

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Symbol/Code. Includes items like 3PL (Third Party Logistics), ABS (Acrylonitrile Butadiene Styrene), A/C (Air Conditioning), etc.

CODES

Table listing various codes and their corresponding authority or standard. Includes CODE AUTHORITIES (CITY OF ADDISON, TX), BUILDING CODE (2012 INTERNATIONAL BUILDING CODE), PLUMBING CODE (2012 INTERNATIONAL PLUMBING CODE), etc.

SITE AND OCCUPANCY

Table detailing zoning (LR - LOCAL RETAIL; 66; SUP ORDINANCE ID: 005-021 - RESTAURANT SPECIAL USE ALCOHOL SALES), type of use (RETAIL SALES AND SERVICES), type of occupancy (B), and other site-specific information like interior net area (1,744 SF) and total area (1,871 SF / 70).

INDEX OF SHEETS

Table listing sheets and their titles. Includes GENERAL (G-0001 to G-0003), CIVIL (C-1.1, C-2.1), ARCHITECTURAL (A-1000, A-1001), and INTERIORS (I-1101).

GENERAL NOTES

- 1. GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS SITE SURVEYOR, AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
2. GENERAL CONTRACTOR SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS, OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
3. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL CODES AND ORDINANCES.
4. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
5. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
6. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
8. GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS.
10. RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY."
11. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL," SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.
12. ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE STARBUCKS DESIGN MANAGER.
13. REFER TO ITEM CUTSHEETS FOR ADDITIONAL INFORMATION.
14. ALL INTERIOR WOOD BLOCKING, INTERIOR WOOD STRUCTURAL MEMBERS, EXTERIOR WOOD AND EXTERIOR PLYWOOD TO BE FIRE RETARDANT TREATED.
15. IF REQUIRED, FIRE SUPPRESSION AND SPRINKLER DRAWINGS TO BE COORDINATED BY GC AND SUBMITTED UNDER SEPARATE PERMIT.
16. STARBUCKS CONTRACTS DIRECTLY WITH SIGNAGE CONTRACTOR TO PERMIT, SUPPLY AND INSTALL SIGNAGE. CONTRACTOR TO VERIFY SIGNAGE COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT AND LANDLORD APPROVAL. ANY SIGNAGE WORK IS UNDER A SEPARATE PERMIT.
17. GENERAL CONTRACTOR IS RESPONSIBLE TO REVIEW ALL SHEETS FOR SCOPE OF WORK.

APPROVAL STAMPS

Table of approval stamps including TDLR REGISTRATION NUMBER (EABPRJB6815577) and ARCHITECT OF RECORD (CMA).

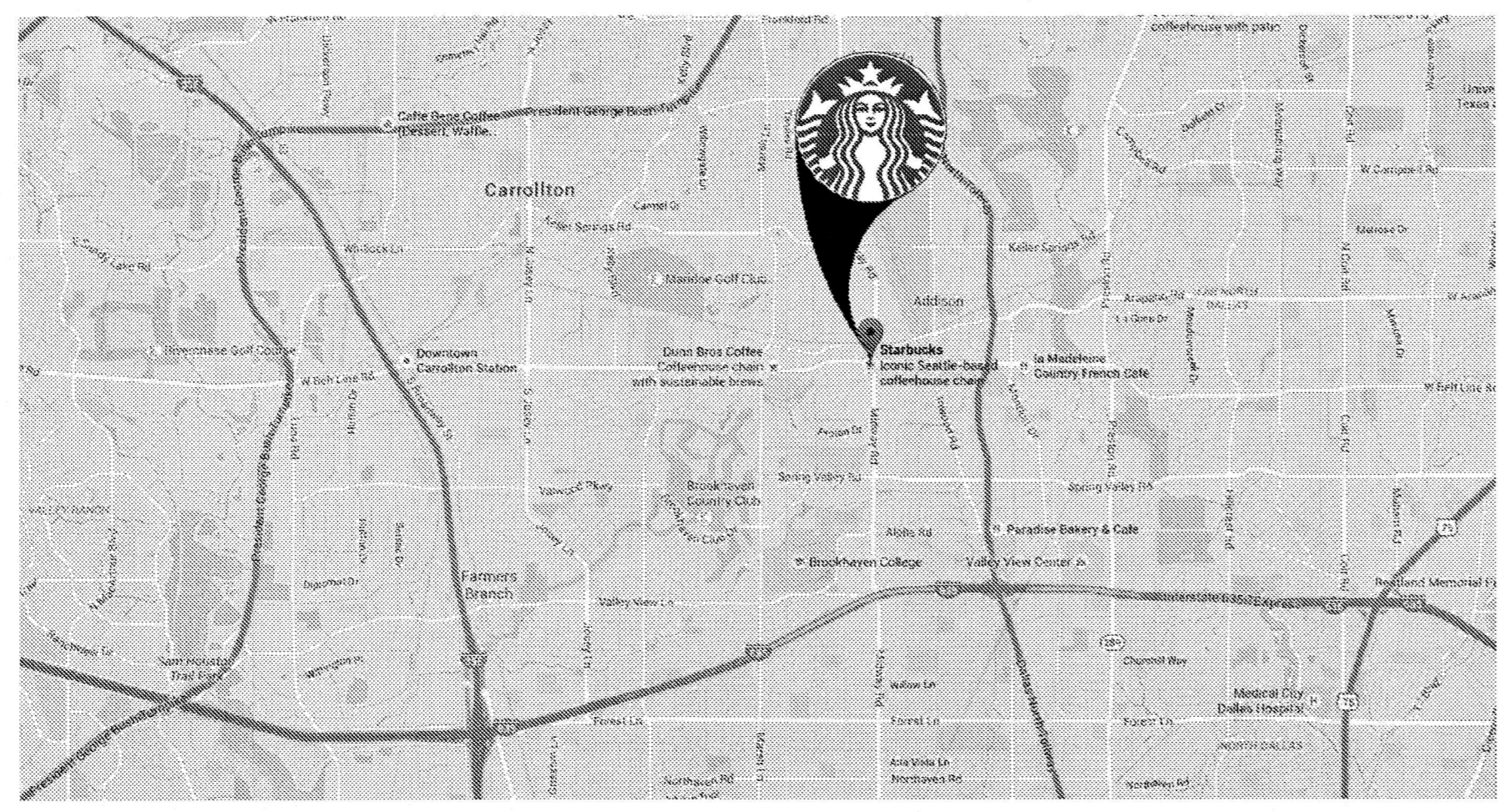
LEGAL DESCRIPTION

ADDISON PLAZA BLK 1 LT 1A ACS 0.5219 VOL2004009/6138 DD01142004 CO-DC 0007000101A00 3CA00070001

SCOPE OF WORK

PROJECT DESCRIPTION: NEW OUTDOOR SEATING

LOCATION MAP



AERIAL MAP



ARCHITECTURAL SYMBOL LEGEND

Table defining architectural symbols and their meanings. Includes symbols for North Arrow, Exterior Elevation, Interior Elevation, Section Callout, Detail Callout, Paint Tag, Design ID Tag, Window Tag, Height Tags, Revision Cloud, Revision Tag, and Datum Point.

ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF TEXAS.

Table listing the following architectural drawings sheets: G-0001, G-0002, G-0003, A-1000, A-1001, I-1101.

RESPONSIBILITY LEGEND

Table defining responsibility for different elements: SB/GC (FURNISHED BY STARBUCKS), SB/SB (FURNISHED BY STARBUCKS), GC/GC (FURNISHED BY GENERAL CONTRACTOR), LL/LL (FURNISHED BY LANDLORD).

Submittal Review form with checkboxes for 'NO EXCEPTIONS TAKEN', 'MAKE CORRECTIONS NOTED', 'REVISE AND RESUBMIT', and 'SUBMIT SPECIFIED ITEM'. Includes fields for Town of Addison, Date (3/22/17), and address (16501 Westgrove Dr, Addison, TX 75001).

PROJECT CONTACTS

Table listing project contacts including mailing address (STARBUCKS COFFEE COMPANY, 2401 UTAH AVENUE SOUTH), program manager (JERRY PHILLIPS), design manager (HYE REE S. KIM), construction manager (KATHY TRAVIS), and architect of record (CMA).



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SEATTLE, WASHINGTON 98134
(206) 318-1575

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Architect of Record: CMA architecture - planning - interior design

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PERMIT SET form with fields for Signature (BRUCE M. CARLSON), Date Issued (5/02/2016), and Reg. No. (13057).

ISSUE SCHEDULE table with columns for Rev, Date, and Description. Shows issue 5/02/2016 for PERMIT SET.

REVISION SCHEDULE table with columns for Rev, Date, and Description. Shows revisions 2, 3, 4, 5, and 6 with dates from 07.08.16 to 03.24.17.

Table listing project contacts with fields for Name, Title, and Phone Number.

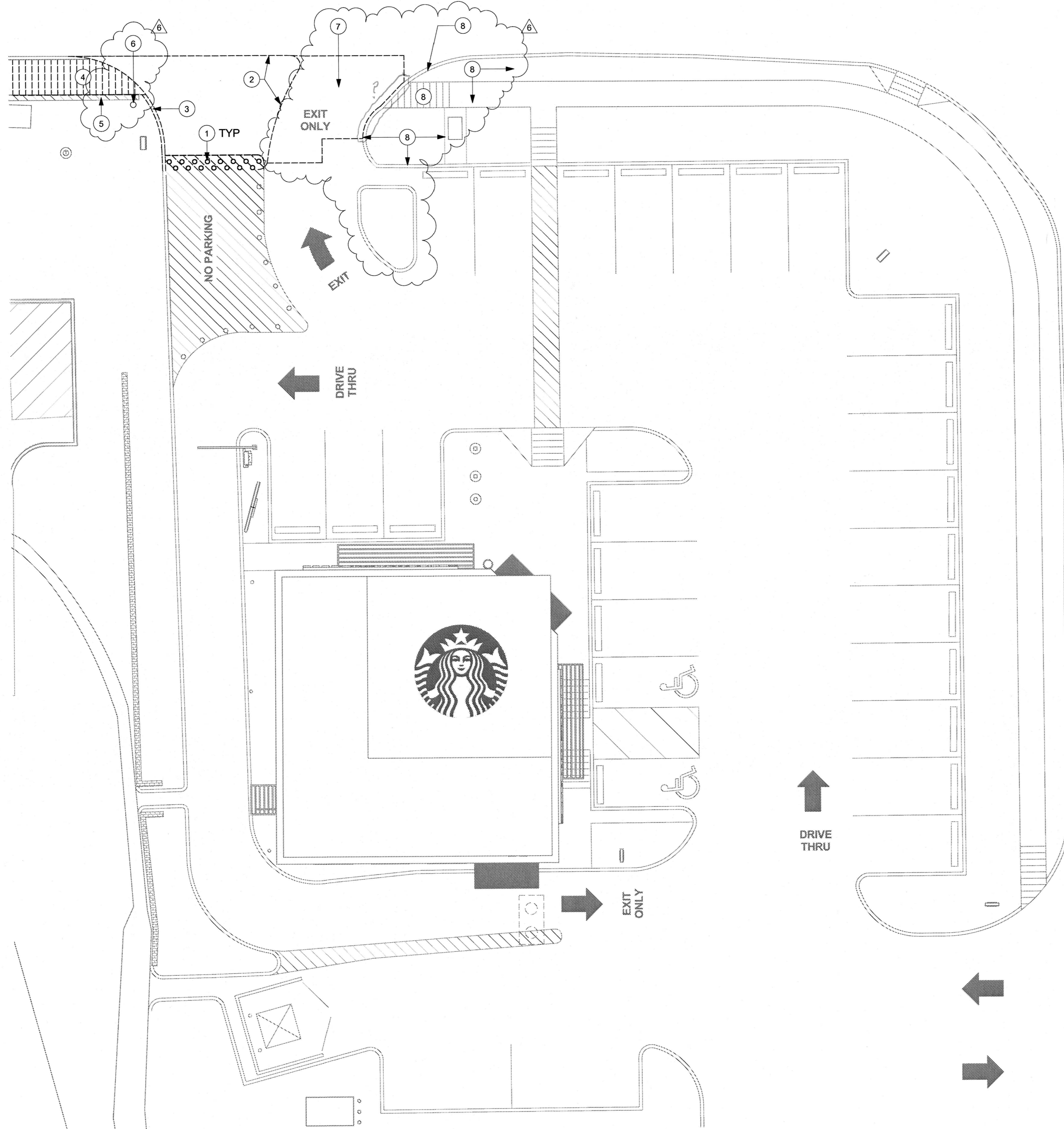
PROJECT NAME: MIDWAY & BELTLINE OUTDOOR SEATING SUBMITTAL - FINAL
15099 MIDWAY RD
ADDISON, TX 75244
COUNTY: DALLAS

Table with project details: STORE # (9443), CPM/PROJECT # (25373-049), CMA PROJECT # (16104.013), CONCEPT (MCS/DT), DESIGN MANAGER (HYE REE KIM), CONSTRUCTION MANAGER (KATHY TRAVIS).

GENERAL INFORMATION
SHEET TITLE: G-0001

Table with SHEET NUMBER (G-0001) and ISSUE DATE (5/02/2016).

3/24/2017 2:43:22 PM V:\SBUX\PROJECTS\RENO\16104\16104.013\_Midway & Beltline - Addison, TX\Drawings\Work in Progress\16104.013\_Midway & Beltline\_A\_2015\_SUP\_ONLY.rvt



**SHEET NOTES ①**

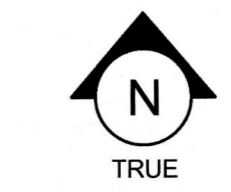
1. DEMOLISH EXISTING ROAD STUDS, AS INDICATED
2. DEMOLISH EXISTING PAVEMENT AS INDICATED.
3. DEMOLISH EXISTING CURB AS INDICATED.
4. DEMOLISH EXISTING RAMP AS INDICATED.
5. EXISTING LANDSCAPE WALL TO BE RETAINED IN EXISTING LOCATION.
6. EXISTING POWER POLE TO TO BE RETAINED IN EXISTING LOCATION.
7. NEW PAVEMENT AREA TO MATCH EXISTING GRADING TRANSITIONS.
8. EXISTING CURBS, PAVING, SIDEWALKS, ADA RAMPS, LANDSCAPING, ETC. TO BE RETAINED AND NOT IN SCOPE OF WORK.

**DEMOLITION PLAN  
GENERAL NOTES**

- A. NUMERIC NOTES NOT ON THE PLAN ARE NOT USED
- B. TOTAL SCOPE OF DEMOLITION MAY NOT BE COVERED ON THIS SHEET. REVIEW ALL SHEETS IN THIS DRAWINGS SET TO DETERMINE TOTAL SCOPE OF WORK.
- C. DEMOLITION TO MEAN REMOVAL AND OFF SITE LEGAL DISPOSAL OF DEMOLISHED MATERIALS. REMAINING SURFACES TO BE RESTORED TO ACCEPTABLE CONDITION IN ACCORDANCE WITH REQUIREMENTS OF NEW CONSTRUCTION.
- D. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE E. GC RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- F. PATCH & REPAIR ANY SURFACES DISTURBED BY DEMOLITION OPERATIONS TO MATCH SURROUNDING, UNLESS OTHERWISE NOTED AND IN ACCORDANCE WITH LOCAL REQUIREMENTS OF NEW CONSTRUCTION.
- G. EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST ANY DAMAGE DURING DEMOLITION OPERATIONS.
- H. CONDUCT DEMOLITION OPERATION AND REMOVE DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER OCCUPIED AND USED FACILITIES.
- J. GC TO PATCH AND REPAIR ANY EXISTING PAVING DEFECTS OR PAVING DEFECTS RESULTING FROM DEMOLITION AS REQUIRED. GC TO VISIT SITE AND VERIFY EXTENT AND TYPES OF FAILING PAVEMENT.
- K. REMOVE & TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- L. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIAL TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNERS PROPERTY AND LEGALLY DISPOSE OF THEM.
- M. GC TO VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO DEMOLITION.
- N. REMOVE ALL ABANDONED CONDUIT AND WIRING BACK TO EXISTING PANELS.
- P. DO NOT SCALE DRAWINGS.
- Q. IF EXISTING CONDITIONS DIFFER, NOTIFY CONSTRUCTION MANAGER AND ARCHITECT OF ANY DISCREPANCY IMMEDIATELY.
- R. PROTECT ALL LANDSCAPING SCHEDULED TO REMAIN.

**LEGEND:**

- MATERIAL TO BE DEMOLISHED
- EXISTING TO REMAIN



**① SITE PLAN - EXISTING**  
Scale: 1" = 10'-0"

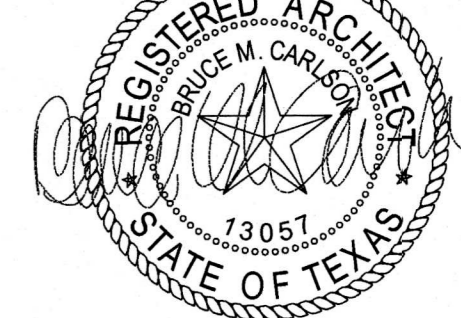


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**Architect of Record**

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BRUCE M. CARLSON



**PERMIT SET**

SIGNATURE: BRUCE M. CARLSON  
DATE ISSUED: 5/02/2016  
REG. NO.: 13057

**ISSUE SCHEDULE**

5/02/2016	PERMIT SET
	BID SET

**REVISION SCHEDULE**

REV	DATE	BY	DESCRIPTION
3	11.21.16		SPECIAL USE PERMIT - OUTDOOR SEATING - FINAL
6	03.24.17		CITY COMMENTS - CIVIL REVISION

**PROJECT NAME:**  
MIDWAY & BELTLINE  
OUTDOOR SEATING  
SUBMITTAL - FINAL  
15089 MIDWAY RD  
ADDISON, TX 75244  
COUNTY: DALLAS

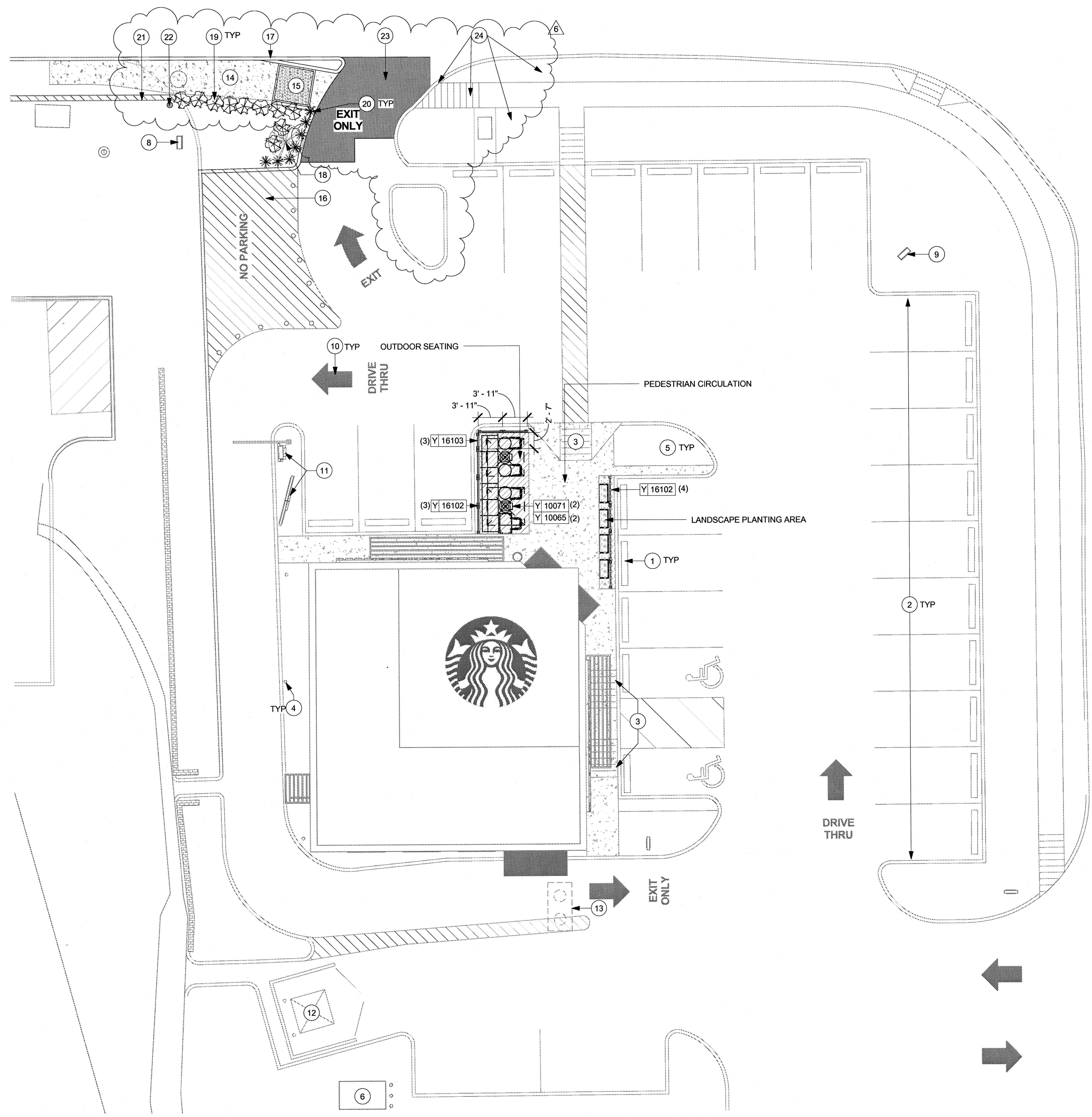
STORE #: 9443  
CPN/PROJECT #: 25373-049  
CMA PROJECT #: 16104.013  
CONCEPT: MCS/DTE  
DESIGN MANAGER: HYE REE KIM  
CONSTRUCTION MANAGER: KATHY TRAVIS

SHEET TITLE:  
**DEMOLITION SITE PLAN**

SHEET NUMBER:  
**A-1000**

ISSUE DATE: 5/02/2016

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**SHEET NOTES** ①

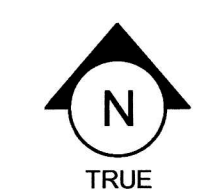
1. EXISTING WHEEL STOPS
2. EXISTING PARKING STRIPES
3. EXISTING HANDICAP RAMP
4. EXISTING BOLLARD
5. EXISTING LANDSCAPE
6. EXISTING TRANSFORMER
7. EXISTING MENU BOARD
8. EXISTING DIRECTIONAL SIGN
9. EXISTING MONUMENT SIGN
10. EXISTING DIRECTIONAL PAVEMENT GRAPHICS
11. EXISTING DRIVE-THRU EQUIPMENT
12. EXISTING DUMPSTER ENCLOSURE. LOCKABLE USING STEEL GATES OR CHAIN. COORDINATE WITH STARBUCKS CM.
13. APPROXIMATE LOCATION OF EXISTING GREASE TRAP
14. NEW ADA/TAS COMPLIANT SIDEWALK. REFER TO G-0002 AND G-0003 *Callout 2.1*
15. NEW ADA/TAS COMPLIANT RAMP. REFER TO G-0002 AND G-0003 *Callout 2.1*
16. RESTRIPE "NO PARKING" AS REQUIRED
17. NEW CURB. REFER TO CIVIL
18. NEW CREPE MYRTLE. GC TO VERIFY COMPLIANCE WITH CITY REGULATIONS
19. NEW BOXWOOD SHRUBS. GC TO VERIFY COMPLIANCE WITH CITY REGULATIONS
20. NEW LINDHEIMER GRASS. GC TO VERIFY COMPLIANCE WITH CITY REGULATIONS. *Callout 2.1*
21. EXISTING LANDSCAPE WALL TO BE RETAINED IN EXISTING LOCATION.
22. EXISTING POWER POLE TO TO BE RETAINED IN EXISTING LOCATION.
23. NEW PAVEMENT AREA TO MATCH EXISTING GRADING TRANSITIONS. *FROM NOTE 9 SHEET 2.1*
24. EXISTING CURBS, PAVING, SIDEWALKS, ADA RAMP, LANDSCAPING, ETC. TO BE RETAINED AND NOT IN SCOPE OF WORK.

**ARCHITECTURAL SITE PLAN  
GENERAL NOTES**

- A. REFER TO EXTERIOR ELEVATIONS FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS
- B. ALL SIGNAGE TO BE PERMITTED UNDER SEPARATE PERMIT.
- C. STARBUCKS CONTRACTS DIRECTLY WITH SIGNAGE CONTRACTOR TO PERMIT, SUPPLY AND INSTALL SIGNAGE. SIGNAGE CONTRACTOR TO VERIFY SIGNAGE COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE & LOCATION OF ANY & ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH LANDLORD & PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.
- E. GC TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CM TO PROVIDE GC WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CM AND TO THE GC AS NEEDED. GC TO NOTIFY STARBUCKS CM IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- G. DO NOT SCALE DRAWINGS

SITE SCHEDULE - "Y"					
DESIGN ID	COUNT	DESCRIPTION	RESP.	BULB	COMMENTS
<b>OTHER</b>					
16102	7	PARTITION MESH WITH WOOD TOP RAIL - 54IN 1370MM	SB / GC		REPLACE METAL MESH WITH WOOD PLANKS
16103	3	PARTITION MESH WITH WOOD TOP RAIL - VARIABLE	SB / GC		REPLACE METAL MESH WITH WOOD PLANKS; REFER TO PLAN
<b>PLANTER</b>					
14451	4	PLANTER - BOX - 36X18X18IN 915X455X455MM - BLACK	SB / GC		
<b>UMBRELLA</b>					
10065	2	UMBRELLA - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	SB / GC		
10071	2	UMBRELLA - BASE FOR 6FT 183CM	SB / GC		

① **SITE PLAN**  
Scale: 1" = 10'-0"



**RESPONSIBILITY LEGEND**

- SB / GC FURNISHED BY STARBUCKS (WAREHOUSE OR VENDOR DIRECT) / INSTALLED BY GENERAL CONTRACTOR
- SB / SB FURNISHED BY STARBUCKS (WAREHOUSE OR VENDOR DIRECT) / INSTALLED BY STARBUCKS VENDOR
- GC / GC FURNISHED BY GENERAL CONTRACTOR / INSTALLED BY GENERAL CONTRACTOR
- LL / LL FURNISHED BY LANDLORD / INSTALLED BY LANDLORD

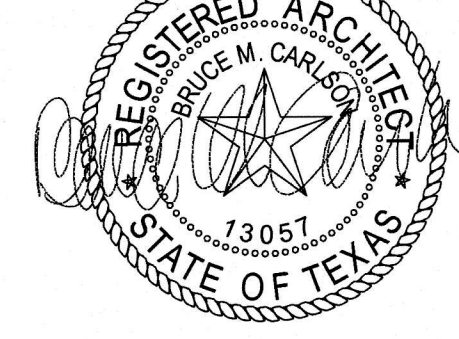


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Architect of Record  
**CMA**  
architecture · planning · interior design

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BRUCE M. CARLSON



**PERMIT SET**  
SIGNATURE: BRUCE M. CARLSON  
DATE ISSUED: 5/02/2016  
REG. NO.: 13057

**ISSUE SCHEDULE**  
5/02/2016 PERMIT SET  
BID SET

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTION
2	07.08.16		SPECIAL USE PERMIT - OUTDOOR SEATING - FINAL
3	11.21.16		SPECIAL USE PERMIT - OUTDOOR SEATING - FINAL
4	12.09.16		SPECIAL USE PERMIT - OUTDOOR SEATING - FINAL
6	03.24.17		CITY COMMENTS - CIVIL REVISION

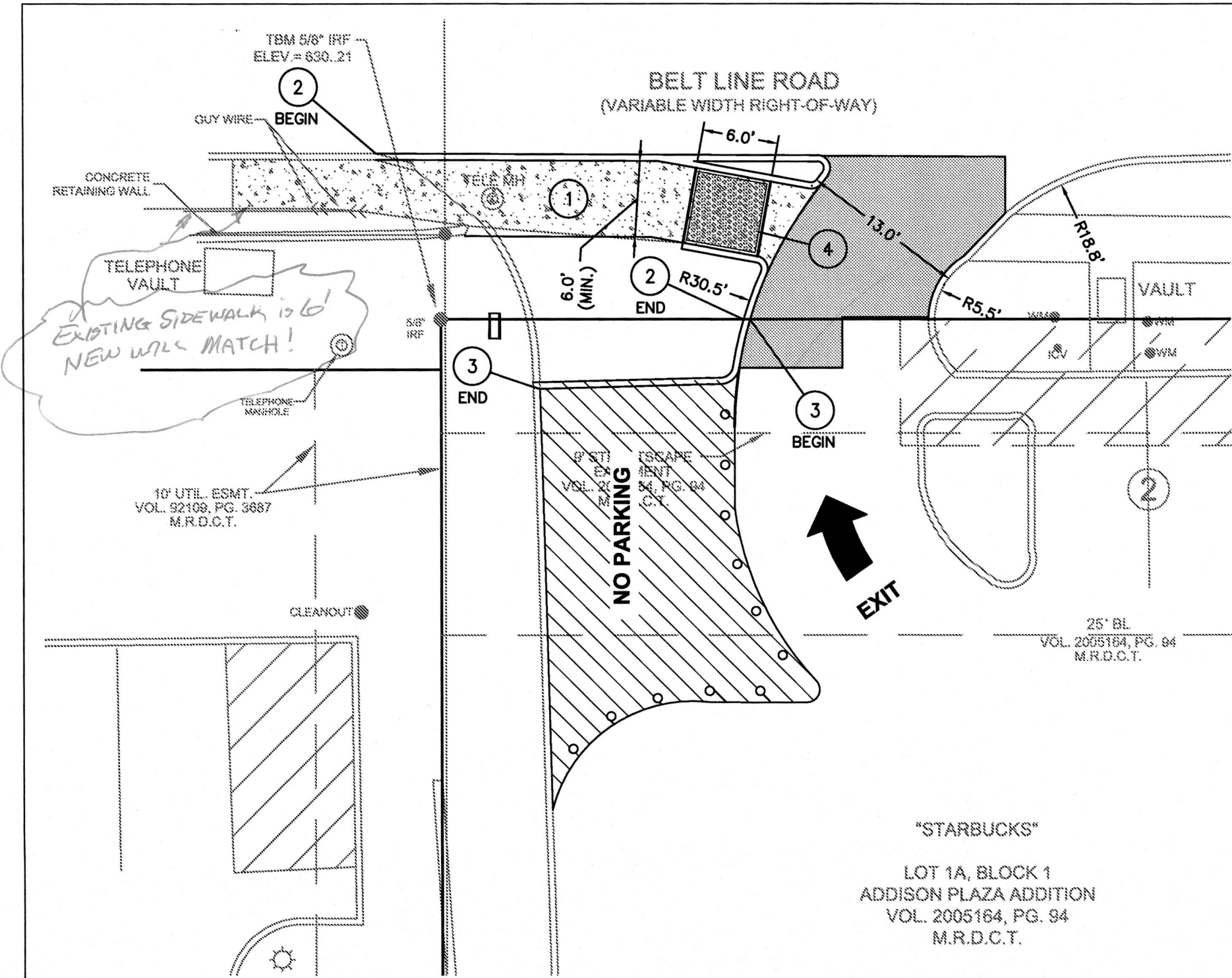
PROJECT NAME:  
**MIDWAY & BELTLINE  
OUTDOOR SEATING  
SUBMITTAL - FINAL**  
15099 MIDWAY RD  
ADDISON, TX 75244  
COUNTY: DALLAS

STORE #: 9443  
CPN/PROJECT #: 25373-049  
CMA PROJECT #: 16104.013  
CONCEPT: MCS/DTE  
DESIGN MANAGER: HYE REE KIM  
CONSTRUCTION MANAGER: KATHY TRAVIS

SHEET TITLE:  
**ARCHITECTURAL SITE PLAN**

SHEET NUMBER:  
**A-1001**

ISSUE DATE: 5/02/2016



**GENERAL CONSTRUCTION NOTES:**

1. ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION PURPOSES ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE OWNER AND THE ENGINEER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND 811 TO VERIFY THE LOCATIONS AND ELEVATIONS AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR TO PERFORM THE CONSTRUCTION OF THE PROJECT AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
3. THE CONTRACTOR SHALL BEGIN WORK AS DIRECTED BY THE LOCAL JURISDICTION AND OWNER.
4. PROPERTY LINE AND TOPOGRAPHY INFORMATION WAS TAKEN FROM THE SURVEY COMPLETED ON 11/16/2016 BY TEXAS HERITAGE SURVEYING, LLC., (214) 340-9700. TASK NUMBER: 1603760-1
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SURVEYING, QUALITY CONTROL AND MATERIALS TESTING DURING CONSTRUCTION.
7. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS WHERE APPLICABLE. IN THE EVENT THAT THE CITY STANDARD DETAILS DO NOT APPLY, APPLICABLE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT'S (NCTCOG) STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS SHALL GOVERN.
8. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.
9. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION, THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION AS SOON AS POSSIBLE.
10. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, IRRIGATION, SODDING OR SEEDING, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
11. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
12. THE CONTRACTOR SHALL NOT ENTER OR STORE EQUIPMENT ON ADJACENT PROPERTIES.
13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING STRUCTURES AND UTILITIES DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. APPROVED EROSION CONTROL METHODS SHALL BE USED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING OFF OF THE SITE. TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED ONCE THE PERMANENT DRAINAGE FACILITIES ARE COMPLETED AND THE SITE HAS BEEN STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO AND THROUGHOUT CONSTRUCTION.
16. THE CONTRACTOR SHALL MAINTAIN NEAT AND ACCURATE CONSTRUCTION RECORDS FOR THE OWNERS OR CITY'S USE. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL SUPPLY THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
17. CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS NOT TO DAMAGE EXISTING TREES THAT ARE NOT SHOWN TO BE DEMOLISHED. TREES SHALL BE TRIMMED AND PAINTED ONLY IF NECESSARY FOR THE SAFE MANEUVERING OF CONSTRUCTION EQUIPMENT. APPROVAL IS REQUIRED BEFORE THE CONTRACTOR CAN REMOVE ANY TREES.
18. CONCRETE COMPRESSIVE STRENGTH REPORTS ARE REQUIRED FOR EVERY 100 CUBIC YARDS OF CONCRETE POURED.
19. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF ALL PLANS AND ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION OF THE ENGINEER.
20. ALL CUT/FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS SHOWN OTHERWISE.
21. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE ENGINEER WHEN CONSTRUCTION WILL TAKE PLACE ON PUBLIC ROADWAYS. ALSO, ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE APPROVED BY THE CITY PRIOR TO COMMENCING ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
22. CONTRACTOR SHALL COVER OPEN EXCAVATIONS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS, ALONG EXISTING ROADWAYS AND TRAFFIC AREAS.
23. DO NOT SCALE DRAWINGS FOR PURPOSES OF ESTABLISHING DIMENSIONS.

**PAVING NOTES:**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-89 (REV. 92).
2. PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE I OR TYPE III.
3. CONCRETE MIXES SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH PSI AT 28 DAYS OF 4,000 PSI UNLESS NOTED OTHERWISE ON THE PLANS. THE MAXIMUM WATER-TO-CEMENTITIOUS MATERIALS RATIO SHALL BE 0.45. THE USE OF FLY ASH IS NOT ALLOWED IN THE CONCRETE MIX DESIGN.
4. ALL CONCRETE SHALL HAVE A MINIMUM SEVEN DAY FLEXURAL STRENGTH OF 550 PSI, SHALL BE AIR ENTRAINED AT MINIMUM 5% BY VOLUME, +/- 1% AND CONCRETE SLUMPS SHALL BE NOT LESS THAN 3" NOR MORE THAN 5", ASTM C143.
5. THE NEW PAVEMENT SHALL BE FINISHED TO MATCH THE SURROUNDING PAVEMENT.
6. THE PAVEMENT SURFACE SHALL BE MOIST-CURED WITH A MEMBRANE OR CURING COMPOUND FOR NOT LESS THAN SEVEN DAYS.
7. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
8. SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE.
9. PROVIDE LONGITUDINAL AND TRANSVERSE CONTRACTION JOINTS AT 15' MAXIMUM EACH WAY. CONTRACTION JOINTS SHALL BE 1/4" X 1/4" DEPTH OF PAVEMENT. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTRACTION JOINTS. JOINTS SHALL BE CONTINUOUS THROUGH CURBS. SAWCUTTING SHALL BE COMPLETED BEFORE 8 HOURS HAVE ELAPSED SINCE CONCRETE PLACEMENT. JOINTS SHALL BE SEALED FOLLOWING SAWCUTTING.
10. PAVING EXPANSION JOINTS ARE TO BE LOCATED AT A MAXIMUM OF 60 FEET ON CENTERS EACH WAY AND AT ALL CONSTRUCTION JOINT LOCATIONS. NO KEYWAYS ARE PERMITTED.
11. PROVIDE 3/4" EXPANSION JOINTS TO ISOLATE ALL FIXED OBJECTS ABUTTING OR WITHIN THE PAVING AREA SUCH AS BUILDINGS, EXISTING PAVEMENT, UTILITY APPURTENANCES, POLE BASES, AND SIDEWALKS. DO NOT PERMIT REINFORCEMENT TO EXTEND CONTINUOUSLY THROUGH ANY EXPANSION JOINT. FILL JOINTS TO FULL DEPTH WITH EXPANSION JOINT MATERIAL (BITUMINOUS MATERIAL). IN CURBS, LOCATE JOINTS AT THE BEGINNING AND END OF CURVES. IN CURBS AND PAVING, DEPRESS 3/4" JOINT MATERIAL BELOW FINISHED GRADE AND SEAL EXPOSED JOINTS WITH JOINT SEALER.
12. PROVIDE CONSTRUCTION JOINTS AT END OF EACH DAY'S WORK OR WHEN CONCRETE PLACEMENT IS STOPPED MORE THAN 1/2 HOUR.
13. ALL SAWCUT SURFACES OF THE EXISTING PAVEMENT SHALL BE CLEANED AND COATED WITH AN APPROVED BONDING COMPOUND IMMEDIATELY BEFORE THE NEW CONCRETE IS PLACED.
14. CONCRETE PLACED IN HOT WEATHER SHALL BE POURED IN THE EARLY MORNING SO THAT THE CONCRETE CAN ACHIEVE ITS INITIAL SET BY 9:00 AM.
15. PROVIDE MONOLITHIC OR EXTRUDED CURB AT ALL PERIMETER PAVING UNLESS NOTED OTHERWISE.
16. CONCRETE CURB SHALL BE OF THE SAME COMPRESSIVE STRENGTH AS THE CONCRETE PAVEMENT.
17. MILD STEEL REINFORCEMENT AND ACCESSORIES SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI SP-66.
18. MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS." PROVIDE METAL OR PLASTIC CHAIRS OR SPACERS (NOT WOOD BLOCKS OR BRICK BATS) TO PROVIDE SUPPORT FOR REINFORCING BARS.
19. MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT SHALL BE 2-INCH CLEAR COVER BETWEEN ANY CONCRETE SURFACE AND NEAREST EDGE OF ANY REBAR. THERE SHALL BE MIN. 3 INCH OF COVER BETWEEN BOTTOM (TOP OF BASE MATERIAL OR SUBGRADE) AND EDGE OF REINFORCEMENT.
20. REINFORCING BARS SHALL BE CONTACT LAP SPLICED UNLESS SHOWN OTHERWISE. LAP SPLICES SHALL CONFORM TO ACI REQUIREMENTS, BUT SHALL IN NO CASE BE LESS THAN 30 BAR DIAMETERS LONG.
21. NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. ALL CONCRETE SHALL USE NORMAL WEIGHT AGGREGATES, UNLESS NOTED OTHERWISE.
22. THE MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 1 1/2 INCH.
23. ALL ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.
24. REFER TO PLANS FOR ADDITIONAL INFORMATION. PAVEMENT SUBGRADE PREPARATION SHOULD BE IN CONFORMANCE WITH THE SOILS REPORT PROVIDED FOR THE PROJECT.
25. DRIVE APPROACHES MUST BE PLACED MONOLITHICALLY.

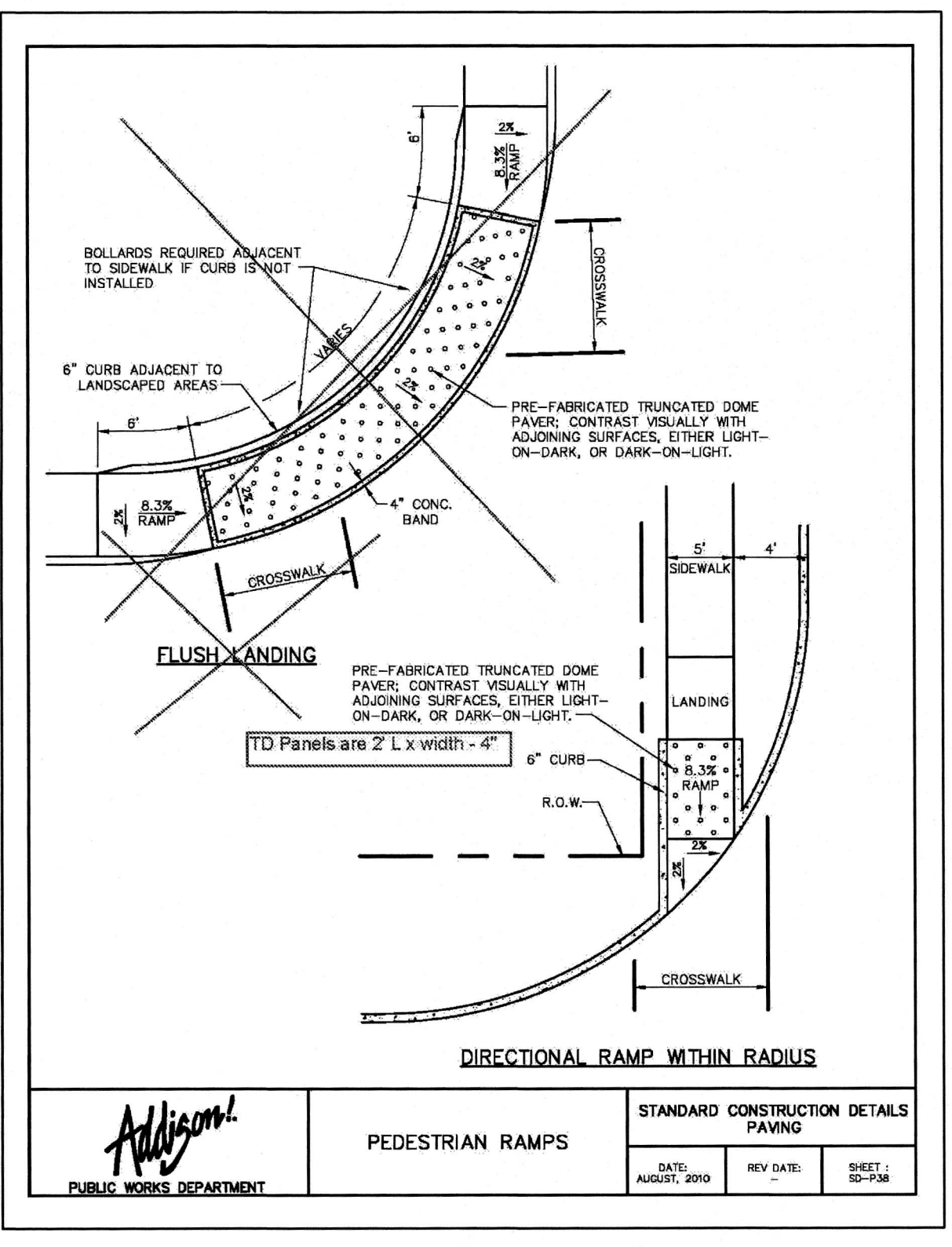
**DRAWING LEGEND**

	PROPERTY LINE		EXISTING PROPOSED
	ADJOINING PROPERTY LINE		PROP. BARRIER FREE RAMP
	PROP. EDGE OF PAVEMENT		TYPICAL RETAINING WALL
	CURB LINE		HANDICAP
	PROP. STRIPING		T.A.S.
	EASEMENT/SETBACK LINES		MFR
	PROP. T=8" MIN. PUBLIC R.O.W. CONCRETE PAVING PER CITY REQUIREMENTS.		EXISTING
	PROP. T=5" MIN. CONCRETE SURFACE (SIDEWALK)		PROPOSED

- NOTES:**
1. ALL PROP. STRIPING (INCLUDING THE FIRE LINE STRIPING) SHALL CONFORM TO CITY STANDARDS AND REQUIREMENTS.
  2. RE: DETAILS THIS SHEET FOR PROPOSED PAVING SECTIONS.
  3. CONTRACTOR SHALL INSTALL ALL UNDERGROUND PVC CONDUITS PRIOR TO INSTALLING PROPOSED PAVING. RE: UTILITY PLANS (MEP & CIVIL) AND IRRIGATION PLAN FOR PROPOSED CONDUIT LOCATION.
  4. ALL REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
  5. ALL CURVE RADII ARE 2.5'R UNLESS NOTED OTHERWISE ON THE PLAN.
  6. RE: ARCH PLANS FOR EXACT BUILDING DIMENSIONS.
  7. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF RETAINING WALL OR EDGE OF PAVING.
  8. IF THE DIMENSIONS SHOWN ON THE PLANS ARE INCONSISTENT WITH MEASUREMENTS FOUND IN THE FIELD, PLEASE CONTACT THE ENGINEER IMMEDIATELY.
  9. SIGN LOCATION AND DIMENSIONS SHALL BE VERIFIED WITH THE SIGN MFR AND ARCH. RE: GRADING PLAN & PAVING DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.

**REFERENCE NUMBER NOTES**

- 1 PROP. A.D.A./T.A.S. COMPLIANT CONC. SW PER CITY DETAIL. (TYP.)
- 2 PROP. CONC. CURB PER CITY DETAIL. (TYP.)
- 3 PROP. CONC. CURB PER DETAIL THIS SET. (TYP.)
- 4 PROP. RAMP W/ 2'x6" TRUNCATED DOME PANELS PER CITY DETAILS AND REQUIREMENTS (SEE DETAIL THIS SHEET).



**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

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 2401 UTAH AVENUE SOUTH  
 SEATTLE, WASHINGTON 98134  
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**FOR PERMIT**

ISSUE SCHEDULE			
REV	DATE	BY	DESCRIPTION
3	11.21.16		SPECIAL USE PERMIT - OUTDOOR SEATING - FINAL
6	03.24.17		CITY COMMENTS - CIVIL REVISION

**PROJECT NAME:** MIDWAY & BELTLINE OUTDOOR SEATING SUBMITTAL - FINAL  
 15099 MIDWAY RD  
 ADDISON, TX 75244  
 COUNTY: DALLAS

**STORE #:** 9443  
**CPN/PROJECT #:** 25373-049  
**CMA PROJECT #:** 16104.013  
**CONCEPT:** MCS/DTE  
**DESIGN MANAGER:** HYE REE KIM  
**CONSTRUCTION MANAGER:** KATHY TRAVIS

**SHEET TITLE:** PAVING & GRADING PLAN

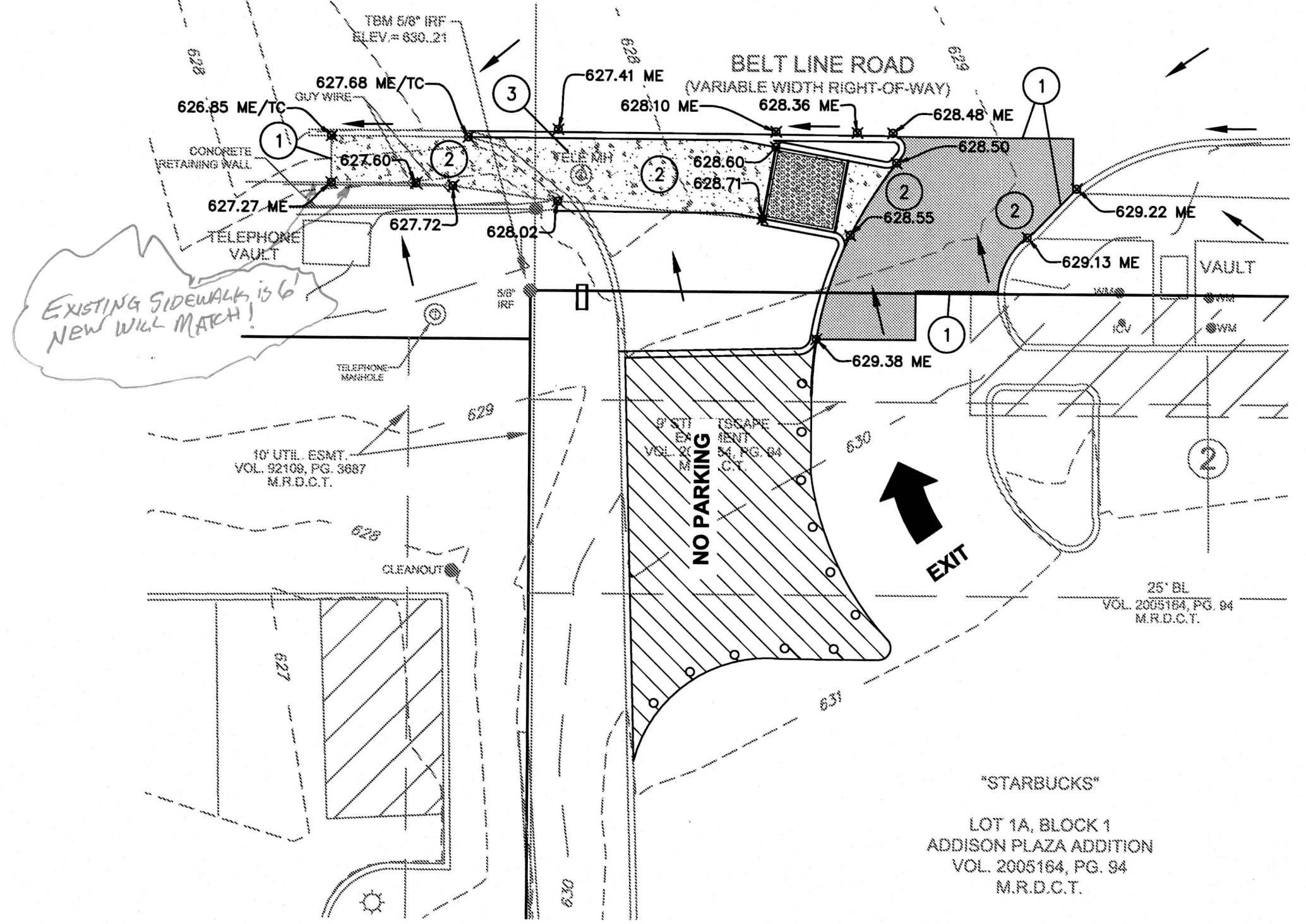
**SHEET NUMBER:** C-1.1

**ISSUE DATE:** 11/21/2016

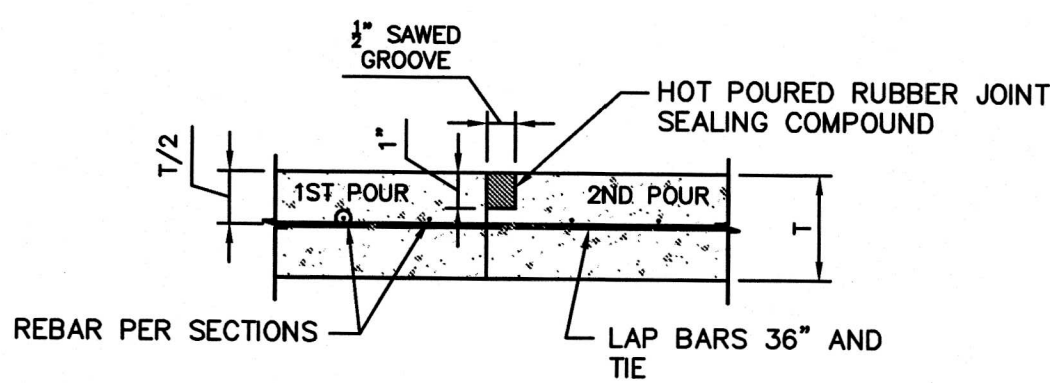
**LPSE** Lobinger & Potts Structural Engineering, Inc  
 1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
 817.897.3611 Fax 817.488.9937 Firm Reg. # 7290

**BENCHMARK**

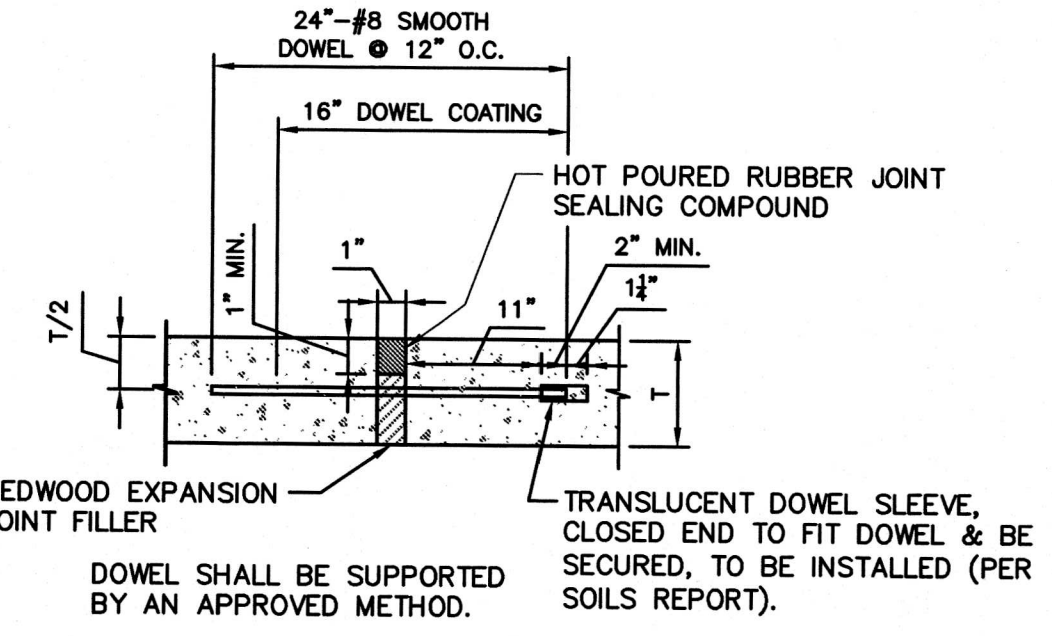
CITY BENCHMARK: CONTROL POINT No. COA-5:2" BRASS DISK STAMPED "TXDOT COA-5 GPS" 190' SOUTH FROM THE INTERSECTION OF EDWIN LEWIS DR. & QUORUM DR. THEN 2' FROM WEST EDGE OF SW, 50.5' FROM THE WEST SIDE MEDIAN IN QUORUM DR. & 76' FROM FH. EL.=630.10 (VERIFY WITH PROJECT SURVEYOR)



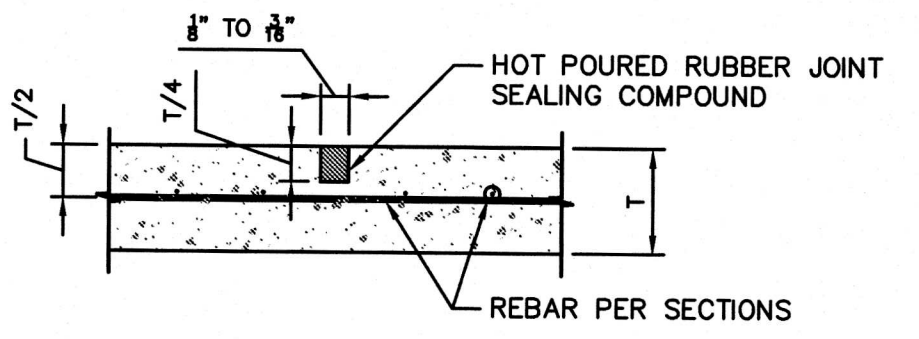
"STARBUCKS"  
 LOT 1A, BLOCK 1  
 ADDISON PLAZA ADDITION  
 VOL. 2005164, PG. 94  
 M.R.D.C.T.



CONSTRUCTION JOINT  
 N.T.S.

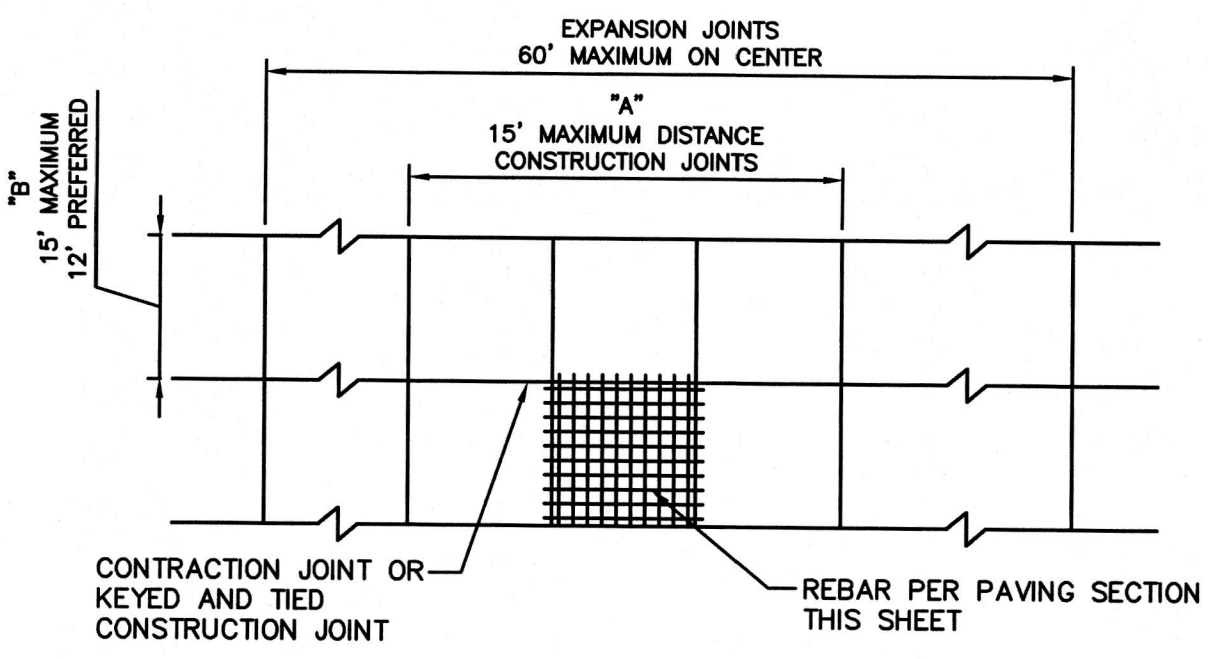


EXPANSION JOINT  
 N.T.S.

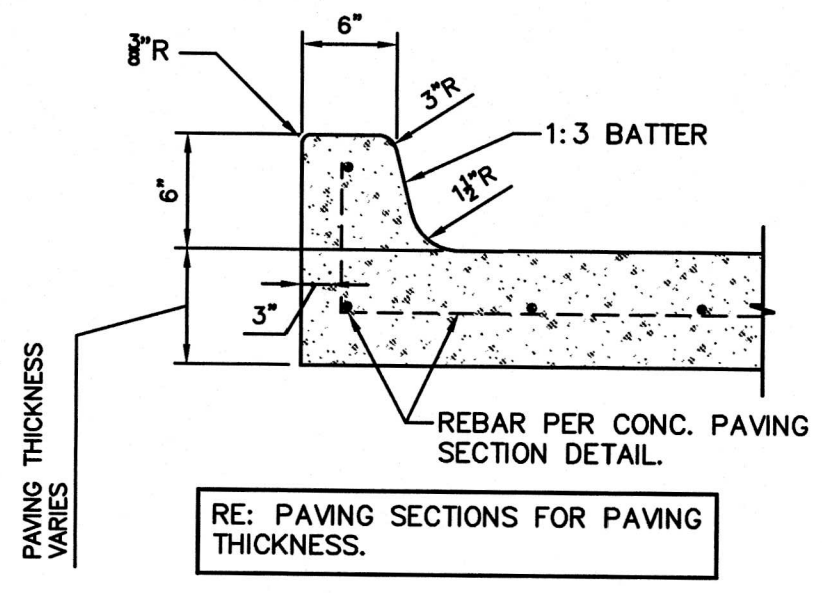


SAWED CONTRACTION JOINT  
 N.T.S.

1. IN GENERAL "A" AND "B" (IN FEET) SHALL NOT EXCEED APPROXIMATELY TWICE THE NOMINAL THICKNESS OF THE CONCRETE PAVEMENT (IN INCHES).
2. THE RATIO OF "A"/"B" SHALL NOT EXCEED 1.5; "A" = "B" PREFERRED.
3. CONTRACTOR SHALL SUBMIT A JOINTING PLAN TO THE ENGINEER FOR APPROVAL.



TYPICAL JOINT LAYOUT DETAIL  
 N.T.S.



MONOLITHIC CURB  
 N.T.S.

DRAWING LEGEND	
---	EXIST. CONTOUR LINE
---	PROP. CONTOUR LINE
---	BREAKLINE/RIDGE
---	SWALE
952.00	SPOT ELEVATION
→	DIRECTIONAL FLOW ARROW
EXIST. PROP. ME TW FL RW HC T.A.S.	EXISTING PROPOSED MATCH EXISTING TOP OF WALL FLOW LINE RETAINING WALL HANDICAP TEXAS ACCESSIBILITY STANDARDS

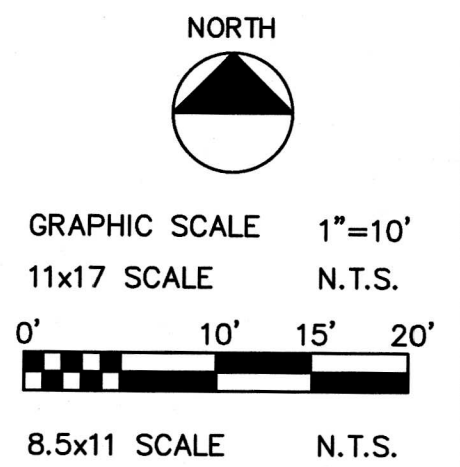
- NOTES:**
1. WHERE FLAT PAVING OR FLATWORK ABUTS A STRUCTURE, CARE SHOULD BE TAKEN THAT THE JOINT IS PROPERLY SEALED AND MAINTAINED TO PREVENT THE INFILTRATION OF SURFACE WATER.
  2. ALL FILL SHALL BE COMPACTED AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL FIELD DENSITY TESTS ON LIME STABILIZED SUBGRADE EQUAL TO THE RATIO OF 1 PER 200 SQUARE YARDS OF PAVEMENT IN ADDITION TO ALL FAILING DENSITY TESTS.
  4. ADD 6" TO SPOT GRADES FOR TC (TOP OF CURB) ELEVATION AT CURB LOCATIONS UNLESS LABELED OTHERWISE. ALL SPOT GRADES ARE TOP OF PAVING UNLESS NOTED OTHERWISE.
  5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING ACTIVITIES.
  6. OPEN GROUND SHOULD BE SLOPED AT A MINIMUM OF 5% GRADE FOR AT LEAST 10 FEET BEYOND THE PERIMETER OF THE FOUNDATION.
  7. ROOF AND CANOPY DRAINS, ALONG WITH ANY OTHER SERVICE CONNECTIONS, MUST BE INSTALLED ON FLAT WORK OR AT A POINT 5' FROM THE BUILDING UNLESS NOTED OTHERWISE.
  8. ALL HANDICAP PARKING/LANDING AREAS SHALL CONFORM WITH A.D.A./T.A.S. REQUIREMENTS AND HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
  9. ALL HANDICAP ROUTES SHALL CONFORM WITH A.D.A./T.A.S. REQUIREMENTS AND HAVE A MAXIMUM CROSS SLOPE OF 2% AND LONGITUDINAL SLOPE OF 5%.
  10. CONTRACTOR SHALL FIELD VERIFY ALL EXIST. SPOT GRADES PRIOR TO COMMENCING CONSTRUCTION AND CONTACT THE ENGINEER IF ANY DISCREPANCY ARE FOUND AND/OR IF THE OVERALL DRAINAGE CONCEPT CANNOT BE ACHIEVED.
  11. RE: PAVING PLAN SHEET FOR ADDITIONAL NOTES AND INFORMATION.

- REFERENCE NUMBER NOTES**
- ① MATCH EXIST. GRADE.
  - ② HC ROUTE. MAX. SLOPES PER PLAN NOTES THIS SHEET.
  - ③ ADJUST TELE MH TO MATCH PROP. GRADE. CONTRACTOR TO COORDINATE WITH LOCAL TELEPHONE COMPANY.

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ISSUE	SCHEDULE

**REVISION SCHEDULE**

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 CONSTRUCTION MANAGER: KATHY TRAVIS

**SHEET TITLE:**  
 GRADING PLAN & PAVING DETAILS

SHEET NUMBER: **C-2.1**  
 ISSUE DATE: 11/21/2016