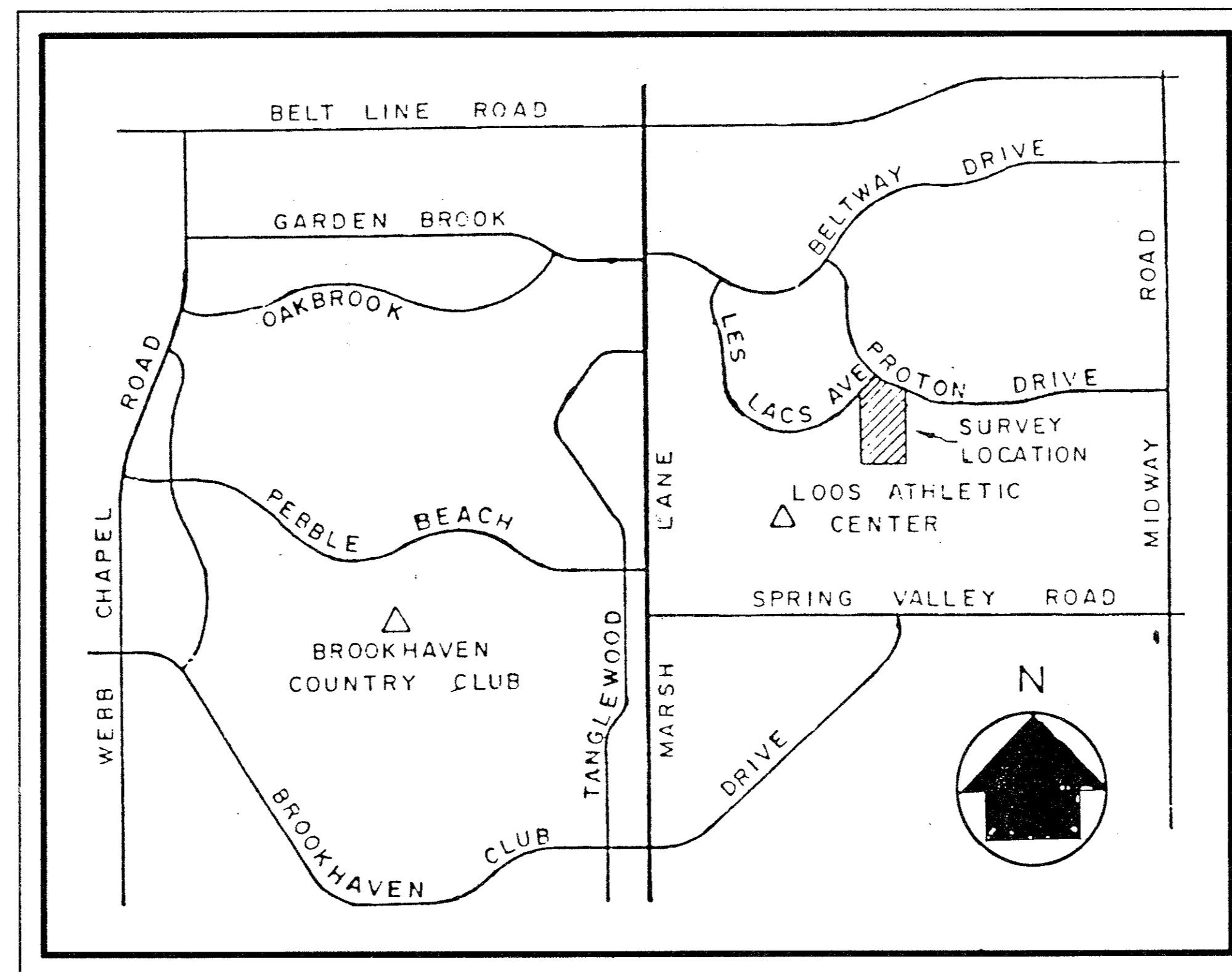


DEVELOPMENT PLANS FOR WATERVIEW ESTATES

TOWN OF ADDISON, TEXAS

GENERAL NOTES

1. Prior to final acceptance by the Town of Addison:
 - a. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison. The owner shall provide 1 reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and 2 blue-line sets.
 - b. A five foot sidewalk shall be installed along Proton Drive. See attached detail.
 - c. A one year maintenance bond is required for the internal subdivision infrastructure.
 - d. Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
2. Prior to starting construction, the contractor shall contract the utility companies to locate existing facilities. These include but may not be limited to the following:
 - a. Town of Addison
 - b. Lone Star Gas
 - c. Southwestern Bell
 - d. Storer Cable
 - e. Planned Cable Systems
 - f. TU Electric
3. Prior to beginning construction, the owner or his authorized representative shall convene a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractor(s), utility companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48-hours prior to the time of the conference and 48-hours prior to beginning of construction.
4. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
5. Lot pins shall be in place during construction and prior to final acceptance. Concrete monuments shall be placed on all boundary corners, block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. A copper pin one-fourth inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monument shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
6. The contractor shall stamp a 2-inch "S" in the curb at the location of the sewer service line.
7. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersecting curb line unless otherwise noted.
8. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
9. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
10. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction, at the request of the Town of Addison.
11. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.



LOCATION MAP
NOT TO SCALE

INDEX

Sheet No.	Description
1	Plat
2	Drainage Plan
3-4	Paving Plans
5	Storm Sewer
6	Water & Sewer Plan
7	Sanitary Sewer Profiles
8	Erosion Control Plan
9	Grading Plan
D1-D10	Detail Sheets

As Built Plans 1-31-92

I certify that the construction staking of the paving, drainage, water and sewer was performed in accordance to the approved plans, constructed in compliance and in general conformance to the Town of Addison's specifications and will function in accordance with the intent of the design.

PREPARED FOR

~ OWNER ~

GRAND HOMES INC.

8800 N. CENTRAL EXPWY. ~ DALLAS, TEXAS 75231 ~ PH NO. (214)750-6528

dt DON A. TIPTON, INC. CONSULTING ENGINEERS
6330 BELT LINE ROAD ~ SUITE C ~ GARLAND, TEXAS 75043



NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF DALLAS)

OWNERS CERTIFICATE

WHEREAS, GRAND ADDISON, LTD. is the owner of a tract of land situated in the Town of Addison, Dallas County, Texas, and being a part of the Thomas L. Chenowith Survey, Abstract 273, and also being part of the tract of land conveyed to J. E. Bush by three deeds recorded in Volume 2591, Page 513, Volume 3406, Page 232 and Volume 934, Page 55, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at the intersection of the Easterly line of Marsh Lane (variable width) with the Southeastery cut off line between said Easterly line of Marsh Lane and the Southerly line of Belt Line Road (100' R.O.W.);

THENCE, S 00° 56' 06" W, along said Easterly line of Marsh Lane, a distance of 920.00 feet to an angle point;

THENCE, S 06° 00' 26" W, along said Easterly line of Marsh Lane, a distance of 193.66 feet to an angle point;

THENCE, S 00° 56' 06" W, along said Easterly line of Marsh Lane, a distance of 2309.00 feet to a point for corner;

THENCE, S 89° 13' 31" E, along the Southerly property line of said J. E. Bush tract, a distance of 1105.12 feet to an angle point;

THENCE, S 88° 58' 49" E, along said Southerly property line of the J. E. Bush tract, a distance of 847.57 feet to a 1/2" iron pin found for the PLACE OF BEGINNING of the herein described tract of land;

THENCE, N 01° 02' 13" E, along the West line of said Grand Addison, Ltd. tract, a distance of 629.46 feet to an "X" found for the beginning of a non-tangency curve to the left;

THENCE, in a Northeastly direction along the future centerline of Les Lacs Drive (a future 60' R.O.W.) and along said curve to the left having a radius of 700 feet, a central angle of 06° 41' 34", and an arc length of 81.73 feet, to an "X" found for the end of said curve to the left;

THENCE, N 01° 02' 13" E, a distance of 325.10 feet continuing along said Les Lacs Drive future centerline to an "X" found for the beginning of a non-tangency curve to the left;

THENCE, in a Southeastly direction along the future centerline of Proton Drive (a future 60' R.O.W.) and along said curve to the left having a radius of 800.00 feet, a central angle of 13° 30' 11", a chord bearing and distance of S 60° 19' 35" E, 188.10 feet, and an arc length of 188.54 feet to an "X" found for the end of said curve to the left, and the beginning of a compound curve to the left;

THENCE, in a Southeastly direction continuing along said Proton Drive future centerline and along said curve to the left, having a radius of 400.00 feet, a central angle of 12° 20' 45", a chord bearing and distance of S 73° 15' 03" E, 86.02 feet, and an arc length of 86.19 feet to an "X" found for the end of said curve to the left and the beginning of a reverse curve to the right;

THENCE, in a Southeastly direction continuing along said Proton Drive future centerline and along said curve to the right having a radius of 400.00 feet, a central angle of 12° 15' 56", a chord bearing and distance of S 73° 08' 35" E, 85.47 feet, and an arc length of 85.63 feet to an "X" found for the end of said curve to the right;

THENCE, S 67° 34' 28" E, a distance of 1.89 feet to an "X" found for corner in the centerline of a 70 foot wide Texas Power and Light Company easement as recorded in Volume 70134, Page 1508, Page 1510, and Page 1512 of the Deed Records of Dallas County, Texas;

THENCE, S 01° 02' 18" W, along the East line of said Grand Addison, Ltd. tract and along said curve to the right having a radius of 700 feet, a central angle of 06° 41' 34", and a chord bearing and distance of S 73° 15' 03" E, 86.02 feet, to a 1/2" iron pin found for corner in the Southerly property line of said J. E. Bush tract;

THENCE, N 89° 22' 42" W, along said Southerly property line of Grand Addison, Ltd. tract and the North line of Greenhill School Addition, a distance of 25.19 feet to a 1/2" iron pin found at fence corner post;

THENCE, S 02° 20' 19" W, along the property line of said Grand Addison, Ltd. and Greenhill School Addition tracts, a distance of 47.15 feet to a 1/2" iron pin found at fence corner post;

THENCE, N 88° 58' 49" W, along the Southerly property line of said Grand Addison, Ltd. tract a distance of 545.11 feet to the PLACE OF BEGINNING and containing 478,924 square feet of 10.9946 acres of land.

CERTIFICATE OF APPROVAL
APPROVED BY THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, this the 7 day of January, 1992.

MAYOR
SECRETARY

The easements shown on this plat are hereby reserved for the purposes as indicated, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The city will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be placed within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the city to channelize or construct any type structure necessary for the city to improve the storm drainage, then in such event, the city shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to the facility deemed necessary by the city for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Addison, Texas.

WITNESS my hand at Addison, Texas, this the 6 day of JANUARY, 1992.

GRAND ADDISON, LTD.
STEPHEN H. BROOKS, PRESIDENT

STATE OF TEXAS)
COUNTY OF DALLAS)

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared STEPHEN H. BROOKS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 6 day of January, 1992.

JANET BISHOP
Notary Public, State of Texas
December 13, 1995

I, GREGORY A. MCCALL, Registered Professional Land Surveyor for DON A. TIPTON, INC. do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision, and further certify that all corners are as shown thereon, and that said plat has been prepared in accordance with the platting rules and regulations of the Town of Addison, Texas.

DATED: This the 7 day of January, 1992.
DON A. TIPTON, INC.

Gregory A. McCall
Registered Professional Land Surveyor
No. 4396

STATE OF TEXAS)
COUNTY OF DALLAS)

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared GREGORY A. MCCALL, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 7 day of January, 1992.

Notary Public, State of Texas

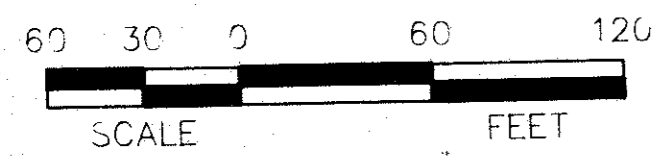
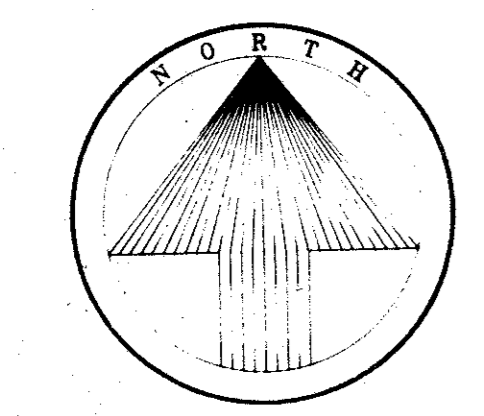
AMENDED
FINAL PLAT
WATERVIEW ESTATES

TOWN OF ADDISON
THOMAS L. CHENOWITH SURVEY ~ ABSTRACT NO. 273
DALLAS COUNTY, TEXAS

DEVELOPER ~ OWNER
GRAND ADDISON, LTD.
8600 N. CENTRAL EXPWY. ~ DALLAS, TEXAS 75231 ~ PH. NO. (214)750-6528

~ SURVEYOR ~
DON A. TIPTON, INC. ~ CONSULTING ENGINEERS
6330 BELT LINE ROAD ~ SUITE C ~ GARLAND, TEXAS 75043 ~ PH. NO. (214)226-2967

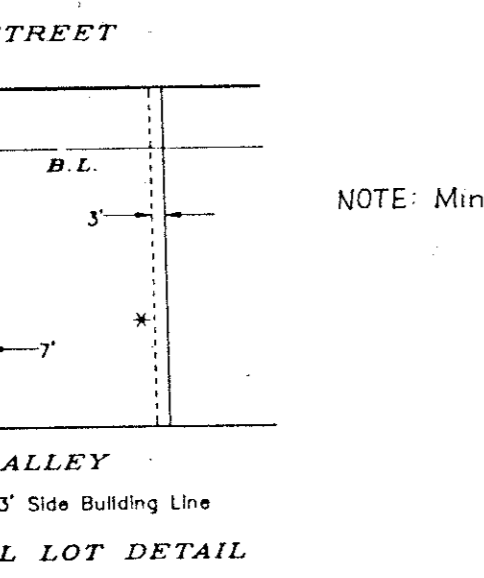
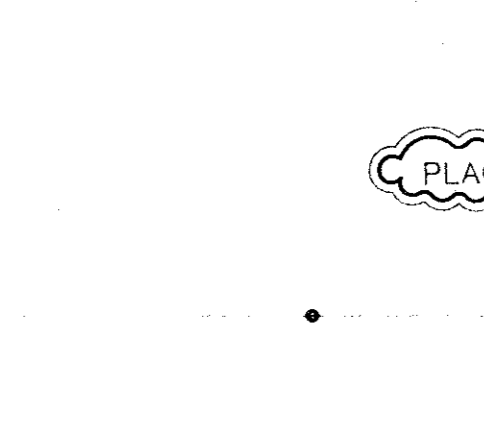
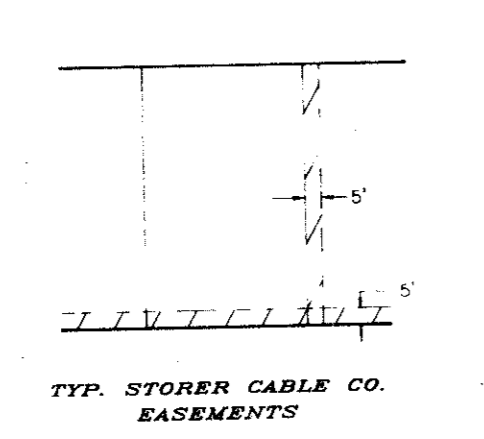
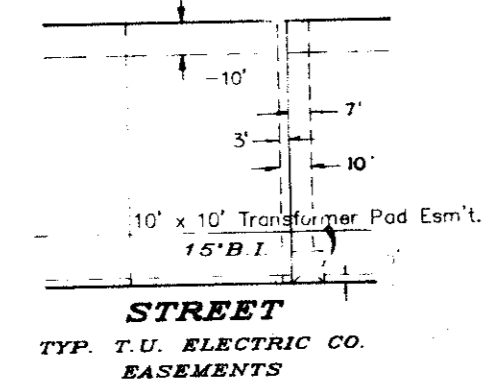
49 LOTS # 3626



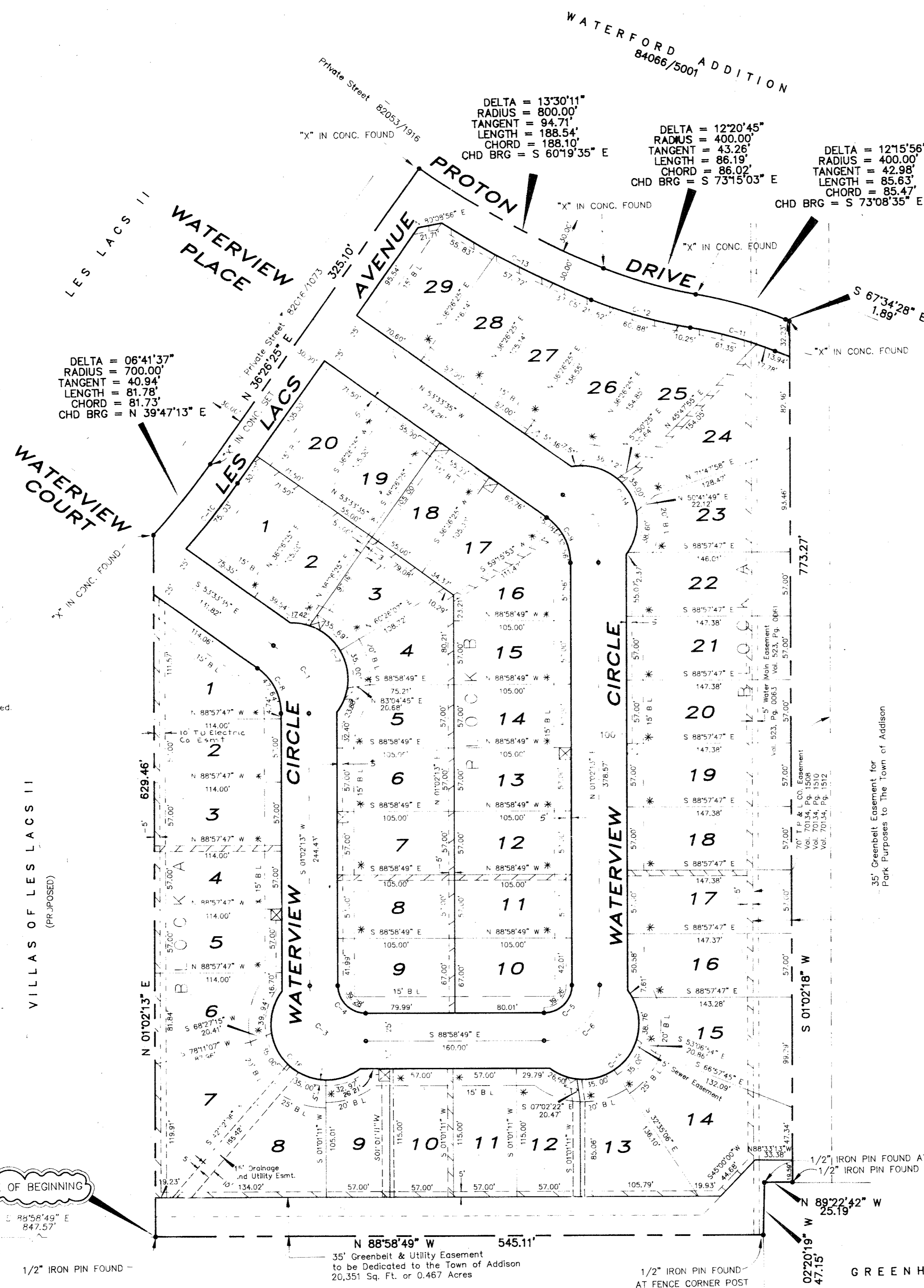
CURVE DATA

CRV. NO.	RADIUS	DELTA	TANGENT	LENGTH	CHORD	CHD BRG.
0-1	75.00	54°35'48"	36.71'	71.47'	68.73'	S 26°54'41" E
0-2	75.00	54°35'48"	36.71'	71.47'	68.73'	S 26°54'41" E
0-3	50.00	90°01'02"	50.01'	70.72'	78.55'	S 43°58'48" E
0-4	25.00	90°01'02"	25.01'	39.28'	39.28'	S 43°58'48" E
0-5	25.00	90°01'02"	25.01'	39.28'	39.28'	S 43°58'48" E
0-6	50.00	128°20'11"	103.28'	111.99'	90.01'	S 26°54'41" E
0-7	50.00	128°20'11"	103.28'	111.99'	90.01'	S 26°54'41" E
0-8	50.00	54°35'48"	25.81'	47.64'	45.86'	S 26°54'41" E
0-9	50.00	54°35'48"	25.81'	47.64'	45.86'	S 26°54'41" E
0-10	730.00	08°53'21"	37.55'	75.03'	75.03'	S 81°52'24" E
0-11	379.00	17°15'13"	39.72'	79.13'	78.98'	S 81°52'24" E
0-12	432.00	12°20'45"	46.51'	92.65'	92.48'	S 81°52'24" E
0-13	830.00	10°23'46"	75.50'	151.59'	151.39'	S 81°52'24" E
0-14	36.00	137°02'22"	127.06'	119.59'	93.05'	S 81°52'24" E
0-15	50.00	163°43'21"	349.62'	42.87'	98.99'	S 81°52'24" E
0-16	50.00	163°43'25"	350.38'	142.90'	99.00'	S 81°52'24" E

- NOTES:
1. Driveway Access/Curb Cuts to Proton Drive and Les Lacs Avenue are Prohibited.
2. No masonry fences or columns are permitted within the 10 foot utility/drainage easement between lots 7 and 8, block A.
3. Property owners shall provide access to the utility/drainage easement as may be necessary for inspection and maintenance of facilities by the Town of Addison Public Utility Companies.
4. No fences or structures are permitted in the thirty-five foot greenbelt easement adjacent to lots 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, and 24, block A.



NOTE: Min House Size (1500 Sq Ft.)



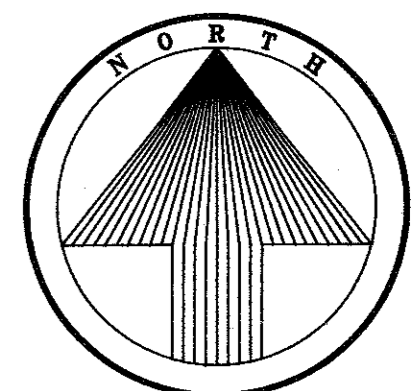
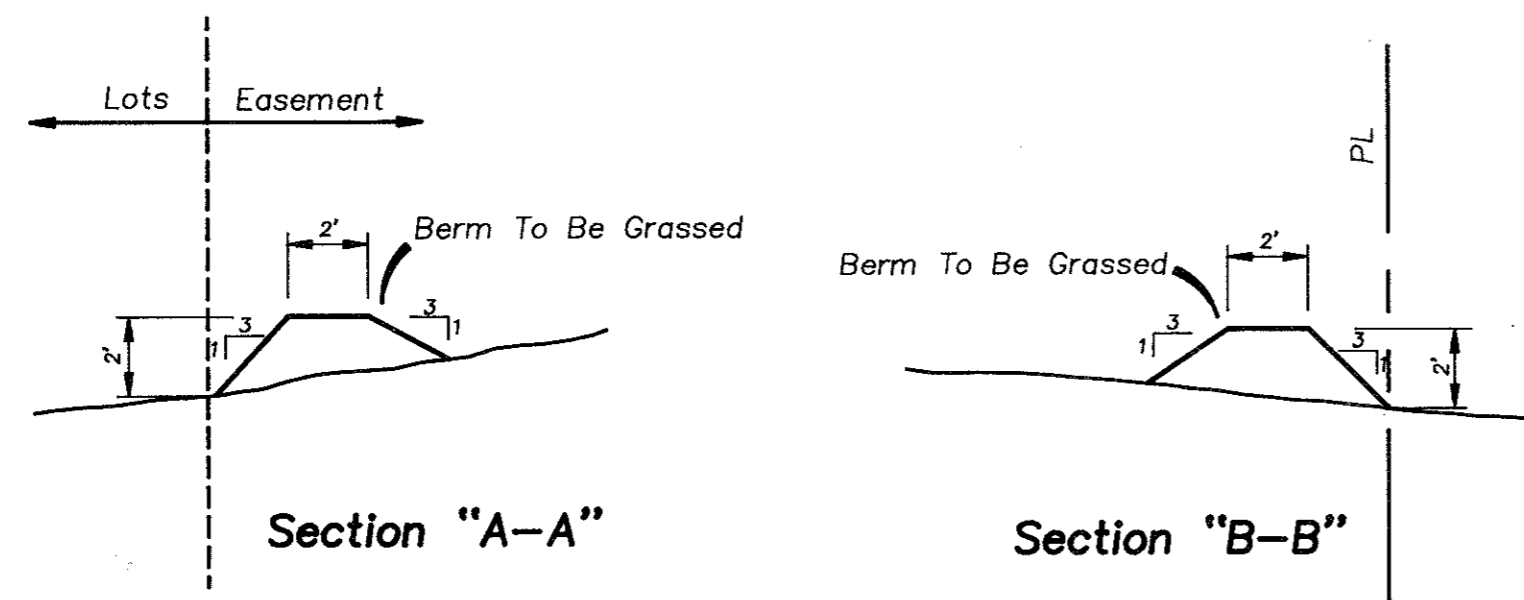
LOOS STADIUM & FIELDHOUSE
D.I.S.D.

GREENHILL SCHOOL ADDITION
87200/1886

Reason for Amended Plat is To Revise T.U. Electric Co. Easements and To Provide for Internal Delineation of Side Yard Building Line.

Recorded 1/9/92 Volume 92006, Page 1954

VOLUME 92006
PAGE 1954



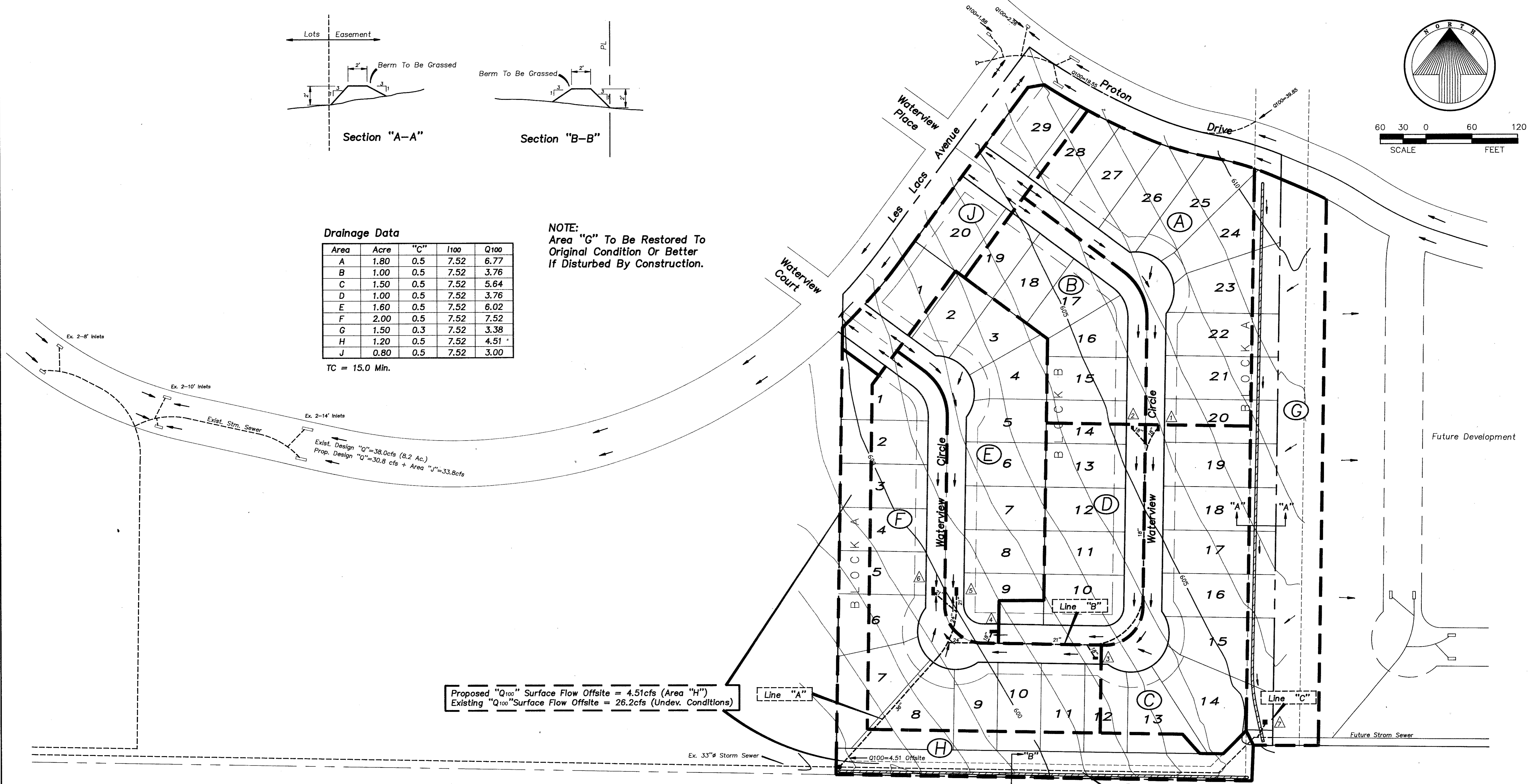
Drainage Data

Area	Acre	"C"	I100	Q100
A	1.80	0.5	7.52	6.77
B	1.00	0.5	7.52	3.76
C	1.50	0.5	7.52	5.64
D	1.00	0.5	7.52	3.76
E	1.60	0.5	7.52	6.02
F	2.00	0.5	7.52	7.52
G	1.50	0.3	7.52	3.38
H	1.20	0.5	7.52	4.51
J	0.80	0.5	7.52	3.00

NOTE:
Area "G" To Be Restored To Original Condition Or Better If Disturbed By Construction.

TC = 15.0 Min.

Proposed "Q₁₀₀" Surface Flow Offsite = 4.51cfs (Area "H")
Existing "Q₁₀₀" Surface Flow Offsite = 26.2cfs (Undev. Conditions)



INLET CALCULATION CHART

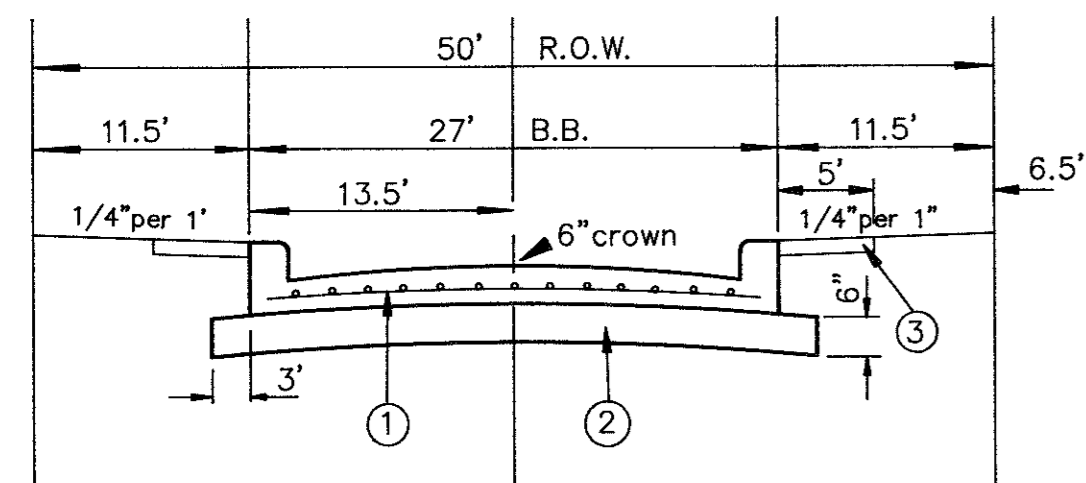
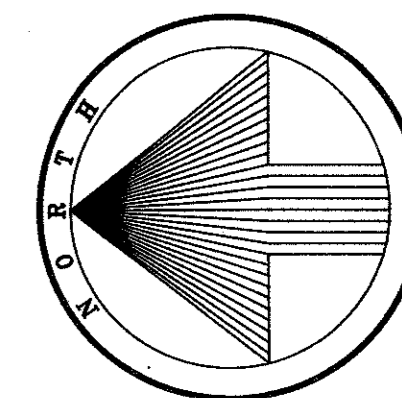
INLET NO.	AREA SERVED (SQ. FT.)	DESIGN TIME (MIN)	INTENSITY (IN./HR.)	DEV. COEFF.	UNDEV. COEFF.	UNDEV. DRAINAGE AREA (ACRE)	UNDEV. Q (C.F.S.)	BY-PASS Q (C.F.S.)	TOTAL Q (C.F.S.)	GUTTER TYPE	GUTTER SLOPE	GUTTER CAPACITY (C.F.S.)	CROWN TYPE	CROWN SLOPE	INLET INLET	INLET INLET	INLET INLET	INLET INLET	DOWNSTREAM NUMBER		
1	A	10+00	100	15.00	7.52	0.50	0.30	1.80	6.77	4.06	0.00	6.77	1.5	7.0	6"PAR	8	I	0.50	8.00	0.00	N/A
2	B	10+00	100	15.00	7.52	0.50	0.30	1.00	3.76	2.26	0.00	3.76	1.5	7.0	6"PAR	4	I	0.50	4.00	0.00	N/A
3	C	6+75	100	15.00	7.52	0.50	0.30	1.50	5.64	3.38	0.00	5.64	1.0	5.7	6"PAR	6	I	0.50	6.00	0.00	N/A
4	D	5+40	100	15.00	7.52	0.50	0.30	1.00	3.76	2.26	0.00	3.76	1.0	5.7	6"PAR	4	I	0.50	4.00	0.00	N/A
5	E	4+30	100	15.00	7.52	0.50	0.30	1.60	6.02	3.61	0.00	6.02	1.0	5.7	6"PAR	10	1A	0.50	15.00	0.00	N/A
6	F	4+30	100	15.00	7.52	0.50	0.30	2.00	7.52	4.51	0.00	7.52	1.0	5.7	6"PAR	10	1A	0.50	15.00	0.00	N/A
7	G	TPAL ESM-T	100	15.00	7.52	N/A	0.30	1.50	0.00	3.38	0.00	0.00	1.0	6.0	DITCH	2'x2'	V	0.50	8.00	0.00	N/A

Bench Mark 1
"a" Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46
Bench Mark 2
"b" Top of curb South side of Proton Drive, 400' East of Les Lacs Ave. Elev. 611.31(Set)
Bench Mark 3
"c" Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08

"As-Built Plans"
1-31-92



DRAINAGE MAP						
WATERVIEW ESTATES						
Town Of Addison, Texas						
		DON A. TIPTON, INC. CONSULTING ENGINEERS				
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t. Inc.	d.a.t. Inc.	8/91	1"=60'	d.b.	Waterview Estates 3826	2



Typical Paving Section

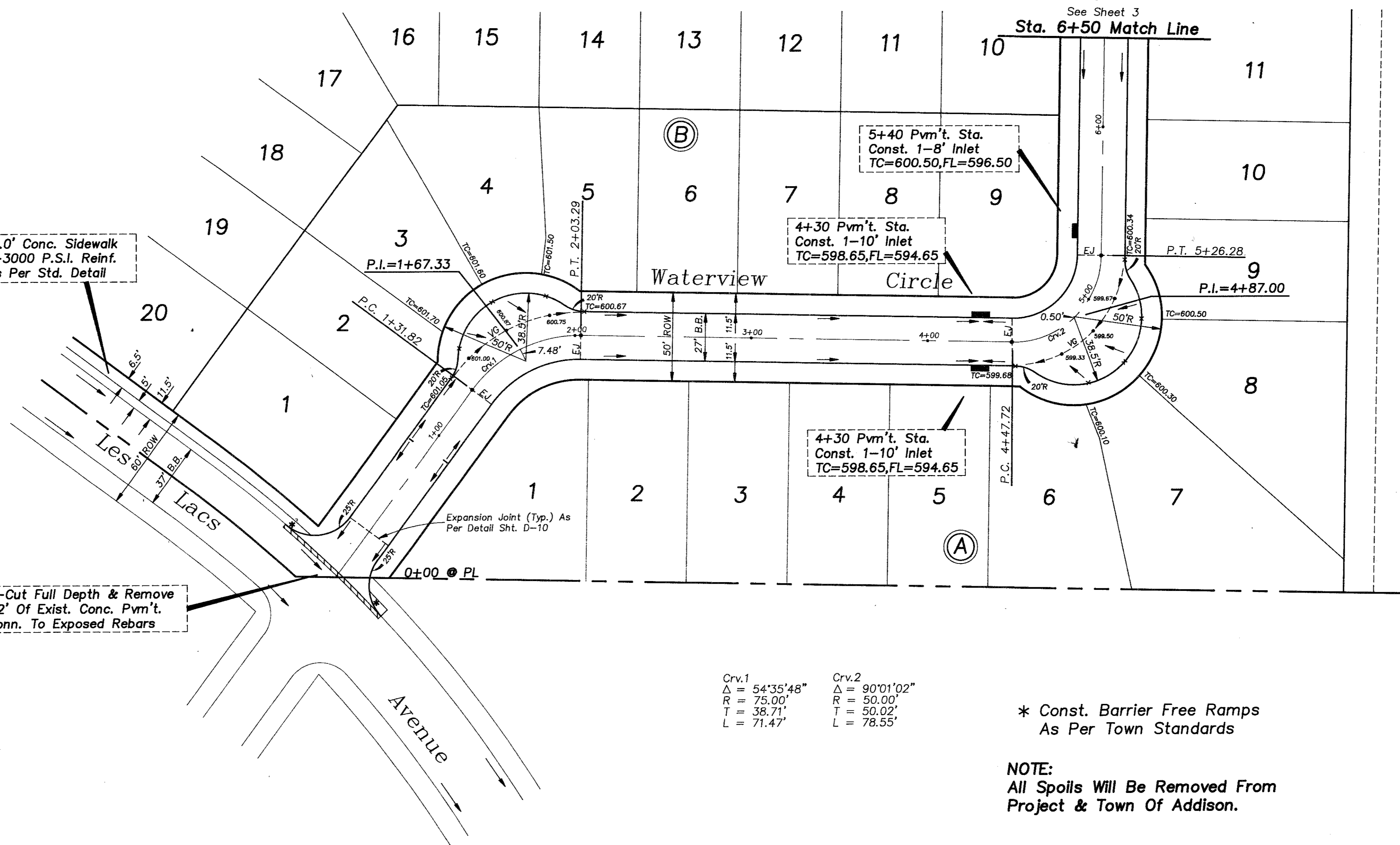
- ① 6" Thk.-3000 P.S.I. Conc. Reinf. w/No.3 Bars On 18" Centers (Both Ways).
- ② 6" Lime Stabilization required where PI >15. Optimize Lime content based on a Lime/PH. PH should be approximately 12. Test shall be conducted by a qualified Geotechnical firm, to be provided by the Developer. Test results shall be provided to the city. Separate test are required when subgrade conditions change.
- ③ 5' Sidewalk to be built by Homebuilder, Adjacent to the curb.

Construction Notes:

1. All Fill Compaction Shall Have 95% Density w/0% To +3.0% Optimum Moisture.
2. Construct Expansion Joints As Shown On Plans.
3. Construct Transverse Sawed Dummy Joints Every 15.0' Max.

Const. 5.0' Conc. Sidewalk
4" Thk.-3000 P.S.I. Reinf.
Conc. As Per Std. Detail

Saw-Out Full Depth & Remove
68"x2' Of Exist. Conc. Pvm't.
& Conn. To Exposed Rebars



Crv.1	Δ = 54°35'48"	Crv.2	Δ = 90°01'02"
R	= 75.00'	R	= 50.00'
L	= 38.71'	L	= 50.02'
L	= 71.47'	L	= 78.55'

* Const. Barrier Free Ramps
As Per Town Standards

NOTE:
All Spoils Will Be Removed From
Project & Town Of Addison.

CAUTION !!!
EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT.
TU ELECTRIC COMPANY 323-8928
LONE STAR GAS COMPANY 487-3885
SOUTHWESTERN BELL TELEPHONE 484-4095
STORER CABLE 840-2388

Station	Prop. Top Of Curb	Exist. Ground	Notes
0+00	599.74	605	Ex. TC=599.74
1+00	601.72	600	TC=601.72
2+00	601.20	600	TC=601.20
3+00	599.90	600	TC=599.90
4+00	599.65	600	(PVI=599.40+0.15) TC=599.65
5+00	599.90	600	TC=599.90
6+00	601.15	600	TC=601.15

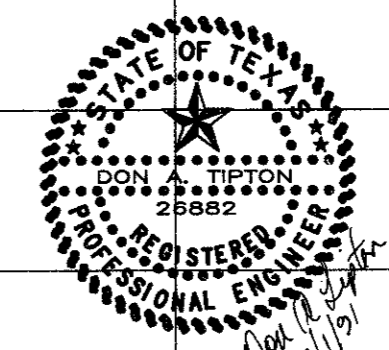
"As-Built Plans"
1-31-92

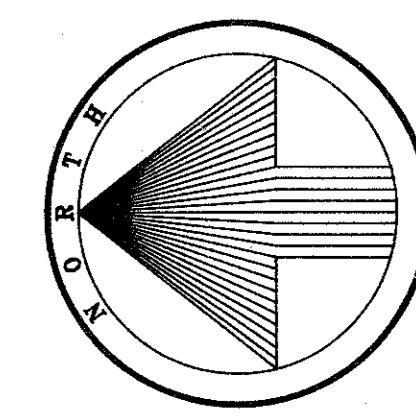
PAVING PLAN
WATERVIEW ESTATES

Town Of Addison, Texas

DON A. TIPTON, INC. CONSULTING ENGINEERS
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t.	j.m.r.	8/91	1"=40'H 1"=6'V		Waterview Estates 3626	3





Const. 5.0' Conc. Sidewalk
4" Thk.-3000 P.S.I. Reinf.
Conc. Adjacent To Curb

10+00 Pvm't. Sta.
Const. 1-8' Inlet
TC=603.60; FL=599.60

10+00 Pvm't. Sta.
Const. 1-4' Inlet
TC=603.60; FL=599.60

6+75 Pvm't. Sta.
Const. 1-6' Inlets
TC=601.35; FL=597.35

14+70.59 Conn. To Exist. Pvm't.
Saw-Cut Full Depth & Remove
68'x2' Exist. Curb & Gutter, &
Conn. To Exposed Rebars

Const. 5.0' Conc. Sidewalk
4" Thk.-3000 P.S.I. Reinf.
Conc. Adjacent To Curb

Crv.1
Δ = 54°35'48"
R = 75.00'
T = 38.71'
L = 71.47'

Crv.2
Δ = 89°58'58"
R = 50.00'
T = 49.98'
L = 78.52'

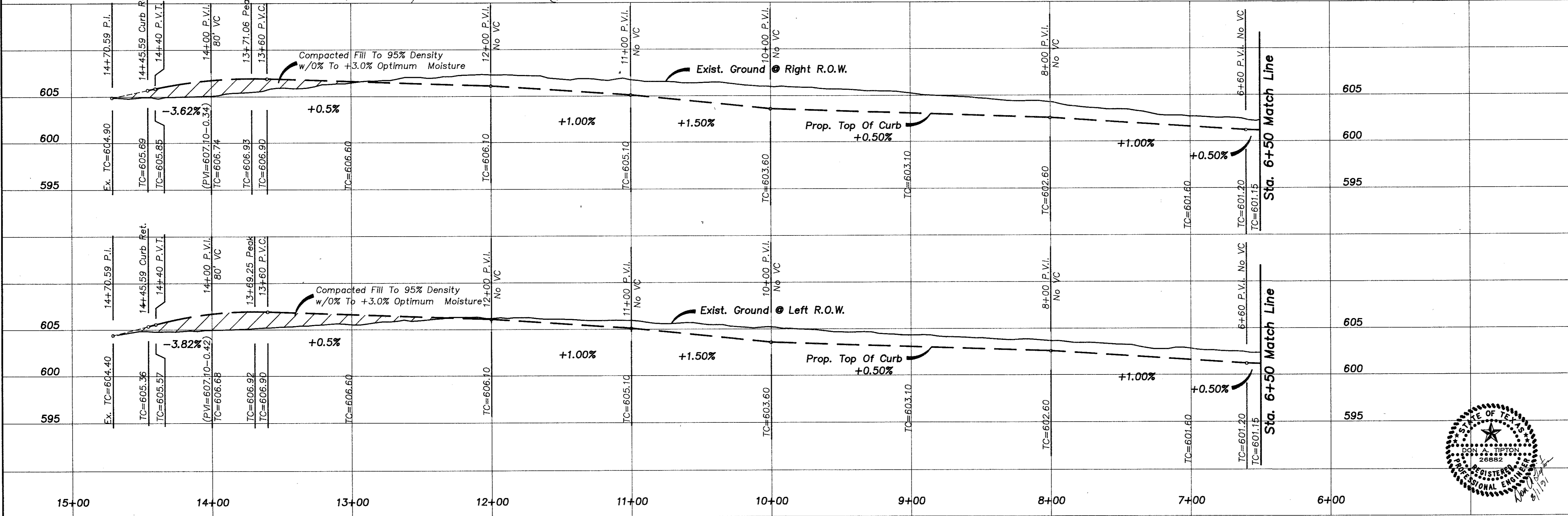
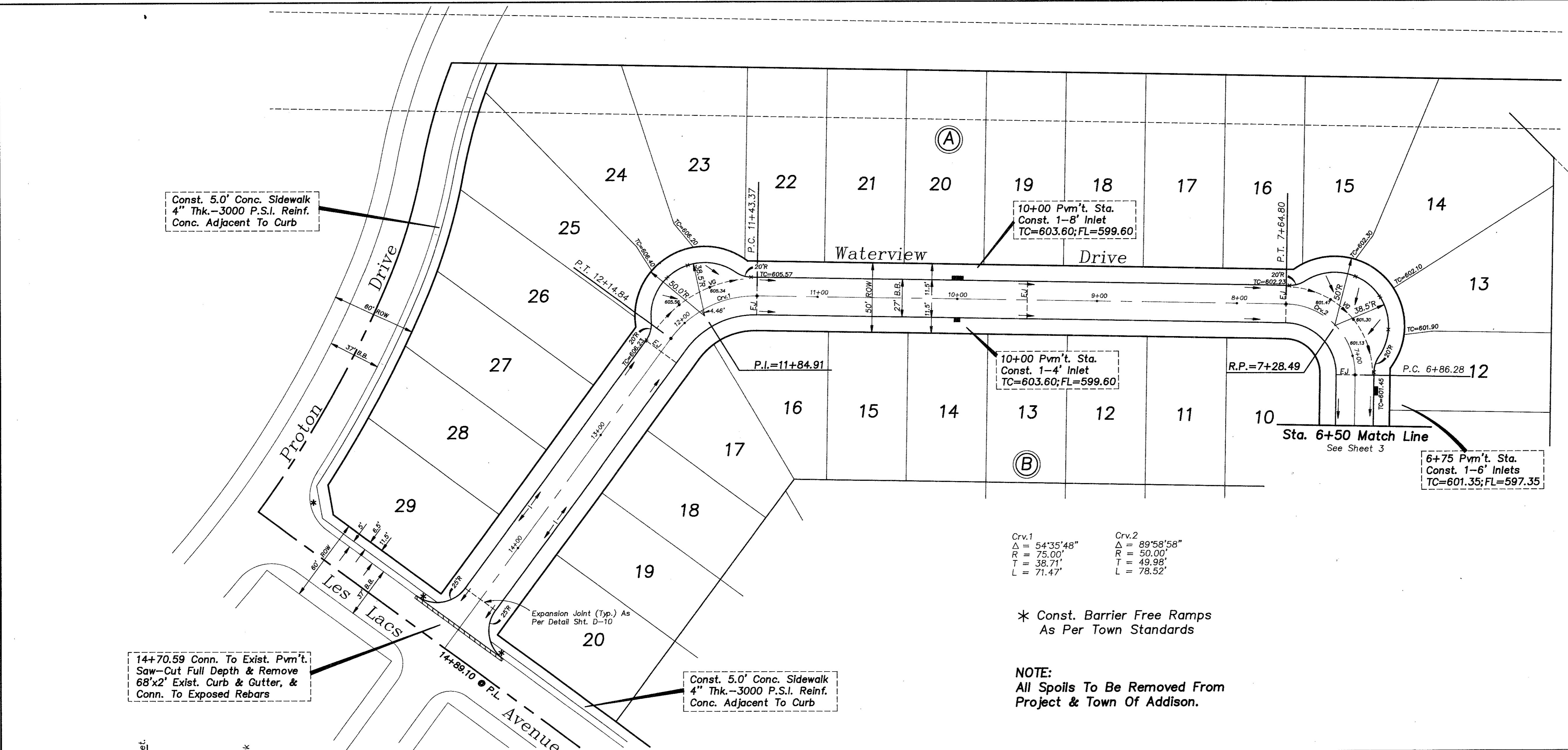
* Const. Barrier Free Ramps
As Per Town Standards

NOTE:
All Spoils To Be Removed From
Project & Town Of Addison.

CAUTION !!!
EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT.
TU ELECTRIC COMPANY 323-8928
LONE STAR GAS COMPANY 487-3885
SOUTHWESTERN BELL TELEPHONE 464-4095
STORER CABLE 840-2388



Bench Mark 1	"d" Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46
Bench Mark 2	"d" Top of curb South side of Proton Drive, 400' East of Les Lacs Ave. Elev. 611.31(Set)
Bench Mark 3	"d" Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08

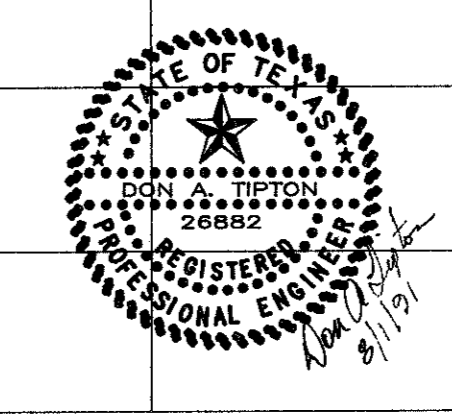
"As-Built Plans"
1-31-92

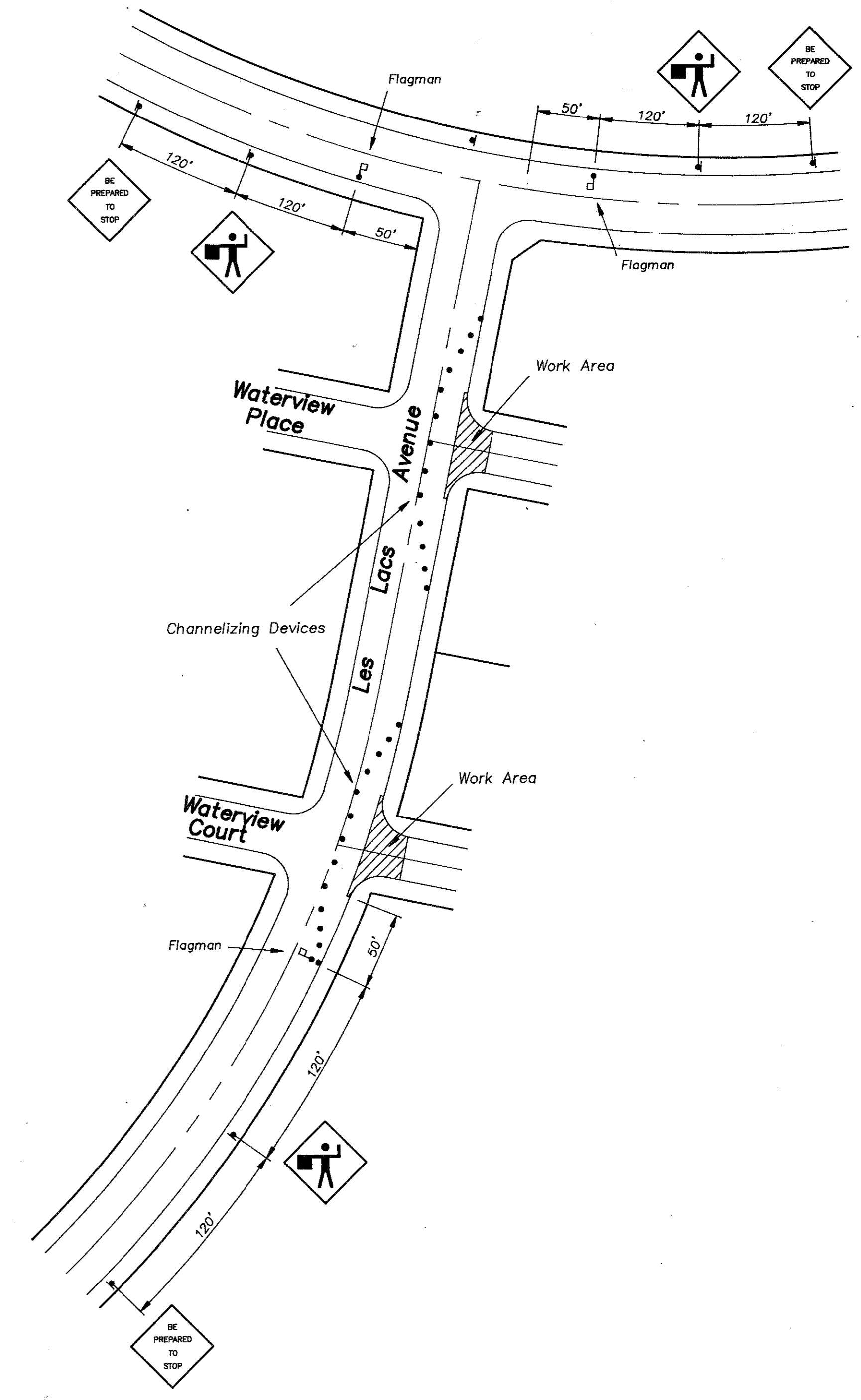
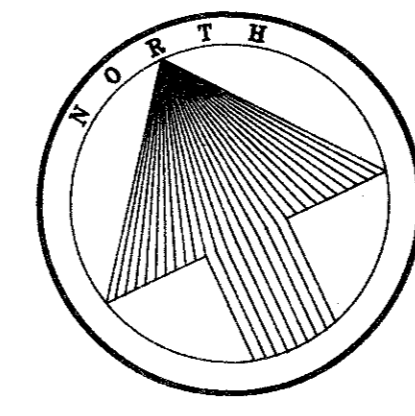
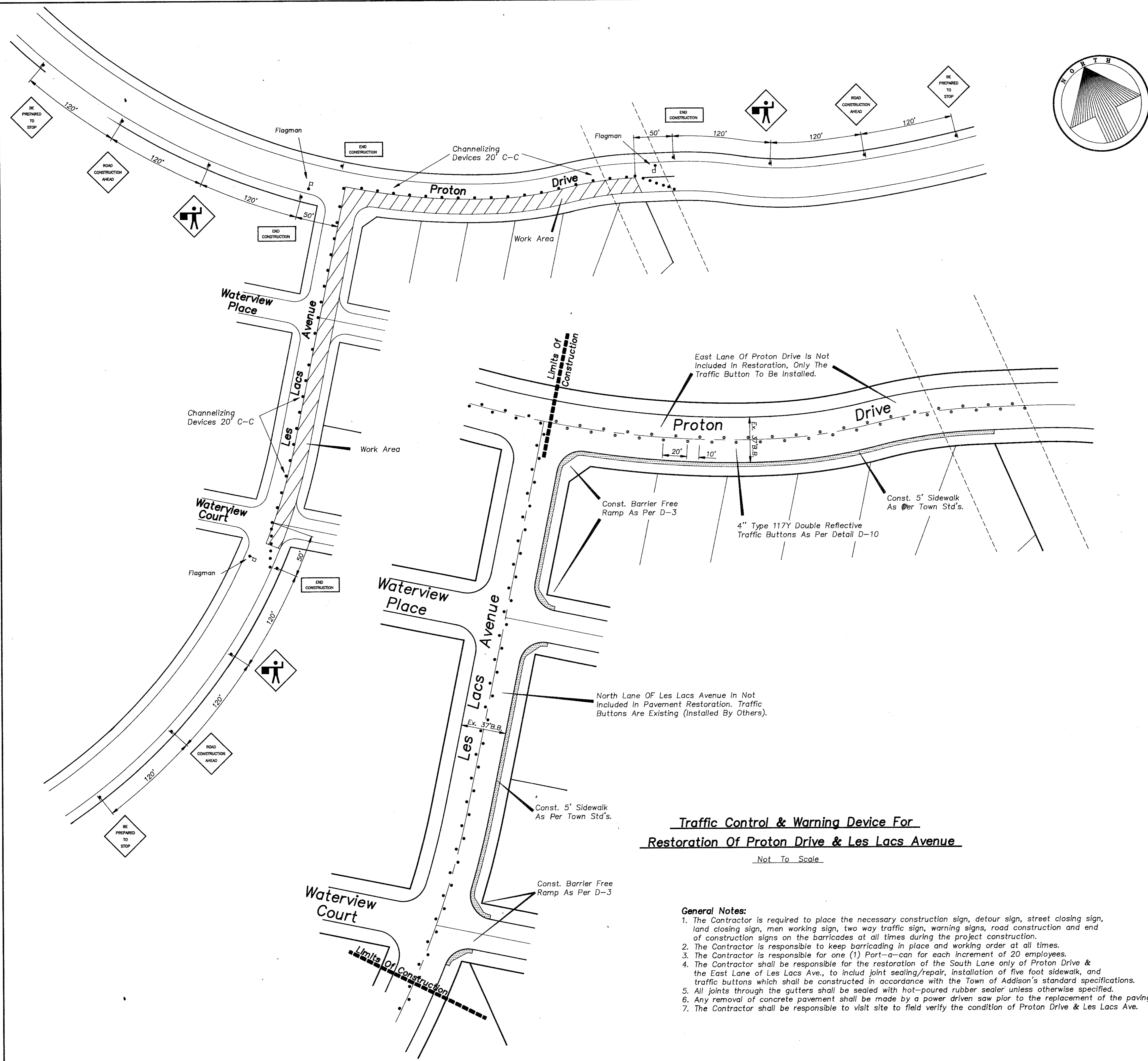
PAVING PLAN
WATERVIEW ESTATES
Town Of Addison, Texas

DON A. TIPTON, INC. CONSULTING ENGINEERS

6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t.	j.m.r.	8/91	1"=40'H 1"=6"V		Waterview Estates 3626	4





Traffic Control For Street Installations
Not To Scale

Traffic Control & Warning Device For Restoration Of Proton Drive & Les Lacs Avenue
Not To Scale

- General Notes:**
1. The Contractor is required to place the necessary construction sign, detour sign, street closing sign, land closing sign, men working sign, two way traffic sign, warning signs, road construction and end of construction signs on the barricades at all times during the project construction.
 2. The Contractor is responsible to keep barricading in place and working order at all times.
 3. The Contractor is responsible for one (1) Port-a-can for each increment of 20 employees.
 4. The Contractor shall be responsible for the restoration of the South Lane only of Proton Drive & the East Lane of Les Lacs Ave., to include joint sealing/repair, installation of five foot sidewalk, and traffic buttons which shall be constructed in accordance with the Town of Addison's standard specifications.
 5. All joints through the gutters shall be sealed with hot-poured rubber sealer unless otherwise specified.
 6. Any removal of concrete pavement shall be made by a power driven saw prior to the replacement of the paving.
 7. The Contractor shall be responsible to visit site to field verify the condition of Proton Drive & Les Lacs Ave.

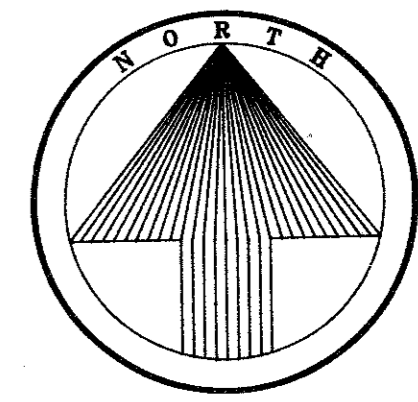


"As-Built Plans"
1-31-92

STREET RESTORATION PLAN						
WATERVIEW ESTATES						
Town Of Addison , Texas						
		DON A. TIPTON, INC. CONSULTING ENGINEERS				
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
D.A.T.	J.M.R.	7/91	1"=60'		Waterview Estates 3626	4A

Storm Sewer Curve Data

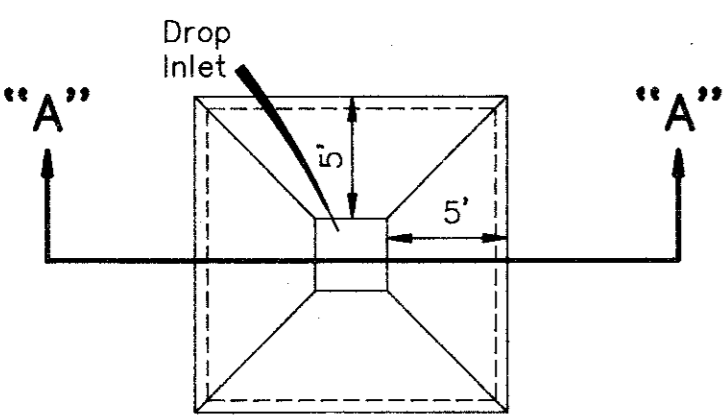
Cr. 1	Cr. 2	Cr. 3	Cr. 4
$\Delta = 40^{\circ}57'41"$	$\Delta = 14^{\circ}18'00"$	$\Delta = 89^{\circ}58'44"$	$\Delta = 38^{\circ}12'45"$
$R = 100.00'$	$R = 100.00'$	$R = 70.00'$	$R = 70.00'$
$T = 37.35'$	$T = 12.54'$	$T = 69.97'$	$T = 24.25'$
$L = 71.49'$	$L = 24.96'$	$L = 109.93'$	$L = 46.69'$



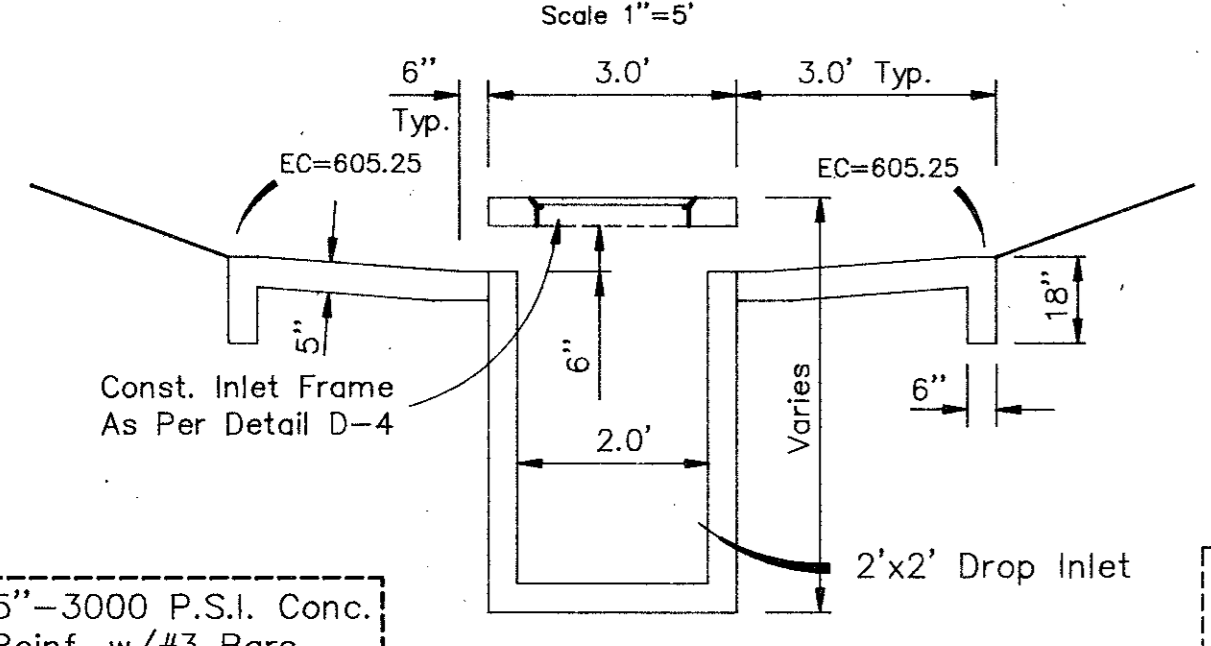
**CAUTION !!!
EXISTING UTILITIES**

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WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT.
TU ELECTRIC COMPANY 323-8928
LONE STAR GAS COMPANY 487-3885
SOUTHWESTERN BELL TELEPHONE 484-4095
STORERR CABLE 840-2388

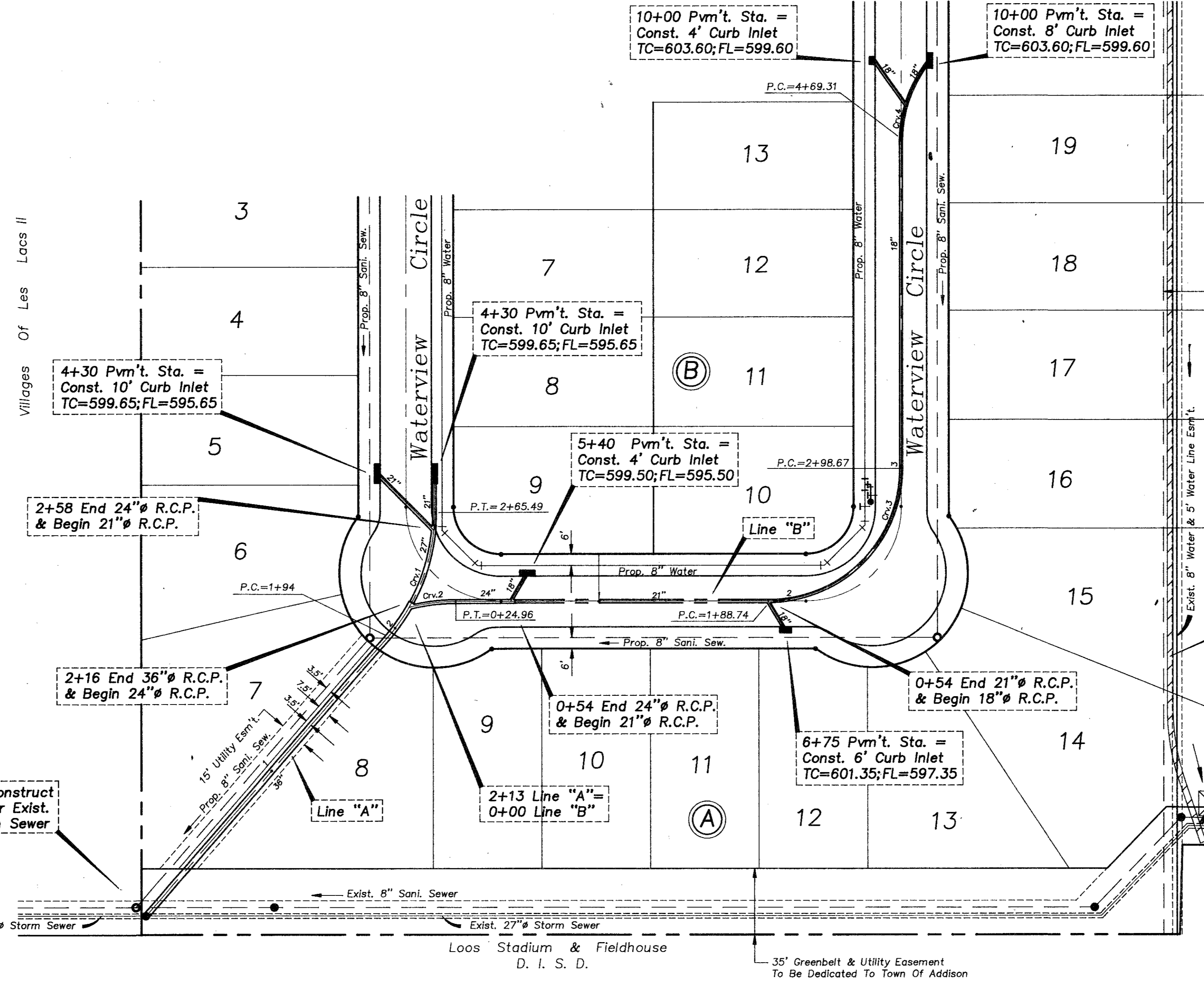


PLAN VIEW
Scale 1"=5'



SECTION "A-A"
No Scale

CONCRETE APRON DETAIL

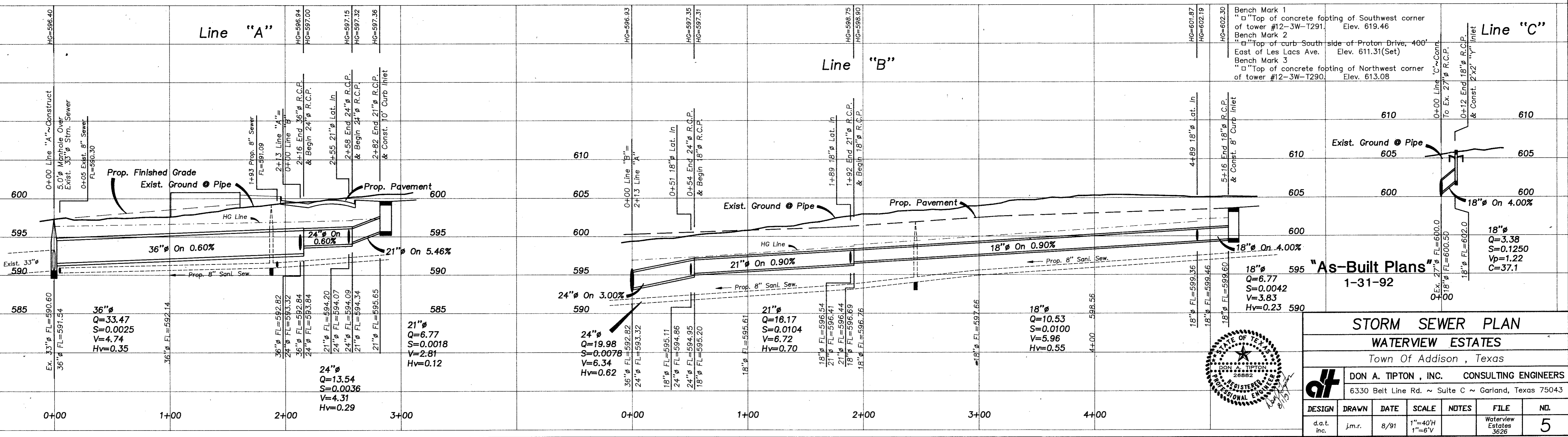


Construct Berm To Allow Drainage To Flow Into Proposed Drop Inlet See Sheet 2 For Detail

Construct 2'x 2' Drop Inlet With Concrete Apron~See Detail "A" Top=606.0; Lip=605.0; FL=602.0

Note:
Storm Sewer System Designed To Carry "Q100" Runoff - All "Q" Shown On The Plans Equals "Q100" Runoffs.

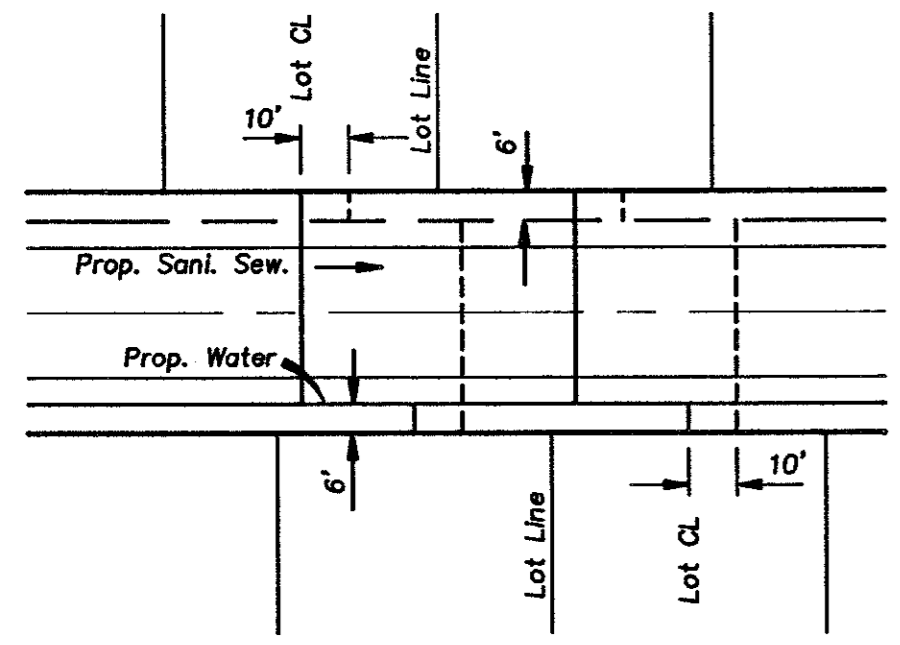
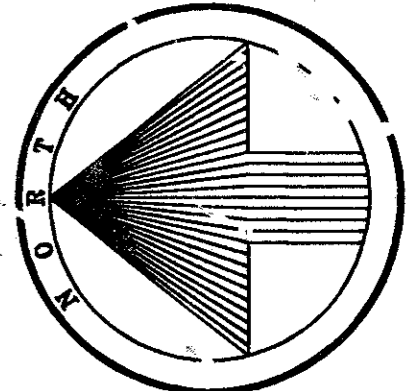
0+00 Line "C"~Connect to Existing 27" R.C.P. Storm Sewer Pipe



STORM SEWER PLAN
WATERVIEW ESTATES
Town Of Addison, Texas

DON A. TIPTON, INC. CONSULTING ENGINEERS
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

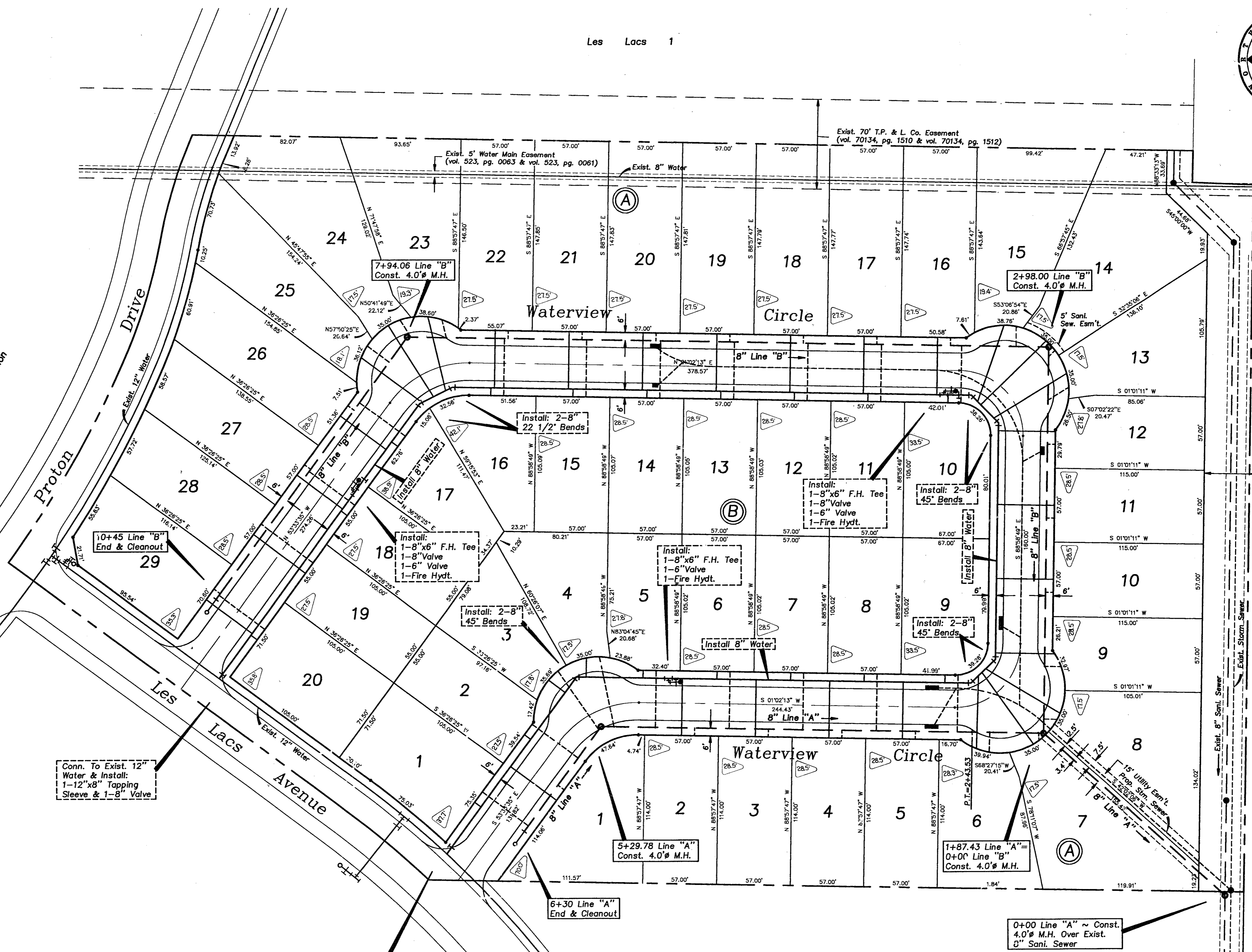
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t.	j.m.r.	8/91	1"=40'H 1"=6'V		Waterview Estates 3626	5



All water services to be installed in the center of each lot. All services to be 1/4". All sanit. sewer laterals to be installed 10' downstream of water services. All laterals to be 4".

Typical Service Detail

Waterford Addition



35' Greenbelt & Utility Easement To Be Dedicated To Town Of Addison
Loos Stadium & Fieldhouse
D. I. S. D.

CAUTION !!!
EXISTING UTILITIES

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TU ELECTRIC COMPANY 323-8928
LONG STAR GAS COMPANY 487-3885
SOUTHWESTERN BELL TELEPHONE 464-4095
STORER CABLE 840-2388

"As-Built Notes"

1. \triangle Denotes distance & direction from lot corner to water services.
2. All sanitary sewer laterals are located 10' downstream from water services.

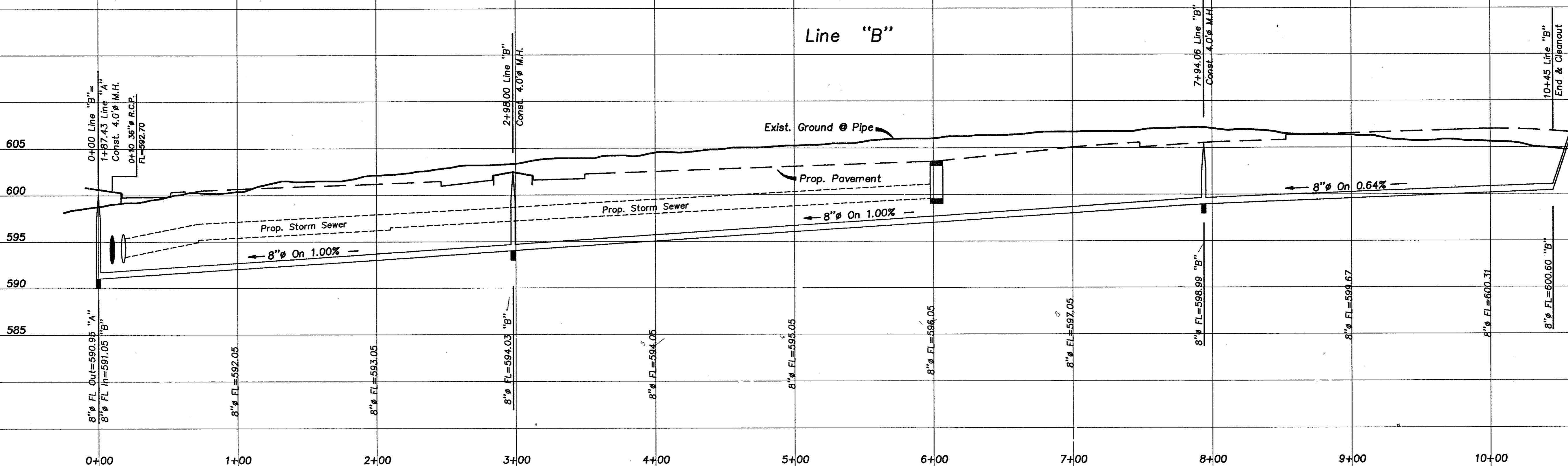
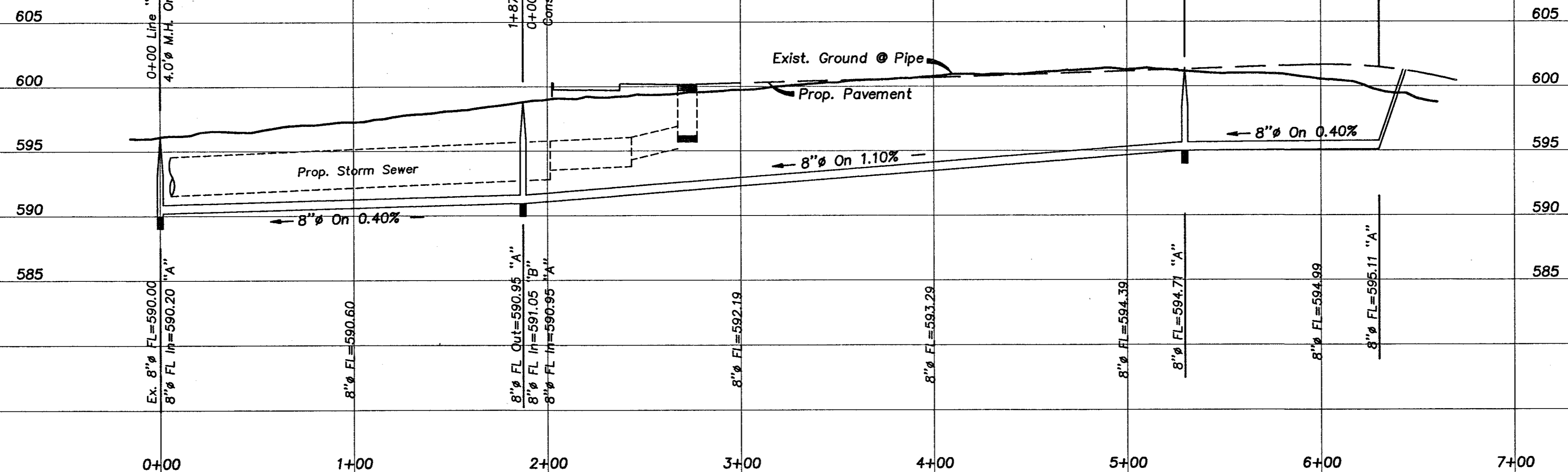
Villages Of Les Lacs II

TRENCH SAFETY PLANS & SPEC'S TO BE FURNISHED BY UTILITY CONT. PRIOR TO CONSTRUCTION

"As-Built Plans"
1-31-92

WATER & SEWER PLAN						
WATERVIEW ESTATES						
Town. Of Addison , Texas						
		DON A. TIPTON, INC. CONSULTING ENGINEERS				
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t. inc.	j.t.r.	8/91	1"=40'	Waterview Estates 3628		6





CAUTION !!!
EXISTING UTILITIES

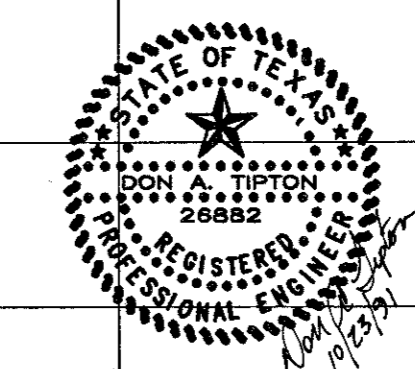
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WE ARE AWARE OF THESE FACILITIES LOCATED IN THE PROXIMITY TO THIS PROJECT.
TU ELECTRIC COMPANY | 323-8923
LONE STAR GAS COMPANY | 487-3885
SOUTHWESTERN BELL TELEPHONE | 464-4095
STOREP CABLE | 840-2388

- Bench Mark 1
"Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46
- Bench Mark 2
"Top of curb South side of Proton Drive, 400 East of Les Lacs Ave. Elev. 611.31(Set)
- Bench Mark 3
"Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08

NOTE:
TRENCH SAFETY PLANS & SPECIFICATIONS TO BE FURNISHED BY UTILITY CONTRACTOR PRIOR TO UTILITY CONSTRUCTION.

TRENCH SAFETY REQUIRED ON ALL SANITARY SEWER MAINS & ON ALL STORM SEWER MAINS OVER 5' DEEP FROM PROPOSED GRADE.



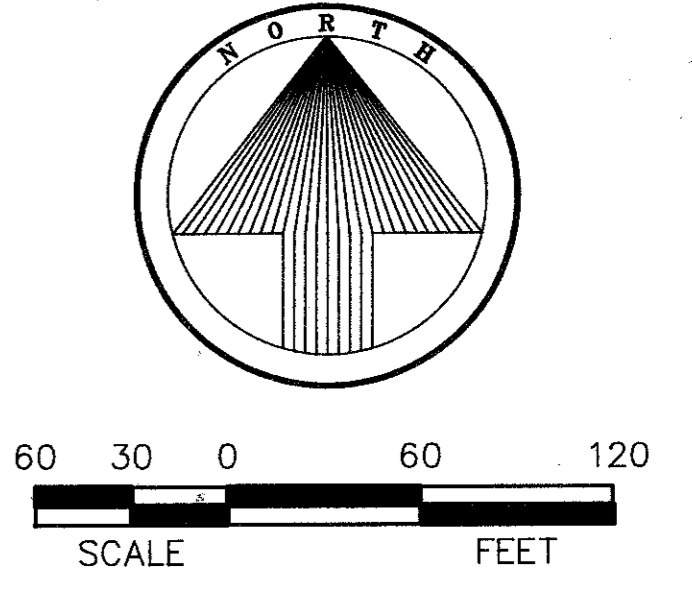
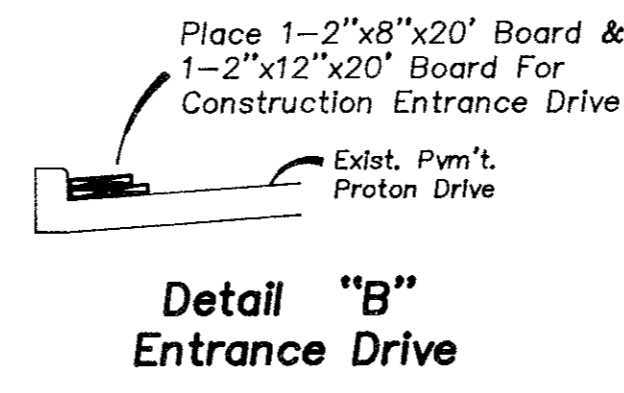
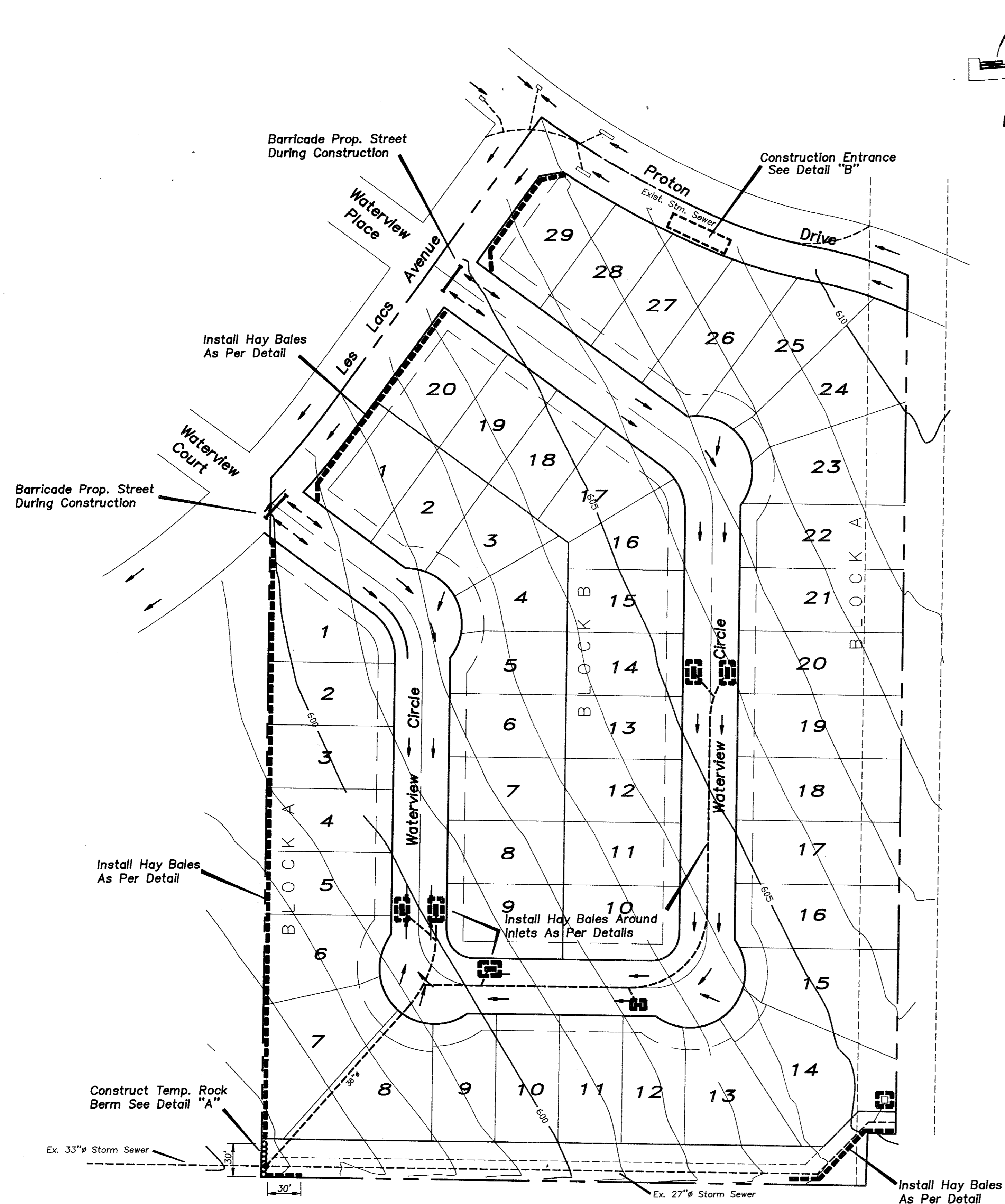
"As-Built Plans"
1-31-92

SANI. SEWER PROFILES
WATERVIEW ESTATES

Town Of Addison, Texas

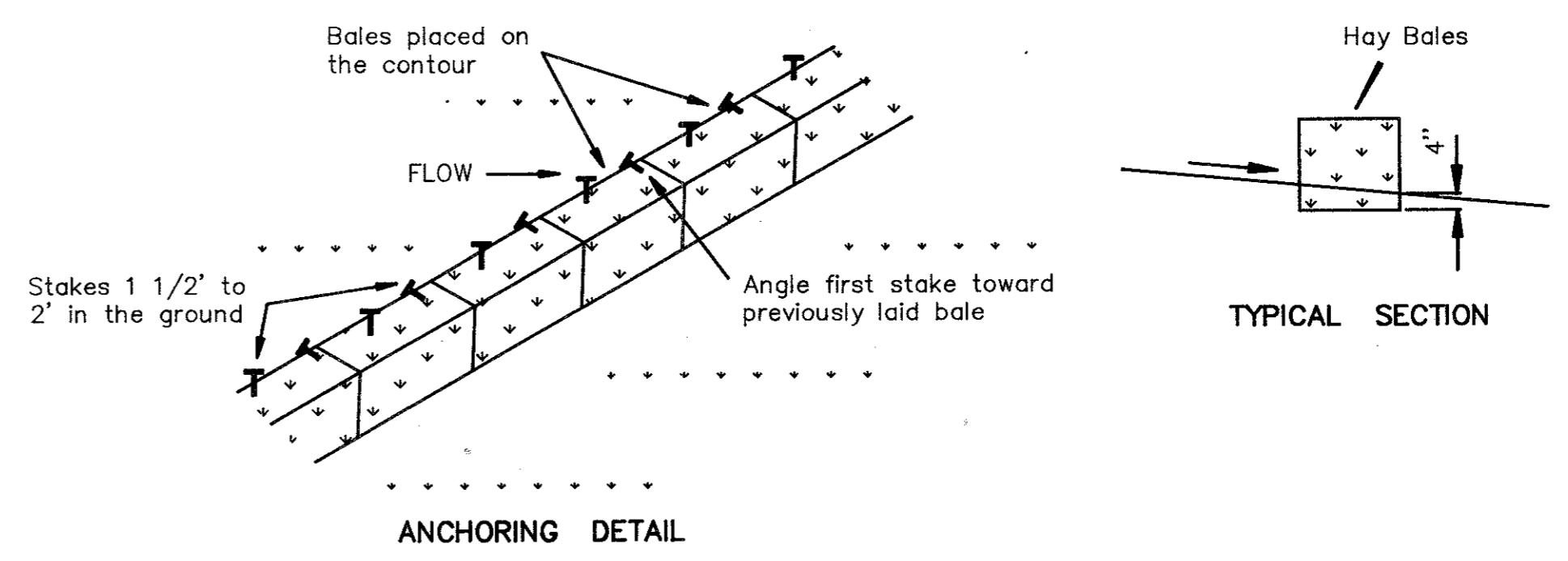
don DON A. TIPTON, INC. CONSULTING ENGINEERS
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t. inc.	j.m.r.	8/91	1"=40'H 1"=6'V		Waterview Estates 3626	7

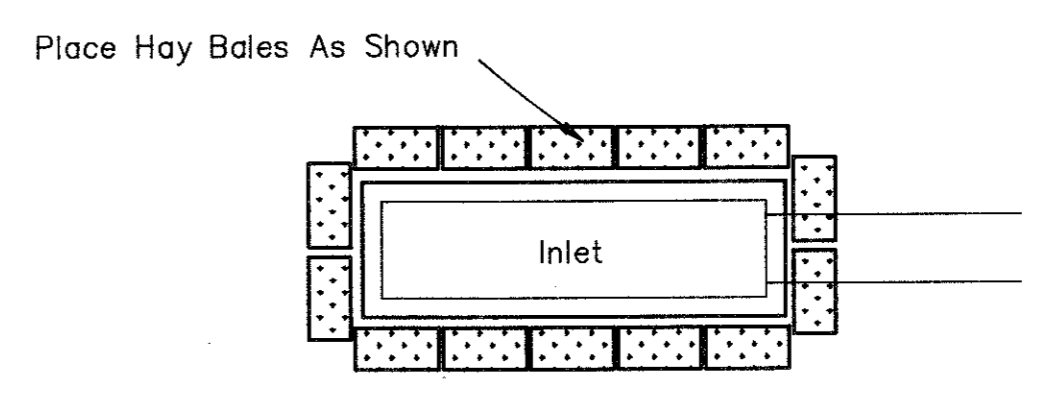


- General Notes:
- Contractors Are Responsible For Keeping The Existing Pavement Of Proton Drive & Les Lacs Ave. Clean During Construction.
 - Greenbelt Area To Be Restored To Original Condition Or Better If Disturbed By Construction.

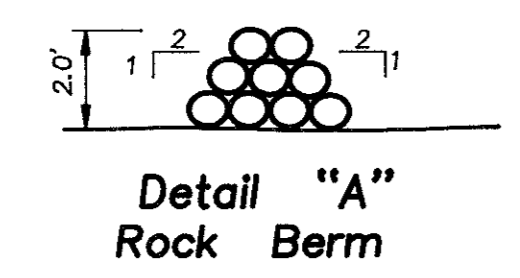
- CONSTRUCTION NOTES:
- Hay bales shall be installed a minimum of 4" into the ground.
 - Contractor will install additional erosion control where erosion protection is needed as per the owners engineers, or the Town of Addison inspector.
 - The existing vegetation along existing parkways and medians shall be replaced to its original condition or better.
 - All drainage swales shall be grassed as per Town Standards, prior to the City acceptance of project.
 - All construction erosion control shall meet Town of Addisons Ordinance.
 - Install grass in all new parkway as per Town Standards.



TYPICAL HAY BALE PLACEMENT
Not To Scale



TYPICAL HAY BALE PLACEMENT AROUND INLETS
Not To Scale



- Bench Mark 1
"□" Top of concrete footing of Southwest corner of tower #12-3W-T291. Elev. 619.46
- Bench Mark 2
"□" Top of curb South side of Proton Drive, 400' East of Les Lacs Ave. Elev. 611.31(Set)
- Bench Mark 3
"□" Top of concrete footing of Northwest corner of tower #12-3W-T290. Elev. 613.08

"As-Built Plans"
1-31-92



EROSION CONTROL						
WATERVIEW ESTATES						
Town Of Addison, Texas						
don DON A. TIPTON, INC. CONSULTING ENGINEERS						
6330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
d.a.t. inc.	d.a.t. inc.	7/91	1"=60'	d.b.	Waterview Estates 3626	8