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840526

04/30/97 485016 \$45.00
Deed

When recorded, return to:

Locke Purnell Rain Harrell
(A Professional Corporation)
2200 Ross Avenue
Suite 2200
Dallas, Texas 75201-6776
Attn: Frank E. Stevenson, II

ADDISON AIRPORT TOLL TUNNEL
GRANT OF EASEMENTS

THE STATE OF TEXAS §
 §
COUNTY OF DALLAS §

THIS GRANT OF EASEMENTS is executed as of the 16th day of April, 1997, by
THE TOWN OF ADDISON, a home-rule municipal corporation ("Grantor").

RECITALS

A. Grantor is the owner of certain real property located in Dallas County, Texas, known as Addison Airport (the "Airport") and Keller Springs and Dooley Roads (the "Roads"), which real property is more particularly described on Exhibit A attached hereto.

B. Texas Turnpike Authority, an agency of the State of Texas ("Grantor") proposes to construct a controlled access toll turnpike project (the "Project") over, under, and across the Airport and portions of the Roads, and Grantor by Ordinance No. 094-038 and Resolutions Nos. R90-056, R93-125, R96-069 and R96-138 has agreed thereto.

C. The Project will provide a continuous facility from Addison Road to Midway Road and will be situated on the surface of the Airport and the Roads in those locations described on Exhibit B attached hereto as "East Surface Easement Area" and "West Surface Easement Area" (herein so called) and within the subsurface of the Airport in that location

described on Exhibit B attached hereto as "Subsurface Easement Area" (herein so called). Additionally, the construction of the Project will require the relocation of Dooley Road, a street operated and maintained by Grantor, onto property described on Exhibit B attached hereto as "The Dooley Road Easement Area" (herein so called).

D. Grantor desires to grant to Grantee certain easements for the Project.

GRANT OF EASEMENT

NOW, THEREFORE, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged and confessed, Grantor has GRANTED, SOLD AND CONVEYED, and by these presents does GRANT, SELL AND CONVEY unto Grantee, its successors and assigns, the following easements (the "Easements"):

(a) A perpetual and exclusive easement and right-of-way (the "West Surface Easement") in, over, and across the West Surface Easement Area.

(b) A perpetual and exclusive easement and right-of-way (the "East Surface Easement") in, over, and across the East Surface Easement Area.

(c) A perpetual and exclusive easement and right-of-way (the "Subsurface Easement") in, through, and across the Subsurface Easement Area, said Subsurface Easement commencing below the surface of that 195,683 square foot tract (4.492 acres) described in the description marked "Subsurface Easement Area" and attached as Exhibit B hereto, and extending vertically downward and through the entire subsurface situated below said 195,683 square foot description.

(d) A perpetual and exclusive easement and right-of-way (the "Dooley Road Easement") in, over, and across The Dooley Road Easement Area, subject to the terms and conditions of Section 6 hereof.

1. The Easements may be used by Grantee, its employees, contractors, agents, successors, and assigns, in connection with activities relating to the construction, installation, reconstruction, relocation, alteration, operation, inspection, maintenance, improvement, and modification of the Project, including all Project Facilities. As used herein, "Project Facilities" shall mean (a) the tunnel (the "Tunnel") and all ramps leading to the Tunnel to be constructed within the Subsurface Easement Area, (b) streets, roadways, other rights-of-way for vehicular traffic and all paving, curbing, and striping thereon, (iii) footings, foundations, columns, posts and other types of support structures ("Support Structures"), (iv) utility systems, including water, gas, sanitary sewer, storm sewer, electric, fiber optic, cable television, and/or communication system or systems, or parts thereof, including lines, pipes, conduits, meters, valves, fittings, laterals, poles, wires, guys, crossarms, conductors, transformers, splices, switches, manholes, handholes, junction boxes, and cables, (v) drainage facilities and necessary appurtenances thereto, including shoring or retaining structures, culverts, box culverts, pipes, mains, manholes, handholes, valves, fittings, laterals, inlets, paving, and curbing, (vi) structures and equipment including toll collection facilities, landscaping, lighting, conduit, cable, guardrails and other safety features and devices, and (vii) all other things that Grantee from time to time deems necessary, appropriate, or desirable in Grantee's sole discretion, with respect to the Project. Grantee may perform all excavation, boring, backfilling, embedding, drilling, grading, and other construction activities

as Grantee from time to time deems necessary, appropriate, or desirable in Grantee's sole discretion, with respect to the Project and the Project Facilities.

2. Grantor acknowledges and agrees as follows:

(a) The Project and all Project Facilities shall be entitled to the right of lateral support and Grantor, in its construction, operation and maintenance of the Airport or its consideration of any project that might affect the Project, shall make, and shall cause its tenants to make, every reasonable effort to minimize or avoid any adverse impact on the Project, the Easements, or the rights of Grantee hereunder.

(b) Grantor consents to any reasonable and necessary encroachments by Support Structures on the remainder of the subsurface of the Airport and the Roads.

(c) Grantee may authorize and permit third parties to use the Project on such terms as Grantee, in its sole discretion, deems appropriate, but no third parties, including the general public, shall acquire any rights in the Easements as a result of such use. Grantee shall have the sole right to control access to the Project, including the entrances of the Tunnel.

(d) Grantor shall not construct or place within the Easements any building, fence, shrub, or other structure, improvement, or growth of any character. Grantee shall have the right to remove, and keep removed, all or parts of any such building, fence, shrub, or other structure, improvement, or growth of any character that is located within the Easements and which, in the judgment of Grantee, may endanger or in any way interfere with the construction, efficiency, or convenient and safe operation and maintenance of the Project or the exercise of Grantee's rights hereunder.

(e) Grantee is acquiring the Easements in connection with Grantee's construction and operation of the described turnpike project, as defined in, permitted by, and in accordance with the provisions of Chapter 361 of the Texas Transportation Code (the "Turnpike Act"), and to all terms of the Turnpike Act reference is hereby made. The consideration exchanged between the parties hereto for the Easements shall be considered full compensation for such interests and for any severance damages, or any damages to, or diminution in the value of, other lands belonging to Grantor, that may be claimed or asserted by virtue of such acquisition and use of the Easements by Grantee.

3. In exercising Grantee's rights, Grantee shall not cause damage or injury to the land over the Subsurface Easement Area or any improvements thereon or to Grantor's land appurtenant or adjacent to the Project and any improvements thereon. If in exercising Grantee's rights hereunder there is caused any damage, injury or change to Grantor's land over the Subsurface Easement Area, any improvements thereon or to the land or property appurtenant or adjacent thereto, other than the removal or modification of improvements and other changes described in the Interlocal Agreement between Grantor and Grantee, Grantee shall promptly repair and restore the said land or property. If Grantee shall fail to do so, Grantor may repair and restore the said land or property and the cost thereof shall be due and payable by Grantee upon demand. Grantee will not permit or create a nuisance to exist in the exercise and use of the rights and privileges herein granted.

4. To the extent permitted by law, Grantee shall indemnify Grantor against, and hold Grantor harmless from, any and all liens, liabilities, actions, causes of action, lawsuits damages, losses, expenses (including reasonable attorneys' fees) or costs for any injury to or

the death of any person or improper damage to or destruction of any property to the extent attributable to or resulting from any act or omission of Grantee, Grantee's officers, employees, contractors or agents under this Grant of Easements. The provisions of this paragraph shall survive the termination of this Grant of Easements.

5. Grantor, its successors and assigns, may fully use and enjoy the West Surface Easement, East Surface Easement, and Subsurface Easement, except that such use and enjoyment shall not hinder, conflict or interfere with the exercise of Grantee's rights hereunder or with the safe and efficient operation of the Project. Grantee shall clean up and remove all trash and debris, and, except as otherwise expressly provided in the Interlocal Agreement, repair and replace structures and repair other damages (or, if not repairable or replaceable, pay for the cost of the same) caused by any construction, repair or maintenance of the Project or the Project Facilities.

6. Grantor and Grantee agree that the Dooley Road Easement shall remain a part of this Grant of Easements until such time that Grantor, which is responsible for the operation and maintenance of the road improvements to be constructed on the Dooley Road Easement, certifies to Grantee in writing that the Dooley Road Easement is no longer needed for public right-of-way purposes. Upon receipt of said notice by Grantee, Grantor and Grantee shall execute a recordable document releasing the Dooley Road Easement from this Grant of Easements.

TO HAVE AND TO HOLD the Easements, together with all and singular the rights, privileges, and appurtenances thereto in anywise belonging, unto Grantee, its successors and assigns; and Grantor does hereby bind itself, its successors and assigns, to WARRANT AND FOREVER DEFEND all and singular the Easements unto Grantee, its successors and

assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this 16th day of April, 1997, to be effective as of the date first written above.

ATTEST:

THE TOWN OF ADDISON,
a home-rule municipal corporation

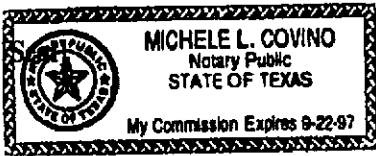
C. Moran
Name: CARMEN MORAN
ADDISON Secretary

By: Ron Whitehead
Name: Ron Whitehead
Title: City Manager



STATE OF TEXAS §
 §
COUNTY OF DALLAS §

This instrument was acknowledged before me on this 16th day of April, 1997, by Ron Whitehead, City Manager of THE TOWN OF ADDISON, a home-rule municipal corporation, on behalf of said corporation.



My Commission Expires:
9-22-97

Michele L. Covino
Notary Public in and for
the State of Texas

Michele L. Covino
Printed Name of Notary

GRANTEE'S ADDRESS:

Texas Turnpike Authority
P.O. Box 190369
3015 Raleigh Street
Dallas, Texas 75219

EXHIBIT A

Description of Airport

A called 365.34 acre tract as conveyed to the City of Addison by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm. Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas.

EXHIBIT B

EAST SURFACE EASEMENT AREA

**FIELD NOTE DESCRIPTION
SURFACE RIGHT-OF WAY EASEMENT
A PORTION OF ADDISON AIRPORT
Wm. LOMAX SURVEY, ABSTRACT 792
E. COOK SURVEY, ABSTRACT 326
ADDISON, DALLAS COUNTY, TEXAS
EXHIBIT 4**

Being 127,111 square feet or 2.918 acres out of a called 365.34 acre tract as conveyed to the City of Addison by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm. Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas and being more particularly described as follows: (Bearings based on USC&GS Station "ARP 1966" with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon" with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83);

COMMENCING at a found 5/8 inch iron rod at an eastern corner of said called 365.34 acre tract and on the Westerly line of Addison Road (width varies), said corner lying on the apparent North line of said E. Cook Survey, same being the apparent South line of the said Wm. Lomax Survey as called for in the said City of Addison deed, said corner also being at the beginning of a curve to the left, said curve having a radius of 746.30 feet, having a central angle of 00°07'43", a chord bearing of S24°44'05"E, a chord distance of 1.67 feet;

THENCE, along said curve to the left and said Westerly line of Addison Road, an arc distance of 1.67 feet to a set 5/8 inch iron rod, a point for corner, said corner being the **POINT OF BEGINNING**;

THENCE, continuing along said curve to the left and said Westerly line of Addison Road, in a Southerly direction, an arc distance of 22.90 feet to a set 5/8" iron rod, the point of tangency;

THENCE, S26°33'25"E, continuing along the Westerly line of said Addison Road, a distance of 34.05 feet to a set x-cut in concrete, a point for corner at the beginning of a tangent curve to the right having a radius of 686.30 feet;

THENCE, continuing along the Westerly line of said Addison Road, along said curve to the right having a central angle of 03°37'28", a chord bearing of S24°44'41"E, a chord distance of 43.41 feet, and an arc distance of 43.41 feet to a set 5/8" iron rod, a point for corner;

THENCE, S69°09'04"W, departing the Westerly line of said Addison Road, a distance of 108.70 feet to a found x-cut in concrete, a point for corner;

THENCE, S63°42'00"W, 87.24 feet to a set x-cut in concrete, a point for corner at the beginning of a non-tangent curve to the right, said curve having a radius of 610.17 feet;

THENCE, along said curve to the right, having a central angle of 03°02'43", a chord bearing of S78°51'24"W, a chord distance of 32.43 feet, and an arc distance of 32.43 feet to a set x-cut in concrete, a point for corner;

THENCE, S09°37'15"E, a distance of 4.50 to set x-cut in concrete, a point for corner at the beginning of a non-tangent curve to the right, said curve having a radius of 614.67 feet;

THENCE, continuing along said curve to the right, having a central angle 14°40'43", a chord bearing of

EAST SURFACE EASEMENT AREA

S87°43'07"W, a chord distance of 157.04 feet, and an arc distance of 157.47 feet to a set x-cut in concrete, at the point of tangency;

THENCE, N84°56'32"W, a distance of 60.20 feet to a set 5/8" iron rod, a point for corner;

THENCE, N05°03'28"E, a distance of 10.00 feet to a set 5/8" iron rod, a point for corner;

THENCE, N84°56'32"W, a distance of 126.00 feet to a set x-cut on concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 11.00 feet, to a set x-cut on concrete, a point for corner;

THENCE, N84°56'32"W, a distance of 274.00 feet to a set x-cut on concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 8.00 feet to a set x-cut on concrete, a point for corner;

THENCE, N84°56'32"W, a distance of 177.73 feet to a set x-cut in concrete, a point for corner;

THENCE, N05°03'28"E, a distance of 156.00 feet to a set x-cut in concrete, a point for corner;

THENCE, S84°56'32"E, a distance of 177.73 feet to set x-cut in concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 8.00 feet to set x-cut in concrete, a point for corner;

THENCE, S84°56'32"E, a distance of 274.00 feet to a set x-cut in concrete, a point for corner;

THENCE, S05°03'28"W, a distance of 11.00 feet to a set x-cut in concrete, a point for corner;

THENCE, S84°56'32"E, a distance of 186.20 feet to a set x-cut in concrete, a point at the beginning of a tangent curve to the left having a radius of 486.67 feet;

THENCE, along said curve to the left, having a central angle of 02°42'31", a chord that bears S86°17'48"E, 23.01 feet, and an arc distance of 23.01 feet, to a set x-cut in concrete, a point for corner;

THENCE, S02°20'56"W, a distance of 4.50 feet to a set x-cut in concrete, a point for corner, the beginning of a non-tangent curve to the left having a radius of 491.17 feet;

THENCE, along said curve to the left, having a central angle of 14°04'12", a chord that bears N85°18'50"E, a chord distance of 120.31, and an arc length of 120.62 feet to a set x-cut in concrete, a point for corner;

THENCE, S11°43'16"E, a distance of 4.50 feet, to a set x-cut in concrete, a point for corner;

THENCE, N86°11'56"E, a distance of 54.34 feet, to a set 5/8 inch iron rod, a point for corner;

THENCE, N68°46'01"E, a distance of 124.95 feet, to a set 5/8 inch iron rod, a point for corner;

THENCE, N20°42'56"W, a distance of 8.82 feet, to a set 5/8 inch iron rod, a point for corner;

THENCE, N69°09'04"E, a distance of 2.15 feet to the POINT OF BEGINNING, and containing 127,111

EAST SURFACE EASEMENT AREA

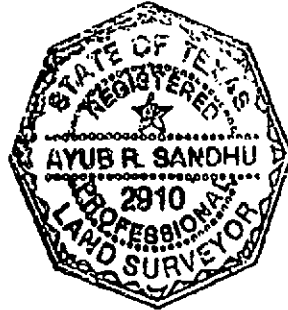
square feet or 2.918 acres in the metes and bounds recited.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

Ayub R. Sandhu

DATE: 11/5/96

Ayub R. Sandhu, P.E., R.P.L.S.
Texas Surveyor Registration No. 2910



Approval:
Texas Turnpike Authority _____

WEST SURFACE EASEMENT AREA

**FIELD NOTE DESCRIPTION
PERMANENT SURFACE EASEMENT PSE-1
A PORTION OF ADDISON AIRPORT
Wm. LOMAX SURVEY, ABSTRACT 792
E. COOK SURVEY, ABSTRACT 326
ADDISON, DALLAS COUNTY, TEXAS
EXHIBIT 5**

Being 2,211 square feet or 0.051 acres out of a called 365.34 acre tract as conveyed to the City of Addison, by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm. Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas and being more particular described as follows: (Bearings based on USC&GS Station "ARP 1966", with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon", with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83)

COMMENCING, at a set 5/8" iron rod on the Easterly line of Dooley Road (width varies), at the north corner of a corner-clip, at the northeast intersection of said Dooley Road and Keller Springs Road (50 feet wide);

THENCE, S56°37'15"E, along the Easterly line of said Dooley Road, 40.96 feet to a point for corner;

THENCE, S89°16'08"E, departing the Easterly line of said Dooley Road, a distance of 19.73 feet to the POINT OF BEGINNING;

THENCE, N00°43'52"W, a distance of 5.25 feet to a point for corner;

THENCE, N89°16'08"E, a distance of 174.25 feet to a point for corner;

THENCE, S00°43'52"E, a distance of 13.00 feet to a point for corner;

THENCE, S89°16'08"W, a distance of 167.25 feet to a point for corner;

THENCE, N00°43'52"W, a distance of 7.75 feet to a point for corner;

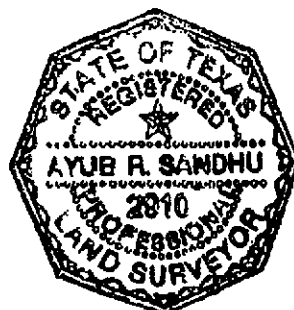
THENCE, S89°16'08"W, a distance of 7.00 feet to the POINT OF BEGINNING, containing 2,211 square feet, or 0.051 acres in the metes and bounds recited.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

Ayub R. Sandhu
Ayub R. Sandhu, P.E., R.P.L.S.
Texas Surveyor Registration No. 2910

DATE: 9/10/96

Approval:
Texas Turnpike Authority _____



WEST SURFACE EASEMENT AREA

**FIELD NOTE DESCRIPTION
PERMANENT SURFACE EASEMENT PSE-2
A PORTION OF ADDISON AIRPORT
Wm. LOMAX SURVEY, ABSTRACT 792
E. COOK SURVEY, ABSTRACT 326
ADDISON, DALLAS COUNTY, TEXAS
EXHIBIT 5**

Being 628 square feet or 0.014 acres out of a called 365.34 acre tract as conveyed to the City of Addison, by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas and being more particular described as follows: (Bearings based on USC&GS Station "ARP 1966", with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon", with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83)

COMMENCING, at the Southerly cut-back corner at the northeast corner of the intersection of Dooley Road (width varies) with Keller Springs Road (50 feet wide);

THENCE, Easterly and Southerly along the Easterly ROW line of said Dooley Road as follows:

N89°42'54"E, a distance of 105.72 feet to a point;

S00°12'22"E, a distance of 79.31 feet to the **POINT OF BEGINNING** of the tract herein described:

THENCE, N89°16'08"E, leaving said Easterly ROW line of Dooley Road, 48.22 feet to a point for corner;

THENCE, S00°43'52"E, a distance of 13.00 feet to a point for corner;

THENCE, S89°16'08"W, a distance of 48.34 feet to a point for corner on said Easterly ROW line of Dooley Road;

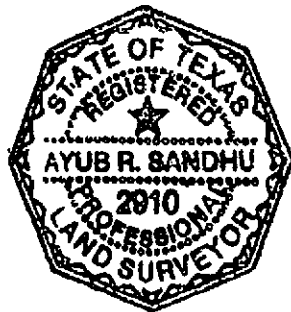
THENCE, N00°12'22"W, a distance of 13.00 feet, along said Easterly ROW line of Dooley Road, to the **POINT OF BEGINNING**, and containing 628 square feet, or 0.014 acres in the metes and bounds recited.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

Ayub R. Sandhu
Ayub R. Sandhu, P.E., R.P.L.S.
Texas Surveyor Registration No. 2910

DATE: 9/10/96

Approval:
Texas Turnpike Authority _____



WEST SURFACE EASEMENT AREA

**FIELD NOTE DESCRIPTION
PERMANENT SURFACE EASEMENT PSE-3
A PORTION OF KELLER SPRINGS ROAD AND DOOLEY ROAD
Wm. LOMAX SURVEY, ABSTRACT 792
E. COOK SURVEY, ABSTRACT 326
W. H. WITT SURVEY, ABSTRACT 1609
DAVID MYERS SURVEY, ABSTRACT 923
GEORGE SYMS SURVEY, ABSTRACT 1344
ADDISON, DALLAS COUNTY, TEXAS
EXHIBIT 5**

Being 68,432 square feet or 1.571 acres out of the rights-of-way of Keller Springs Road (50' wide) and Dooley Road (width varies) lying in the City of Addison, said rights-of-way being out of the Wm. Lomax Survey, Abstract 792, the E. Cook Survey, Abstract 326, the W. H. Witt Survey, Abstract 1609, the David Myers Survey, Abstract 923, and the George Syms Survey, Abstract 1344, all in the City of Addison, Dallas County, Texas and being more particular described as follows:

(Bearings based on USC&GS Station "ARP 1966", with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon", with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83)

BEGINNING at a 5/8 inch iron rod found for corner in the existing northerly right-of way line of said Keller Springs Road, said point being the most southerly northeast corner of the intersection of said northerly line of Keller Springs Road with the existing easterly line of Midway Road (a variable width right-of-way at this point), said point also being the southernmost southwest corner of Lot A, Block B as conveyed to CB Institutional Trust Fund VII, by deed recorded in Volume 84250, Page 4372, of the Deed Records of Dallas County, Texas, an addition to the City of Addison, by plat entitled "Beltwood North, JWL Addition," recorded in Volume 82073, Page 2483, of the Map Records of Dallas County, Texas;

THENCE, N89°14'00"E, along said right-of-way line and the southerly line of said Addition, passing at a distance of 124.32 feet, a 5/8 inch iron rod found, the southeast corner of said Lot A, same being the southwest corner of Lot B of said Addition, as conveyed to CB Institutional Trust Fund VII, by deed recorded in Volume 84061, Page 3143, of said Deed Records, passing at a distance of 538.32 feet, a 1/2 inch iron rod found, the southeast corner of said Lot B, same being the southwest corner of that certain tract of land as conveyed to EKL Realty, by deed recorded in Volume 90206, Page 0102, of said Deed Records, said point also being the southeast corner of said Beltwood North, JWL Addition, continuing in all a total distance of 817.84 feet to a 5/8 inch iron rod found, the southeast corner of said EKL Realty tract, same being the northwest corner of the intersection of said Keller Springs Road with Dooley Road (60' wide);

THENCE, N00°32'09"W, along the easterly line of said EKL tract and said westerly line of Dooley Road, a distance of 52.01 feet to a point for corner;

THENCE, N89°27'51"E, departing said common line, a distance of 60.00 feet to a 5/8 inch iron rod found for corner on the easterly line of said Dooley Road and on the westerly line of a called 365.34 acre tract of land as conveyed to the City of Addison, by deed recorded in Volume 77010, Page 1391, of said Deed Records;

THENCE, along said common line, the following courses and distances:

S56°37'15"E, a distance of 90.20 feet to a 5/8 inch iron rod found for corner;

N89°42'54"E, a distance of 105.72 feet to a 5/8 inch iron rod found for corner;

S00°12'22"E, a distance of 111.00 feet to a point for corner;

WEST SURFACE EASEMENT AREA

THENCE, S89°47'38"W, leaving said easterly line of Dooley Road and said westerly line of called 365.34 acre tract, a distance of 50.92 feet to a point for corner on the westerly line of said Dooley Road, said point being the southeast end of a corner cut-back line at the intersection of said westerly line of Dooley Road with the southerly line of said Keller Springs Road, same being the most easterly northeast corner of Lot 1, as conveyed to Midpark North Joint Venture by deed recorded in Volume 91136, Page 1164, of said Deed Records, the most easterly northeast corner of Midway Park North II, an addition to the City of Addison by plat recorded in Volume 83035, Page 1180, of said Map Records;

THENCE, N57°10'08"W, along said common line, a distance of 101.70 feet to a 5/8 inch iron rod found, the most northerly northeast corner of said Lot 1 and said subdivision;

THENCE, S89°16'07"W, along said common line, passing at a distance of 256.60 feet, a found 'X' in concrete, the northwest corner of said Lot 1, same being the northeast corner of Lot 2, that certain tract of land as conveyed to M & F Development Company, Inc. by deed recorded in Volume 90081, Page 3202, of said Deed Records, in all total distance of 795.41 feet to a 5/8 inch iron rod found for corner;

THENCE, S62°47'14"W, continuing along said common line, a distance of 55.96 feet to a 5/8 inch iron rod found for corner at the intersection of said southerly line of Keller Springs Road with said easterly line of Midway Road;

THENCE, S00°39'42"E, along said common line, a distance of 41.80 feet to a 1/2 inch iron rod found, the southeast intersection of said Keller Springs Road with said Midway Road;

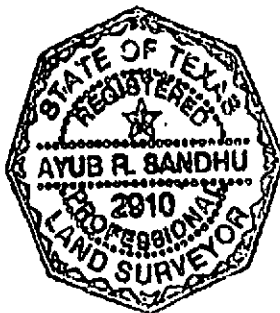
THENCE, N33°06'32"W, departing said common line, a distance of 142.28 feet to the POINT OF BEGINNING, containing 68,432 square feet, or 1.571 acres in the metes and bounds recited.

Note: A plat of survey of even survey date herewith accompanies this legal description.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

Ayub R. Sandhu
Ayub R. Sandhu, P.E., R.P.L.S.
Texas Surveyor Registration No. 2910

DATE: 1/23/97



Approval:
Texas Turnpike Authority _____

SUBSURFACE EASEMENT AREA

**FIELD NOTE DESCRIPTION
SUB SURFACE AREA
A PORTION OF ADDISON AIRPORT
Wm. LOMAX SURVEY, ABSTRACT 792
E. COOK SURVEY, ABSTRACT 326
ADDISON, DALLAS COUNTY, TEXAS
EXHIBIT 3**

Being 195,683 square feet or 4.492 acres out of a called 365.34 acre tract as conveyed to the City of Addison, by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm. Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas and being more particular described as follows: (Bearings based on USC&GS Station "ARP 1966", with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon", with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83)

BEGINNING, at a set 5/8" iron rod on the Easterly line of Dooley Road (width varies), said iron rod being S56°37'15"E, a distance of 64.79 feet from the Northerly cut-back corner at the northeast corner of the intersection of said Dooley Road with Keller Springs Road (50 feet wide);

THENCE, N00°43'52"W, departing the Easterly line of said Dooley Road, a distance of 18.61 feet to a point for corner;

THENCE, N89°16'08"E, a distance of 174.25 feet to a point for corner at the beginning of a tangent curve to the right, said curve having a radius of 1763.00 feet;

THENCE, continuing along said curve to the right, having a central angle of 05°47'20", a chord bearing of S87°50'12"E, a chord distance of 178.05 feet, and an arc distance of 178.13 feet to a point of tangency;

THENCE, S84°56'32"E, a distance of 1,301.25 feet to a point for corner;

THENCE, S05°03'28"W, a distance of 126.00 feet to a point for corner;

THENCE, N84°56'32" W, a distance of 1,301.25 feet to a point for corner at the beginning of a tangent curve to the left having a radius of 1,637.00 feet;

THENCE, continuing along said curve to the left, having a central angle of 05°47'20", a chord bearing of N87°50'12"W, a chord distance of 165.33 feet, and an arc distance of 165.40 feet to the point of tangency;

THENCE, S89°16'08"W, a distance of 48.34 feet to a point for corner on the Easterly line of Dooley Road;

THENCE, N00°12'22"W, continuing along said Easterly line 92.32 feet to a corner on the Northerly line of Dooley Road;

THENCE, S89°42'54"W, continuing along said Northerly line of Dooley Road, a distance of 105.72 feet to a point for corner;

SUBSURFACE EASEMENT AREA

THENCE, N56°37'15"W, continuing along the Northerly line of Dooley Road, a distance of 25.41 feet to the POINT OF BEGINNING, and containing 195,683 square feet or 4.492 acres in the metes and bounds recited.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

Ayub R. Sandhu DATE: 9/10/96
Ayub R. Sandhu, P.E., R.P.L.S.
Texas Surveyor Registration No. 2910



Approval:
Texas Turnpike Authority _____

THE DOOLEY ROAD EASEMENT AREA

**FIELD NOTE DESCRIPTION
SURFACE RIGHT-OF WAY EASEMENT
A PORTION OF ADDISON AIRPORT
Wm. LOMAX SURVEY, ABSTRACT 792
E. COOK SURVEY, ABSTRACT 326
ADDISON, DALLAS COUNTY, TEXAS
EXHIBIT 6**

Being 13,649 square feet or 0.313 acres out of a called 365.34 acre tract as conveyed to the City of Addison by deed recorded in Volume 77010, Page 1391, Deed Records, Dallas County, Texas, said called 365.34 acre tract being out of the Wm. Lomax Survey, Abstract 792 and the E. Cook Survey, Abstract 326, all in the City of Addison, Dallas County, Texas and being more particularly described as follows: (Bearings based on USC&GS Station "ARP 1966" with coordinates of N 7,038,355.36-E 2,478,877.80 NAD83 and USC&GS Station "Airport Beacon" with coordinates of N 7,039,062.68-E 2,478,167.73 NAD83)

BEGINNING, at a set 5/8" iron rod, a point for corner on the Easterly line of Dooley Road (width varies), said point lying N00°21'59"W, 137.82 feet from the north corner of a corner-clip at the northeast intersection of said Dooley Road and Keller Springs Road (50 feet wide);

THENCE, N00°21'59"W, along said Easterly line of Dooley Road, 123.80 feet to a set 5/8 inch iron rod, a point for corner at the beginning of a non-tangent curve to the left having a radius of 291.30 feet;

THENCE, leaving said Easterly line of Dooley Road, along said curve to the left having a central angle of 32°53'23", a chord bearing of S28°46'08"E, a chord distance of 164.93 feet, and an arc distance of 167.22 feet to a set 5/8 inch iron rod, a point for corner at the beginning of a tangent curve to the right having a radius of 338.67 feet;

THENCE, along said curve to the right having a central angle of 32°33'46", a chord bearing of S28°56'02"E, a chord distance of 189.90 feet, and an arc distance of 192.48 feet to a set 5/8 inch iron rod, a point for corner on said Easterly line of Dooley Road;

THENCE, along said Easterly line of Dooley Road, S89°42'54"W, a distance of 49.34 feet to a set 5/8 inch iron rod, a point for corner at the beginning of a tangent curve to the left having a radius of 290.67 feet;

THENCE, leaving said Easterly line of Dooley Road, along said curve to the left having a central angle of 30°28'46", a chord bearing of N29°58'33"W, a chord distance of 152.81 feet, and an arc distance of 154.63 feet to a set 5/8 inch iron rod, a point for corner at the beginning of a tangent curve to the right having a radius of 339.30 feet;

THENCE, along said curve to the right having a central angle of 11°58'38", a chord bearing of N39°13'31"W, a chord distance of 70.80 feet, and an arc distance of 70.93 feet to the POINT OF BEGINNING, and containing 13,649 square feet or 0.313 acres in the metes and bounds recited.

This is to certify that the above description was prepared from an on the ground survey conducted under my supervision.

Ayub R. Sandhu

DATE: 4/8/97

Ayub R. Sandhu, P.E., R.P.L.S.
Texas Surveyor Registration No. 2910



Approval:
Texas Turnpike Authority _____
Exhibit B - Page 10 of 10
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Any provision herein which restricts the sale, rental, or use of the described real property because of color or race is invalid and unenforceable under federal law.
STATE OF TEXAS
I hereby certify this instrument was filed on the date and time stamped hereon by me and was duly recorded in the volume and page of the named records of Dallas County, Texas as stamped hereon by me.

APR 30 1997



COUNTY CLERK, Dallas County, Texas

Earl Collock

FILED
97 APR 29 AM 10:13
EARL COLLOCK
COUNTY CLERK
DALLAS COUNTY

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