THE TOWN'S LANDSCAPE ARCHITECT.</p> <p>6.5.3. COORDINATE WITH PARKS DEPARTMENT ON ANY TREES THAT REQUIRE BEING TRANSPLANTED OR REMOVED FROM MEDIANS.</p> <p>6.6.ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A 4' TALL BRIGHTLY COLORED PLASTIC FENCE PLACED AT THE DRIP LINE OF THE TREES.</p> <p>6.7.TREES TO BE REMOVED MAY BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. BURNING OF REMOVED TREES, STUMPS, OR FOLIAGE REQUIRES WRITTEN APPROVAL BY THE FIRE DEPARTMENT.</p> <p>6.8.PLANT MATERIALS SHALL NOT IMPEDE OR OBSTRUCT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC ALONG TOWN RIGHT-OF-WAY, VISIBILITY EASEMENTS, SIDEWALKS OR OTHER EASEMENTS.</p> <p>6.9.NO SIGNS, WIRES, OR OTHER ATTACHMENTS OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.</p> <p>6.10. IF TOPSOIL IS TO BE ADDED TO A ROUGH GRADE, TILL 3 TO 4 INCHES DEEP, THEN ADD TOPSOIL FOR BETTER BINDING AND ELIMINATE LAYING.</p> <p>6.11. SOD INSTALLATION</p> <p>6.11.1. SPRAY EXISTING WEEDS WITH NON-SELECTIVE HERBICIDE PRIOR TO SOD INSTALLATION.</p> <p>TOA General Construction Notes   01/2022</p> <p>11</p>	<p>6.11.2. ON PUBLIC PROJECTS, THE TOWN'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT SOD FARM TO SELECT SOD TO BE HARVESTED. INSPECTION OF TURFGRASS SOD BY THE TOWN'S REPRESENTATIVE MAY BE MADE AT THE GROWING SITE, BUT SUCH INSPECTION WILL NOT PRECLUDE REJECTIONS AFTER DELIVERY TO THE JOB SITE.</p> <p>6.11.3. NO MORE TURFGRASS SOD SHALL BE DELIVERED TO THE JOB SITE ON ANY DAY THAN CAN BE PLACED AND WATERED ON THAT DAY.</p> <p>6.11.4. THE IRRIGATION SYSTEM SHOULD BE FULLY OPERATIONAL AT THE SITE PRIOR TO INSTALLATION OF THE TURFGRASS SOD.</p> <p>6.11.5. ANY TURFGRASS SOD SO REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED WITH ACCEPTED TURFGRASS SOD.</p> <p>6.11.6. CONTRACTOR SHALL PROVIDE OPTIMUM INSTALLATION TIME PERIOD FOR SOD. NO INSTALLATION ON FROZEN SOIL. NO HARVEST OF FROZEN SOD.</p> <p>6.12. PLANTING TIME FOR MEDIANS IS MARCH TO SEPTEMBER. OUTSIDE OF THIS TIME FRAME THE MEDIAN SHALL BE STABILIZED.</p> <p>6.13. ESCROW FOR THE REMOVAL OF TEMPORARY STABILIZATION AND INSTALLATION OF SOD PER SPEC.</p> <p>TOA General Construction Notes   01/2022</p> <p>12</p>	<p><b>7. GENERAL NOTES FOR IRRIGATION</b></p> <p>7.1.ALL IRRIGATION CONSTRUCTION, INSTALLATION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.</p> <p>7.2.A PERMIT FROM THE BUILDING INSPECTION DIVISION IS REQUIRED FOR EACH IRRIGATION SYSTEM.</p> <p>7.3.CONTRACTOR SHALL NOTIFY THE PARKS AND RECREATION DEPARTMENT PRIOR TO ANY MODIFICATIONS TO THE EXISTING IRRIGATION SYSTEM.</p> <p>7.4.CONTRACTOR SHALL CONTACT THE PARKS AND RECREATION DEPARTMENT TO COORDINATE WORK PRIOR TO COMMENCING WORK ON ANY EXISTING IRRIGATION AND PRIOR TO ANY INSTALLATION OF NEW IRRIGATION.</p> <p>7.5.CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO TOWN.</p> <p>7.6.CONTRACTOR SHALL PROGRAM EACH CONTROLLER ZONE BASED ON SPRINKLER TYPE, PLANT VARIETY, SOIL CHARACTERISTIC, SLOPE AND SOLAR ORIENTATION AS DESIGNATED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE TOWN PARKS AND RECREATION DEPARTMENT FOR APPROVAL OF THE CONTROLLER SETTINGS.</p> <p>7.7.CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH FRANCHISE UTILITY PROVIDER TO PROVIDE POWER TO EACH IRRIGATION CONTROLLER. CONTRACTOR SHALL HAVE UNDERGROUND POWER LINES INSTALLED FROM POWER SOURCE UP TO THE CONTROLLER. CONTRACTOR SHALL MEET CONTROLLER SPECIFICATIONS FOR POWER REQUIREMENTS.</p> <p>7.8.CONTRACTOR SHALL SET TOWN-SPECIFIED/APPROVED CONTROLLER TO ESTABLISH LANDSCAPE.</p> <p>TOA General Construction Notes   01/2022</p> <p>13</p>	<p><b>8. GENERAL NOTES FOR TRAFFIC CONTROL</b></p> <p>8.1.CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.</p> <p>8.2.CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE PUBLIC WORKS &amp; ENGINEERING SERVICES A MINIMUM OF 72 HOURS IN ADVANCE OF THE REQUESTED CLOSURE. CLOSURES WILL NOT BE ALLOWED PRIOR TO 9:00 A.M. OR AFTER 3:30 P.M., MONDAY THROUGH FRIDAY UNLESS OTHERWISE APPROVED BY THE TOWN.</p> <p>TOA General Construction Notes   01/2022</p> <p>14</p>
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<p>CONTRACTOR AND WILL REMAIN THE PROPERTY OF THE TOWN. CONTACT THE TRAFFIC DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF DELIVERY.</p> <p>9.12. DURING THE 30-DAY TRAFFIC SIGNAL TEST PERIOD, CONTRACTOR SHALL RESPOND TO AND DIAGNOSE ALL TROUBLE CALLS WITH QUALIFIED PERSONNEL WITHIN A REASONABLE TRAVEL TIME FROM A DALLAS ADDRESS, BUT NOT MORE THAN TWO (2) HOURS MAXIMUM. CONTRACTOR SHALL REPAIR ANY MALFUNCTIONS OF SIGNAL EQUIPMENT SUPPLIED BY CONTRACTOR ON THE PROJECT. A LOCAL TELEPHONE NUMBER (NOT SUBJECT TO FREQUENT CHANGES) WHERE TROUBLE CALLS ARE TO BE RECEIVED ON A 24-HOUR BASIS SHALL BE PROVIDED TO THE TOWN BY THE CONTRACTOR. APPROPRIATE REPAIRS SHALL BE MADE WITHIN 24 HOURS. THE CONTRACTOR SHALL KEEP A RECORD OF EACH TROUBLE CALL REPORTED IN THE LOGBOOK PROVIDED BY THE TOWN AND SHALL NOTIFY THE TOWN OF EACH TROUBLE CALL. THE ERROR LOG IN THE MALFUNCTION MANAGEMENT UNIT (MMU) SHALL NOT BE CLEARED DURING THE 30-DAY TEST PERIOD WITHOUT THE APPROVAL OF THE TOWN.</p> <p>9.13. TEXAS STATE LAW, ARTICLE 1436C, MAKES IT UNLAWFUL TO OPERATE EQUIPMENT OR MACHINES WITHIN 10-FEET OF ANY OVERHEAD ELECTRICAL LINES UNLESS DANGER AGAINST CONTACT WITH HIGH VOLTAGE OVERHEAD LINES HAS BEEN EFFECTIVELY GUARDED AGAINST PURSUANT TO THE PROVISIONS OF THIS ARTICLE. WHEN CONSTRUCTION OPERATIONS REQUIRE WORKING NEAR AN OVERHEAD ELECTRICAL LINE, THE CONTRACTOR SHALL CONTACT THE OWNER/OPERATOR OF THE OVERHEAD ELECTRICAL LINE TO MAKE ADEQUATE ARRANGEMENTS AND TO TAKE NECESSARY SAFETY PRECAUTIONS TO ENSURE THAT ALL LAWS, ELECTRICAL LINE OWNER/OPERATOR REQUIREMENTS AND STANDARD SAFETY PRACTICES ARE MET.</p> <p>TOA General Construction Notes   01/2022</p> <p>16</p>	<p><b>9. GENERAL NOTES FOR TRAFFIC SIGNALS AND STREET LIGHTING</b></p> <p>9.1.ALL TRAFFIC SIGNAL AND STREET LIGHTING CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE MOST CURRENT NATIONAL ELECTRICAL CODE, TOWN AND TXDOT SPECIFICATIONS AND STANDARDS.</p> <p>9.2.CONTRACTOR SHALL NOTIFY THE TRAFFIC DEPARTMENT AT LEAST 7 BUSINESS DAYS PRIOR TO ANY WORK, PROVIDE A CONSTRUCTION SCHEDULE AND WEEKLY PROGRESS REPORTS TO THE TRAFFIC DEPARTMENT, AND NOTIFY THE TRAFFIC DEPARTMENT AT LEAST 48 HOURS PRIOR TO SIGNAL TURN-ON.</p> <p>9.3.CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICES WITH THE TOWN AND EITHER ONCOR OR COSERV REPRESENTATIVES (ACCORDING TO THEIR RESPECTIVE AREA).</p> <p>9.4.CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC COMPANY TO DE-ENERGIZE ANY OVERHEAD OR UNDERGROUND POWER LINES. ANY COST ASSOCIATED WITH DE-ENERGIZING THE POWER LINE AND/OR ANY OTHER PROTECTIVE MEASURES REQUIRED SHALL BE AT NO COST TO TOWN.</p> <p>9.5.THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY AND TXDOT/NTTA (IF WITHIN TXDOT/NTTA ROW) PRIOR TO BEGINNING ERECTION OF POLES, LUMINARIES AND STRUCTURES LOCATED NEAR ANY OVERHEAD OR UNDERGROUND UTILITIES.</p> <p>9.6.PROPOSED CONCRETE FOUNDATION AND CONDUIT ALIGNMENT SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE TOWN PRIOR TO INSTALLATION.</p> <p>9.7. CONTRACTOR SHALL CONTACT THE TOWN TRAFFIC DEPARTMENT (BETWEEN 8 AM – 5PM) FOR INSPECTION PRIOR TO POURING ANY CONCRETE FOUNDATION AND DIGGING FOR CONDUIT RUNS AT LEAST 48 HOURS IN ADVANCE.</p> <p>9.8.CONTRACTOR SHALL HAVE A QUALIFIED IMSA LEVEL II OR A TRF453 CERTIFIED TECHNICIAN ON THE PROJECT SITE TO PLACE THE TRAFFIC SIGNALS IN OPERATION.</p> <p>9.9.ELECTRICAL WORK SHALL BE PERFORMED BY CERTIFIED PERSONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT AND MAY BE REJECTED AS UNSUITABLE FOR USE DUE TO POOR WORKMANSHIP. THE REQUIRED ELECTRICAL CERTIFICATION COURSE IS AVAILABLE AND IS SCHEDULED PERIODICALLY BY TEEK. ALTERNATIVELY, THE CONTRACTOR MAY PURCHASE AN ENTIRE COURSE FOR THEIR PERSONNEL TO BE HELD AT A TIME AND LOCATION OF THEIR CHOICE AS NEGOTIATED THROUGH TEEK. FOR MORE INFORMATION, CONTACT: TEXAS ENGINEERING EXTENSION SERVICE (TEEX), TXDOT ELECTRICAL SYSTEM COURSE.</p> <p>9.10. THE CONTRACTOR SHALL NOT PLACE PEDESTRIAN CROSSWALK AND STOP BAR PAVEMENT MARKINGS UNTIL SIGNAL IS OPERATIONAL.</p> <p>9.11. ALL LIGHTING POLES, FIXTURES, AND ARMS WHICH ARE REMOVED SHALL BE DELIVERED TO THE TOWN PUBLIC WORKS &amp; ENGINEERING SERVICES FACILITY BY THE</p> <p>TOA General Construction Notes   01/2022</p> <p>15</p>
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STOP!

CALL BEFORE YOU DIG



Know what's Below.

(@ least 72 hours prior to digging)

**BENCHMARK:**

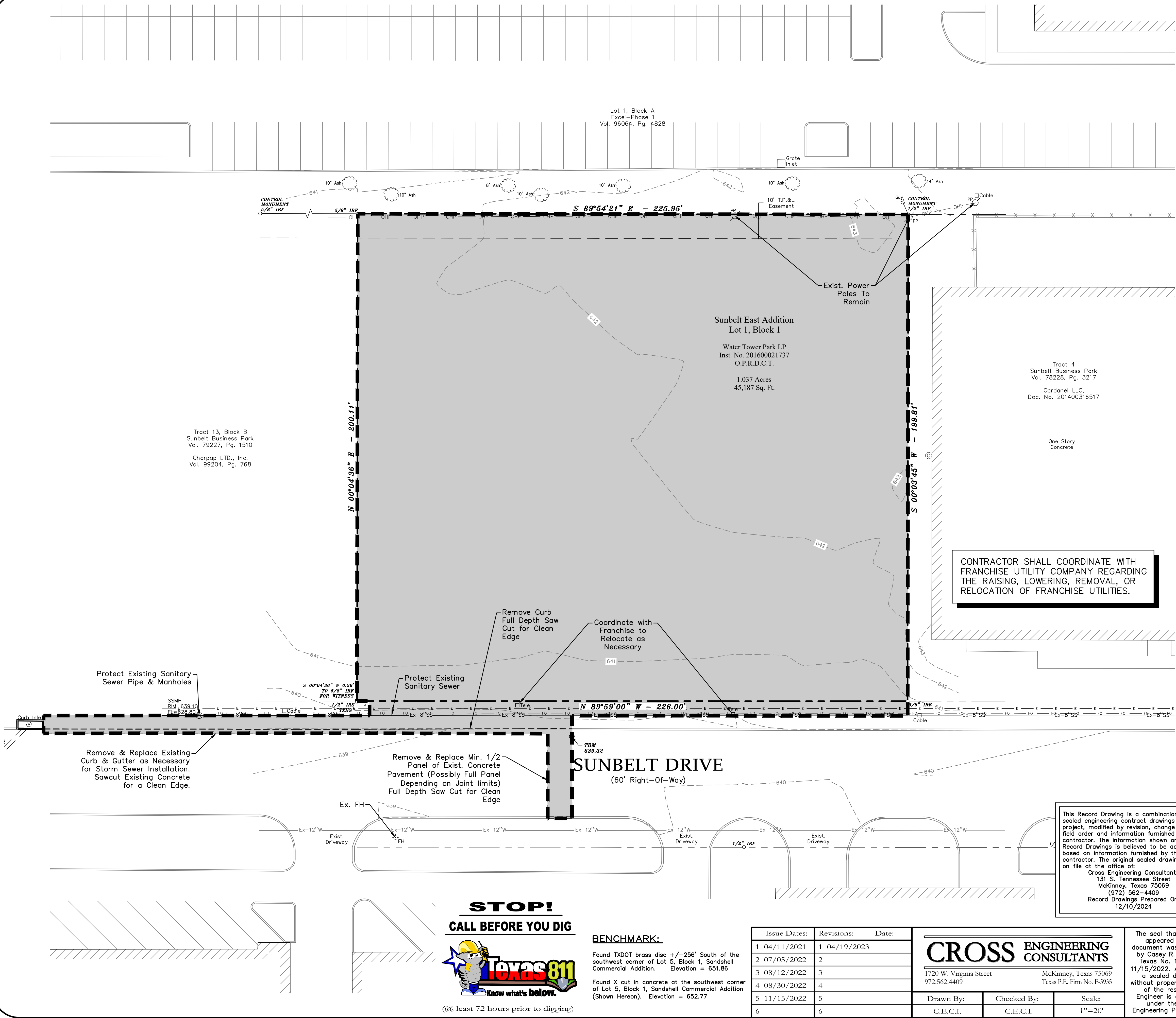
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Issue Dates:	Revisions:	Date:	<div>CROSS ENGINEERING CONSULTANTS</div> <div>1730 W. Virginia Street 972.562.4409</div> <div>McKinney, Texas 75069 Texas P.E. Firm No. F-5935</div>		
1 04/11/2021	1	04/19/2023			
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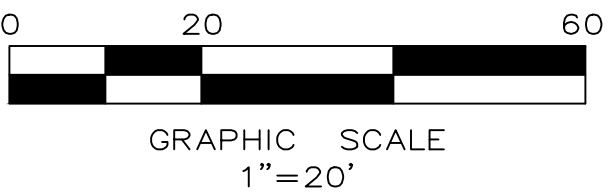
Town Project No. : SP2022-02	
GENERAL CONSTRUCTION NOTES 1.037 ACRES 4551 SUNBELT DRIVE SUNBELT BUSINESS PARK TRACT 13 TOWN OF ADDISON, DALLAS COUNTY, TEXAS	Sheet No.
	GN2
	Project No.
	19121



NOTES:

ALL WATER AND SANITARY SEWER TAPS THAT ARE NO LONGER NEEDED SHALL BE ABANDONED.

REMOVE AND OR RELOCATE EXISTING SIGNAGE INSIDE DEMOLITION AREA.



GENERAL NOTES

1. All demolition shall be in accordance with the City Standard Specifications and Construction Standards.
2. Existing utilities are shown schematically and are for the contractors guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities.
3. The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements not being demolished during construction. Repairs shall be equal to or better than condition prior to construction.
4. Contractor shall be responsible for hauling and disposal of all paving, trash and debris as a result of demolition.
5. Contractor shall be responsible for removing all other utility services not shown on this plan and to coordinate with the appropriate authority for their removal.
6. Contractor to remove Light Pole and all electrical wiring and conduit associated with it within the construction area. If conduit and lead traverse under existing paving to remain, contractor shall properly cap the end of the conduit and notify the owner and the Engineer.
7. All existing paving striping to be removed within limits of construction.

DUST CONTROL:

**Description**  
Dust control includes those measures necessary to prevent wind transport of dust from disturbed soil surfaces onto roadways, drainage ways, and surface waters.

**Primary Use**  
Dust control is applied in areas (including roadways) subject to surface and air movement to dust where on-site and off-site impacts to roadways, drainage ways, or surface waters are likely.

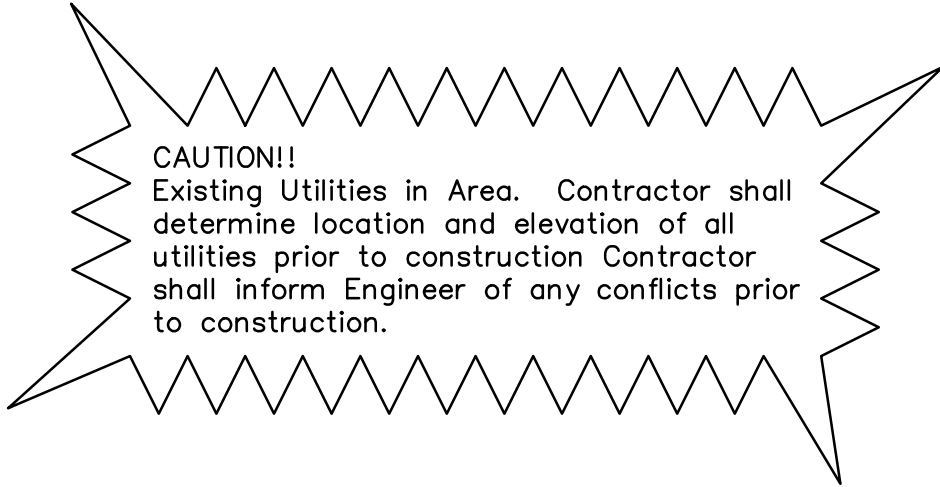
**Design Criteria**  
-Vegetate or mulch areas that will not receive vehicle traffic. In areas where planting, mulching, or paving is impractical, apply gravel or landscaping rock.  
-Limit dust generation by clearing only those areas where immediate activity will take place, leaving the remaining area(s) in the original condition, if stable. Maintain the original cover as long as practical.  
-Construct natural or artificial windbreaks or windscreens. These may be designed as enclosures for small dust sources.  
-Sprinkle the site with water until dampened sufficiently to prevent dust and repeat as needed. Do not apply water in quantities to cause runoff.  
-Irrigation water can be used for dust control. Irrigation systems should be installed as a first step on sites where dust control is a concern.

LEGEND

- AREA OF DEMOLITION, REMOVE ALL CONCRETE, CURB & GUTTER
- UTILITY DEMOLITION / REMOVAL
- LIMITS OF DEMOLITION

NOTE:

EROSION CONTROL TO BE IN PLACE PRIOR TO DEMOLITION COMMENCING. MAKE EXISTING DRIVEWAY CUTS AND PLACE SILT FENCE ACROSS OPENING PRIOR TO INTERIOR DEMOLITION. SEE EROSION CONTROL PLAN FOR EROSION CONTROL PLACEMENT LOCATION.



This Record Drawing is a combination of the sealed engineering contract drawings for this project, modified by revision, change order, field order and information furnished by the contractor. The information shown on the Record Drawings is believed to be accurate based on information furnished by the contractor. The original sealed drawings are on file at the office of:  
Cross Engineering Consultants  
131 S. Tennessee Street  
McKinney, Texas 75069  
(972) 562-4409  
Record Drawings Prepared On: 12/10/2024

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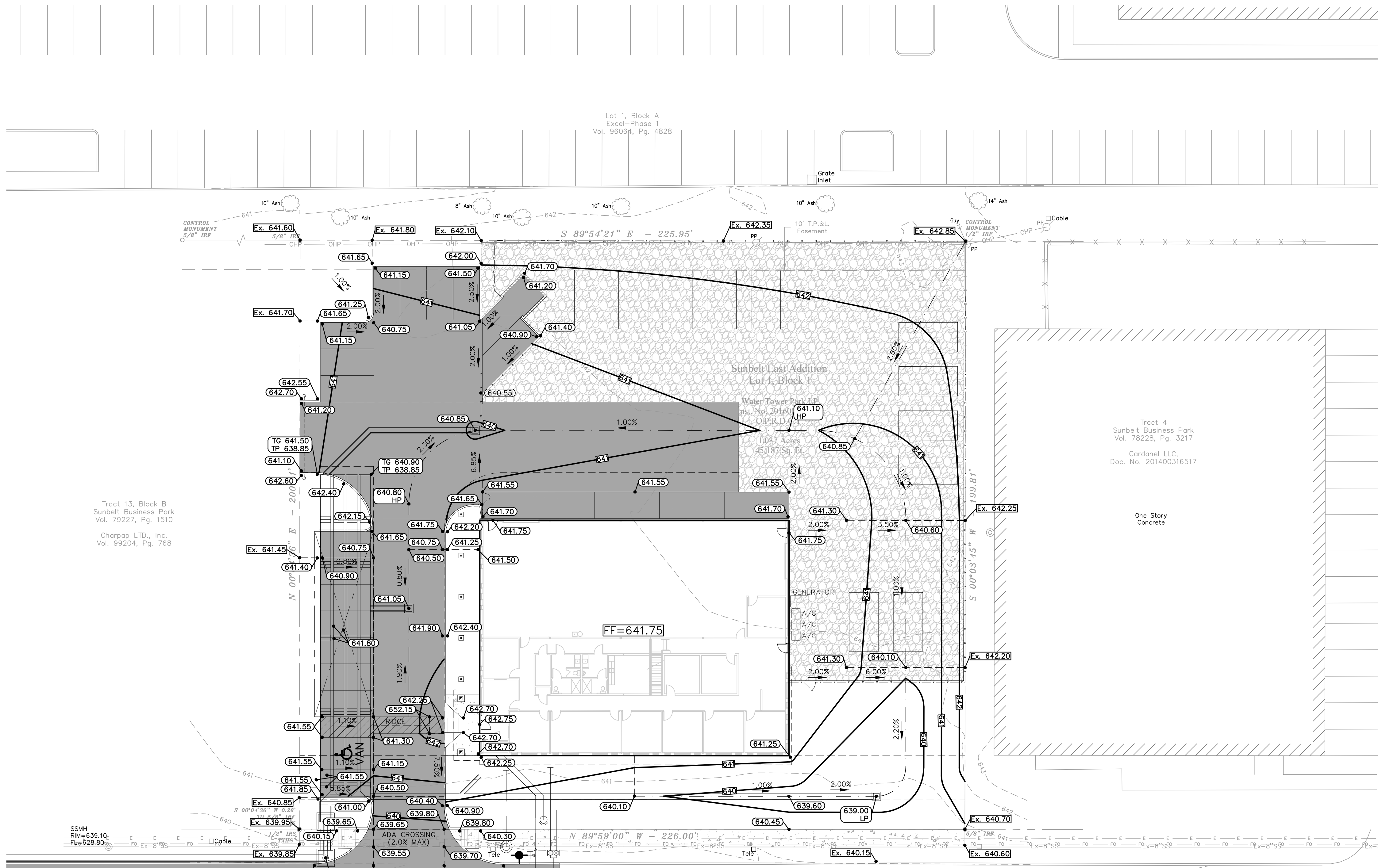
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Town Project No. : SP2022-02	
DEMOLITION PLAN	Sheet No.
1.037 ACRES	C1-1
4551 SUNBELT DRIVE	
SUNBELT BUSINESS PARK TRACT 13	Project No. 19121
TOWN OF ADDISON, DALLAS COUNTY, TEXAS	

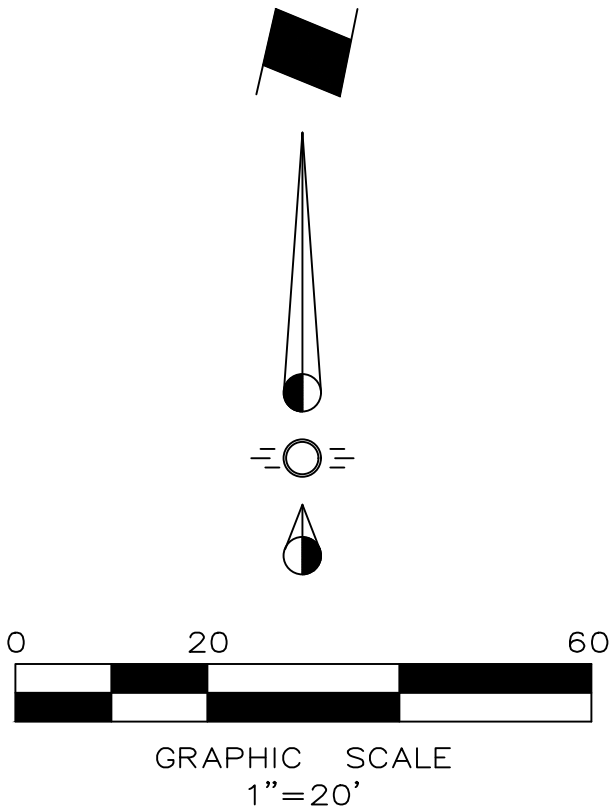
4551 SUNBELT DRIVE





LEGEND

- Proposed Spot Elevation
- Existing Spot Elevation
- Proposed Contour
- Existing Contour
- Valley
- Highpoint
- Flow Arrow



GRADING NOTES

- All materials and construction shall be in accordance with the City of Addison Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
- Existing utilities are shown schematically and are for the contractors guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 72 hours prior to any excavation to request exact field location of utilities.
- The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
- All pavement subgrade shall be compacted to at least 95% Standard Proctor Density at or slightly above Optimum. All work shall be done in accordance with the Geotechnical Report.
- Erosion Control shall be in place prior to the disturbance of any existing surface.
- All sidewalk slopes shall conform to A.D.A. requirements as follows: 1:20 longitudinal (along the walk) 1:50 transverse (across the walk)
- All proposed grades in landscaped areas are finished grade elevations. Contractor to allow for seeding or sodding of these areas.
- Proposed spot elevations are top of pavement elevations unless noted otherwise.

GEOTECHNICAL REPORT NOTE

Work Shall be done in accordance with the current Geotechnical Report prepared by Reed Engineering Group dated March 29, 2016 (Project No. 21022).

CAUTION!

Existing Utilities in Area. Contractor to determine location and elevation of all utilities prior to construction. Contractor to inform Engineer of any conflicts prior to construction.

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3 08/12/2022	3	
4 08/30/2022	4	
5 11/15/2022	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street  
972.562.4409

McKinney, Texas 75069  
Texas P.E. Firm No. F-5935

Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

The seal that originally appeared on this document was authorized by Casey R. McBroom, Texas No. 110104 on 11/15/2022. Alteration of a sealed document without proper notification of the responsible Engineer is an offense under the Texas Engineering Practice Act.

Town Project No. : SP2022-02

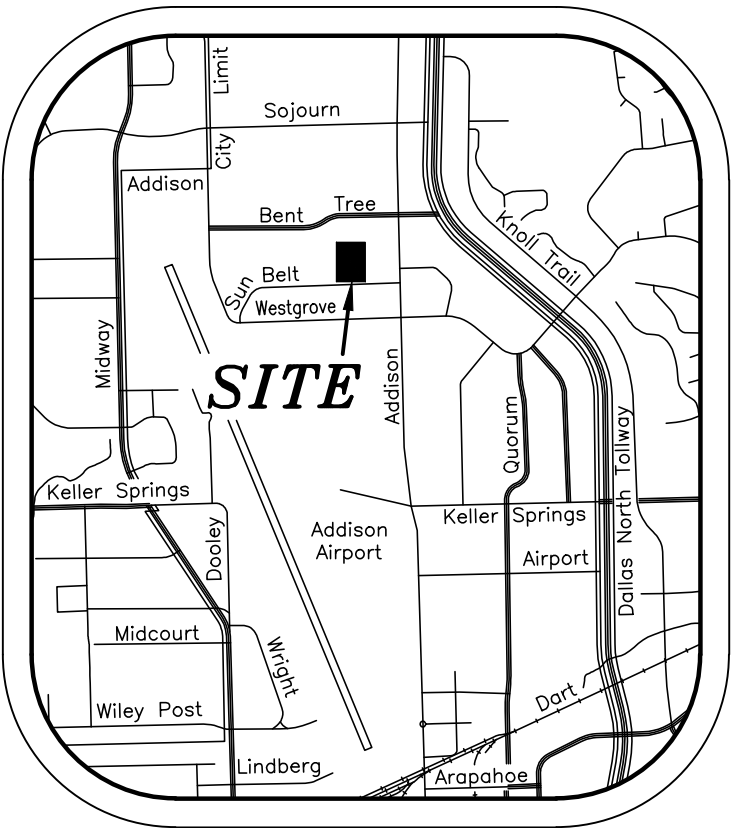
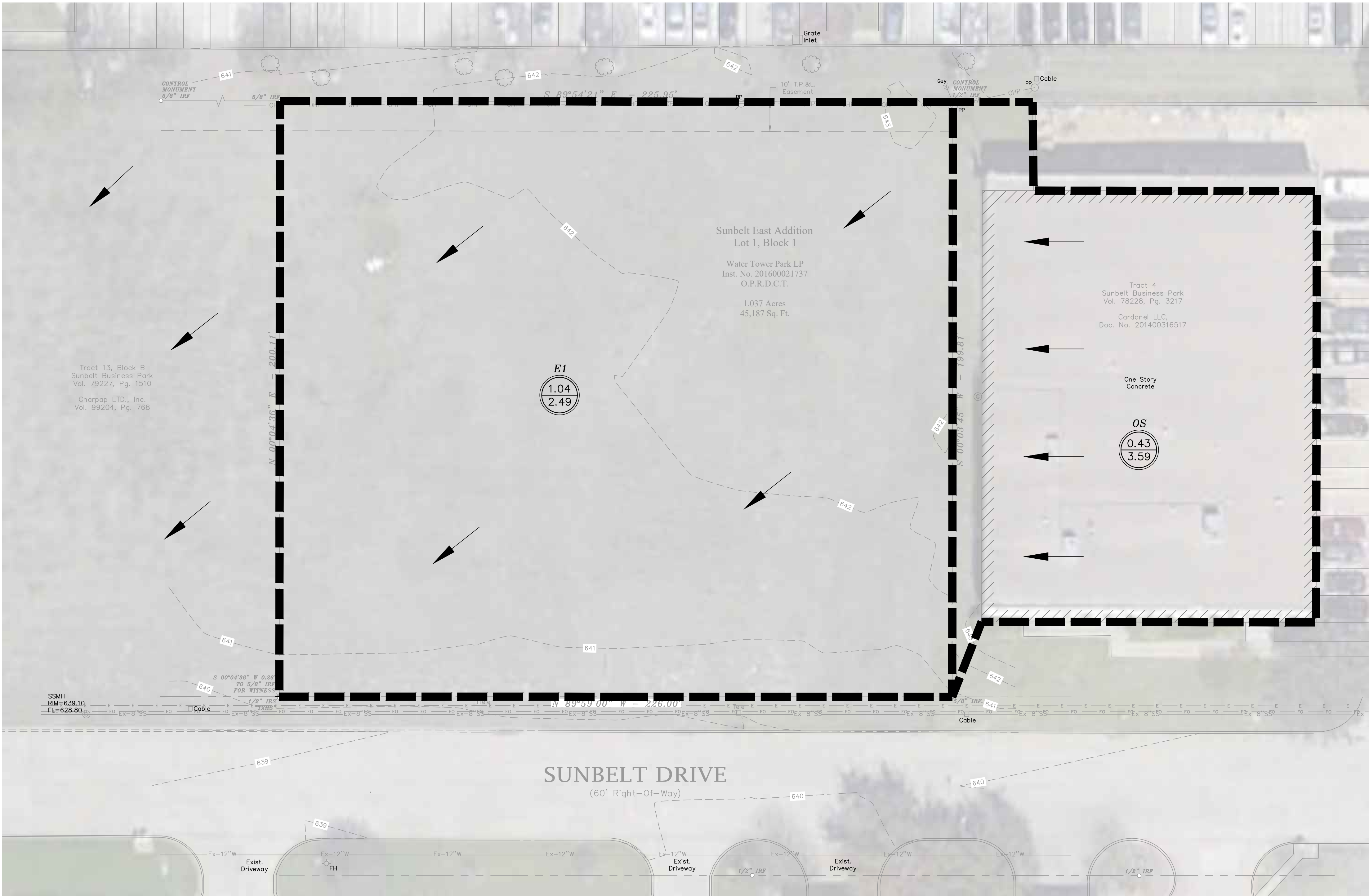
**GRADING PLAN**

1.037 ACRES  
4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

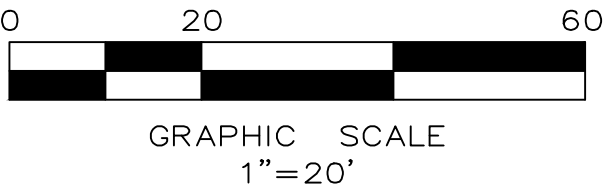
Sheet No.  
**C3-1**

Project No.  
19121

4551 SUNBELT DRIVE



VICINITY MAP  
NTS



GENERAL/DRAINAGE NOTES

1. All materials and construction shall be in accordance with the City Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
2. Existing utilities are shown schematically and are for the contractors guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 72 hours prior to any excavation to request exact field location of utilities.
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4. All storm sewer pipe 18" and larger shall be Class III RCP. All storm sewer pipe 15" and smaller shall be PVC drainage pipe or approved equal.
5. Contractor shall be responsible for maintaining trench safety requirements in accordance with the latest standards of O.S.H.A. or any other agency having jurisdiction for excavation and trenching procedures. Contractor shall provide and implement a trench safety plan complying with O.S.H.A.
6. All RCP pipe joints shall have Ram-Neck joint sealer, in the absence of a City Standard for joint sealant.
7. All roof drain laterals shall be 0.50% min. slope.

DRAINAGE LEGEND

- Drainage Area Number
- Acres
- Q<sub>100</sub>
- Proposed Drainage Divide Line
- Direction of Flow

EXISTING DRAINAGE AREA CALCULATIONS

Drainage Area No.	Drainage Area (Acres)	Time of Concentration (minutes)	Runoff Coefficient C	100-Year Event		Remarks
				I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	
E1	1.04	15	0.30	7.99	2.49	
OS	0.43	10	0.90	9.27	3.59	

WEIGHTED C VALUE  
(for Determining Required Detention)

Pavement/Building 17,774 SF  
Gravel Area 18,043 SF  
Sodded Area 9,369 SF

$$17,774 \times 0.95 + 18,043 \times 0.50 + 9,369 \times 0.30 = 6.64$$
$$45,186$$

**CAUTION!**  
Existing Utilities in Area. Contractor shall determine location and elevation of all utilities prior to construction. Contractor to inform Engineer of any conflicts prior shall construction.

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Cross Engineering Consultants  
131 S. Tennessee Street  
McKinney, Texas 75069  
(972) 562-4409  
Record Drawings Prepared On:  
12/10/2024

This plan conforms with design standards included in the Town of Addison Transportation Plan, Water System Requirements, Waste Water System Requirements, and Drainage Criteria manual.

Issue Dates:	Revisions:	Date:	<b>CROSS ENGINEERING CONSULTANTS</b> 1730 W. Virginia Street 972.562.4409 McKinney, Texas 75069 Texas P.E. Firm No. F-5935		
1 04/11/2021	1 04/19/2023				
2 07/05/2022	2				
3 08/12/2022	3				
4 08/30/2022	4				
5 11/15/2022	5				
6	6		Drawn By: C.E.C.I.	Checked By: C.E.C.I.	Scale: 1"=20'

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Town Project No. : SP2022-02

EXISTING DRAINAGE AREA MAP

1.037 ACRES

4551 SUNBELT DRIVE

SUNBELT BUSINESS PARK TRACT 13

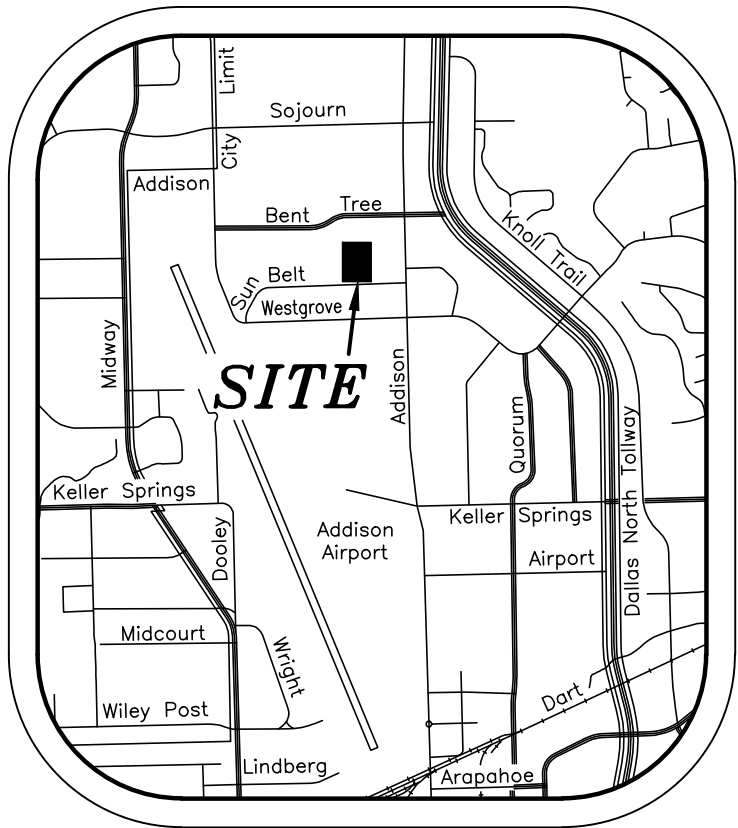
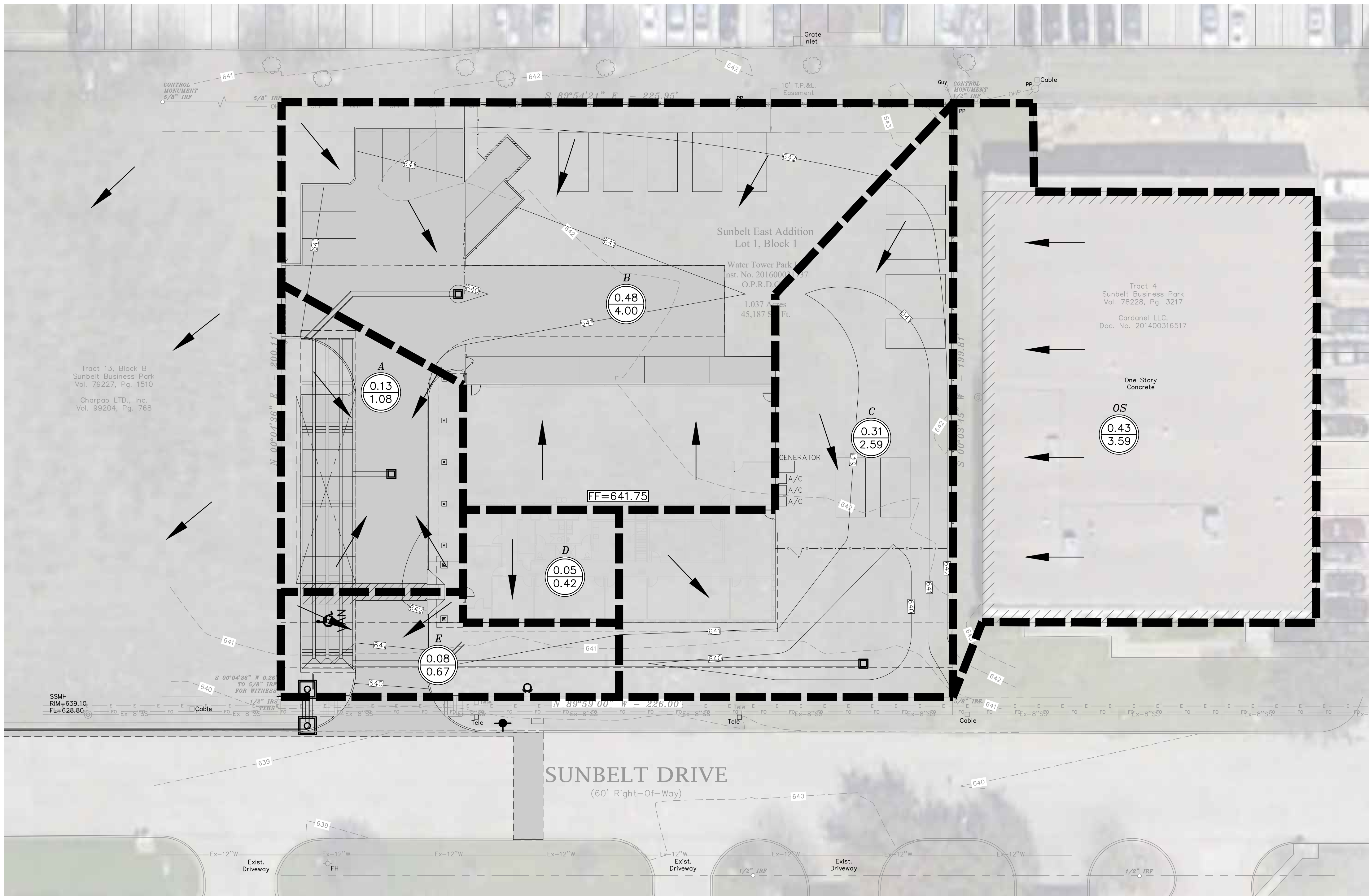
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.

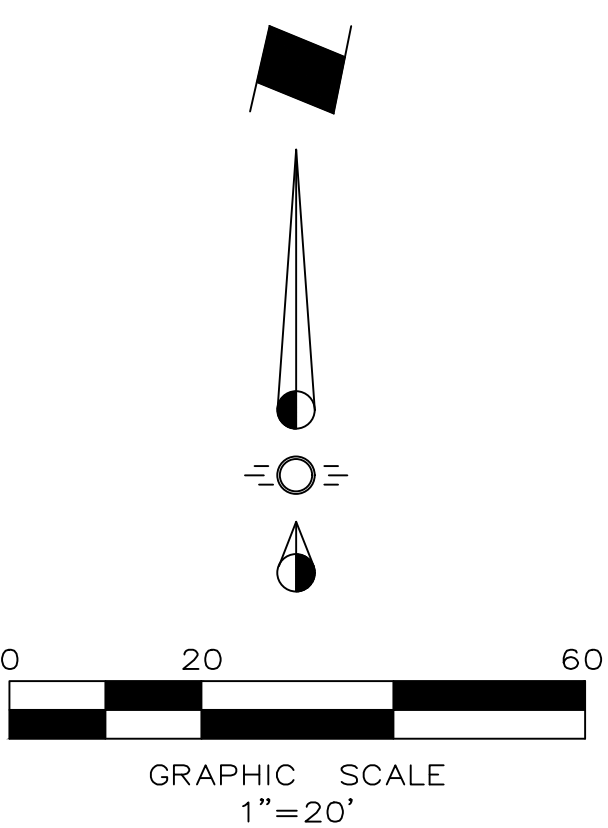
C4-1

Project No.  
19121

4551 SUNBELT DRIVE



VICINITY MAP  
NTS



GENERAL/DRAINAGE NOTES

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6. All RCP pipe joints shall have Ram-Neck joint sealer, in the absence of a City Standard for joint sealant.
7. All roof drain laterals shall be 0.50% min. slope.

DRAINAGE LEGEND

- Drainage Area Number  
X.XX Acres  
X.XX Q<sub>100</sub>
- Proposed Drainage Divide Line
- Direction of Flow

FULLY DEVELOPED DRAINAGE AREA CALCULATIONS

Drainage Area No.	Drainage Area (Acres)	Time of Concentration (minutes)	Runoff Coefficient C	100-Year Event I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	Remarks
A	0.13	10	0.90	9.27	1.08	
B	0.48	10	0.90	9.27	4.00	
C	0.31	10	0.90	9.27	2.59	
D	0.05	10	0.90	9.27	0.42	
E	0.08	10	0.90	9.27	0.67	Onsite Bypass - See Detention Calcs
OS	0.43	10	0.90	9.27	3.59	Offsite Bypass - See Detention Calcs

WEIGHTED C VALUE  
(for Determining Required Detention)

Pavement/Building 17,774 SF  
Gravel Area 18,043 SF  
Sodded Area 9,369 SF

$$17,774 \times 0.95 + 18,043 \times 0.50 + 9,369 \times 0.30 = 0.64$$

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Cross Engineering Consultants  
131 S. Tennessee Street  
McKinney, Texas 75069  
(972) 562-4409  
Record Drawings Prepared On:  
12/10/2024

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Issue Dates:	Revisions:	Date:			
1 04/11/2021	1 04/19/2023		<div>CROSS ENGINEERING CONSULTANTS</div> <div>1720 W. Virginia Street 972.562.4409</div> <div>McKinney, Texas 75069 Texas P.E. Firm No. F-5935</div>		
2 07/05/2022	2				
3 08/12/2022	3				
4 08/30/2022	4				
5 11/15/2022	5				
6	6		Drawn By:	Checked By:	Scale:
			C.E.C.I.	C.E.C.I.	1"=20'

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Town Project No. : SP2022-02

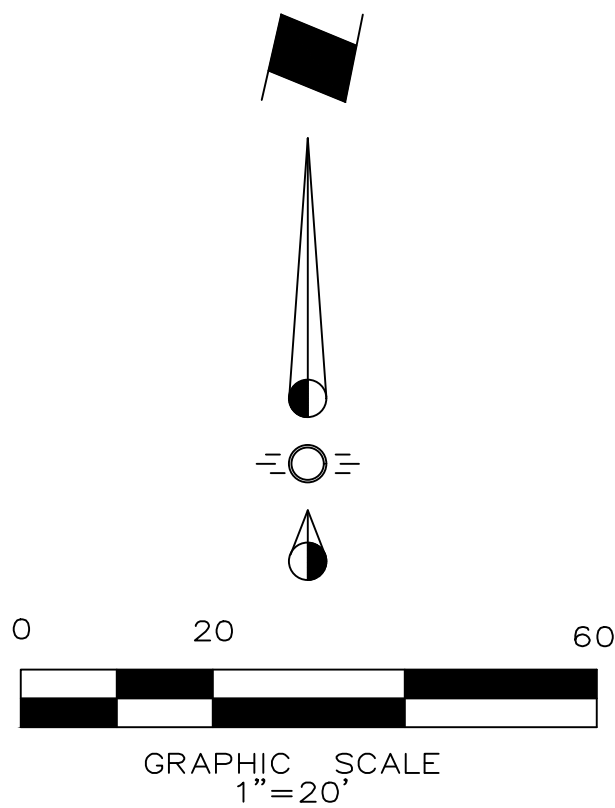
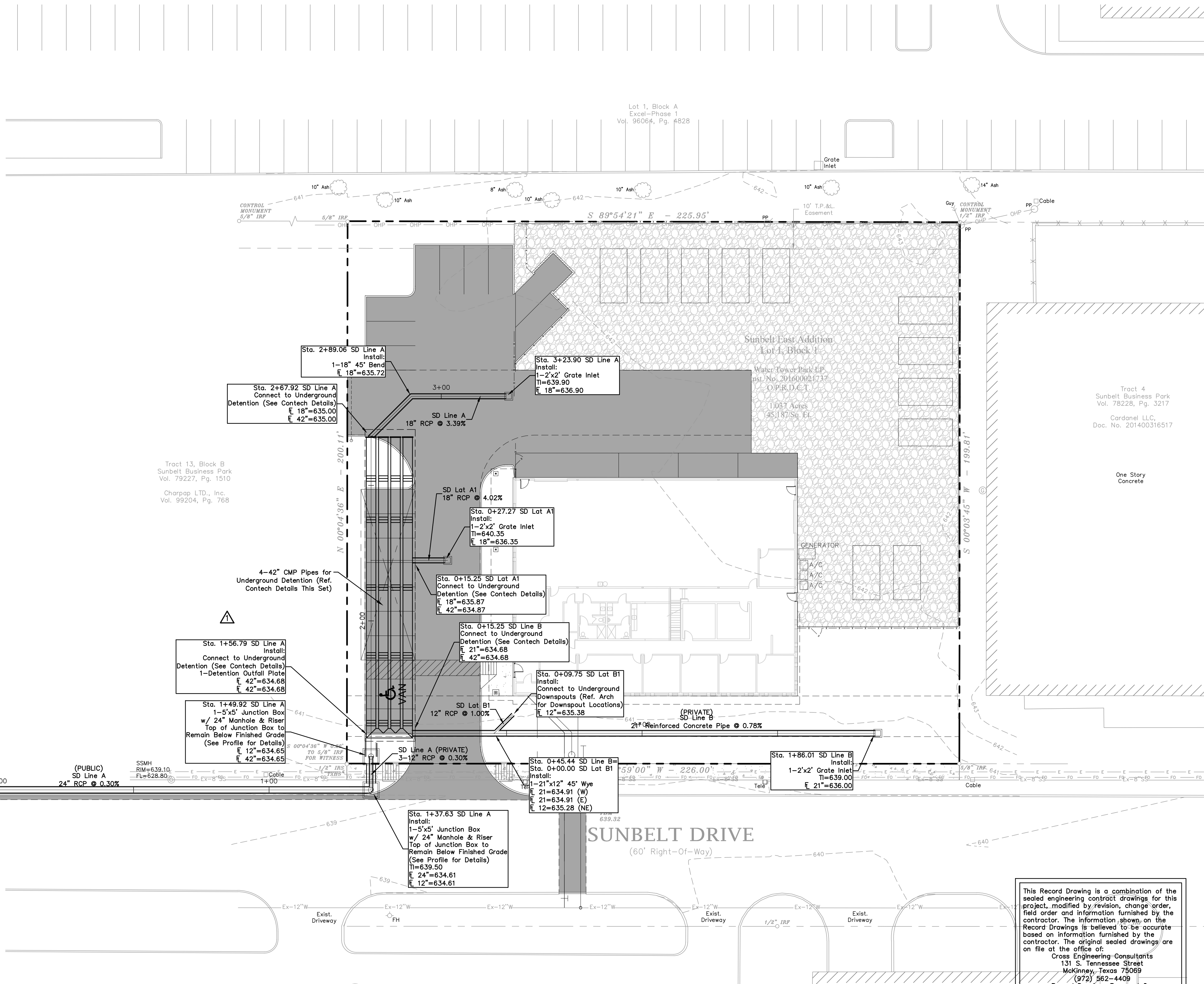
**DRAINAGE AREA MAP**  
1.037 ACRES  
4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.

C4-2

Project No.  
19121

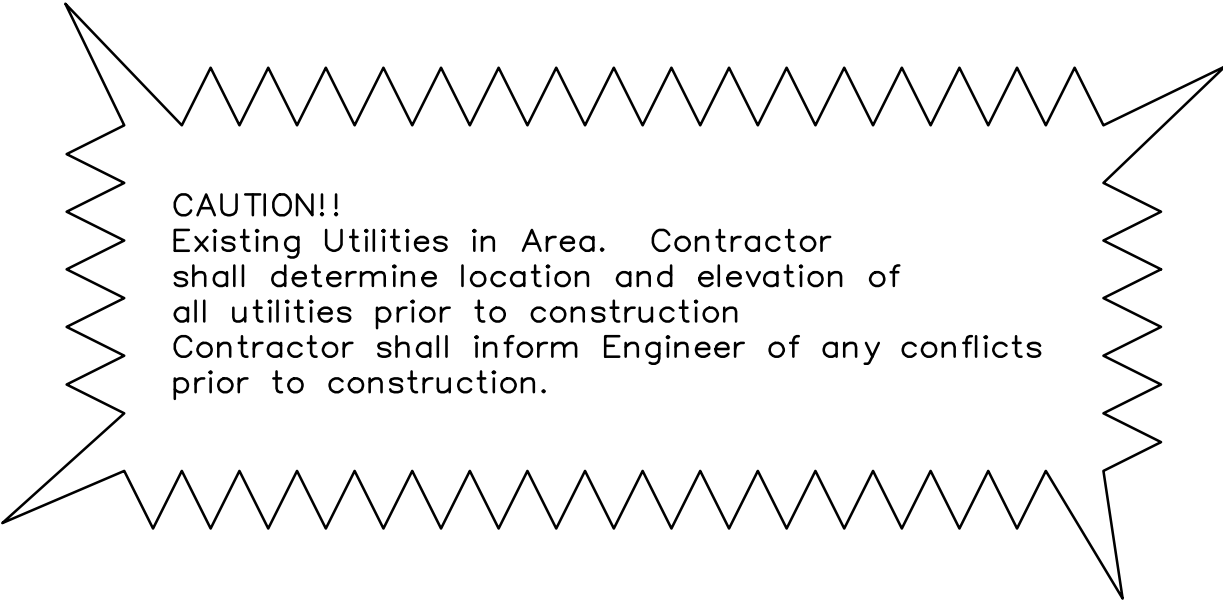
4551 SUNBELT DRIVE



**GENERAL/DRAINAGE NOTES**

1. All materials and construction shall be in accordance with the City of McKinney Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
2. Existing utilities are shown schematically and are for the contractors guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities.
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5. Contractor shall be responsible for maintaining trench safety requirements in accordance with the latest standards of O.S.H.A. or any other agency having jurisdiction for excavation and trenching procedures. Contractor shall provide and implement a trench safety plan complying with O.S.H.A.
6. All RCP pipe joints shall have Ram-Neck joint sealer, in the absence of a City Standard for joint sealant.
7. All roof drain laterals shall be 0.50% min. slope.

**Note:**  
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.



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(972) 562-4409  
Record Drawings Prepared On:  
12/10/2024

**STOP!**  
**CALL BEFORE YOU DIG**

(@ least 72 hours prior to digging)

**BENCHMARK:**

Found TxDOT brass disc +/-256' South of the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition. Elevation = 651.86

Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

**Utility RfIs**

Issue Dates:	Revisions:	Date:
1 04/11/2021	1 04/19/2023	
2 07/05/2022	2	
3 08/12/2022	3	
4 08/30/2022	4	
5 11/15/2022	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street  
972.562.4409

McKinney, Texas 75069  
Texas P.E. Firm No. F-5935

Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

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Town Project No. : SP2022-02

STORM SEWER PLAN		Sheet No.
1.037 ACRES		C4-3
4551 SUNBELT DRIVE		
SUNBELT BUSINESS PARK TRACT 13		Project No. 19121
TOWN OF ADDISON, DALLAS COUNTY, TEXAS		

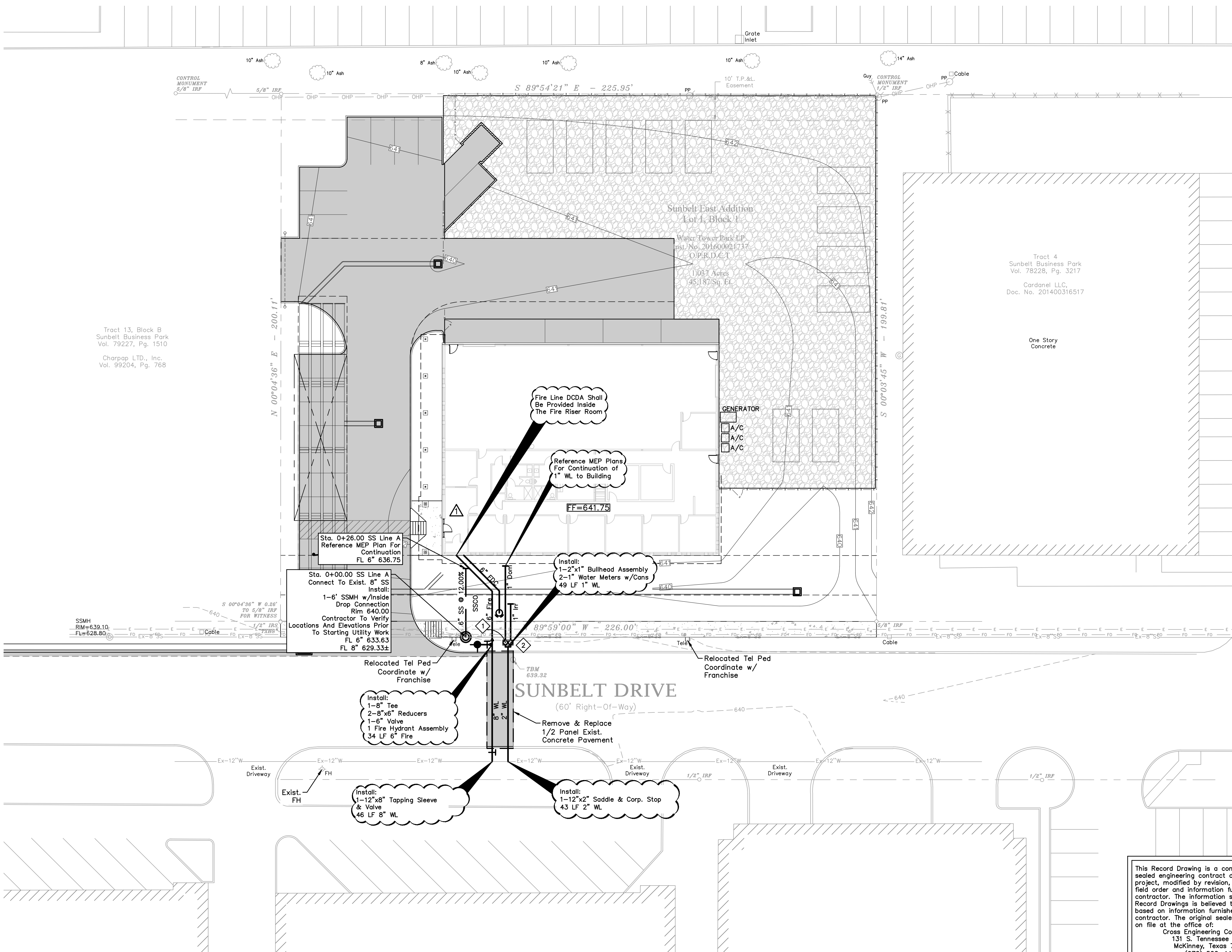
4551 SUNBELT DRIVE



MODIFIED RATIONAL METHOD DETENTION BASIN DESIGN											
2-Year Detention Pond											
Design Flow:											
Runoff Coefficient C =		0.48									
K =		1.00									
Drainage Area - A =		1.47 acres									
Time of Concentration - tc =		15.0 minutes									
Rainfall Intensity =		4.00 in/hr									
Existing Runoff Rate		2.79 cfs									
Proposed Conditions:											
Detained Runoff Coefficient C =		0.72									
Undetained Runoff Coefficient C =		0.64									
K =		1.00									
Total Site Area =		1.47 acres									
Undetained Area =		0.08 acres									
Detained Area =		1.39 acres									
Time of Concentration - tc =		10.0 minutes									
Rainfall Intensity =		4.80 in/hr									
Undetained Release =		0.25 cfs									
Maximum Outflow Rate - Q =		2.55 cfs									
Duration (minutes)	Intensity (inches/hr)	Depth (inches)	Inflow Discharge Q-KCA	Inflow Volume Cu. Ft.	Outflow Duration (minutes)	Outflow Volume Cu. Ft.	Storage Volume Cu. Ft.				
5	6.06	0.51	6.07	1.822	15	1.147	675				
10	4.80	0.80	4.80	2.881	20	1.529	1,352				
15	4.00	1.00	4.00	3.603	25	1.912	1,691				
20	3.45	1.15	3.45	4.140	30	2.294	1,846				
30	2.73	1.36	2.73	4.912	40	3.059	1,853				
40	2.27	1.51	2.27	5.460	50	3.823	1,636				
50	1.96	1.63	1.96	5.882	60	4.588	1,294				
60	1.73	1.73	1.73	6.224	70	5.353	872				
70	1.55	1.81	1.55	6.513	80	6.117	395				
80	1.41	1.88	1.41	6.761	90	6.882	(121)				
90	1.29	1.94	1.29	6.980	100	7.647	(667)				
100	1.19	1.99	1.20	7.176	110	8.412	(1,236)				
110	1.11	2.04	1.11	7.353	120	9.176	(1,823)				
120	1.04	2.08	1.04	7.514	130	9.941	(2,426)				
180	0.76	2.29	0.77	8.272	190	14.529	(6,257)				
360	0.44	2.66	0.44	9.607	370	28.293	(18,686)				
Required Storage Volume							1.853 cubic feet				
							0.04 acre-feet				

MODIFIED RATIONAL METHOD DETENTION BASIN DESIGN								
10-Year Detention Pond								
Design Flow:								
Runoff Coefficient C =		0.48						
K =		1.00						
Drainage Area - A =		1.47 acres						
Time of Concentration - tc =		15.0 minutes						
Rainfall Intensity =		5.59 in/hr						
Existing Runoff Rate		3.91 cfs						
Proposed Conditions:								
Detained Runoff Coefficient C =		0.72						
Undetained Runoff Coefficient C =		0.64						
K =		1.00						
Total Site Area =		1.47 acres						
Undetained Area =		0.08 acres						
Detained Area =		1.39 acres						
Time of Concentration - tc =		10.0 minutes						
Rainfall Intensity =		6.54 in/hr						
Undetained Release =		0.33 cfs						
Maximum Outflow Rate - Q =		3.57 cfs						
Duration (minutes)	Intensity (inches/hr)	Depth (inches)	Inflow Discharge Q-KCA	Inflow Volume Cu. Ft.	Outflow Duration (minutes)	Outflow Volume Cu. Ft.	Storage Volume Cu. Ft.	
5	7.96	0.66	7.97	2.390	15	1.608	782	
10	6.54	1.09	6.55	3.930	20	2.144	1,787	
15	5.59	1.40	5.60	5.039	25	2.680	2,359	
20	4.90	1.63	4.91	5.893	30	3.216	2,677	
30	3.97	1.98	3.98	7.156	40	4.288	2,808	
40	3.36	2.24	3.36	8.074	50	5.360	2,714	
50	2.93	2.44	2.93	8.792	60	6.432	2,360	
60	2.60	2.60	2.61	9.380	70	7.504	1,876	
70	2.35	2.74	2.35	9.877	80	8.576	1,301	
80	2.14	2.86	2.15	10.308	90	9.648	661	
90	1.98	2.96	1.98	10.689	100	10.720	(31)	
100	1.84	3.06	1.84	11.030	110	11.792	(762)	
110	1.72	3.15	1.72	11.339	120	12.864	(1,525)	
120	1.61	3.22	1.61	11.621	130	13.935	(2,314)	
180	1.20	3.59	1.20	12.950	190	20.367	(7,418)	
360	0.71	4.25	0.71	15.306	370	39.663	(24,357)	
Required Storage Volume							2.868 cubic feet	
							0.07 acre-feet	

MODIFIED RATIONAL METHOD DETENTION BASIN DESIGN							
100-Year Detention Pond							
Design Flow:							
Runoff Coefficient C =		0.48					
K =		1.00					
Drainage Area - A =		1.47 acres					
Time of Concentration -tc =		15.0 minutes					
Rainfall Intensity =		7.99 in/hr					
Existing Runoff Rate		5.58 cfs					
Proposed Conditions:							
Detained Runoff Coefficient C =		0.72					
Undetained Runoff Coefficient C =		0.64					
K =		1.00					
Total Site Area =		1.47 acres					
Undetained Area =		0.08 acres					
Detained Area =		1.39 acres					
Time of Concentration - tc =		10.0 minutes					
Rainfall Intensity =		9.27 in/hr					
Undetained Release =		0.47 cfs					
Maximum Outflow Rate - Q =		5.11 cfs					
Duration (minutes)	Intensity (inches/hr)	Depth (inches)	Inflow Discharge Q-KCA	Inflow Volume Cu. Ft.	Outflow Duration (minutes)	Outflow Volume Cu. Ft.	Storage Volume Cu. Ft.
5	11.17	0.93	11.18	3.355	15	2.299	1,056
10	9.27	1.55	9.29	5.571	20	3.065	2,506
15	7.99	2.00	8.00	7.198	25	3.831	3,367
20	7.05	2.35	7.06	8.473	30	4.597	3,876
30	5.77	2.88	5.78	10.397	40	6.130	4,267
40	4.92	3.28	4.93	11.829	50	7.662	4,307
50	4.32	3.60	4.32	12.969	60	9.195	3,774
60	3.86	3.86	3.87	13.917	70	10.727	3,190
70	3.50	4.09	3.51	14.750	80	12.260	2,478
80	3.21	4.28	3.22	15.442	90	13.792	1,680
90	2.97	4.46	2.98	16.077	100	15.324	752
100	2.77	4.62	2.78	16.651	110	16.857	2,008
110	2.60	4.76	2.60	17.174	120	18.389	(1,215)
120	2.45	4.90	2.45	17.657	130	19.922	(2,265)
180	1.85	5.54	1.85	19.967	190	29.117	(9,149)
360	1.12	6.72	1.12	24.224	370	36.701	(32,426)
Required Storage Volume						4,267 cubic feet	
						0.10 acre-foot	



**LEGEND**

- S.S. Line
- Water Line
- Fire Hydrant
- Water Tee
- Water Valve
- Water Bend
- Wall Mounted FDC
- SS Cleanout
- Existing Fire Hydrant
- Existing S.S. Line
- Existing Water Line
- Existing Underground Elec
- Existing Gas Line
- Retaining Wall

0 20 60  
GRAPHIC SCALE  
1"=20'

**WATER & SANITARY SEWER NOTES**

- All materials and construction shall be in accordance with the City of Carrollton Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision), and to the regulations of The Texas Commission on Environmental Quality.
- Existing utilities are shown schematically and are for the contractors guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 72 hours prior to any excavation to request exact field location of utilities.
- The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
- All sewer lines shall be PVC SDR-35.
- All manhole rim grades must match finished grade in paved areas. Manholes constructed in landscape areas must have a final rim grade six inches (6") above final grade.
- All water pipe 8" and larger shall be Class 150 DR 18 PVC water pipe, conforming to AWWA C900 standards, except Fire Line.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with the latest standards of O.S.H.A. or any other agency having jurisdiction for excavation and trenching procedures. Contractor shall provide and implement a trench safety plan complying with O.S.H.A.
- Fire sprinkler line shall be sized and installed by a state licensed contractor. Fire Line shown for reference only.
- Fire protection rooms shall have no roof access, mopsinks, electrical panels, storage. Fire Protection rooms are for Fire Alarm and Control systems uses.

**FIRE LINE NOTE**

- All underground fire line and remote FDC piping shall be a minimum of Class 200/DR 14 or better. Embedment shall be No. 4 crushed stone. Depth of Bury - minimum if 48 inches from grade to the top of the pipe. All underground fire lines begin at the point of connection to the circulating public/private water main and terminate at the top of the spigot piece 1 ft. above the finished floor and no more than 5 ft. inside the building.

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McKinney, Texas 75069  
(972) 562-4409  
Record Drawings Prepared On:  
12/10/2024

**Note:**  
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.

WATER METER CHART		
No.	Proposed Meter	Size
1	Domestic Meter	1"
2	Irrigation Meter	1"

**STOP!**  
**CALL BEFORE YOU DIG**

**TEXAS811**  
Know what's Below.

(@ least 72 hours prior to digging)

**BENCHMARK:**  
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Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

**Utility RFI's**

Issue Dates:	Revisions:	Date:
1 04/11/2021	1 04/19/2023	
2 07/05/2022	2	
3 08/12/2022	3	
4 08/30/2022	4	
5 11/15/2022	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**  
1730 W. Virginia Street  
972.562.4409  
McKinney, Texas 75069  
Texas P.E. Firm No. F-5935

Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

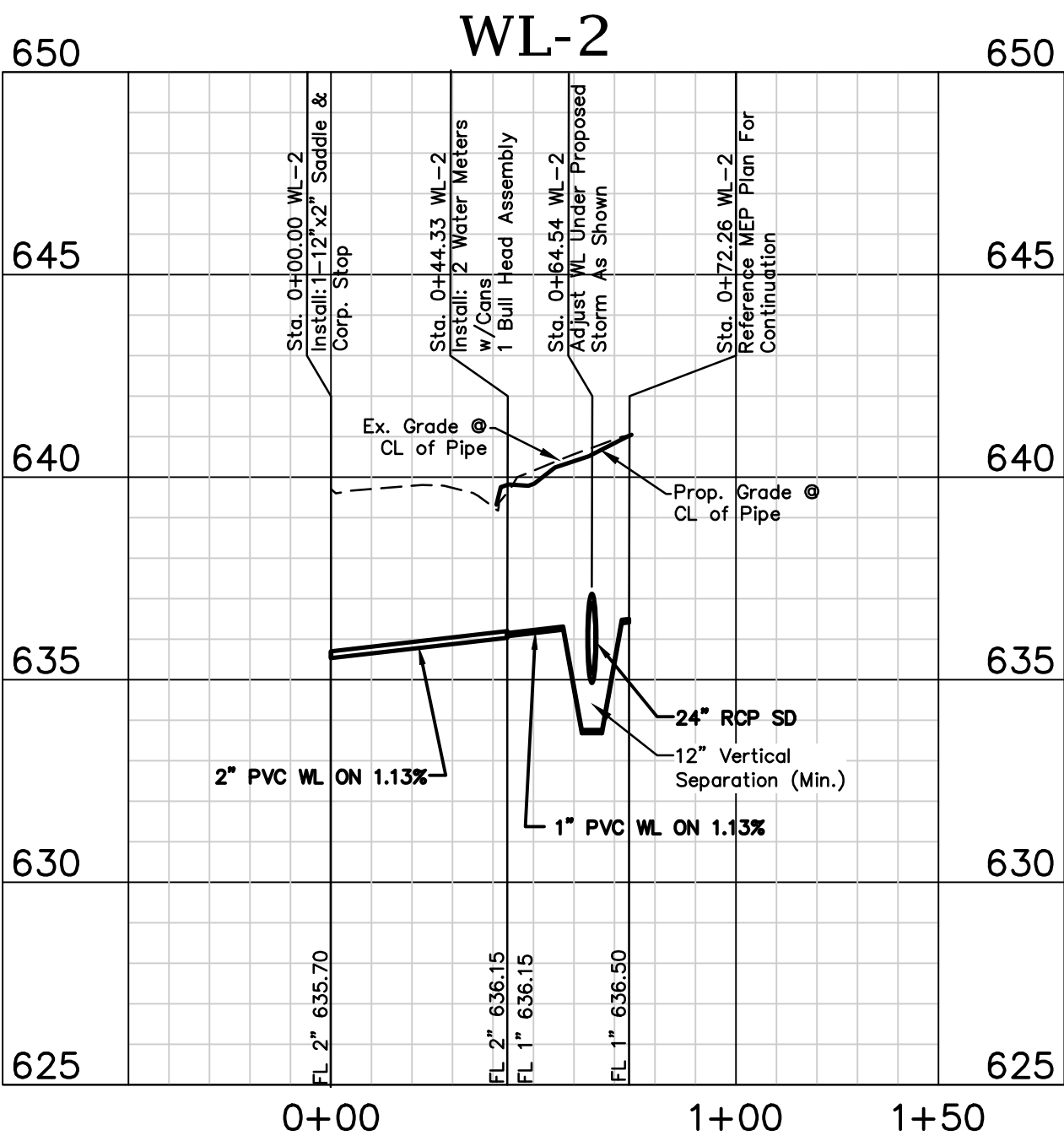
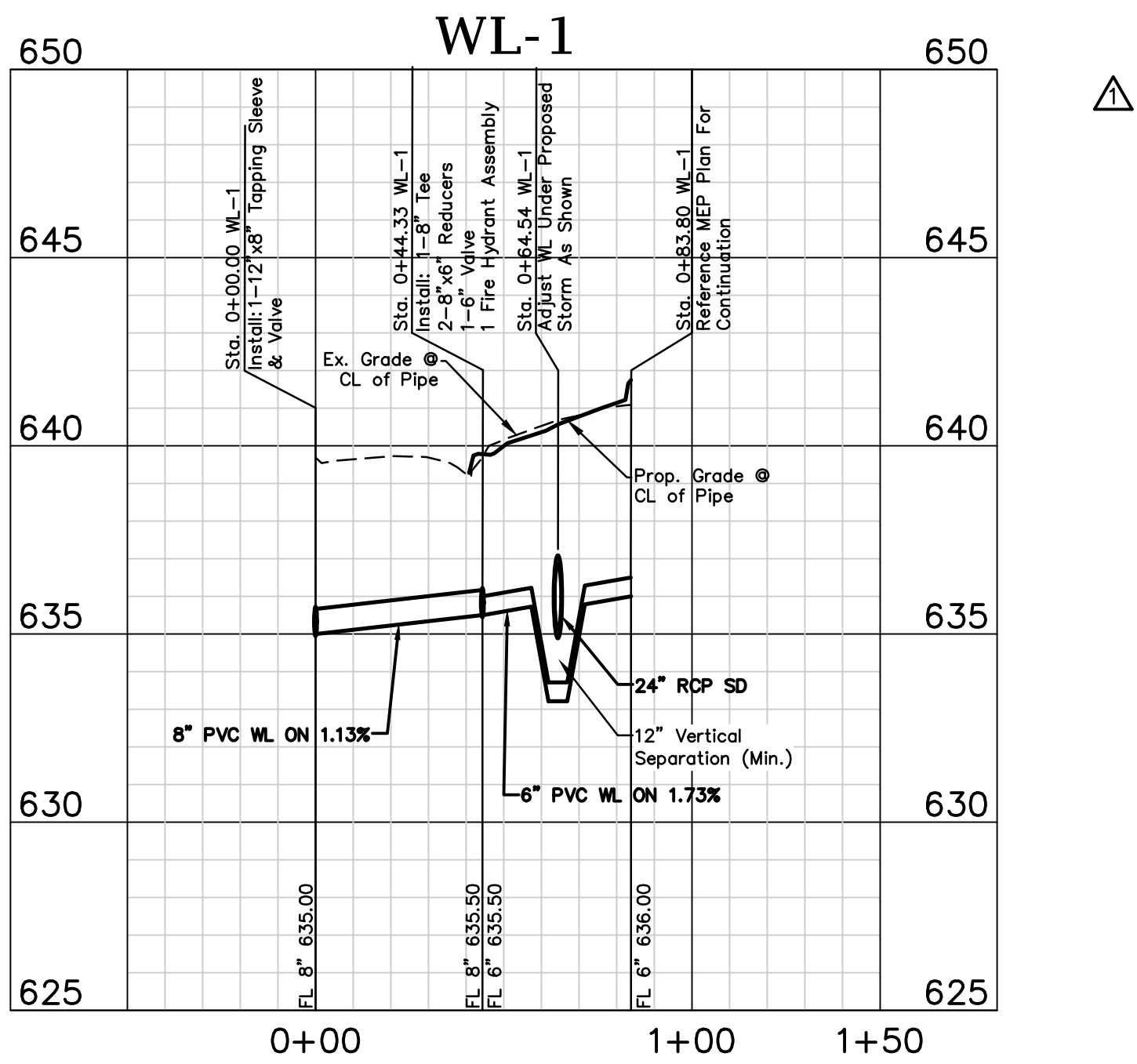
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Town Project No. : SP2022-02

**UTILITY PLAN**  
1.037 ACRES  
4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.  
**C5-1**  
Project No.  
19121

4551 SUNBELT DRIVE



This Record Drawing is a combination of the sealed engineering contract drawings for this project, modified by revision, change order, field order and information furnished by the contractor. The information shown on the Record Drawings is believed to be accurate based on information furnished by the contractor. The original sealed drawings are on file at the office of:  
Cross Engineering Consultants  
131 S. Tennessee Street  
McKinney, Texas 75069  
(972) 562-4409  
Record Drawings Prepared On:  
12/10/2024

**Note:**  
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.

**STOP!**  
**CALL BEFORE YOU DIG**

(@ least 72 hours prior to digging)

**BENCHMARK:**

Found TxDOT brass disc +/-256' South of the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition. Elevation = 651.86

Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

**Utility RfIs**

Issue Dates:	Revisions:	Date:
1 04/11/2021	1	04/19/2023
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6	6	

<b>CROSS ENGINEERING CONSULTANTS</b>		1730 W. Virginia Street 972.562.4409		McKinney, Texas 75069 Texas P.E. Firm No. F-5935	
Drawn By:	Checked By:	Scale:			
C.E.C.I.	C.E.C.I.	V:1"=4' H:1"=40'			

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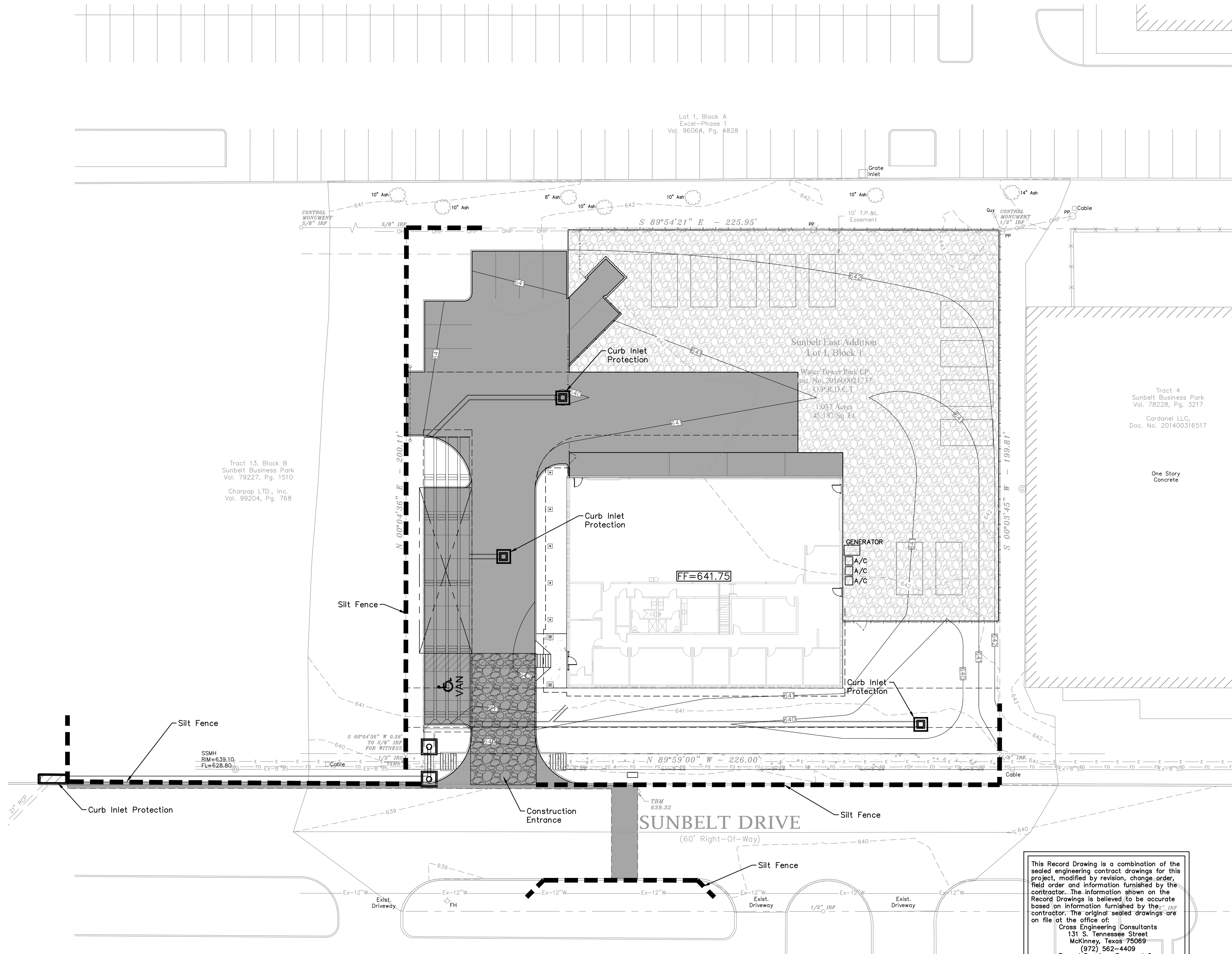
Town Project No. : SP2022-02

**WATER PROFILES**

1.037 ACRES  
4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.  
**C5-2**

Project No.  
19121

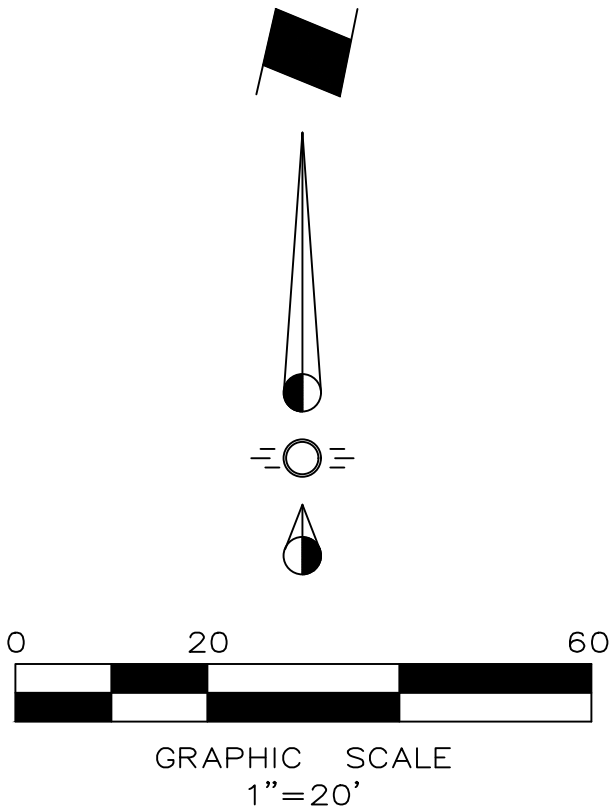


PHASING

- 1. INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE
- 2. INSTALL INLET PROTECTION WHEN INLET AND FRONT PAVING ARE COMPLETE.
- 3. REMOVE SILT FENCE AT PAVING CONNECTION POINTS FOR DRIVE CONNECTIONS.
- 4. REMOVE CONSTRUCTION ENTRANCE AFTER ALL INTERIOR CONSTRUCTION IS COMPLETE AND POUR ENTRY PAVING.
- 5. REMOVE SILT FENCE AND INLET PROTECTION WHEN PERMANENT BMP'S ARE IN PLACE.

LEGEND

- SILT FENCE
- CURB INLET PROTECTION
- GRATE INLET/CATCH BASIN PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE



DISTURBED AREA = 1.10 ACRES

STORMWATER POLLUTION PREVENTION NOTES

- 1. It is the intent of the information provided on this sheet to be used as the general guidelines of the storm water pollution prevention plan for this project to establish a minimum basis of compliance with federal regulations.
- The Storm Water Pollution Prevention Plan shall meet the requirements for storm water discharges from construction sites published in the TPDES general permit no. Tsr 150000, dated March 5, 2018, issued pursuant to section 26.040 of the Texas Water Code and Section 402 of the Clean Water Act, by the Texas Commission on Environmental Quality (TCEQ).
- 2. The Storm Water Pollution Prevention Plan should address three goals:
  - a) diversion of upslope water around disturbed areas of the site;
  - b) limit the exposure of disturbed areas to the shortest duration possible; and
  - c) removal of sediment from storm water before it leaves the site.
- 3. The contractor will submit the NOI and shall have the Storm Water Pollution Prevention Plan available onsite.
- 4. The contractor must amend plans whenever there is a change in design, construction, operation, or maintenance of the plan, or when the existing plan proves ineffective. Modifications including design and all additional materials and work shall be accomplished by the contractor at no additional expense to the owner.
- 5. Stabilization measures are to be inspected at a minimum of once every 7 days and within 24 hours after any storm event greater than 0.50 inches. Repairs and inadequacies revealed by the inspection must be implemented within 1 calendar day following the inspection. Rain gauge shall be placed on-site to measure and record.
- 6. An inspection report that summarizes inspection activities and implementation of the storm water pollution prevention plan shall be retained and made part of the plan.
- 7. All contractors and subcontractors identified in the plan must certify as to an understanding of the NPDES general permit before conducting any activity identified in the pollution prevention plan.
- 8. The contractor shall adopt appropriate construction site management practices to prevent the discharge of oils, grease, paints, gasoline, and other pollutants to storm water. Appropriate practices can include:
  - Designating areas for equipment maintenance and repair; regular collection of wastes; conveniently located waste receptacles; and designating and controlling equipment washdown.Contractor shall also provide adequate trash collection receptacles, and ensure regular and proper removal from site.
- 9. The contractor shall amend or modify this plan as required by construction means, methods, and sequence. Modifications shall not compromise the intent of the requirements of the law and this plan. Modifications shall not be basis for additional cost to the owner.
- 10. Areas of construction elsewhere on the jobsite shall conform to the detail shown on the plans.
- 11. Borrow areas, if excavated, shall be protected and stabilized utilizing the plan details. All work shall conform to governmental requirements and become part of the Storm Water Pollution Prevention Plan (SWPPP). This work shall be done by the contractor at no additional expense to the owner.
- 12. All non-paved areas shall be mulched and seeded with erosion protection immediately upon completion of final grading. This includes all ditches and embankments. The contractor shall maintain final grading and keep seeded areas watered until fully established and accepted by owner.
- 13. The contractor shall construct a stabilized construction entrance/exit at designated traffic entrance/exit points prior to entering/exiting onto any paved roadway.
- 14. The contractor shall construct a silt fence at all locations shown on plans. The silt fence shall be constructed as detailed this sheet.
- 15. All public disturbed areas shall have sod 4' from back of curb w/ silt fence, and curlex beyond to limits of disturbed area until fully vegetated. All private disturbed ground areas shall be fully re-vegetated with 6lbs of a combination of perennial rye (4lbs) and Bermuda (2lbs) per 1000 sf, upon completion of final grading. These measures shall remain in place until all permanent landscaping measures are met.

**STOP!**  
**CALL BEFORE YOU DIG**

Know what's Below.

(@ least 72 hours prior to digging)

BENCHMARK:

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Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

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**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street  
972.562.4409

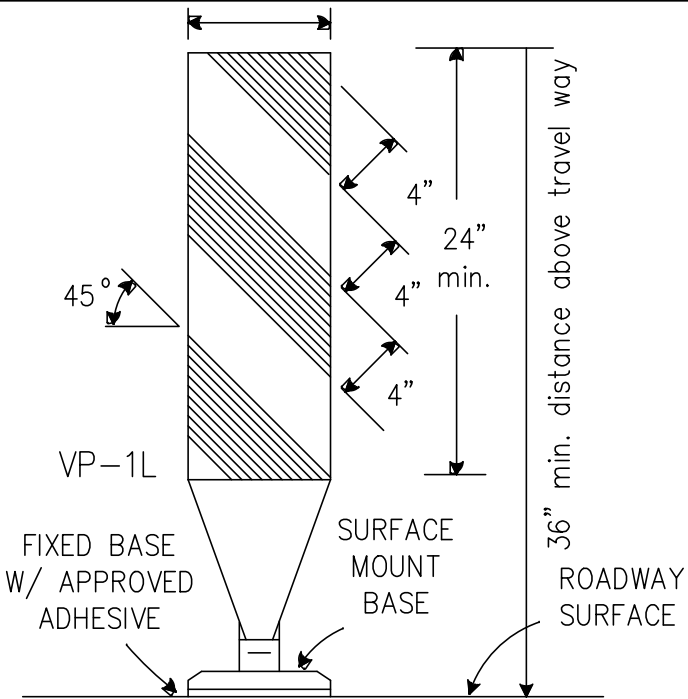
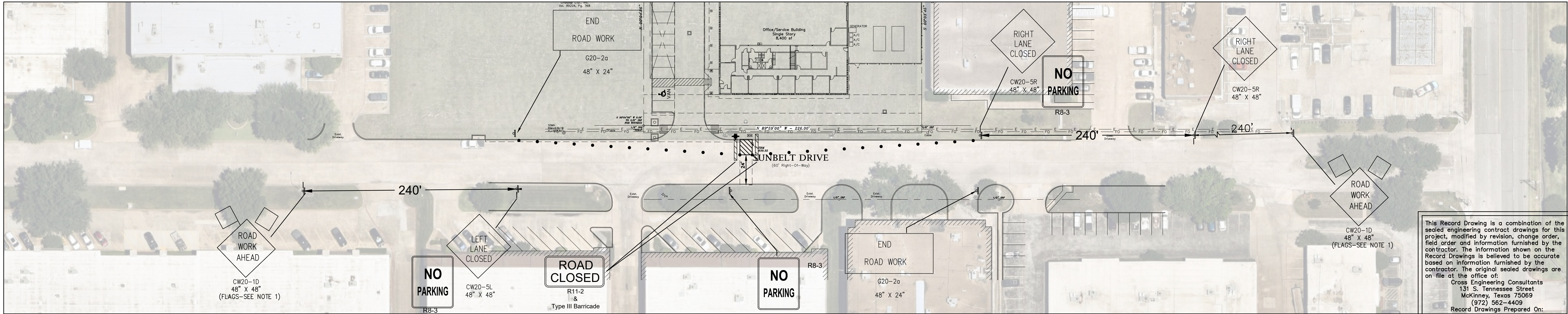
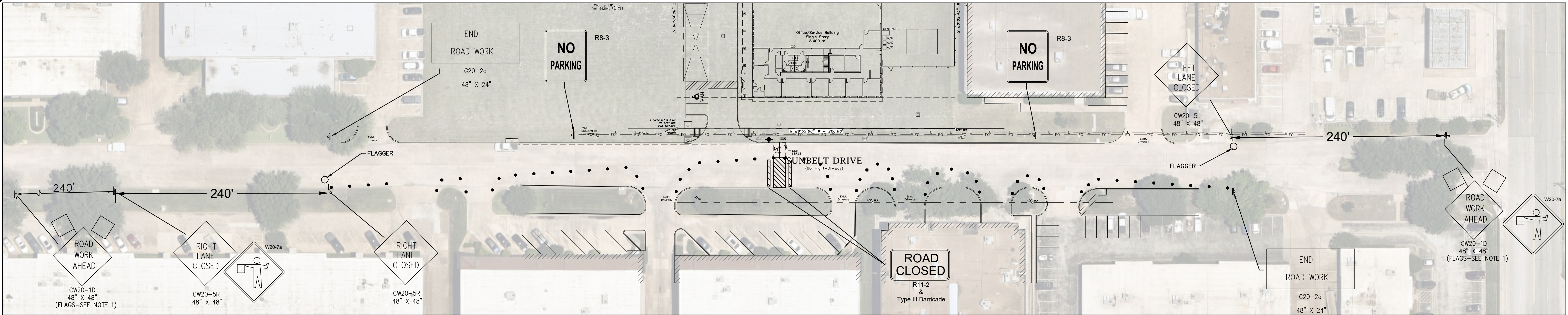
McKinney, Texas 75069  
Texas P.E. Firm No. F-5935

Drawn By:	Checked By:	Scale:
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Town Project No. : SP2022-02	
<div>EROSION CONTROL PLAN</div> <div>1.037 ACRES</div> <div>4551 SUNBELT DRIVE</div> <div>SUNBELT BUSINESS PARK TRACT 13</div> <div>TOWN OF ADDISON, DALLAS COUNTY, TEXAS</div>	Sheet No.
	C6-1
	Project No.
	19121

4551 SUNBELT DRIVE



## CHANNELIZING DEVICES

### VERTICAL PANELS

Vertical Panels are normally used as channelizing devices to indicate tangent or nearly tangent roadway alignment where good target value of a device is needed in daytime as well as nighttime. In addition, vertical panels should be used at the edge of shoulder drop-offs and other areas such as lane transitions where positive daytime and nighttime delineation may be required. Vertical panels should be mounted back to back if used at the edge of cuts adjacent to two-way two lane roadways. Stripes are to be reflective orange and reflective white and should always slope downward toward the traveled way. Vertical Panels used on expressways, freeways, and other high speed roadways shall have a minimum of 2 square feet of retroreflective area facing traffic.

Self-righting supports are available with portable base. See Compliant Products List.

#### GENERAL NOTES:

- Unless otherwise stated in the plans, flags attached to the signs are REQUIRED.
- All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans.
- ROAD WORK AHEAD sign may be repeated if the visibility of zone is less than 1500'.
- If pavement markings are not removed and traffic is directed over a double yellow centerline, the maximum spacing of channelizing devices in a tangent section should be no greater than 10 feet.
- Town Inspectors Shall Field Approve Barricades Prior To Work Commencing.

#### CAUTION!

Existing Utilities in Area. Contractor to determine location and elevation of all utilities prior to construction. Contractor to inform Engineer of any conflicts prior to construction.

**STOP!**  
**CALL BEFORE YOU DIG**



(at least 72 hours prior to digging)

#### BENCHMARK:

Found TXDOT brass disc +/-256' South of the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition. Elevation = 651.86

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#### TRAFFIC CONTROL NOTES:

- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone. All traffic control devices shall be in accordance with the latest T.M.U.T.C.D. and N.C.H.R.P. 350. Devices must contain either Type III Hi-Intensity sheeting or Type IV reboundable Hi-Intensity sheeting.
- Any traffic control plans not included in the engineering plan set must be submitted for review a minimum of seven (7) working days prior to the anticipated lane closure. Construction activity shall not begin until the traffic control plan is approved by the Town of Addison. Traffic control plans may be required on other roadways as determined by the Traffic Engineer or the designer. All traffic control plans must be prepared by an individual that is certified in their preparation. Any deviation from an approved traffic control plan must be reviewed by the Traffic Engineer or their designated representative.
- The contractor shall be responsible for maintaining all traffic control devices on an around-the-clock basis, whether or not work is active. Any deficiencies shall be corrected by the contractor immediately, regardless of time of day.
- Lane closures will not be permitted on arterial roadways before 9:00 am or after 4:00 pm. Violations will result in suspension of all work at the job site for a minimum of 48 hours. The traffic engineer reserves the right to deny a closure for a special event.
- Lane closures will not be permitted on streets adjacent to private and/or public schools during the following hours:  
Elementary: 7:15am-8:15am, 2:45pm-3:45pm  
Middle School: 7:55am-9:am, 3:30pm-4:40pm  
High School: 6:45am-7:45am, 2:15pm-3:15pm
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours.
- Existing permanent signs removed by the contractor for construction purposes other than stop, yield and street name signs shall be returned to the Town of Addison. All stop, yield and street name signs removed shall be temporarily erected in the appropriate locations (no less than 7 feet vertical from grade) until permanent signing can be installed. Any temporary stop of yield sign locations to be left in place overnight will require prior approval from the Town Engineer.
- Any permanent sign or existing pavement markings that conflict with the approved traffic control plan shall be covered, obliterated or removed as directed by the Town Engineer.
- Access must be maintained to all drives and side streets or as indicated in the traffic control plan.

#### LEGEND

- Type III Barricade
- Channelizing Devices
- Sign Post
- Work Area

All signage shall conform to the Manual on Uniform Traffic Control Devices, latest edition.

All signs placed in parkways and medians shall be coordinated with existing signs to not obstruct the view of either one.

Contractor to place signs in parkway and medians as to not obstruct sight visibility at driveway and street intersections.

Road to be closed less than 1 week for construction. Contractor shall coordinate with town waste services, town emergency services with minimum 48 Hours notification prior to road closure.

Posted Speed	Formula	Minimum Desirable Taper Lengths	Suggested Maximum Spacing of Device	Minimum Sign Spacing
		10' 11' 12'	On a Taper	X Distance
30	$L = \frac{WS^2}{60}$	150' 165' 180'	30' 30' 30'	60' -75' 120'
35		205' 225' 245'	35' 35' 35'	70' -90' 160'
40		265' 295' 320'	40' 40' 40'	80' -100' 240'
45		450' 495' 540'	45' 45' 45'	90' -110' 320'
50		500' 550' 600'	50' 50' 50'	100' -125' 400'
55		550' 605' 660'	55' 55' 55'	110' -140' 500'
60		600' 660' 720'	60' 60' 60'	120' -150' 600'
65		650' 715' 780'	65' 65' 65'	130' -165' 700'
70		700' 770' 840'	70' 70' 70'	140' -175' 800'

\* Conventional Roads Only  
\*\* Taper lengths have been rounded off.  
L=Length of Taper (FT.) W=Width of Offset (FT.) S=Posted Speed (MPH)

TYPICAL USAGE:				
MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
	✓	✓		

Town Project No. : SP2022-02

**TRAFFIC CONTROL PLAN**  
1.037 ACRES

4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.

C7-1

Project No.

19121

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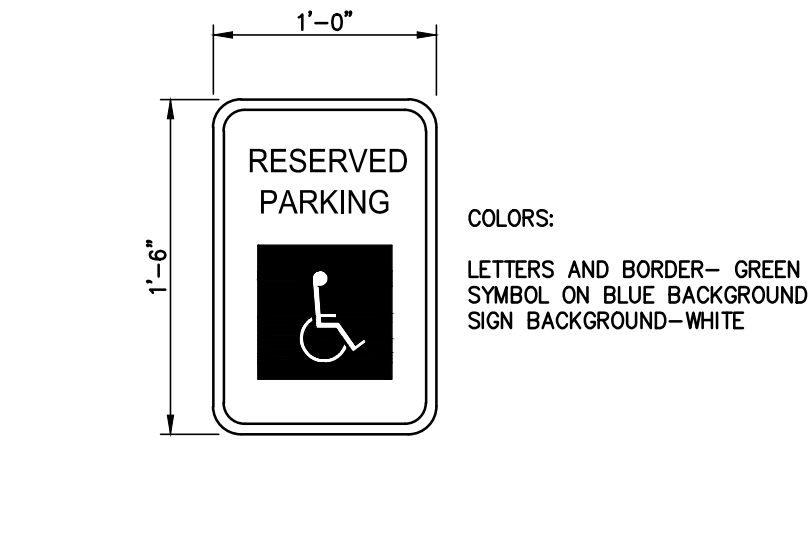
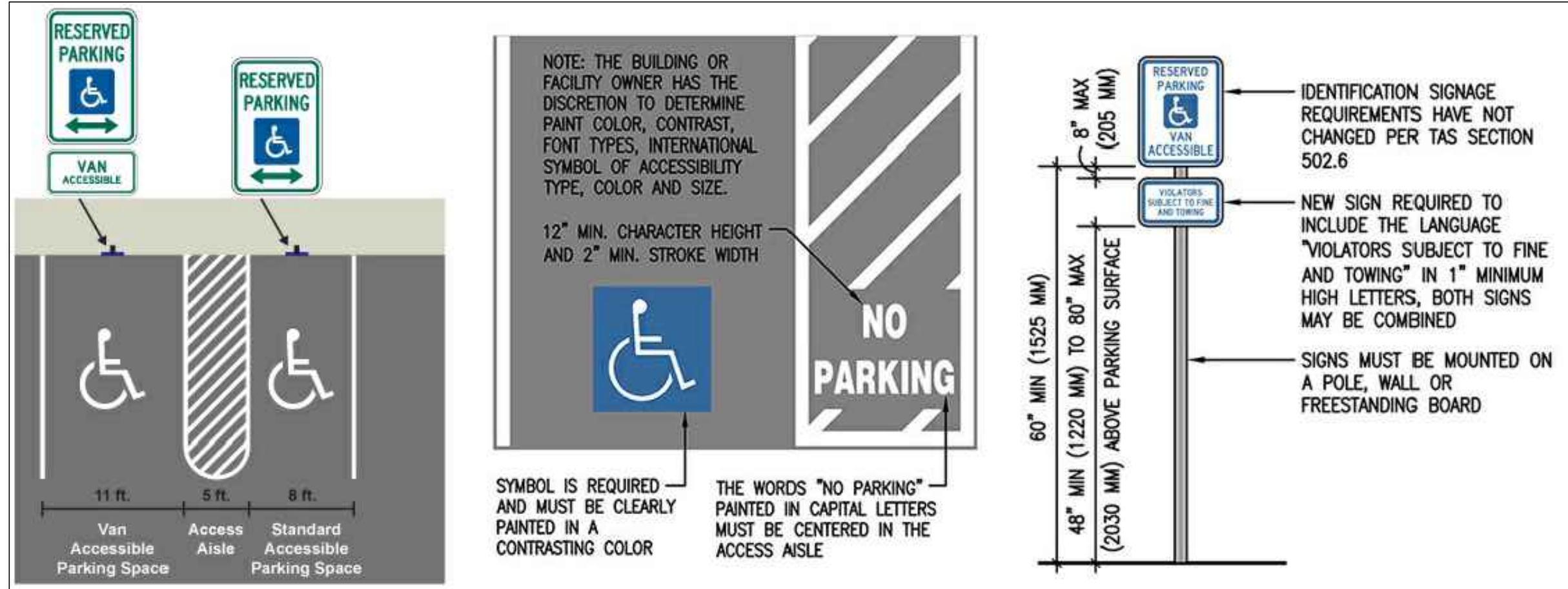
**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street  
972.562.4409  
McKinney, Texas 75069  
Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I.  
Checked By: C.E.C.I.  
Scale: 1"=40'

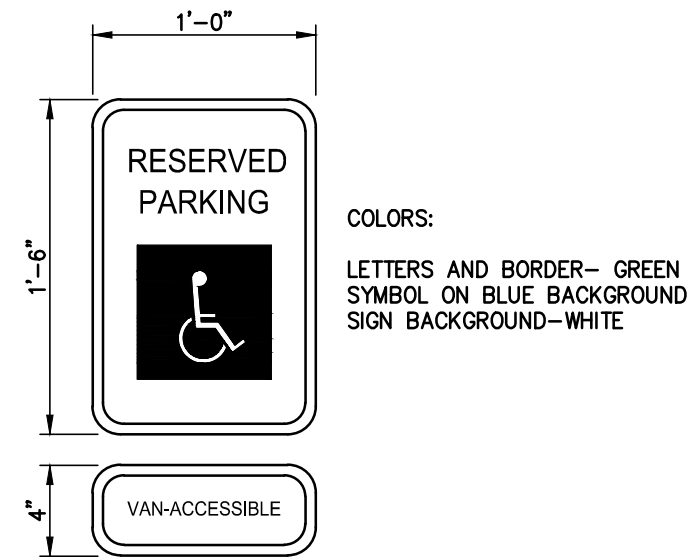
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4551 SUNBELT DRIVE



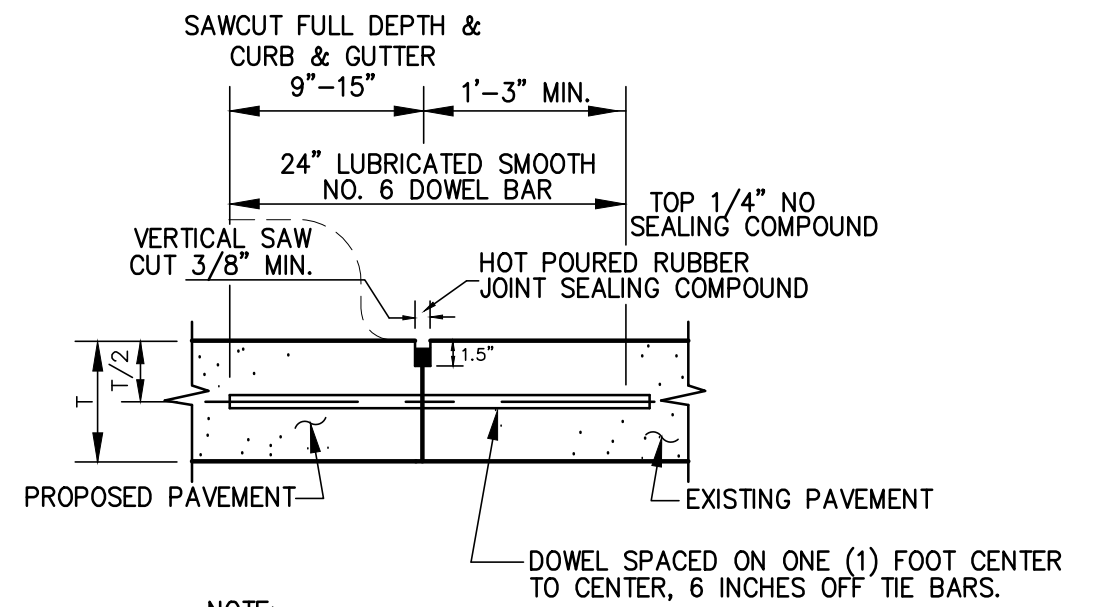
- NOTES:
1. SPACING BETWEEN LETTERS, COLORS, AND PROCESSES SHALL CONFORM STANDARD HIGHWAY AND SIGN DESIGN FOR TEXAS.
  2. INSTALL 2' BACK OF CURB OR WHEEL STOPS, UNLESS OTHERWISE INDICATED.
  3. VAN-ACCESSIBLE SIGNAGE ON VAN SPACES ONLY.

**TYPICAL SIGNAGE DETAIL**  
**TYPE I**  
N.T.S.

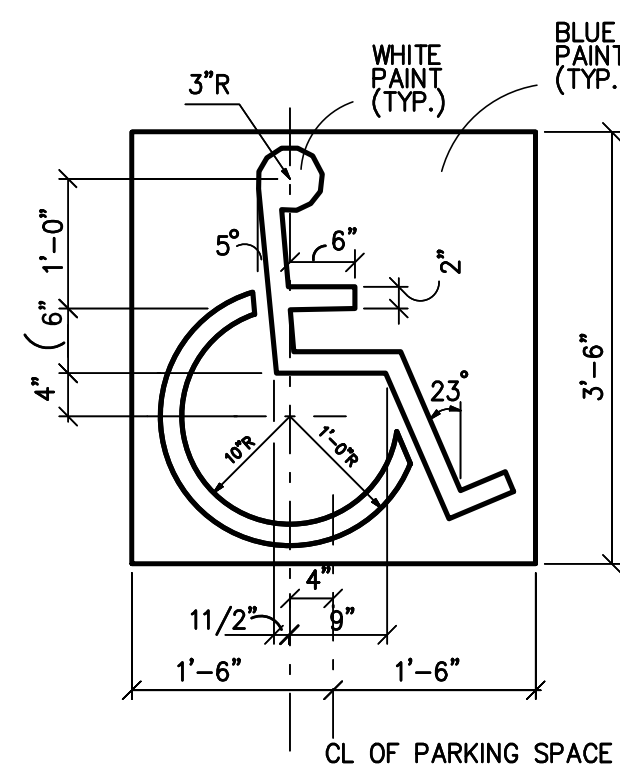


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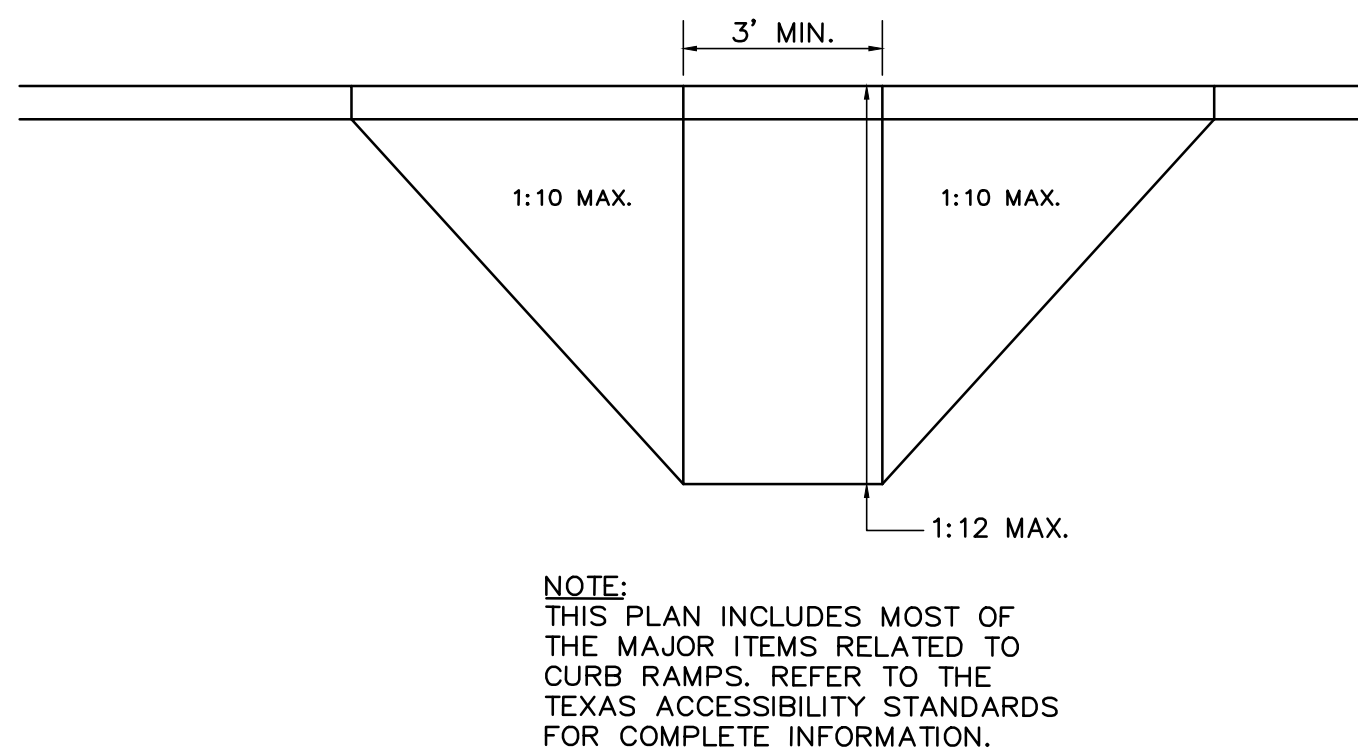
**TYPICAL SIGNAGE DETAIL**  
**TYPE II**  
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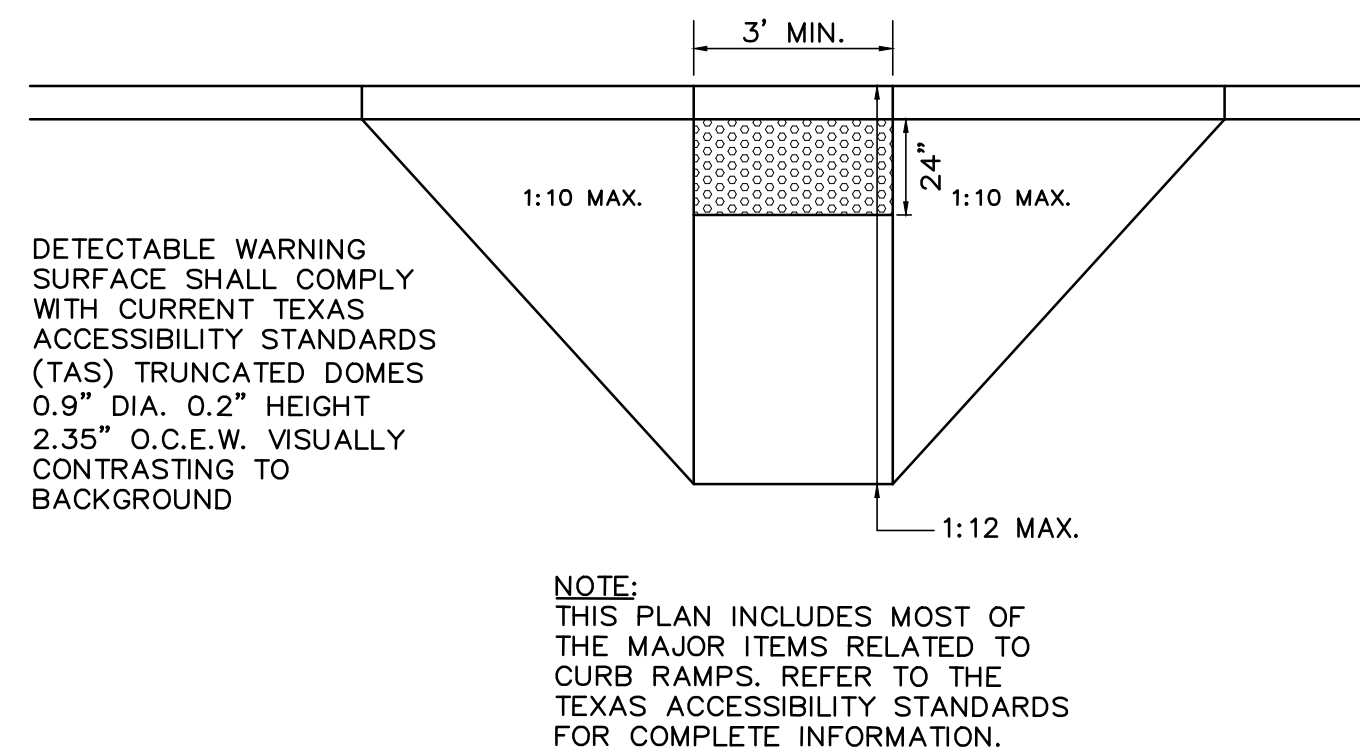
- NOTE:  
DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.
- LONGITUDINAL BUTT JOINT**
- N.T.S.
- NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
  2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
  3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
  4. DRILLED BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.



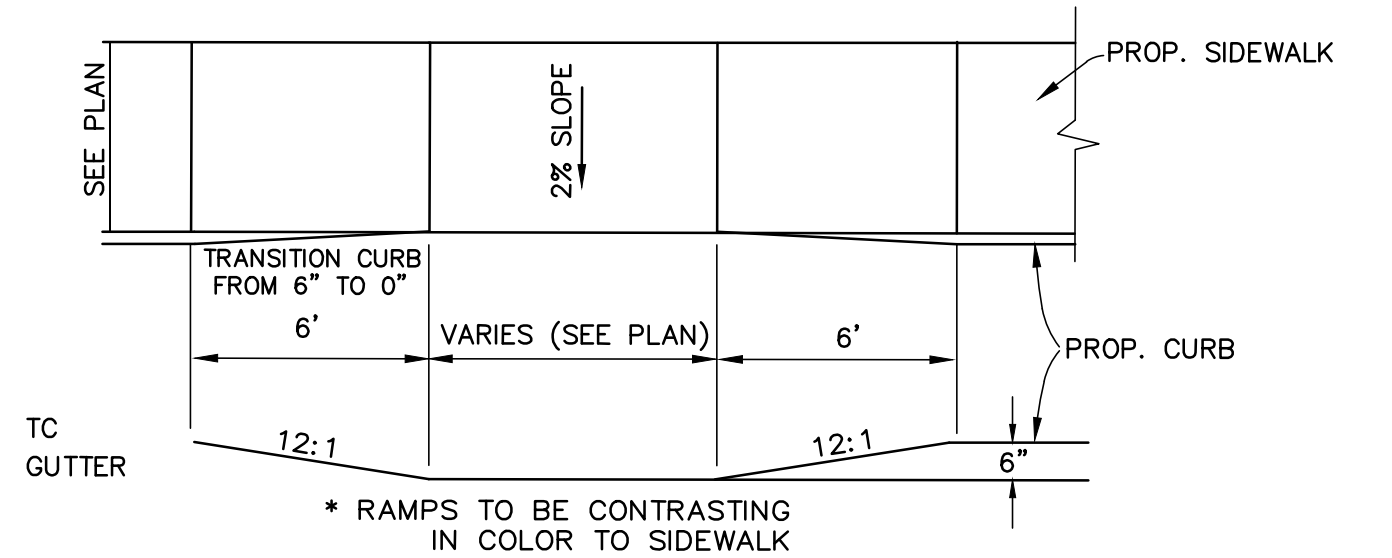
**HANDICAP SYMBOL DETAIL**  
N.T.S.



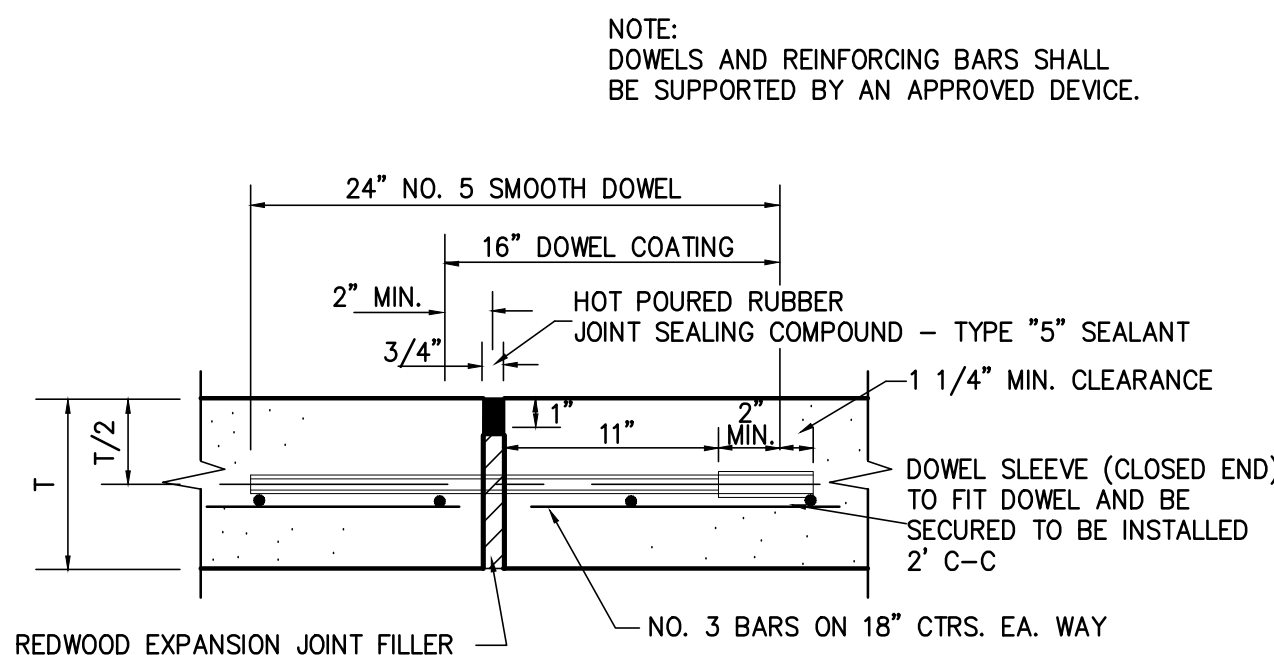
**HANDICAP RAMP DETAIL (PRIVATE USE ONLY)**  
N.T.S.



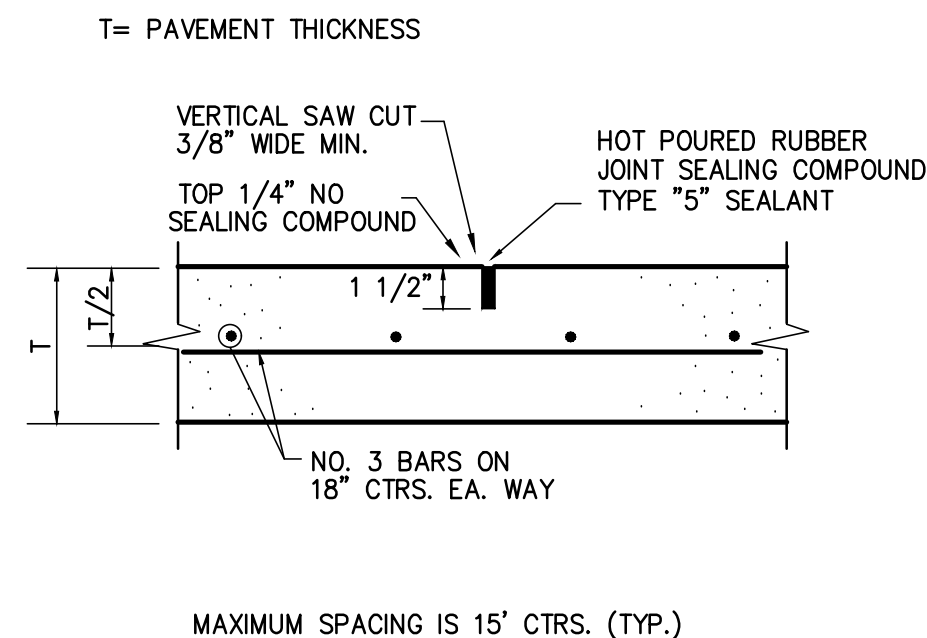
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N.T.S.



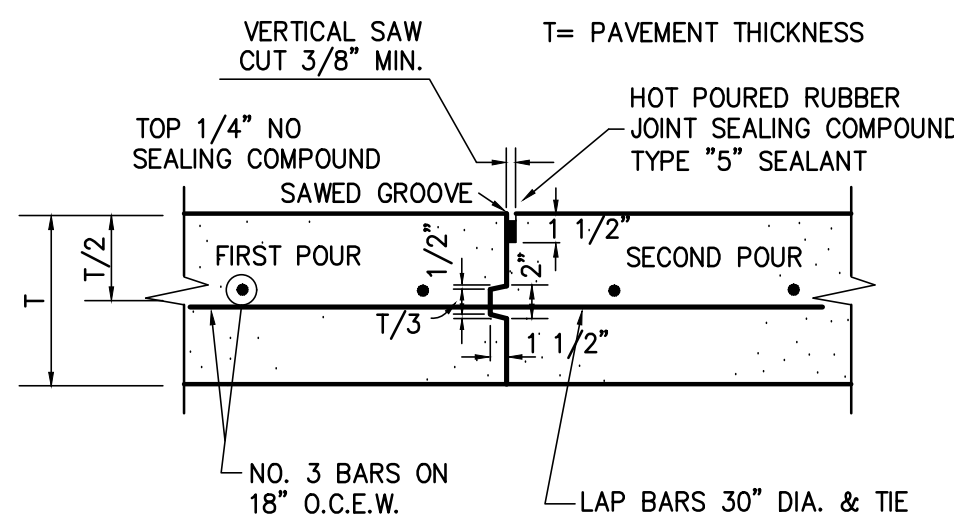
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N.T.S.



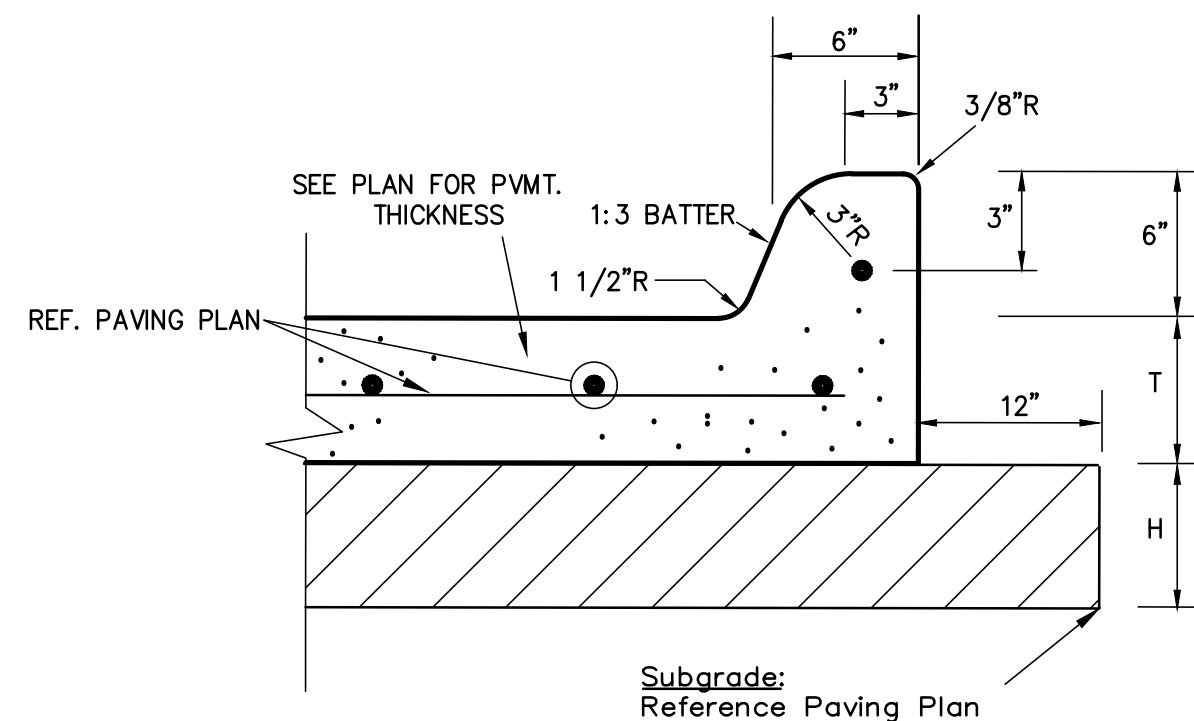
**EXPANSION JOINT**



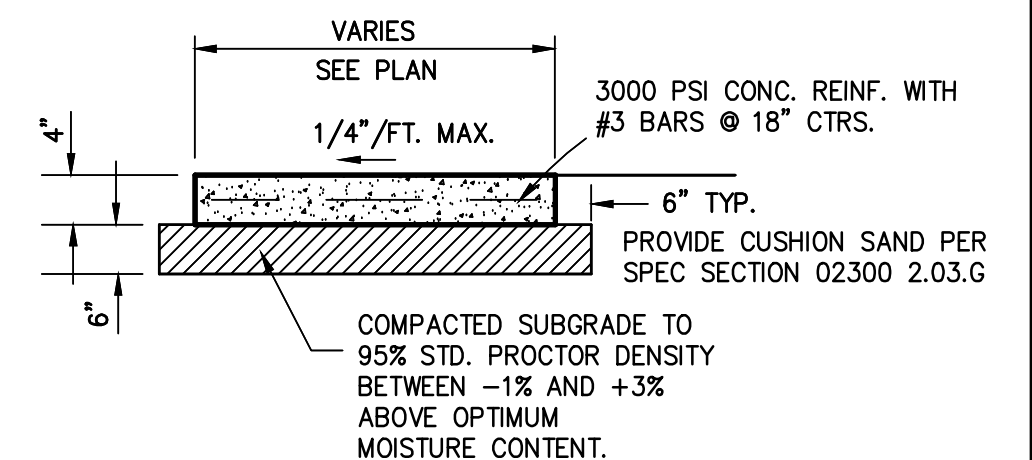
**SAWED DUMMY (CONTROL) JOINT**



**CONSTRUCTION JOINT**



**PAVEMENT SECTION WITH CURB**



**SIDEWALK DETAIL**  
N.T.S.

**BENCHMARK:**

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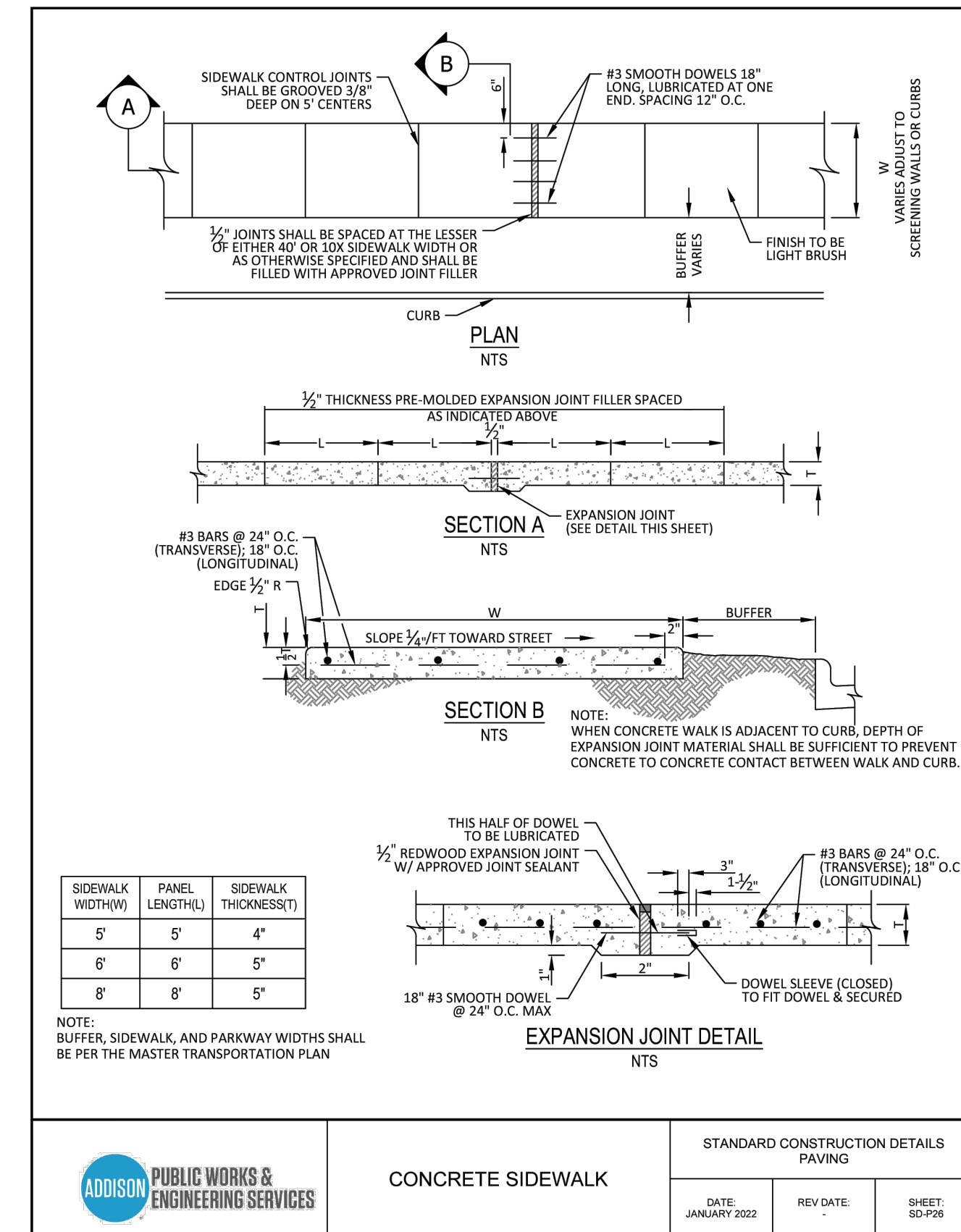
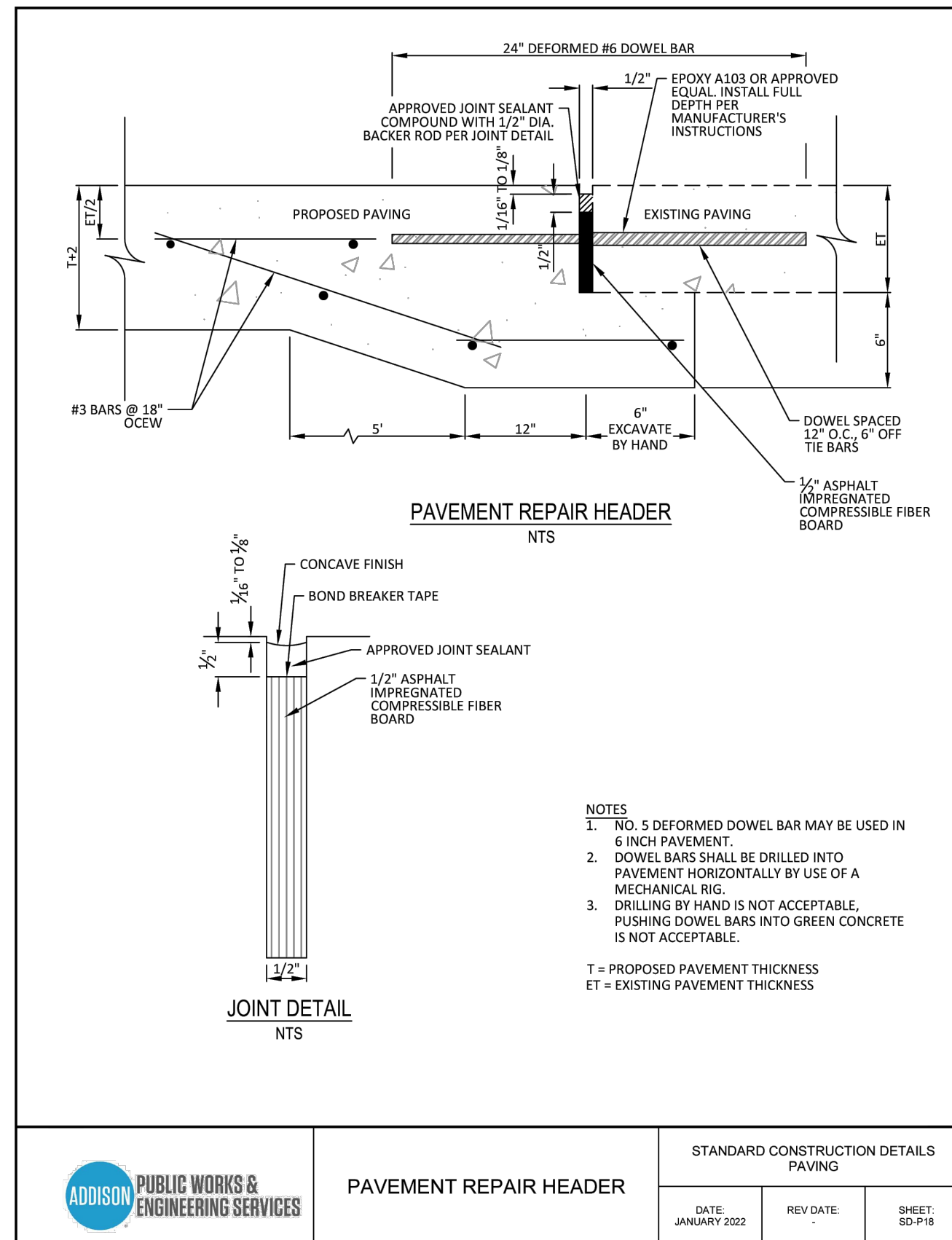
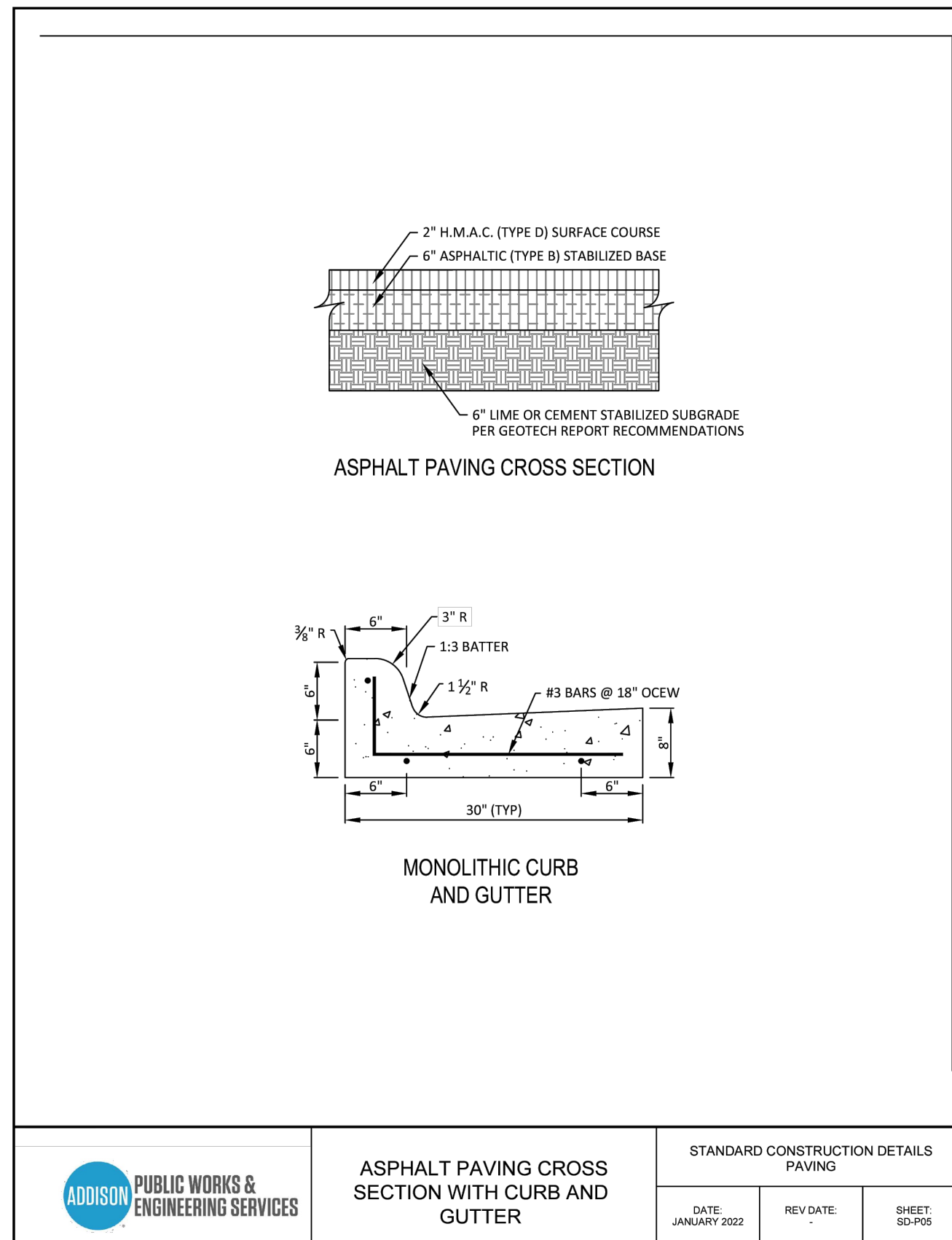
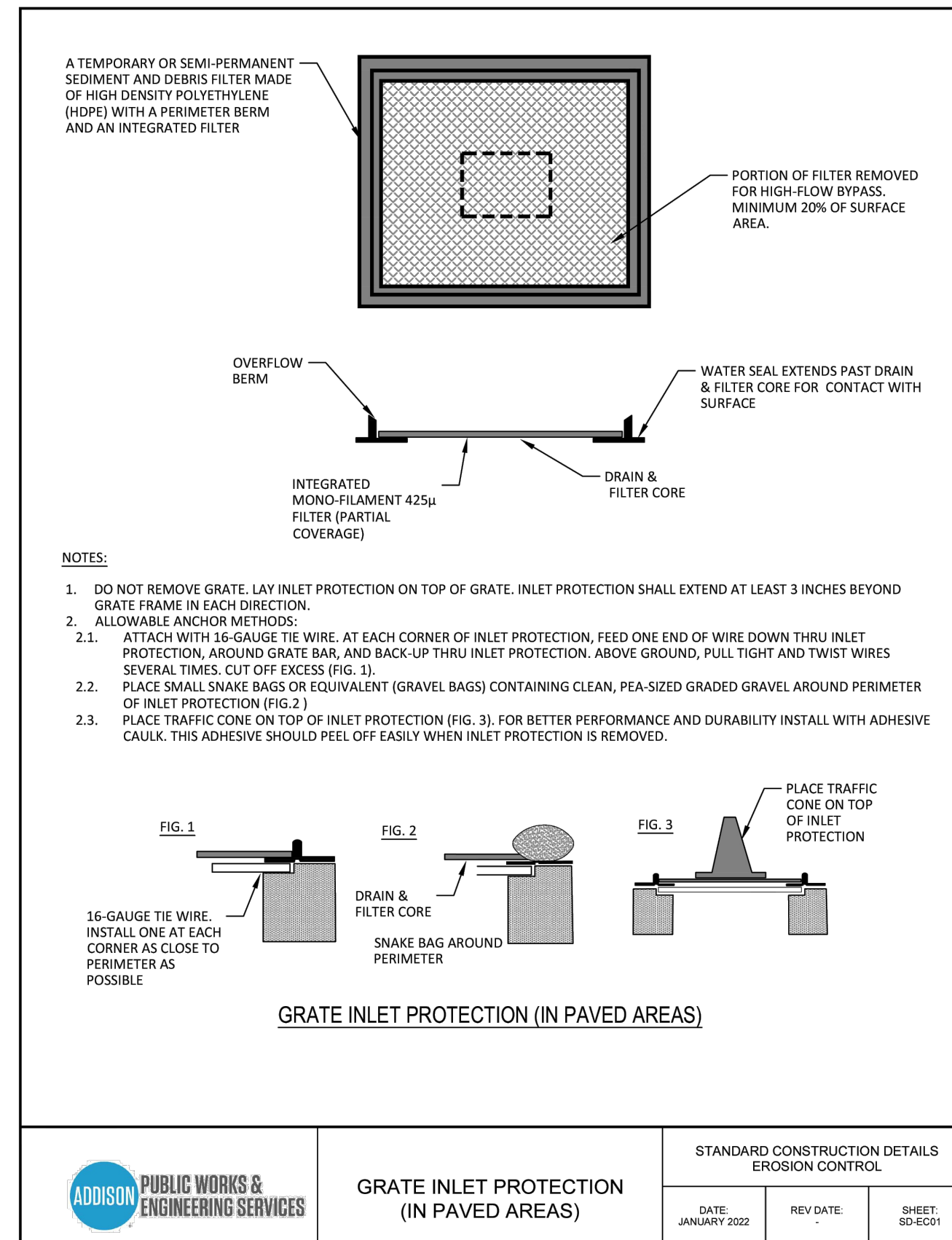
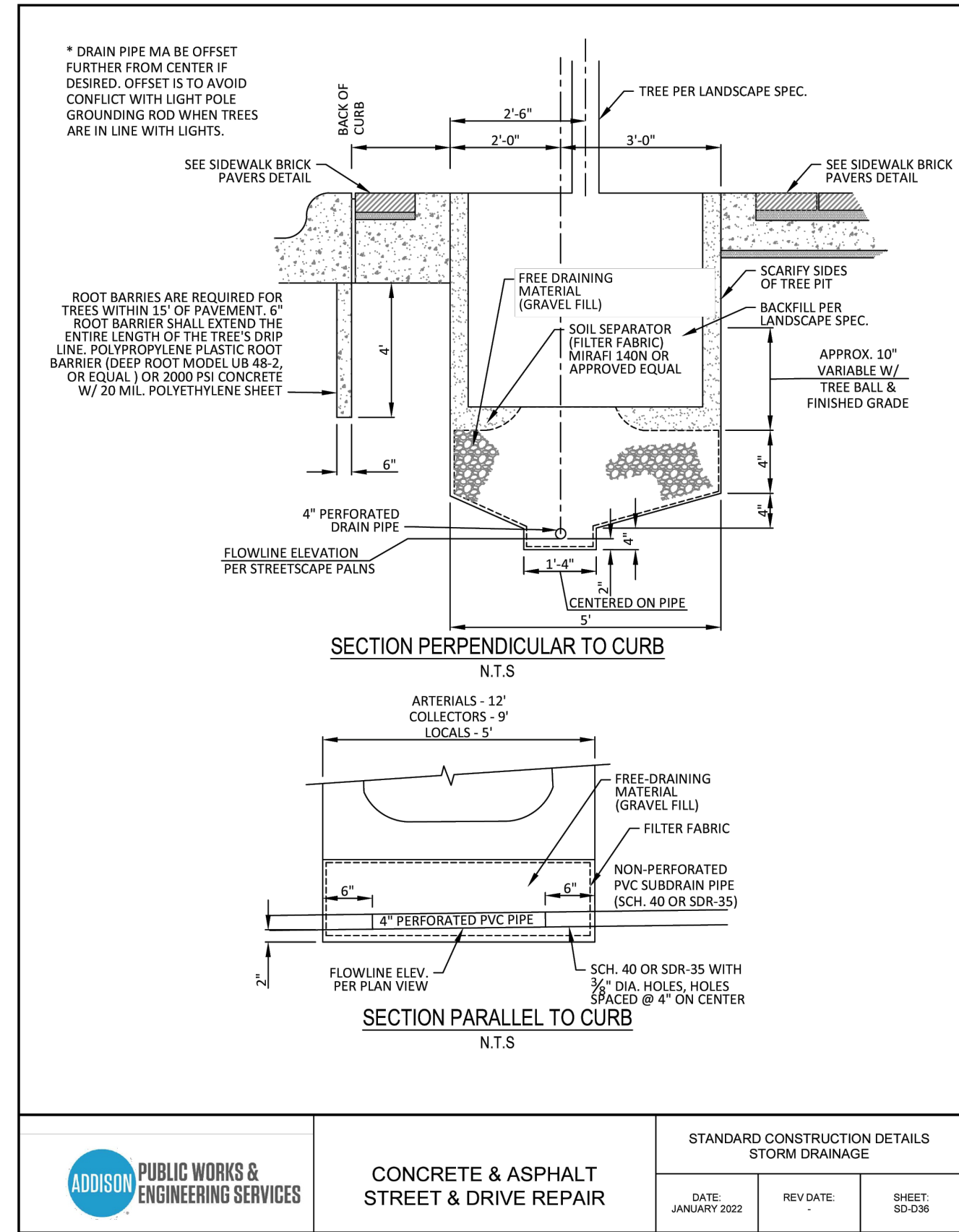
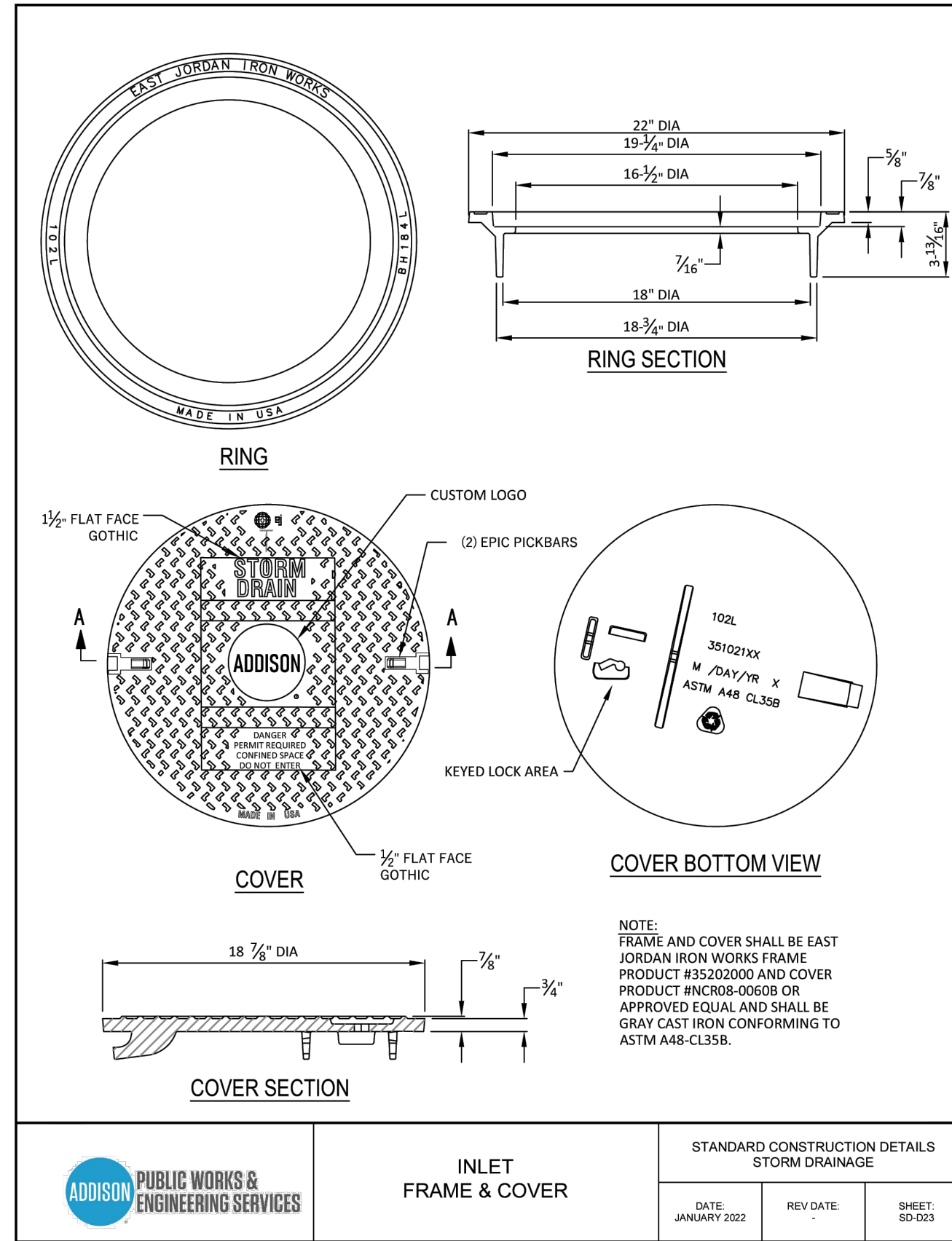
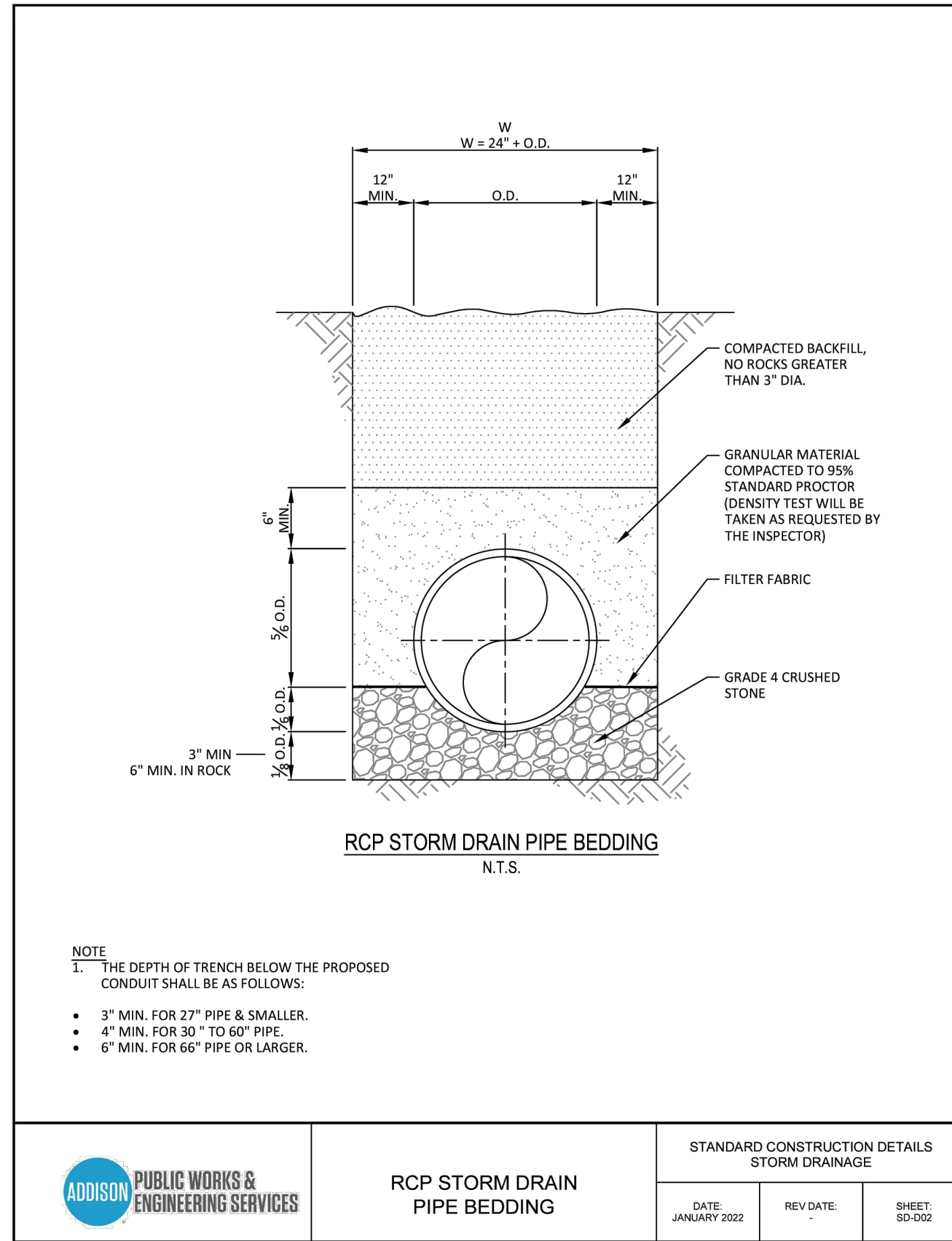
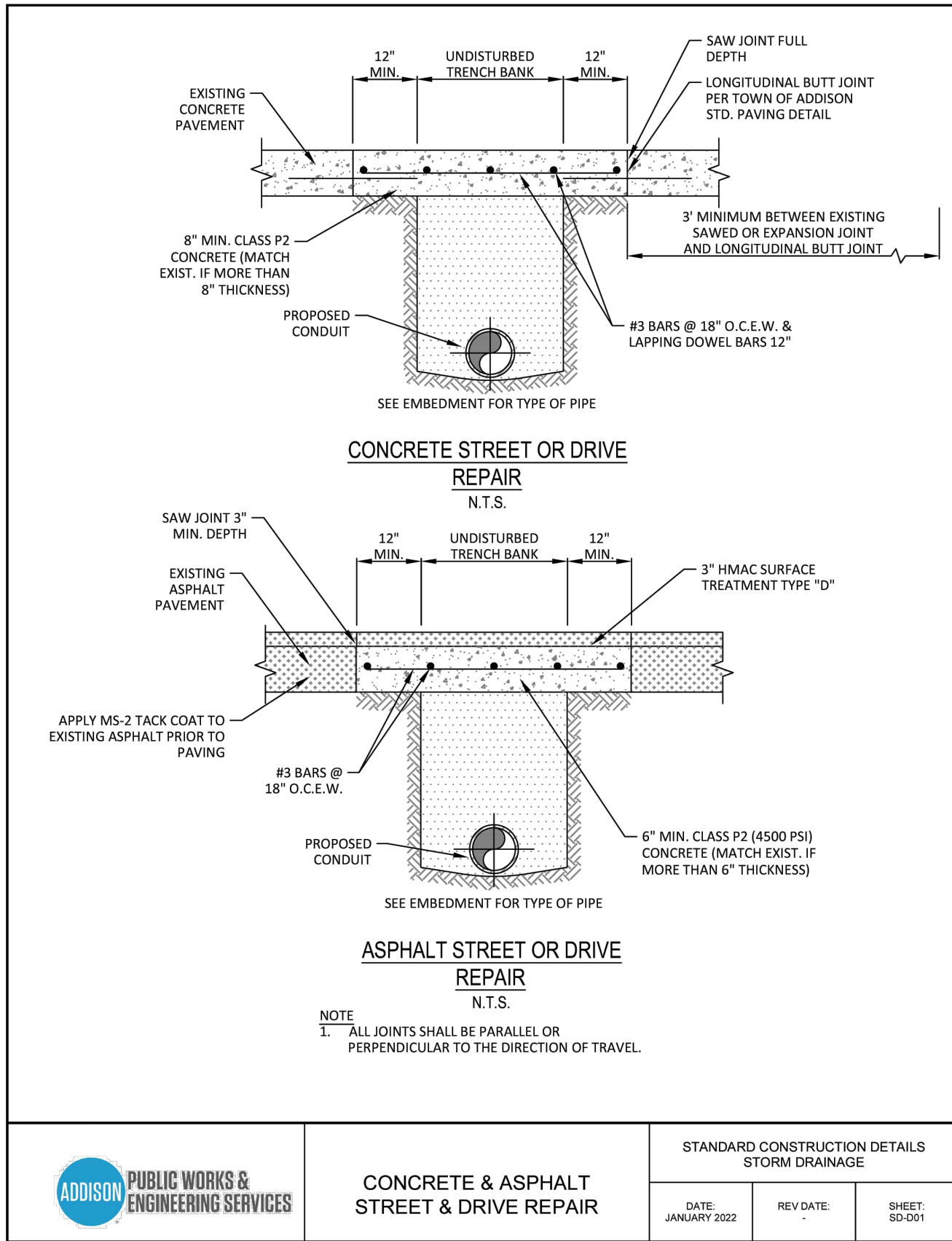
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<b>CROSS ENGINEERING CONSULTANTS</b>		
1720 W. Virginia Street McKinney, Texas 75069 972.562.4409 Texas P.E. Firm No. F-5935		
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	N.T.S.

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Town Project No. : SP2022-02		
<b>CONSTRUCTION DETAILS</b> 1.037 ACRES 4551 SUNBELT DRIVE		Sheet No. <b>C8-1</b>
SUNBELT BUSINESS PARK TRACT 13		Project No. 19121
TOWN OF ADDISON, DALLAS COUNTY, TEXAS		



# BENCHMARK:

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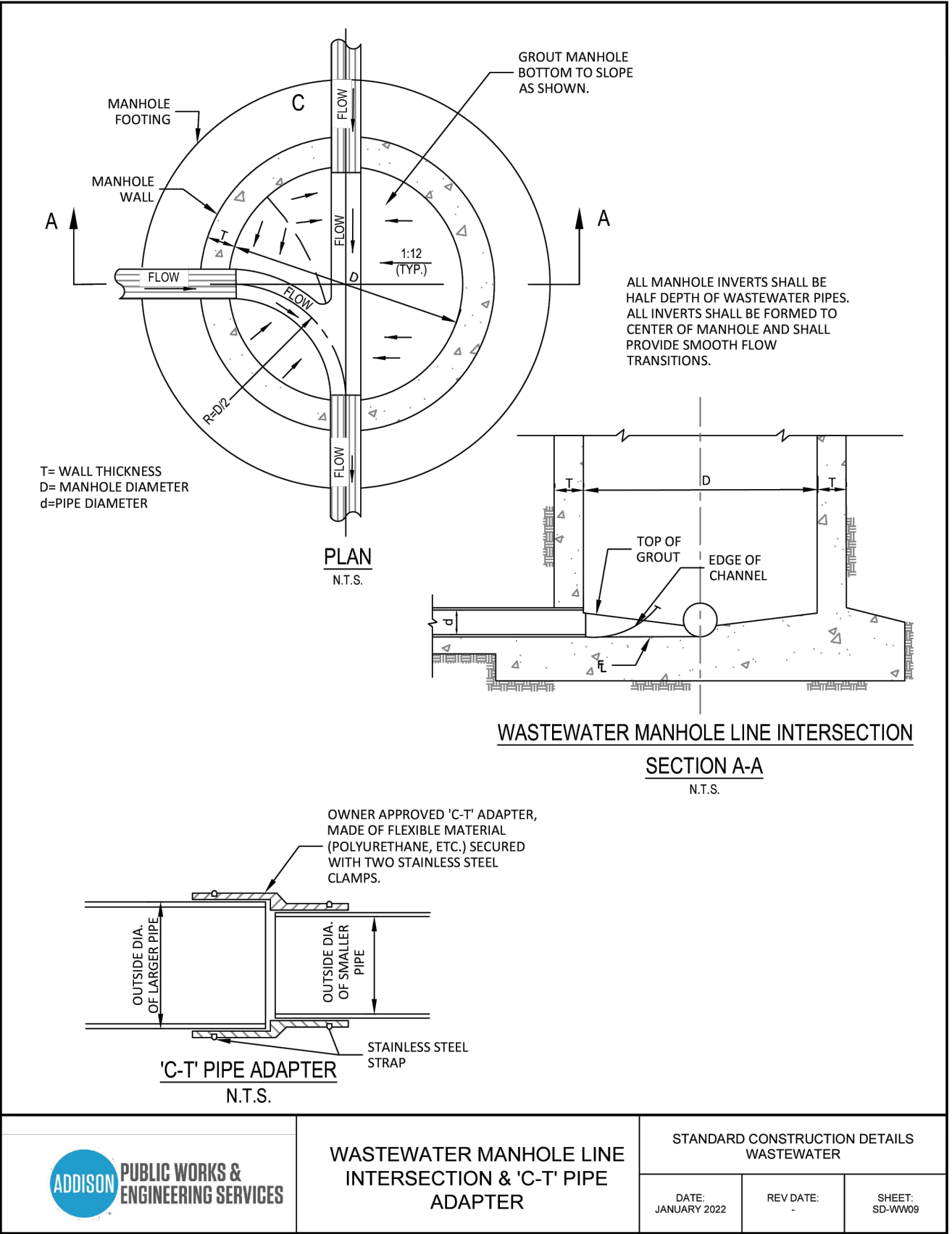
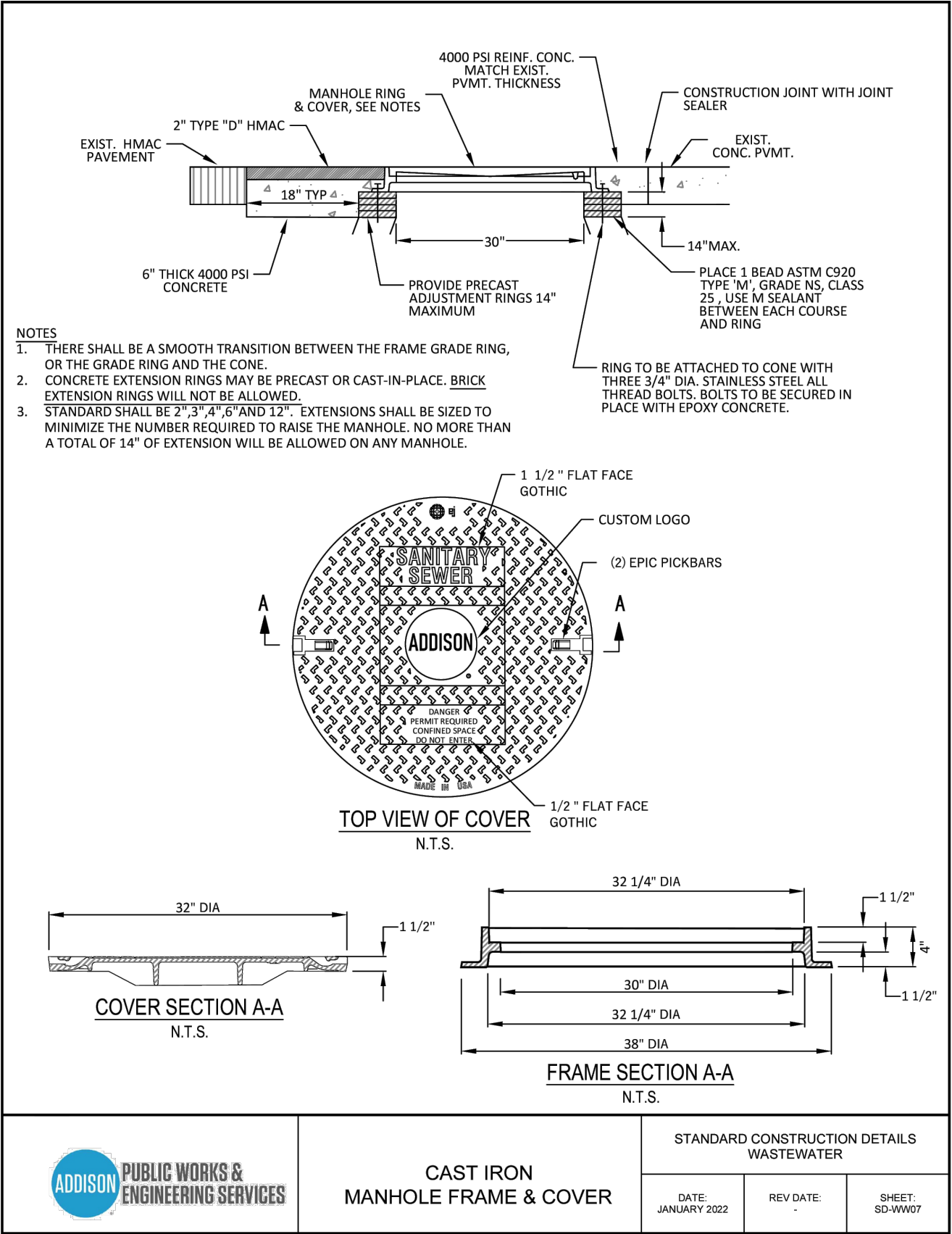
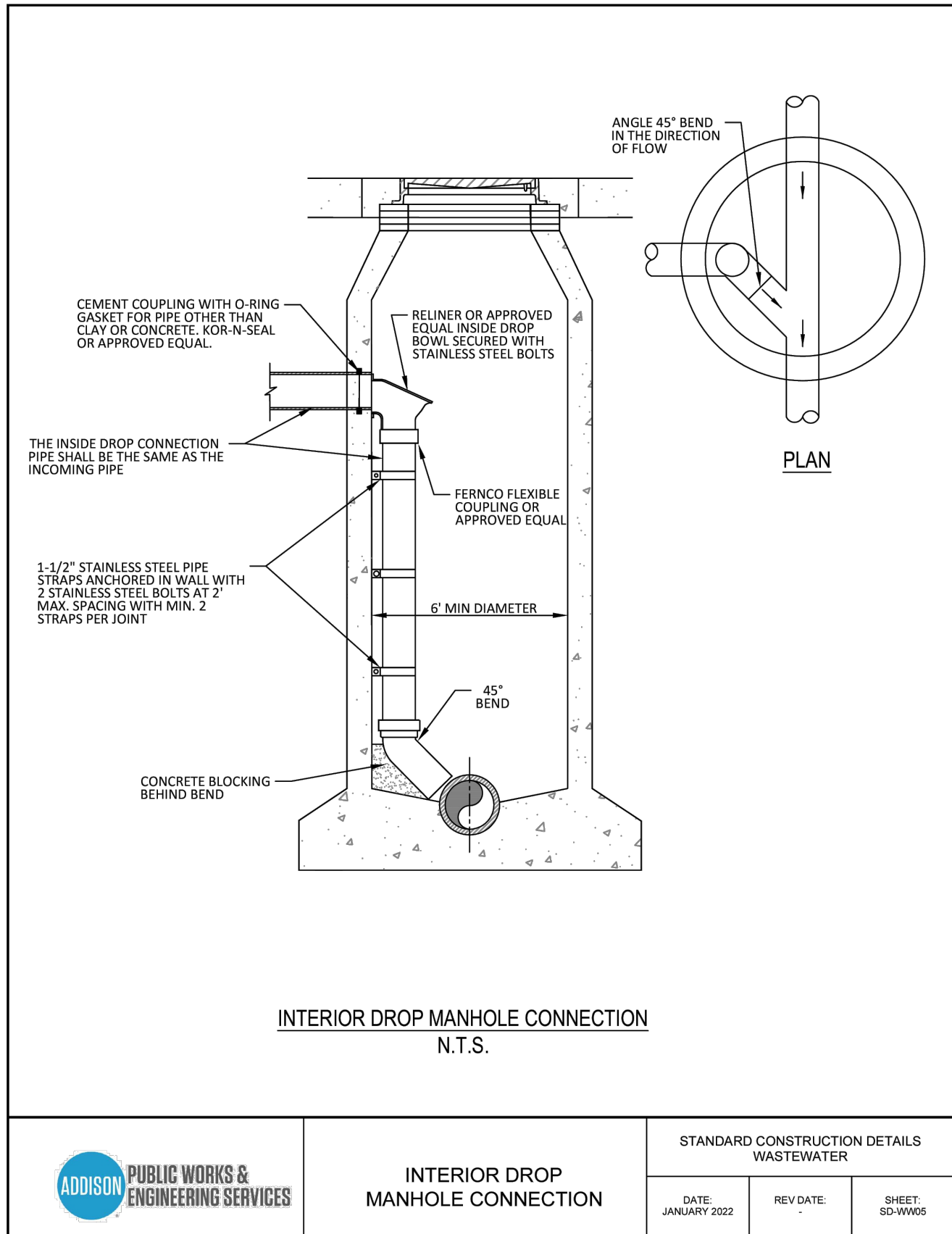
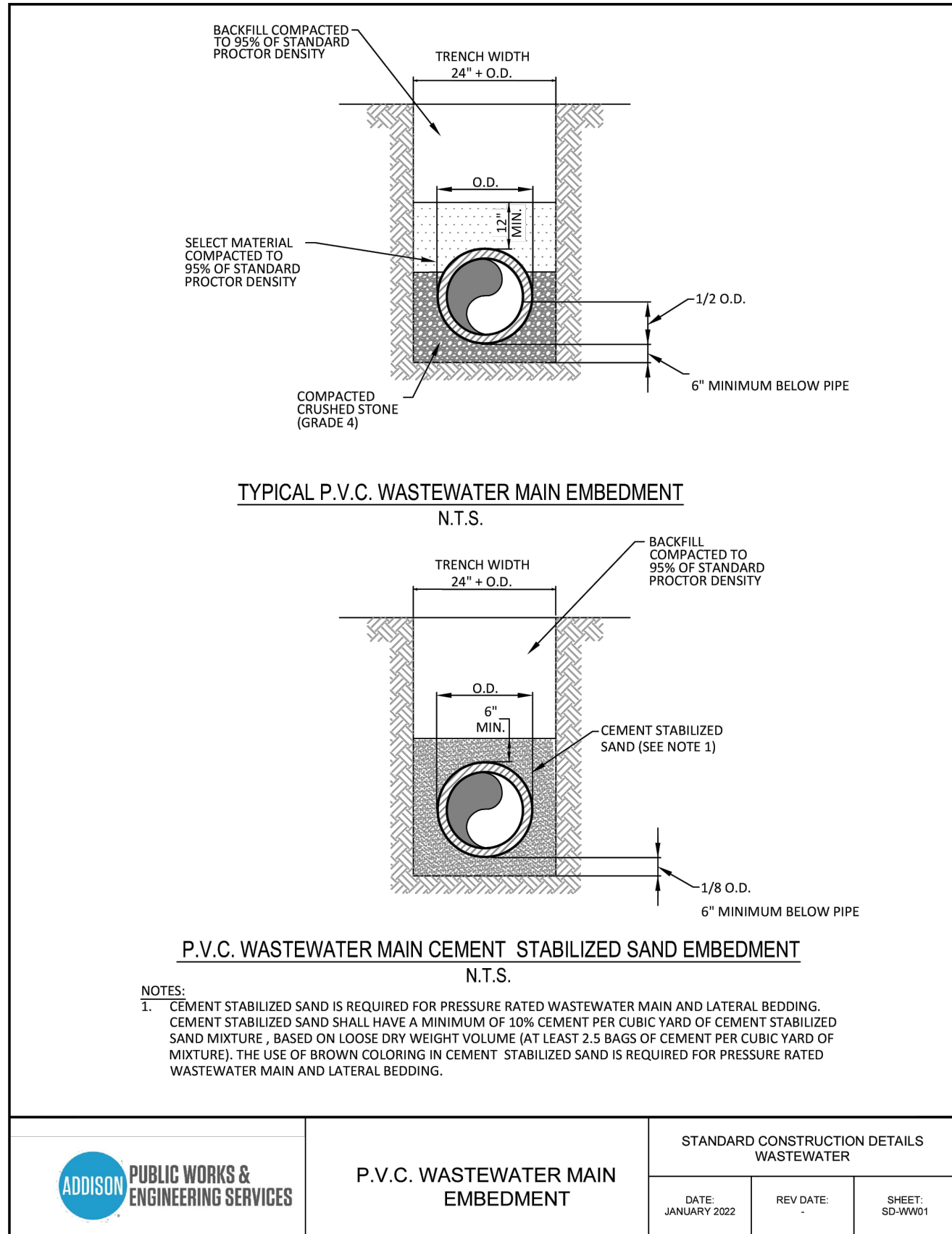
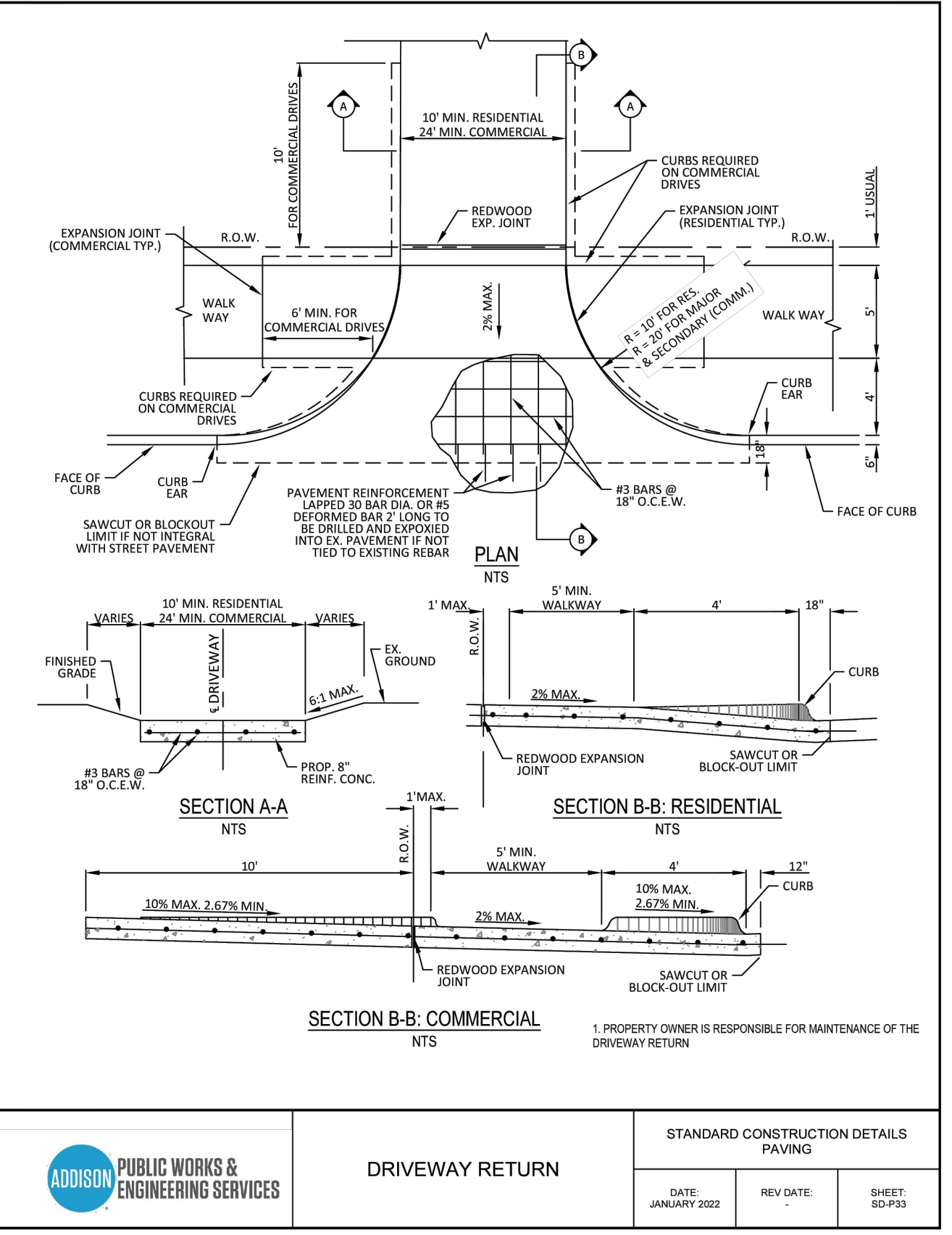
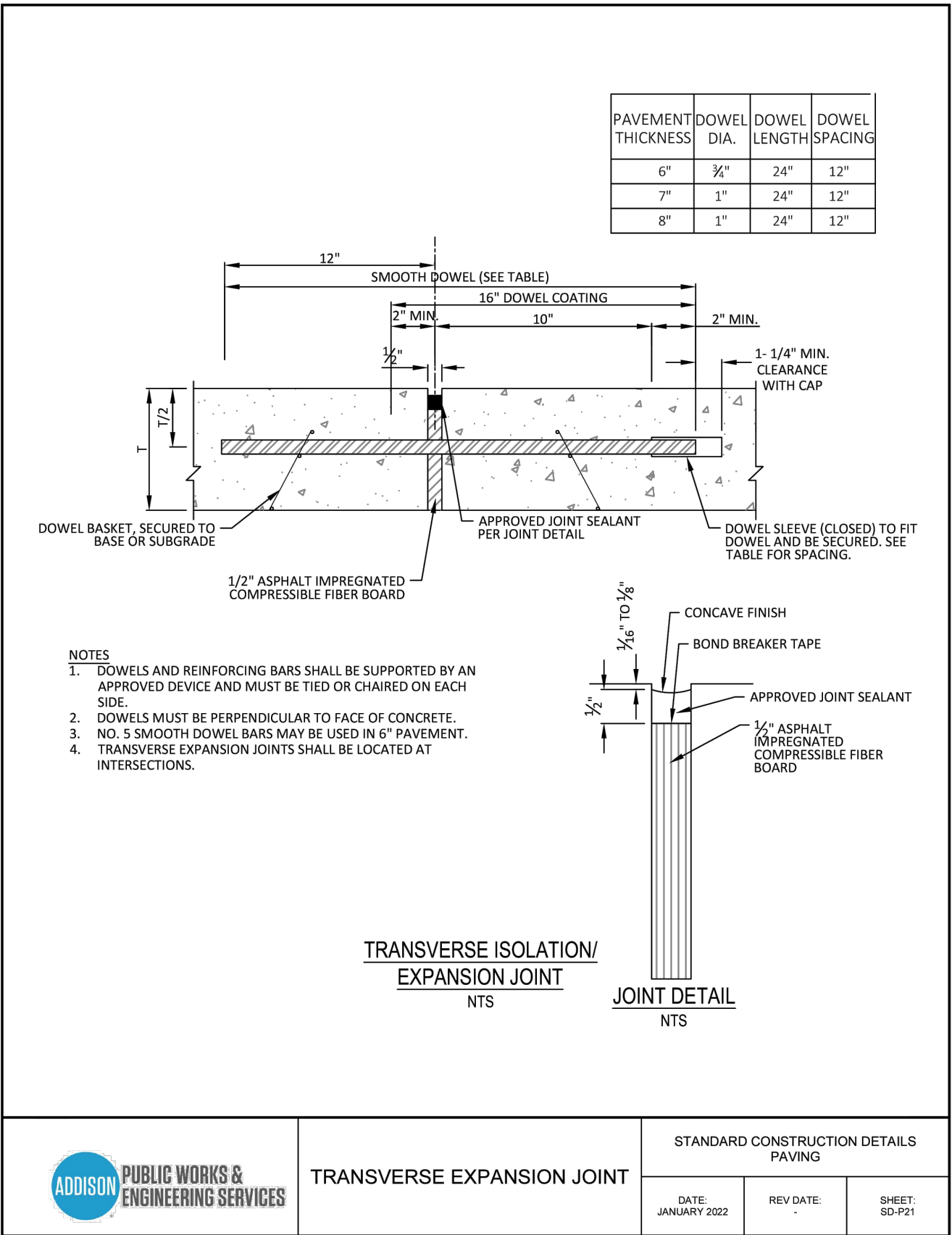
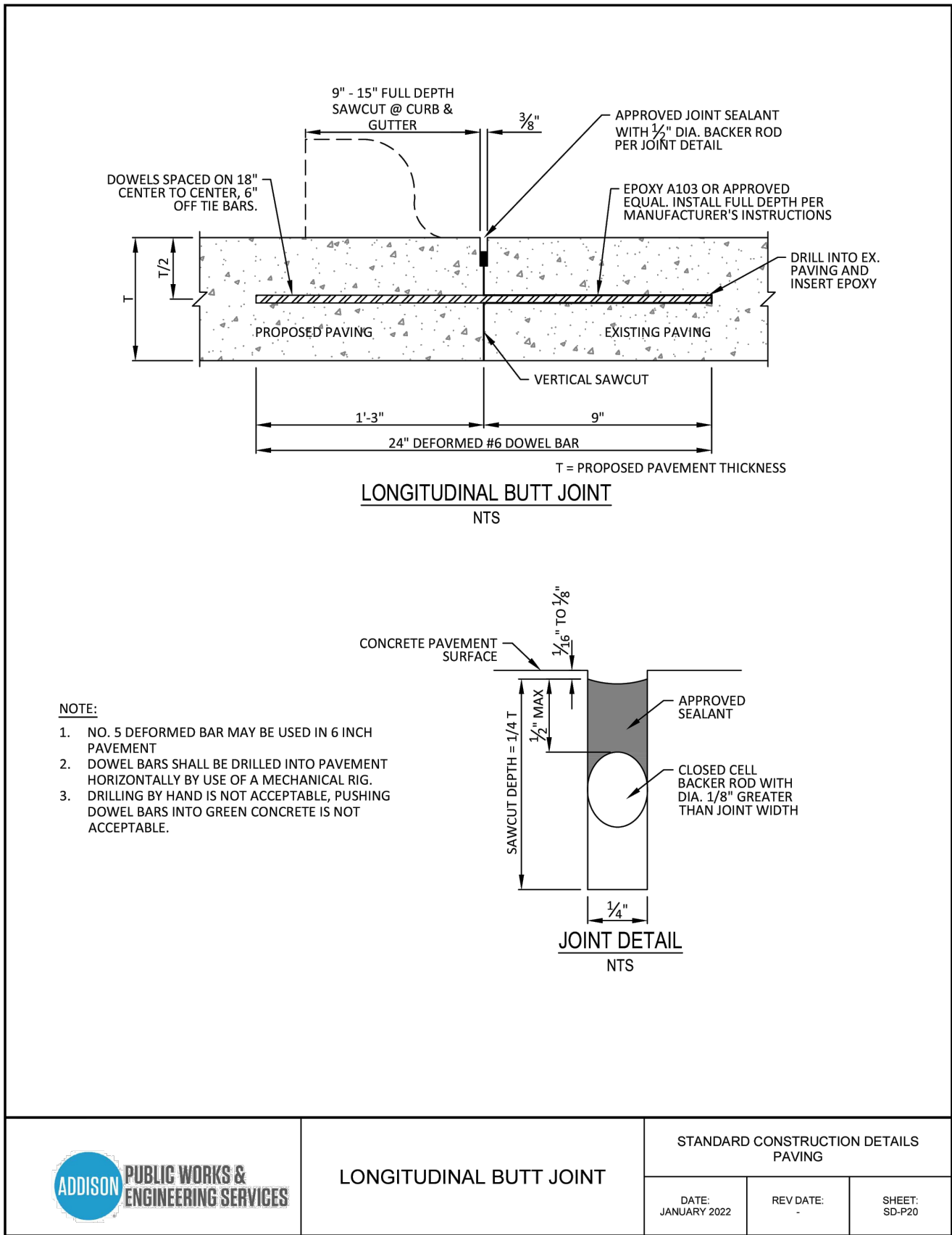
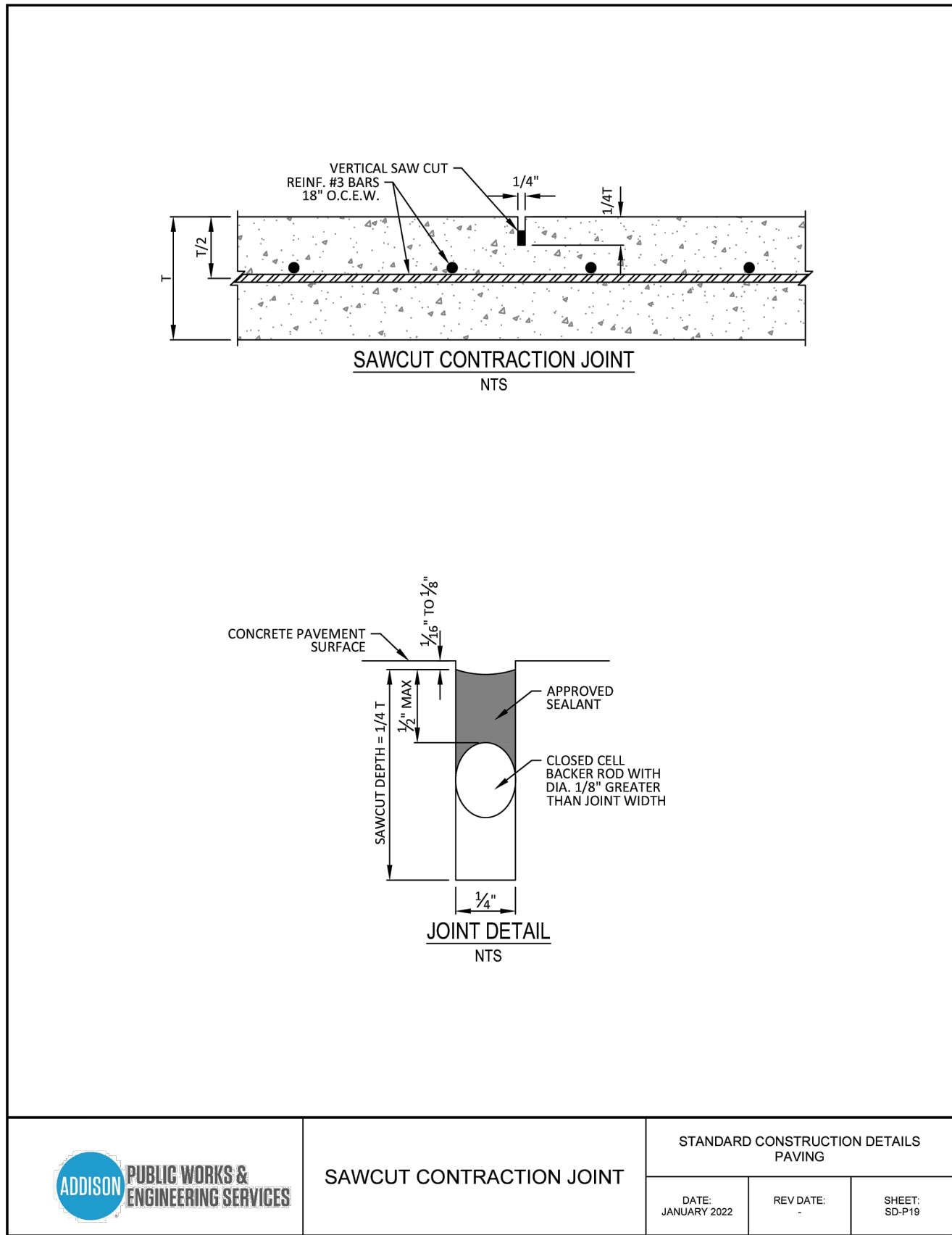
CROSS ENGINEERING CONSULTANTS		
1720 W. Virginia Street McKinney, Texas 75069 972.562.4409 Texas P.E. Firm No. F-5935		
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	N.T.S.

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Town Project No. : SP2022-02

TOA - STANDARD CONST. DETAILS		
1.037 ACRES		
4551 SUNBELT DRIVE		
SUNBELT BUSINESS PARK TRACT 13		
TOWN OF ADDISON, DALLAS COUNTY, TEXAS		

Sheet No.
C8-2
Project No.
19121



**BENCHMARK:**

Found TxDOT brass disc +/-256' South of the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition. Elevation = 651.86

Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

Issue Dates:	Revisions:	Date:
1 04/11/2021	1	04/19/2023
2 07/05/2022	2	
3 08/12/2022	3	
4 08/30/2022	4	
5 11/15/2022	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street McKinney, Texas 75069  
972.562.4409 Texas P.E. Firm No. F-5935

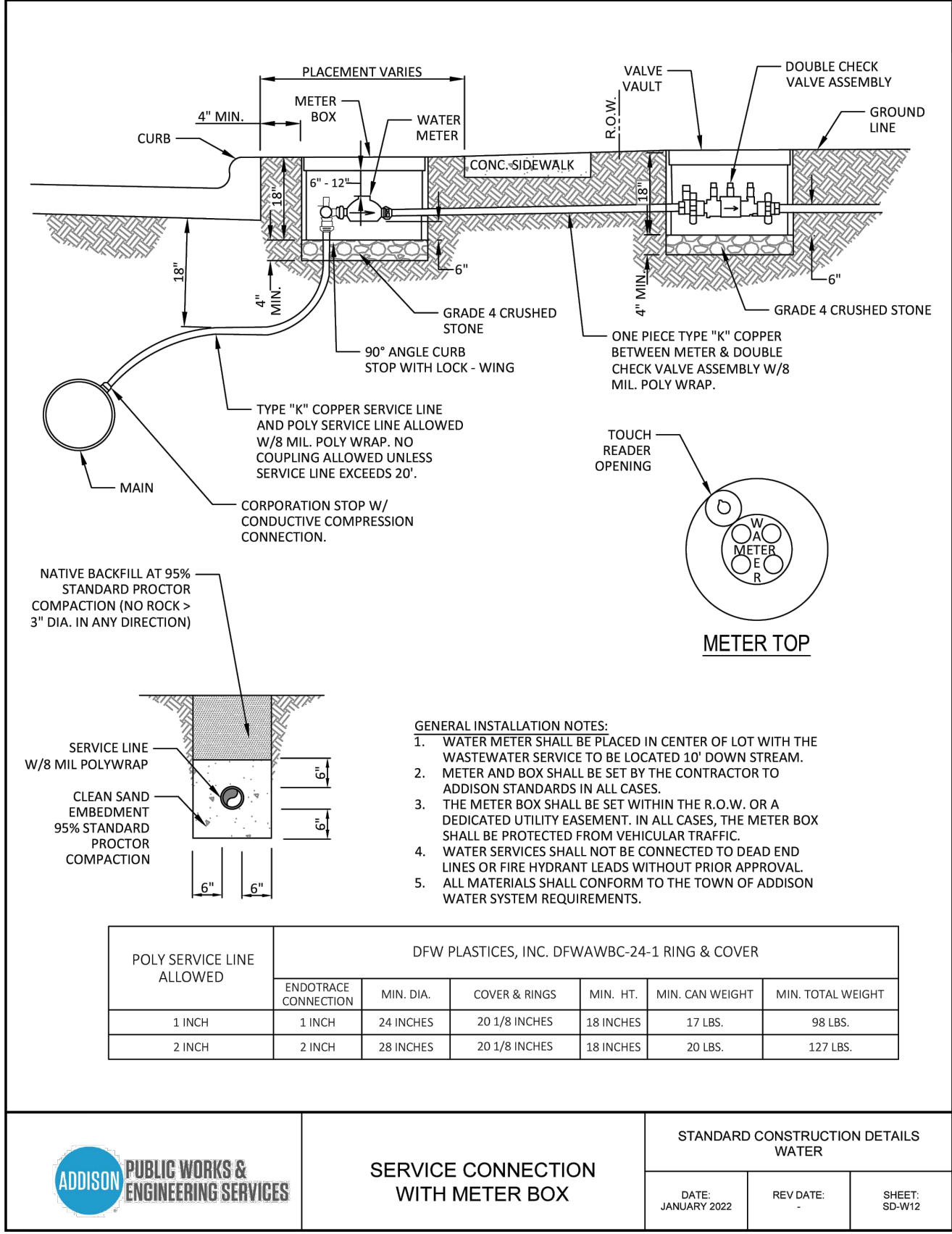
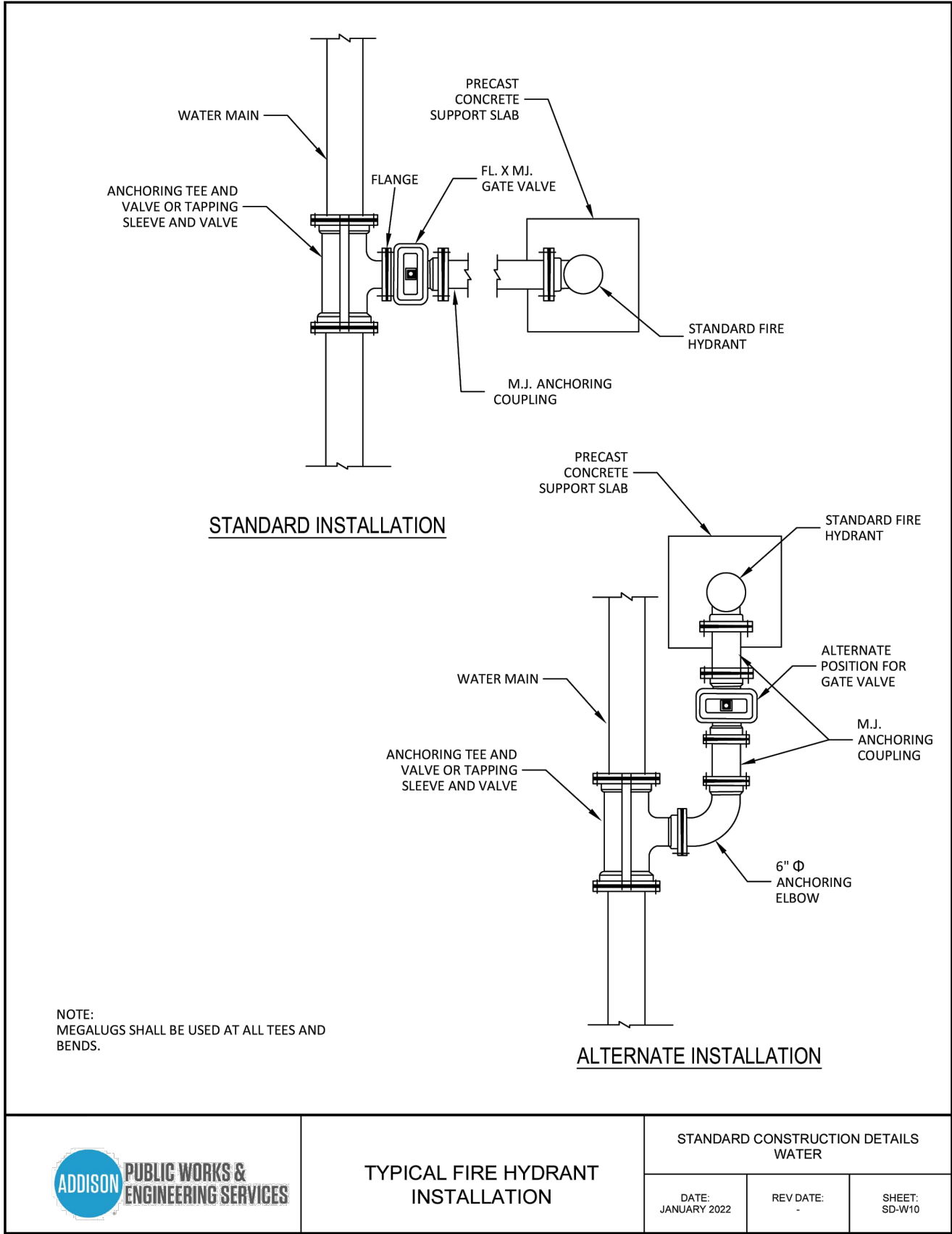
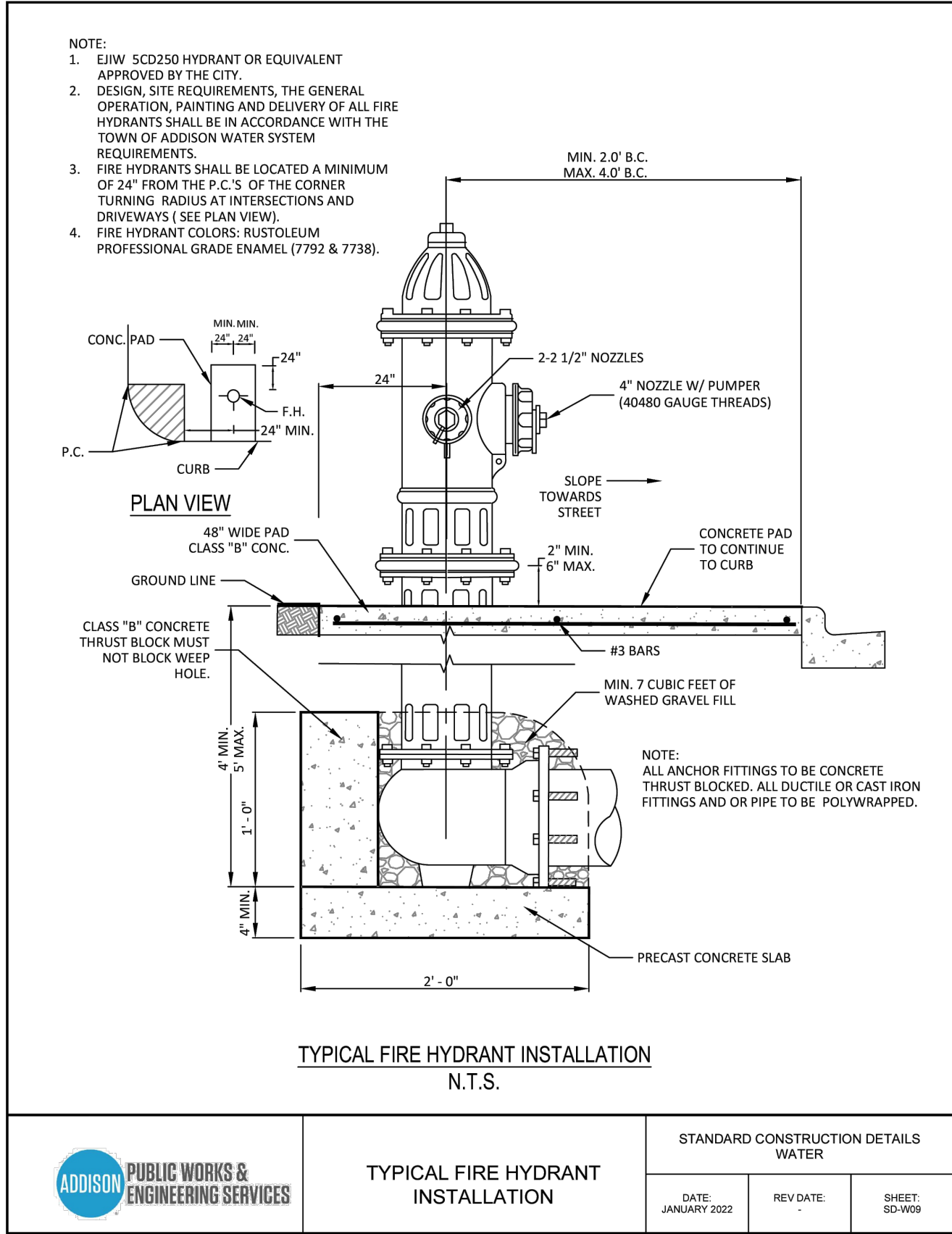
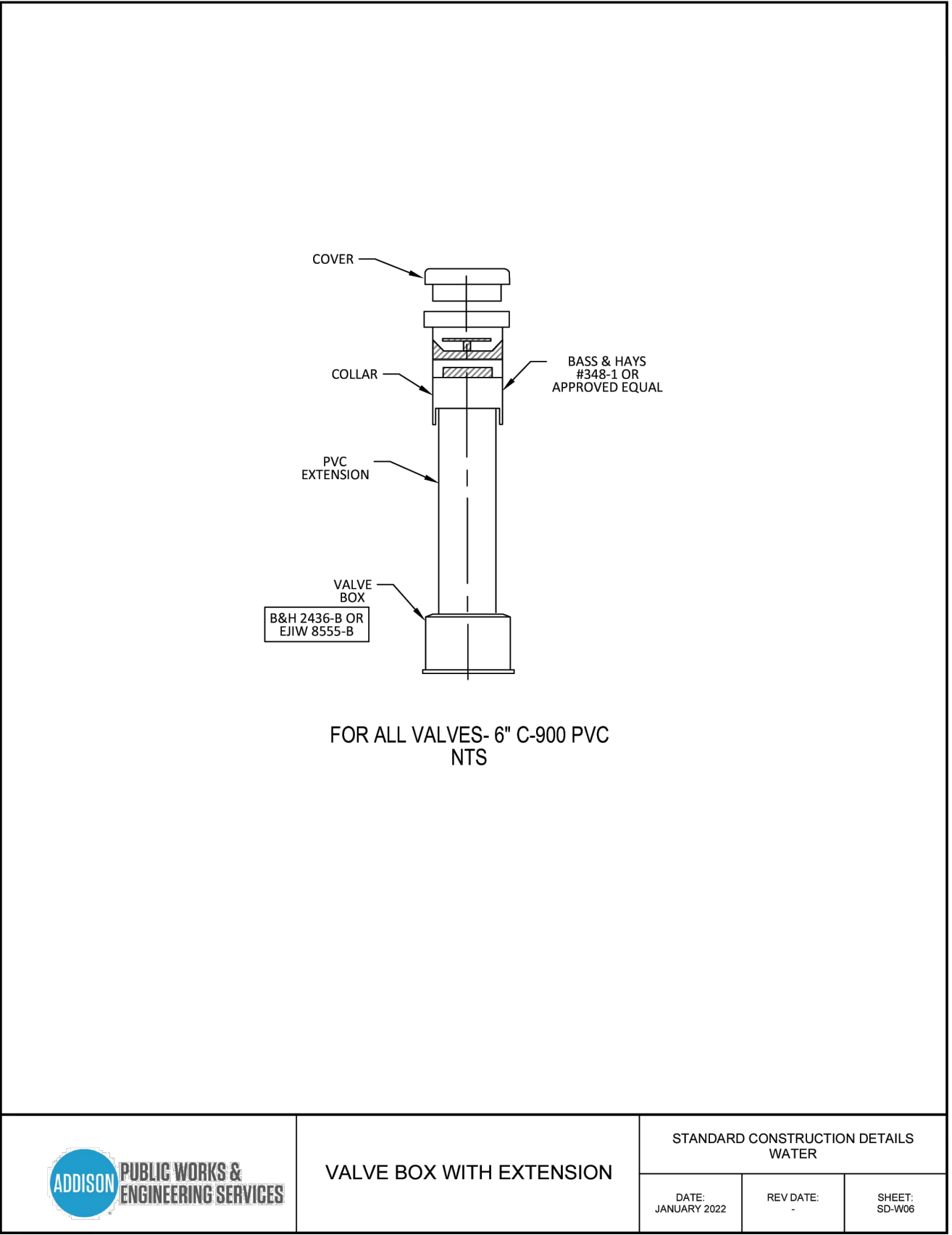
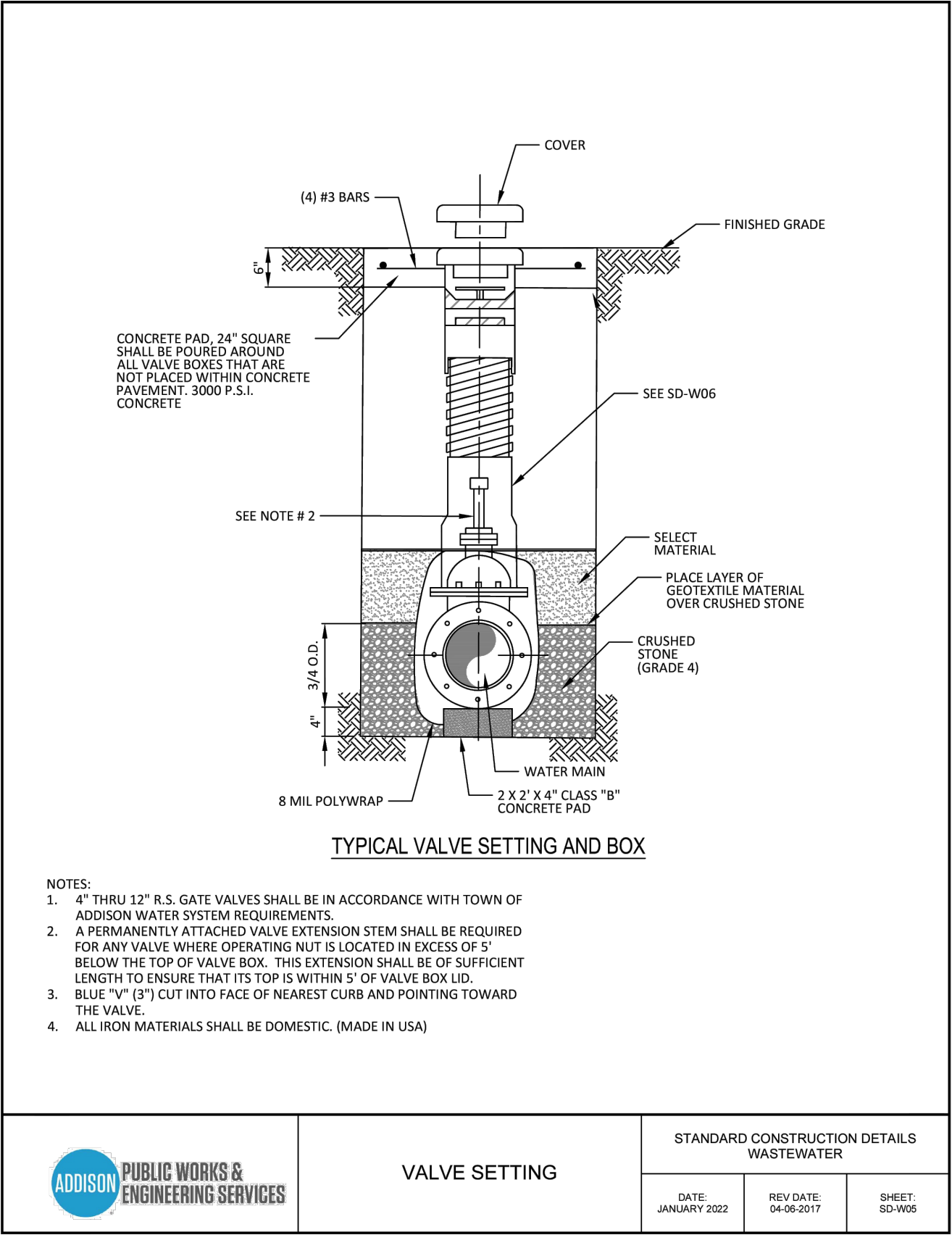
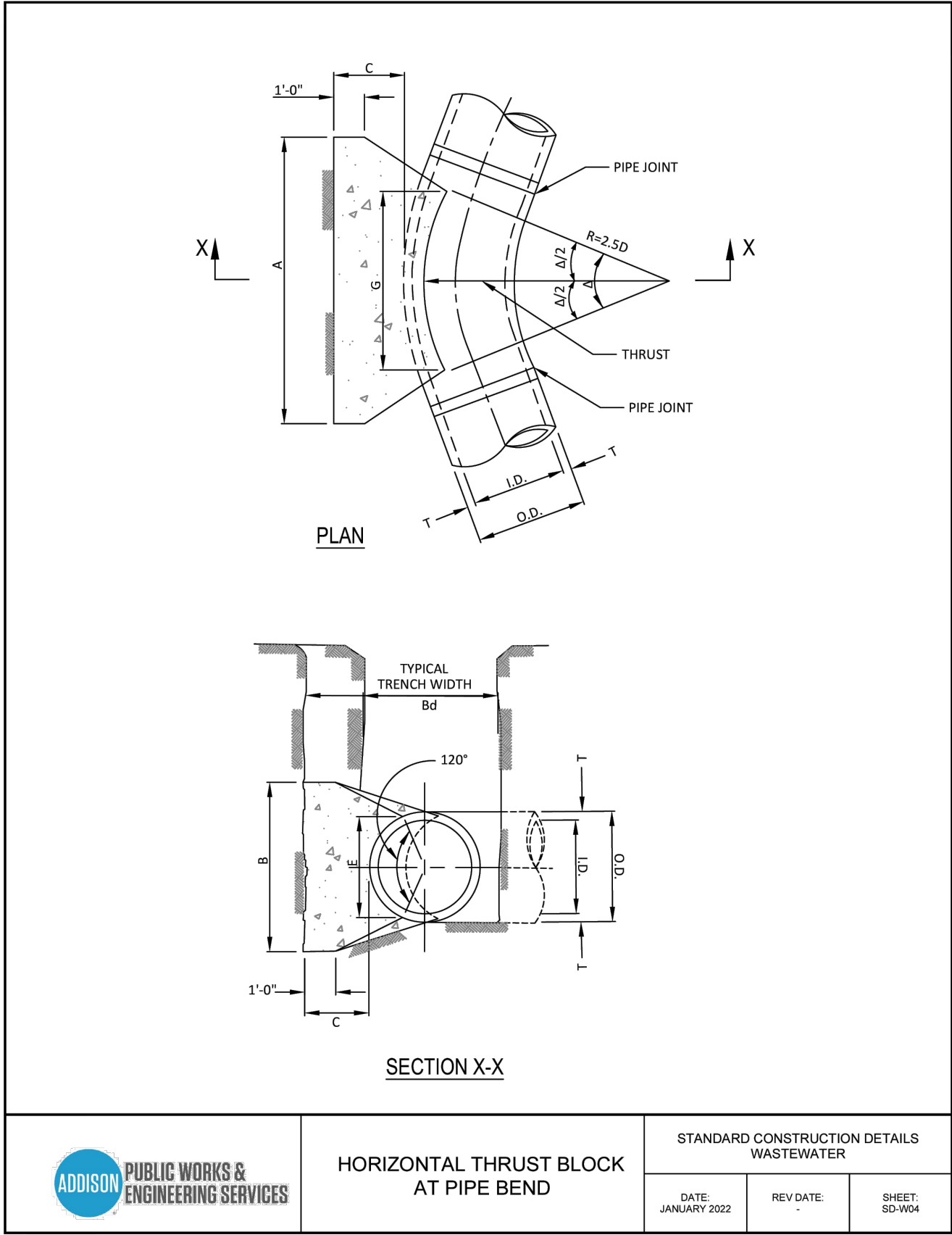
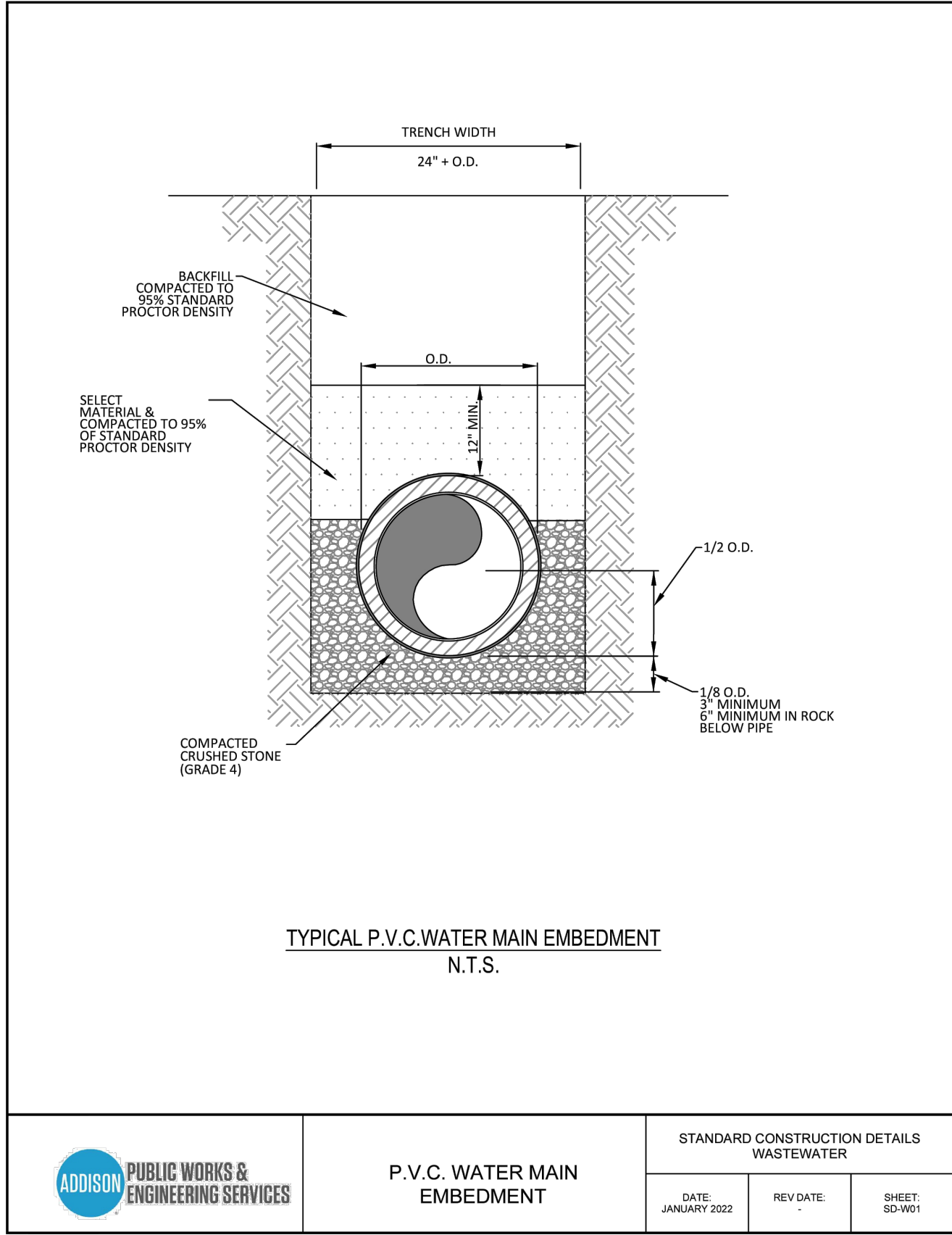
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Town Project No. : SP2022-02

**TOA - STANDARD CONST. DETAILS**  
1.037 ACRES  
4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.  
**C8-3**  
Project No.  
19121



**BENCHMARK:**

Found TXDOT brass disc +/-256' South of the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition. Elevation = 651.86

Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

Issue Dates:	Revisions:	Date:
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3 08/12/2022	3	
4 08/30/2022	4	
5 11/15/2022	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street McKinney, Texas 75069  
972.562.4409 Texas P.E. Firm No. F-5935

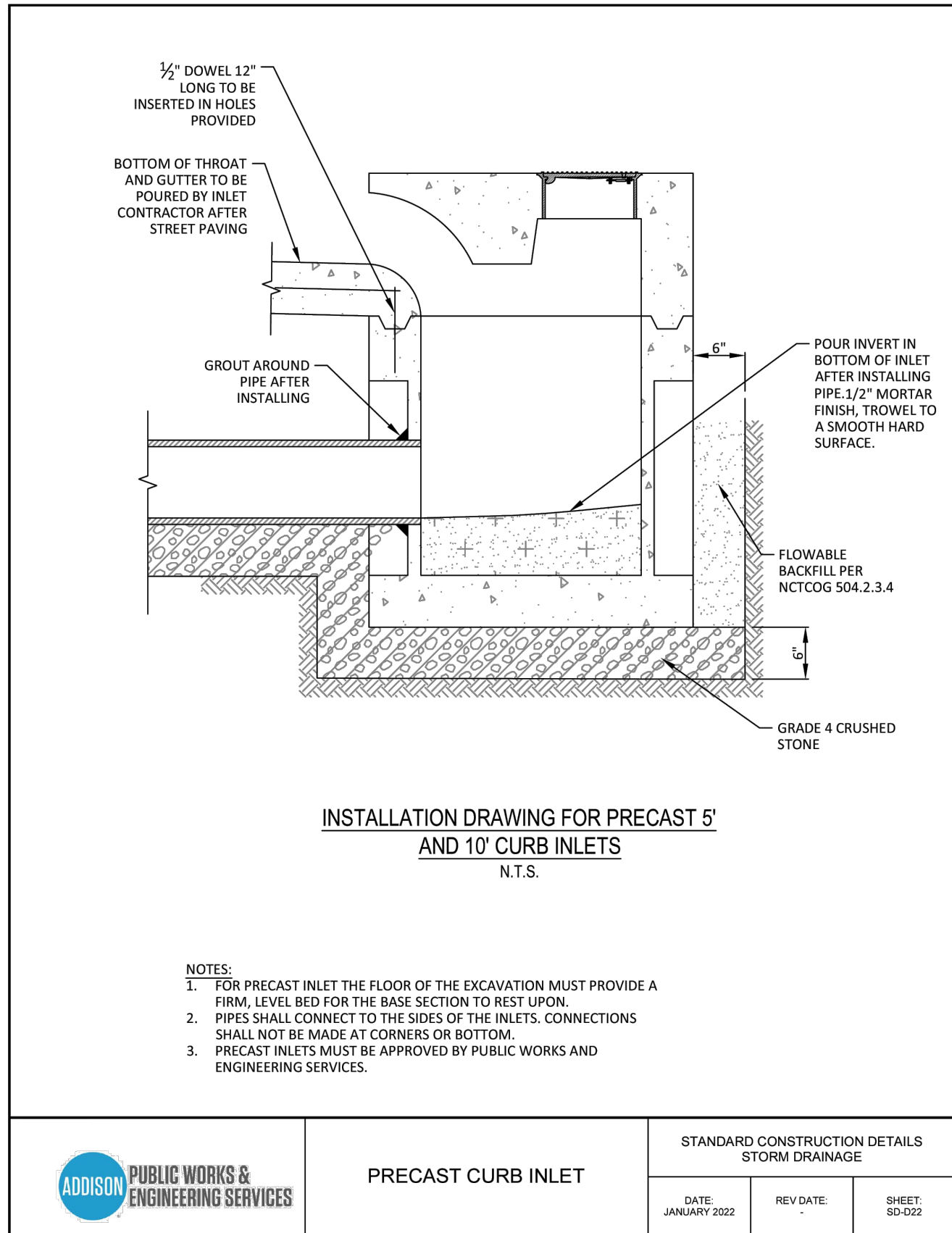
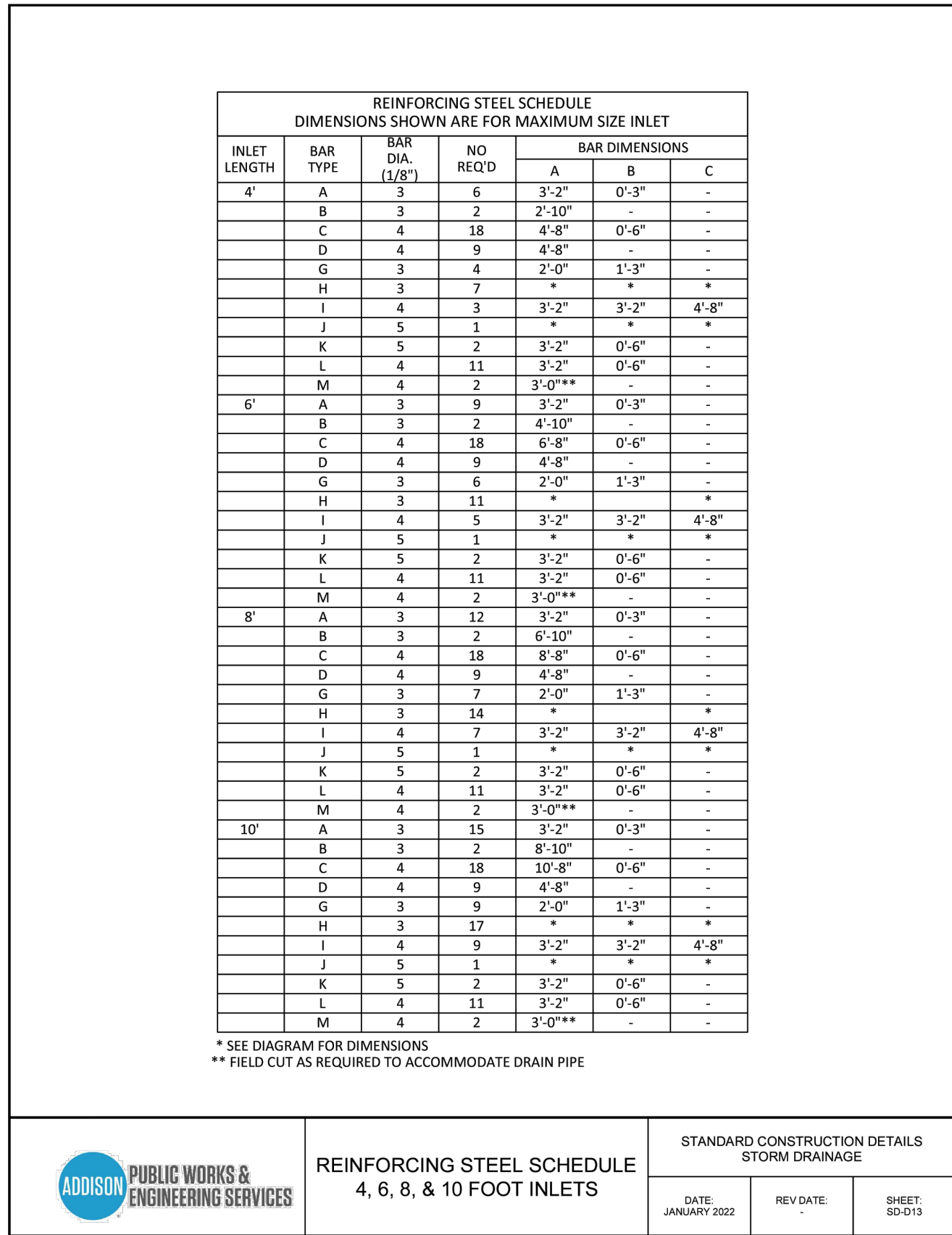
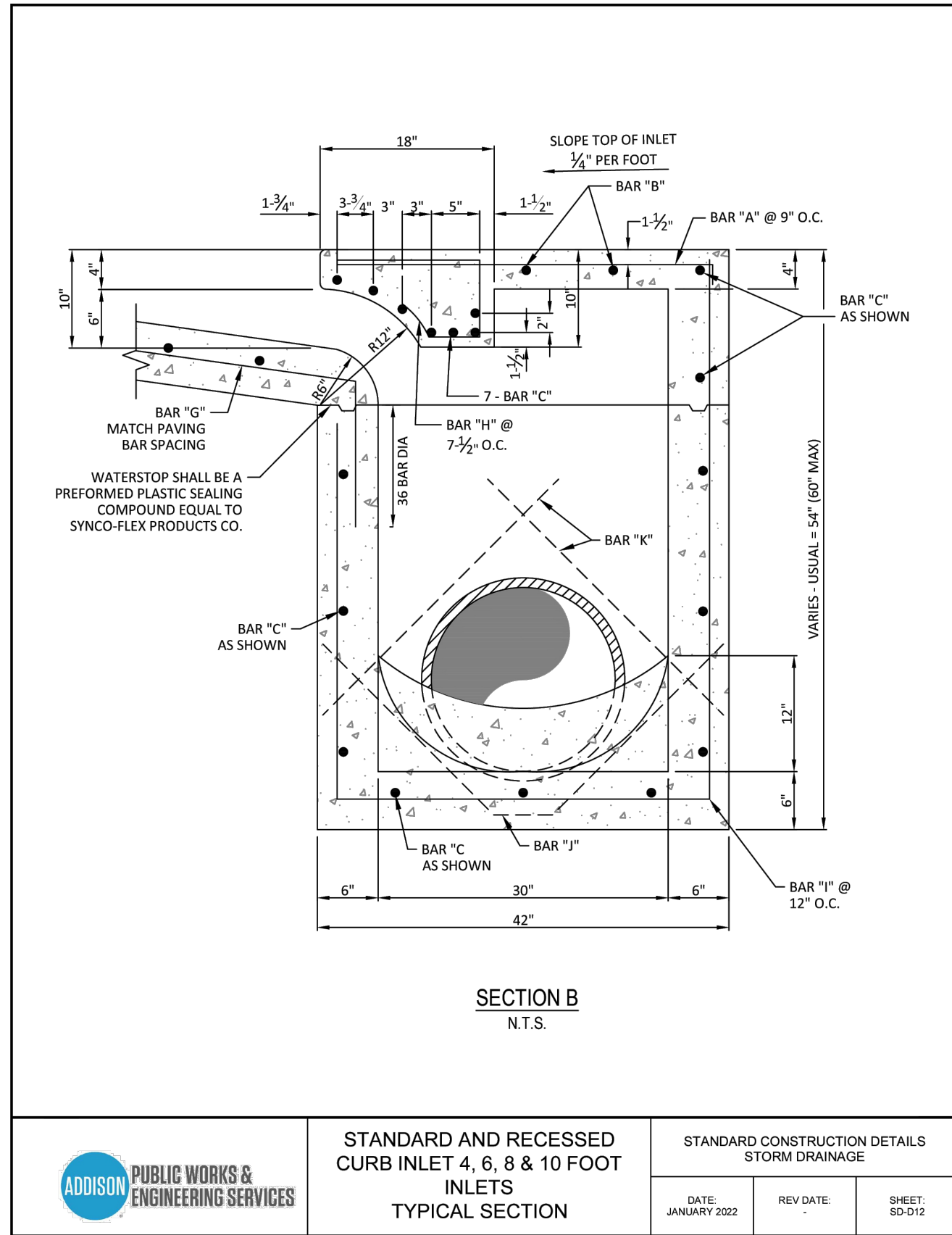
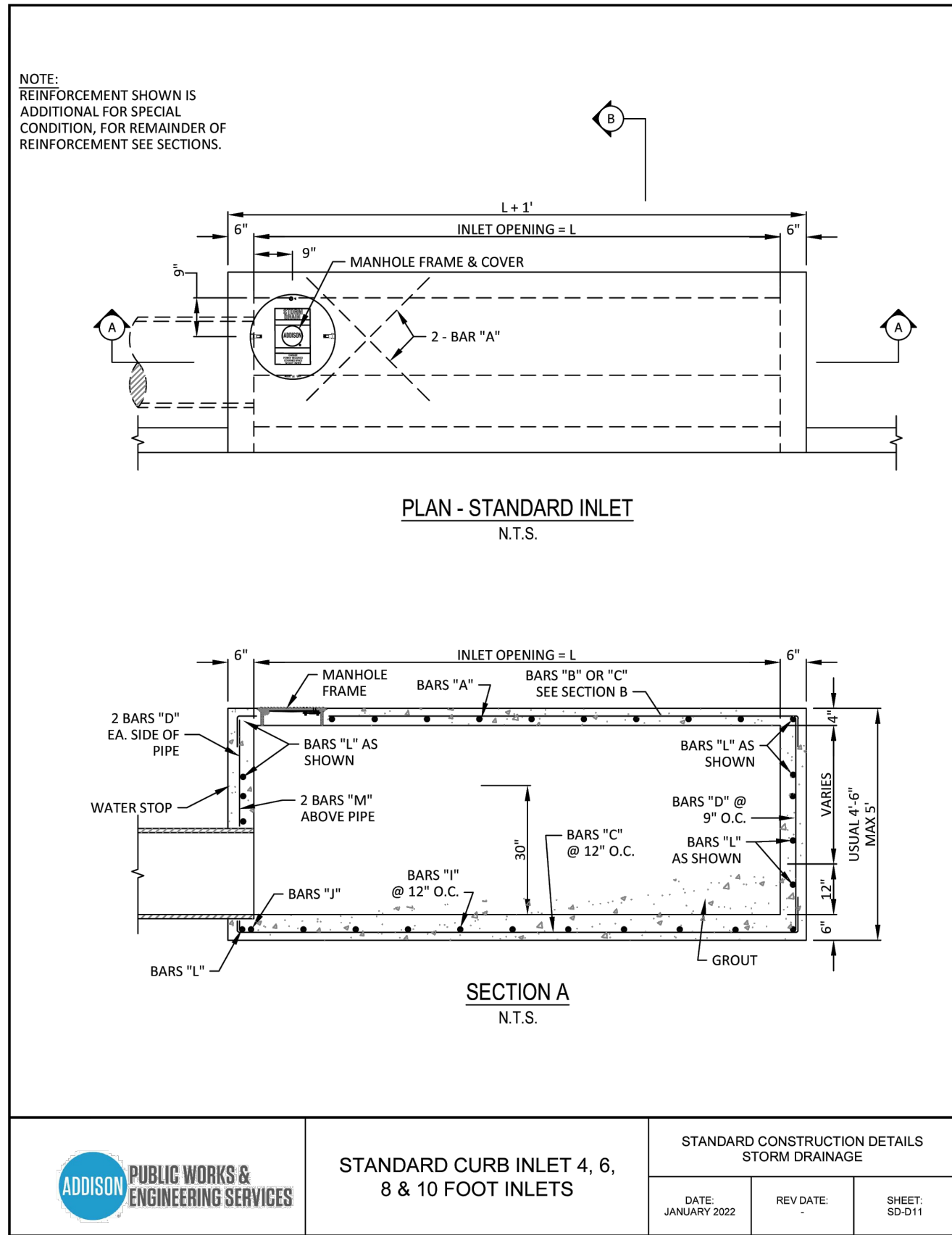
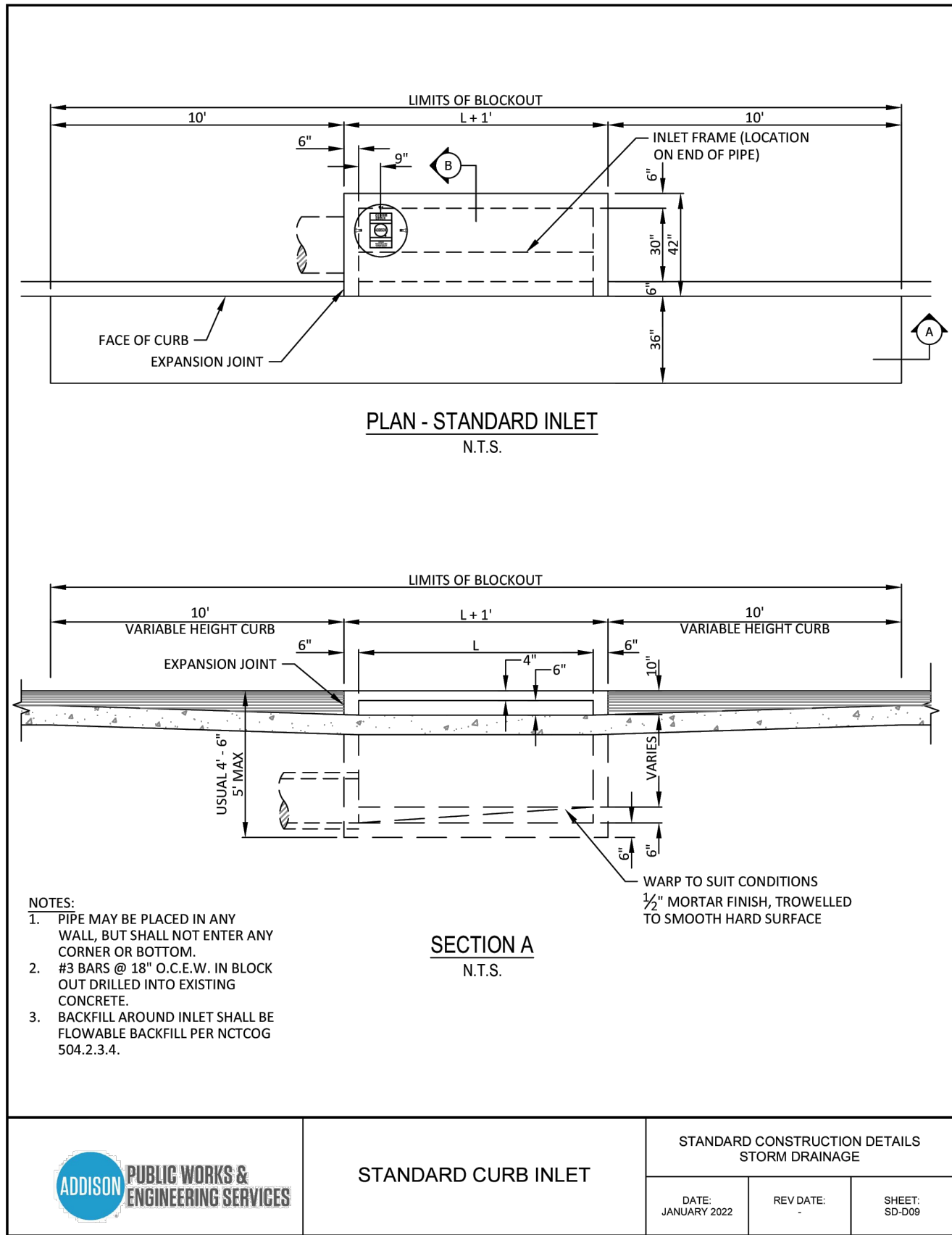
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	N.T.S.

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Town Project No. : SP2022-02

**TOA - STANDARD CONST. DETAILS**  
1.037 ACRES  
4551 SUNBELT DRIVE  
SUNBELT BUSINESS PARK TRACT 13  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.  
**C8-4**  
Project No.  
19121



**BENCHMARK:**

Found TXDOT brass disc +/-256' South of the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition. Elevation = 651.86

Found X cut in concrete at the southwest corner of Lot 5, Block 1, Sandshell Commercial Addition (Shown Hereon). Elevation = 652.77

Issue Dates:	Revisions:	Date:
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2 07/05/2022	2	
3 08/12/2022	3	
4 08/30/2022	4	
5 11/15/2022	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**

1730 W. Virginia Street McKinney, Texas 75069  
972.562.4409 Texas P.E. Firm No. F-5935

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Town Project No. : SP2022-02

**TOA - STANDARD CONST. DETAILS**

1.037 ACRES

4551 SUNBELT DRIVE

SUNBELT BUSINESS PARK TRACT 13

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Sheet No.

C8-5

Project No.  
19121