

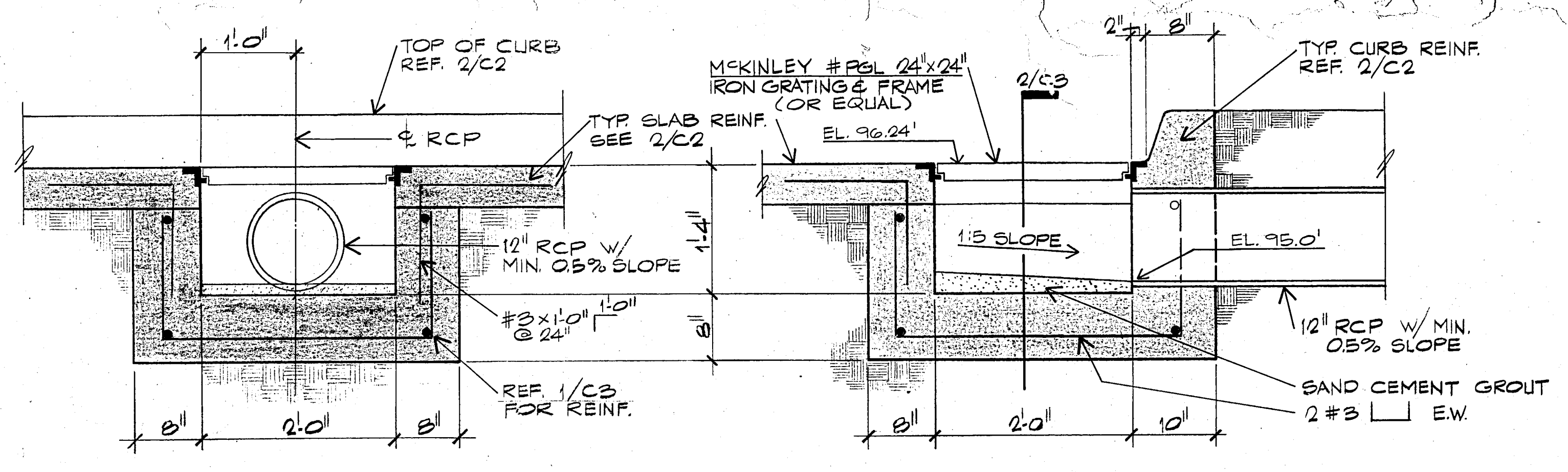
- SITE PREPARATION NOTES**
1. STRIP THE SITE OF ALL GRASS AND RETAIN THE STRIPPINGS FOR USE IN THE CONSTRUCTION OF LANDSCAPE BERMS.
 2. DISPOSE OF ALL OTHER ORGANIC AND DELETERIOUS MATERIALS.
 3. ANY FILL REQUIRED FOR STREETS AND BUILDING PADS MAY BE UTILIZED FROM ON-SITE MATERIAL.
 4. ALL FILL SHALL BE PLACED IN STRICT ACCORDANCE WITH RECOMMENDATIONS AS NOTED IN THE SOIL REPORT.
 5. ANY ADDITIONAL FILL MATERIAL REQUIRED SHALL BE STABLE AND INERT AND HAVE A PLASTICITY INDEX LESS THAN 20.
 6. ANY ADDITIONAL FILL MATERIAL SHALL HAVE AN ESTABLISHED PROCTOR TEST AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THAT TEST.

LEGEND:

100	EXISTING CONTOURS
100	FINISH CONTOURS
992.57	FINISH SPOT ELEVATION
[Symbol]	CONC. DRIVE & PARKING AREAS

- NOTES:**
1. SPOT ELEVATIONS @ CONCRETE DRIVEWAYS ARE GENERALLY AT THE BASE OF CURBS AND @ CENTER LINE OF DRIVES.
 2. BERMS SHOWN WITH SOLID CONTOUR LINES FOR ESTIMATION PURPOSES ONLY. FINAL LOCATION, CONFIGURATION AND HEIGHT TO BE VERIFIED WITH LANDSCAPE ARCHITECT.
 3. ANY DISCREPANCIES BETWEEN ELEVATIONS SHOWN ON THIS DRAWING AND THOSE ACTUALLY ENCOUNTERED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER OF RECORD.
 4. ARROWS SHOWN ON GROUND INDICATE DIRECTION OF FLOW OF WATER IN PROPOSED DRAINAGE CHANNEL BETWEEN CONSECUTIVE SPOT GRADING ELEVATIONS.

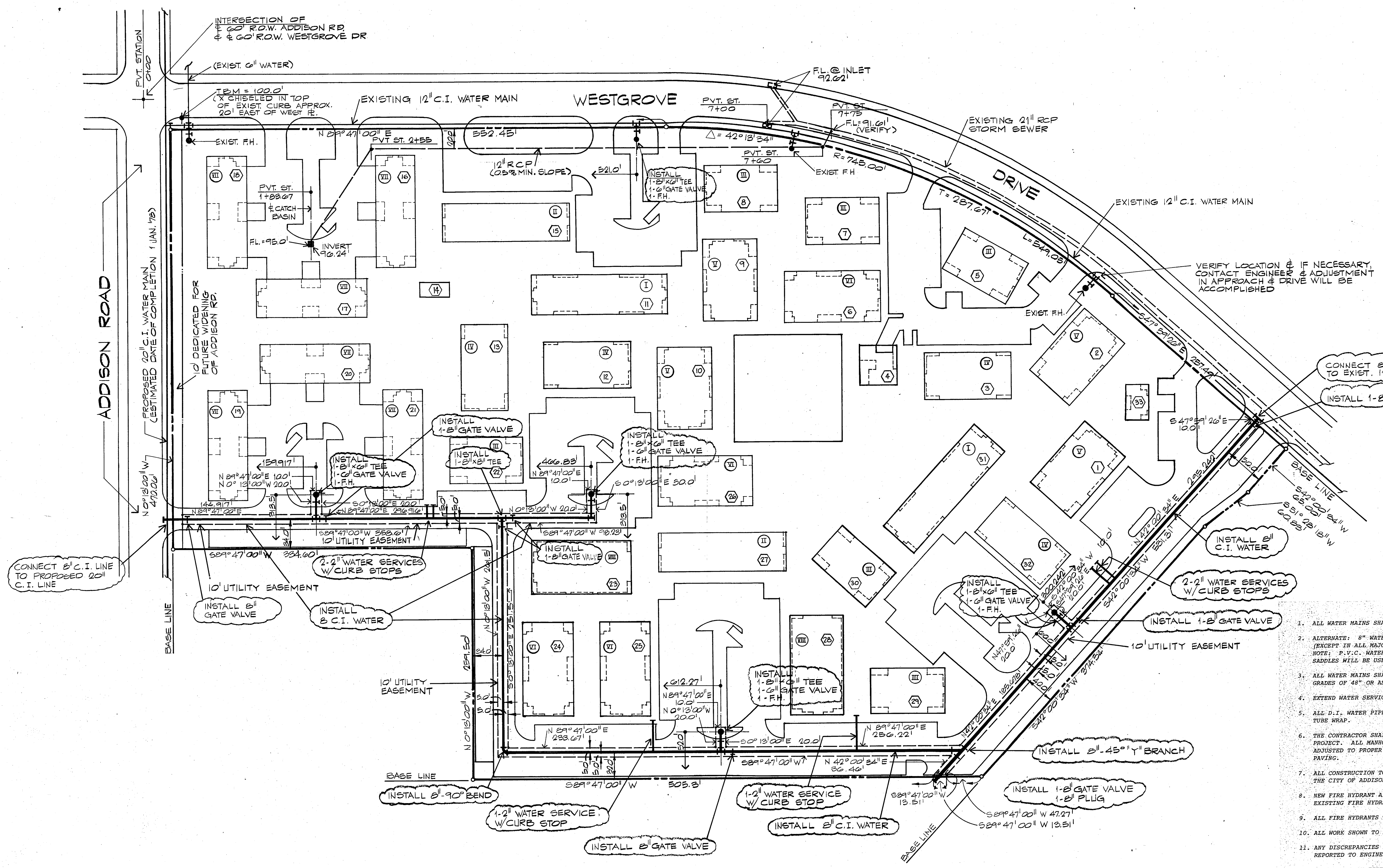
SITE GRADING & DRAINAGE PLAN
SCALE: 1/8" = 1'-0"



CATCH BASIN SECTION
SCALE: 1"=1'-0"

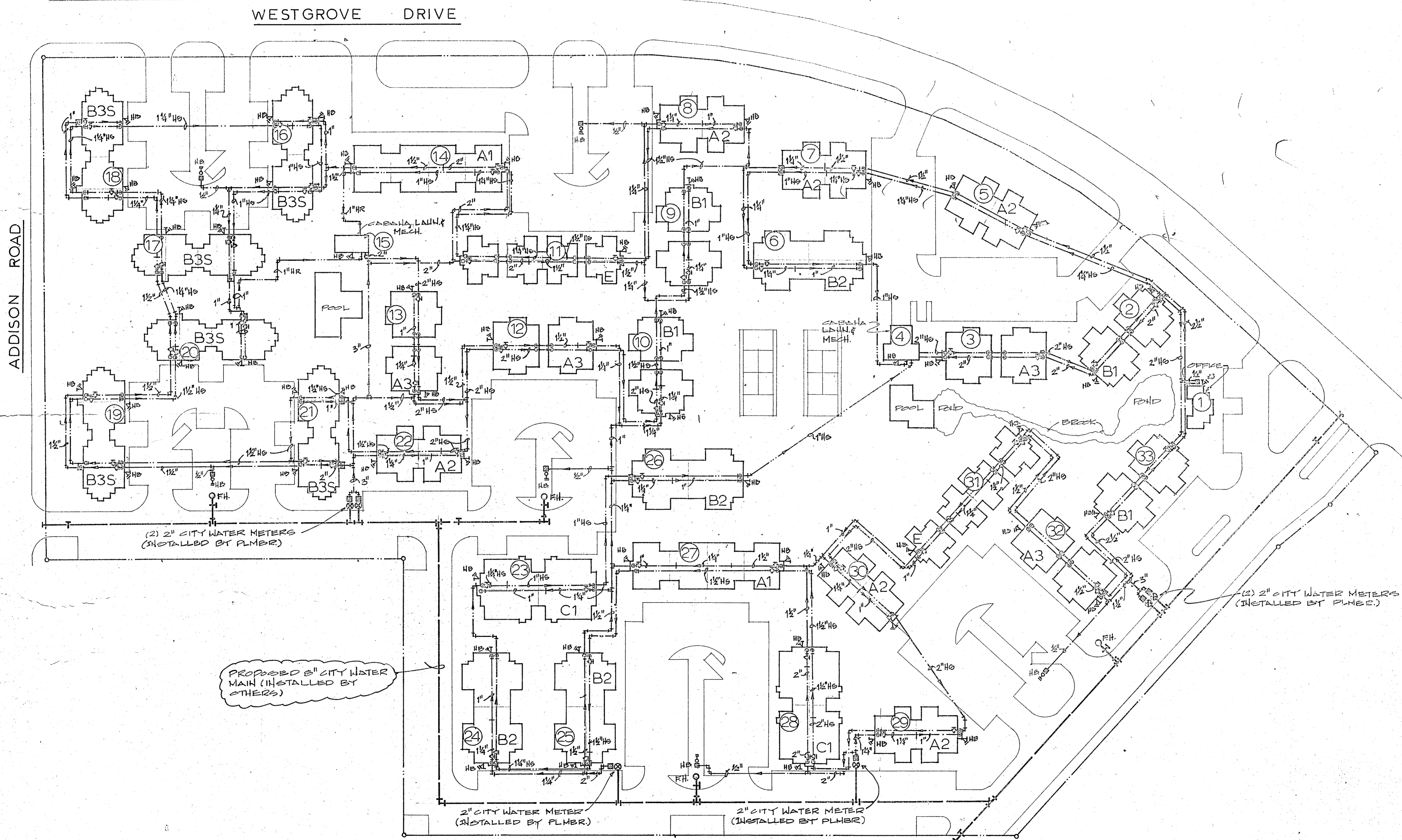
CATCH BASIN DETAIL
SCALE: 1"=1'-0"

LEGEND	
	PROPERTY LINE
	UTILITY EASEMENT
	EXISTING WATER
	PROPOSED WATER
	FIRE HYDRANT
	VALVE
	STORM SEWER
	RCP

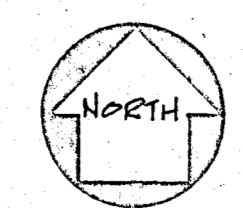


- GENERAL NOTES**
- ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 51 WATER PIPE.
 - ALTERNATE: 8" WATER MAINS SHALL BE PVC CLASS 200 WATER PIPE. (EXCEPT IN ALL MAJOR, SECONDARY THROUGHPIES, & FILL AREAS) NOTE: P.V.C. WATER PIPE - OR SERVICES 1" AND LARGER TAPPING SADDLES WILL BE USED.
 - ALL WATER MAINS SHALL HAVE A MINIMUM COVER BELOW FINISHED GRADES OF 48" OR AS REQUIRED TO CLEAR OTHER UTILITIES.
 - EXTEND WATER SERVICES 2' BEYOND PROPOSED CURBS.
 - ALL D.I. WATER PIPE SHALL HAVE 8 MIL. THICKNESS POLYETHYLENE TUBE WRAP.
 - THE CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL HANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR AFTER PLACING OF PERMANENT PAVING.
 - ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF THE CITY OF ADDISON.
 - NEW FIRE HYDRANT ALONG WESTGROVE TO BE SET SAME DISTANCE FROM BACK OF CURB AS EXISTING FIRE HYDRANTS.
 - ALL FIRE HYDRANTS TO BE MULLER "CENTURION" MODEL, PAT. NO. 398-0096.
 - ALL WORK SHOWN TO BE INSTALLED BY UTILITIES CONTRACTOR.
 - ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL ON SITE CONDITIONS SHALL BE REPORTED TO ENGINEER OF RECORD.
 - DIMENSIONS ON FIRE HYDRANTS TO BASE LINES AS INDICATED BY DIRECTION OF ARROWHEAD.
 - LOCATION OF 2" WATER SERVICES SHOWN ON PLAN TO BE VERIFIED WITH PLUMBING CONTRACTOR AND ADEQUATELY MARKED FOR FUTURE LOCATING.

WATER MAIN & STORM SEWER PLAN
SCALE: 1"=50'



SYMBOL	DESCRIPTION
CS	CITY SANITARY SEWER MAIN
CS	CITY WATER MAIN
CS	CITY WATER MAIN
SS	SANITARY SEWER PIPE
SS	SANITARY SEWER VENT PIPE
CS	COLD WATER SUPPLY PIPE
CS	HOT WATER SUPPLY PIPE
CS	HOT WATER RETURN PIPE
VS	VALVE ROOM VALVE
DC	DOUBLE CHECK SYSTEM 5/8 IN. NOD
GS	GAS MAIN-HIGH PRESSURE HIGH OPTIMUM
GS	GAS SUPPLY PIPE-HIGH PRESSURE 3/8 IN
GS	GAS SUPPLY PIPE-LOW PRESSURE 1/2 IN
GS	GAS METER AND REGULATOR
GS	GAS REGULATOR
GS	GAS STOP
GS	GATE VALVE
GS	CHECK VALVE
GS	GLOBE VALVE
GS	ONE WAY SANITARY SEWER CLEAN-OUT
GS	TWO WAY SANITARY SEWER CLEAN-OUT
WC	WALL CLEAN-OUT
FD	FLOOR DRAIN
SD	SOFF DRAIN
AD	AREA DRAIN
HF	FROST PROOF HOSE NIP
FP	TEMP PRESS AND RELIEF VALVE
NOTE: ALL SYMBOLS SHOWN MAY NOT NECESSARILY BE USED	



PLUMBING SITE PLAN
SCALE: 1" = 30'-0"

PLUMBING SITE PLAN BENT TREE BROOK 4820 WESTGROVE DR.		Job No. 508
Tempo Mechanical A Texas Distributors Inc. Company 2252 Wisconsin St. Dallas Texas 75229 Phone 214-241-9475		Date 1-30-78 Dwn By G.M. Cld By Scale: 1/2" = 30'-0" Dwg No. 2 of 6

STATE OF TEXAS
COUNTY OF DALLAS

WHEREAS, FOLSOM INVESTMENTS, INC., is the owner of a tract of land situated in the William Lomax Survey, Abstract No. 792 in the City of Addison, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the east line of Addison Road (a 60 foot right-of-way) with the south line of Westgrove Drive (a 60 foot right-of-way);
THENCE along the said south line of Westgrove Drive the following courses and distances: N. 89° 47' 00" E., 552.45 feet to the beginning of a curve to the right having a central angle of 42° 13' 34" and a radius of 745.00 feet; Thence S. 47° 59' 26" E., 257.49 feet to a point for corner;
THENCE leaving the southwesterly line of said Westgrove Drive, S. 42° 00' 34" W., 65.00 feet to a point for corner;
THENCE S. 51° 28' 18" W., 60.83 feet to a point for corner;
THENCE S. 42° 00' 34" W., 374.54 feet to a point for corner;
THENCE S. 89° 47' 00" W., 566.08 feet to a point for corner;
THENCE N. 0° 13' 00" W., 259.50 feet to a point for corner;
THENCE S. 89° 47' 00" W., 334.60 feet to a point for corner on the said east line of Addison Road;
THENCE N. 0° 13' 00" W., 470.06 feet along the said east line of Addison Road to the Point of Beginning and containing 15.450 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT FOLSOM INVESTMENTS, INC., acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as BENT TREE BROOK, an addition to the City of Addison, Texas, and does hereby dedicate to the public use forever the streets, alleys and public use areas shown thereon. The easements, as shown are hereby reserved for the purposes as indicated. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the Utility Easements as shown. Said Utility Easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use or using same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, shrubs, trees, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on said Easements and all public utilities shall at all times have the full right of ingress and egress to or from and upon said Easement for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Addison, Texas.

Witness my hand at Dallas, Texas, this the 15th day of December A.D., 1977.

FOLSOM INVESTMENTS, INC.

Larry Sigwalter
LARRY SIGWALTER

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared LARRY SIGWALTER, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of the said FOLSOM INVESTMENTS, INC., a corporation, and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office, this the 15th day of December A.D., 1977.

James Amato
NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF DALLAS

KNOW ALL MEN BY THESE PRESENTS: That I, VICTOR LISSIAK, JR., do hereby certify that I prepared this plat from an actual and accurate survey of the land in accordance with the platting rules and regulations of the City of Addison, Texas.

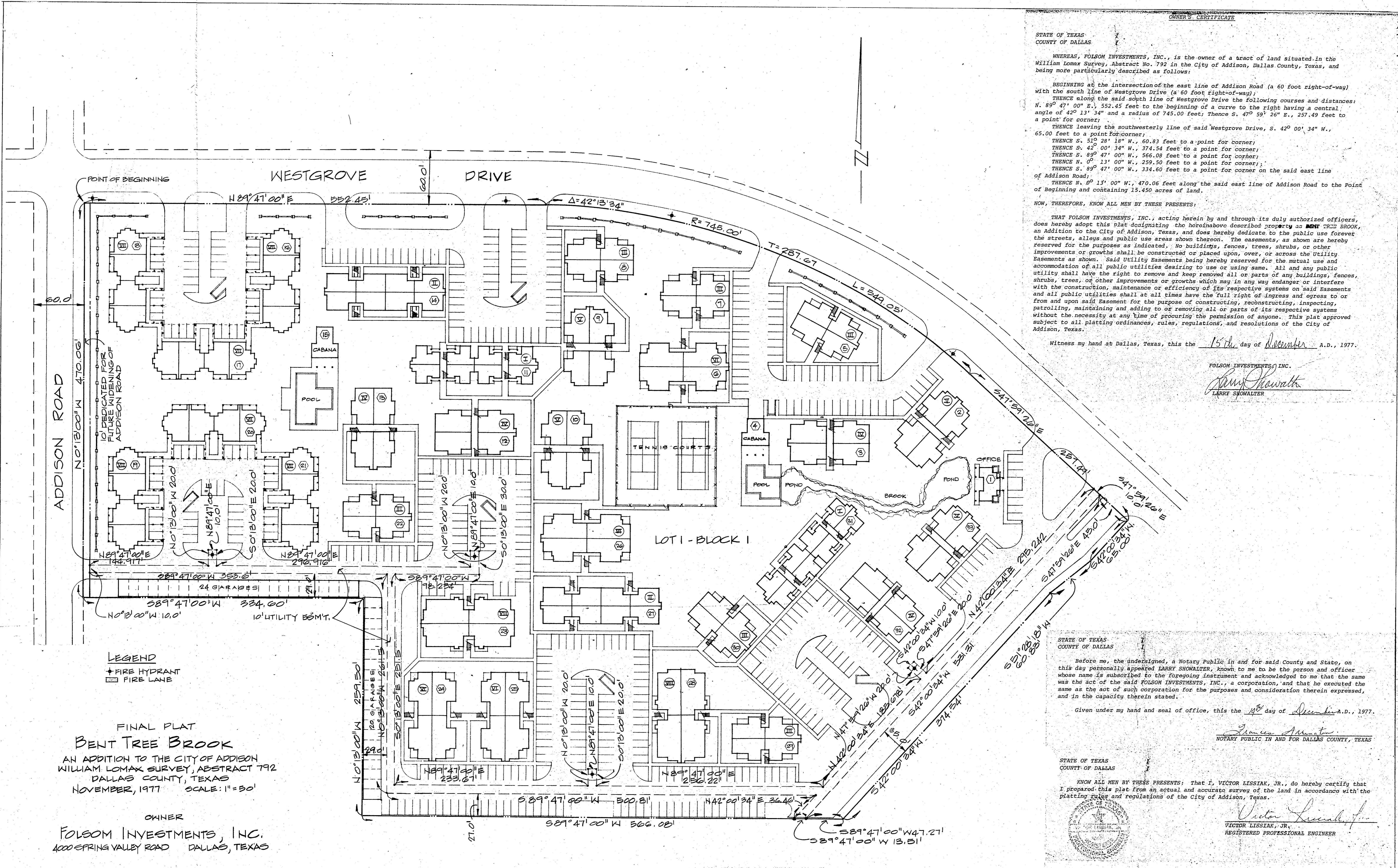
Victor Lissiak, Jr.
VICTOR LISSIAK, JR.
REGISTERED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared VICTOR LISSIAK, JR., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office, this the 14th day of December A.D., 1977.

James Amato
Notary Public in and for Dallas County, Texas



LEGEND
◆ FIRE HYDRANT
▭ FIRE LANE

FINAL PLAT
BENT TREE BROOK
AN ADDITION TO THE CITY OF ADDISON
WILLIAM LOMAX SURVEY, ABSTRACT 792
DALLAS COUNTY, TEXAS
NOVEMBER, 1977 SCALE: 1" = 50'

OWNER
FOLSOM INVESTMENTS, INC.
4000 SPRING VALLEY ROAD DALLAS, TEXAS

Victor Lissiak, Jr. & Co. INC.
CONSULTING ENGINEER
4500 BELTLINE ROAD SUITE 400
DALLAS, TEXAS 214-661-8187

CERTIFICATE OF APPROVAL

APPROVED this the ___ day of ___, A.D., 1977 by the City Council of Addison, Texas.

MAYOR

SECRETARY

STATE OF TEXAS
COUNTY OF DALLAS

WHEREAS, FOLSOM INVESTMENTS, INC., is the owner of a tract of land situated in the William Lomax Survey, Abstract No. 792 in the City of Addison, Dallas County, Texas, and being more particularly described as follows:

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THENCE leaving the southwesterly line of said Westgrove Drive, S. 42° 00' 34" W., 65.00 feet to a point for corner;
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THENCE S. 42° 00' 34" W., 374.54 feet to a point for corner;
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THENCE N. 0° 13' 00" W., 470.06 feet along the said east line of Addison Road to the Point of Beginning and containing 15.450 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT FOLSOM INVESTMENTS, INC., acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as BENT TREE BROOK, an addition to the City of Addison, Texas, and does hereby dedicate to the public use forever the streets, alleys and public use areas shown thereon. The easements, as shown are hereby reserved for the purposes as indicated. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the Utility Easements as shown. Said Utility Easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use or using same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, shrubs, trees, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on said easements and all public utilities shall at all times have the full right of ingress and egress to or from and upon said easement for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Addison, Texas.

Witness my hand at Dallas, Texas, this the 15th day of November A.D., 1977.

FOLSOM INVESTMENTS, INC.

Larry Showalter
LARRY SHOWALTER

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared LARRY SHOWALTER, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office, this the 15th day of November A.D., 1977.

James Amator
NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF DALLAS

KNOW ALL MEN BY THESE PRESENTS: That I, VICTOR LISSIAK, JR., do hereby certify that I prepared this plat from an actual and accurate survey of the land in accordance with the platting rules and regulations of the City of Addison, Texas.

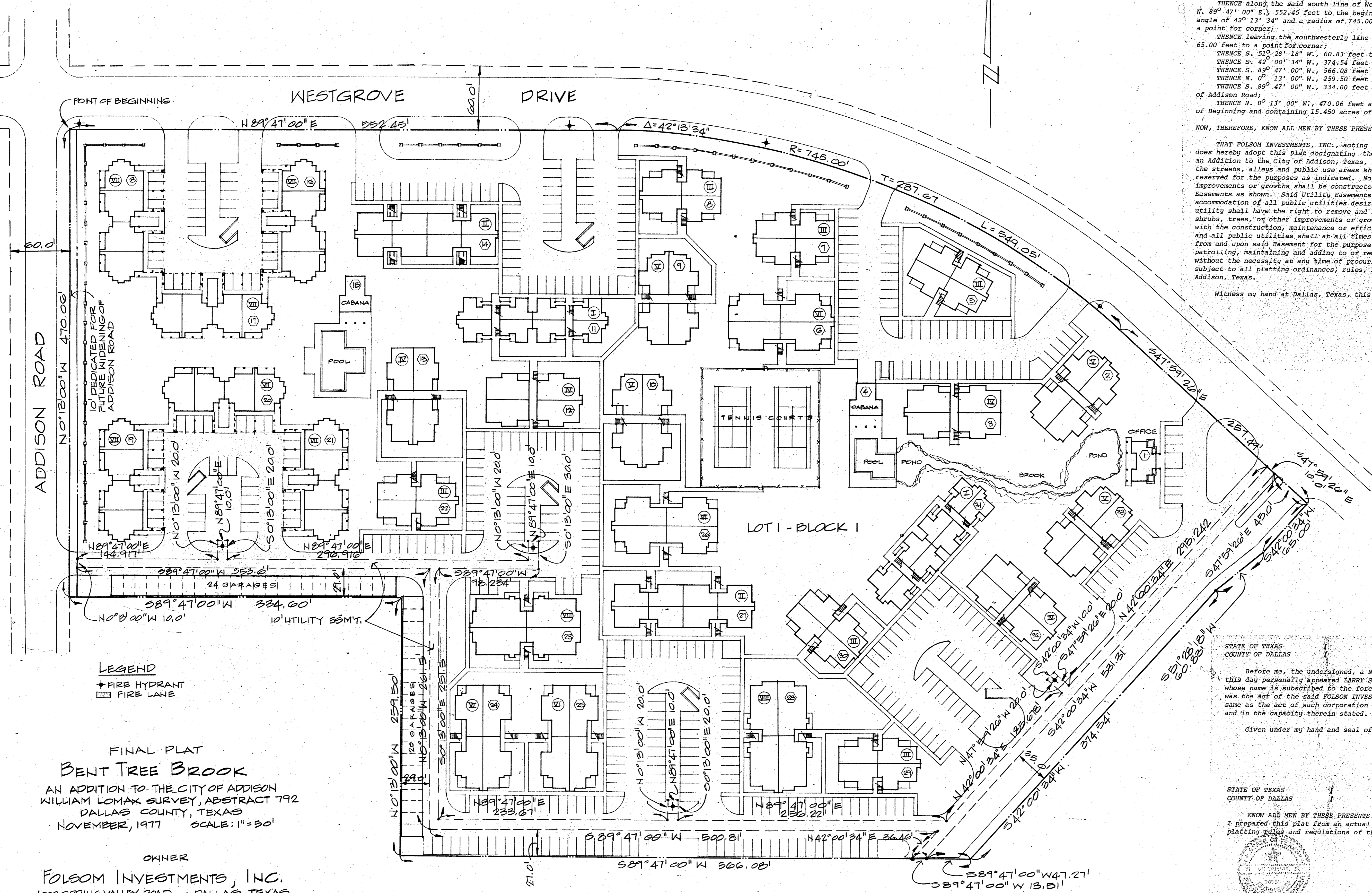
Victor Lissiak, Jr.
VICTOR LISSIAK, JR.
REGISTERED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared VICTOR LISSIAK, JR., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office, this the 15th day of November A.D., 1977.

James Amator
Notary Public in and for Dallas County, Texas



LEGEND
+ FIRE HYDRANT
▭ FIRE LANE

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AN ADDITION TO THE CITY OF ADDISON
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SECRETARY