

**GENERAL PROJECT NOTES:**

1. CONTRACTOR TO COMPLETE WORK IN A MANNER TO MINIMIZE DISRUPTION TO TARGET GUEST PARKING AND ACCESS.
2. CONTRACTOR TO FULLY INFORM TARGET PRIOR TO COMMENCING WORK. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION STATUS UPDATES AND SUBMITTING CLOSURE SCHEDULES TO TARGET.
3. CONTRACTOR TO PROVIDE BARRICADES AND PROPER TRAFFIC CONTROL AT ALL TIMES DURING CONSTRUCTION TO ENSURE THE SAFETY OF ALL INDIVIDUALS PRESENT ON SITE.

**PROJECT RESOURCE LIST:**

**TARGET STORE MEMBERS**

CONTACT:  
TARGET SFT:  
TEL:  
EMAIL:

CONTACT:  
TARGET STL:  
TEL:  
EMAIL:

CONTACT:  
TARGET DFM:  
TEL:  
EMAIL:

**DESIGN CONSULTANT**

KIMLEY-HORN AND ASSOCIATES, INC. SUITE 350  
1001 WARRENVILLE ROAD  
LISLE, IL, 60532

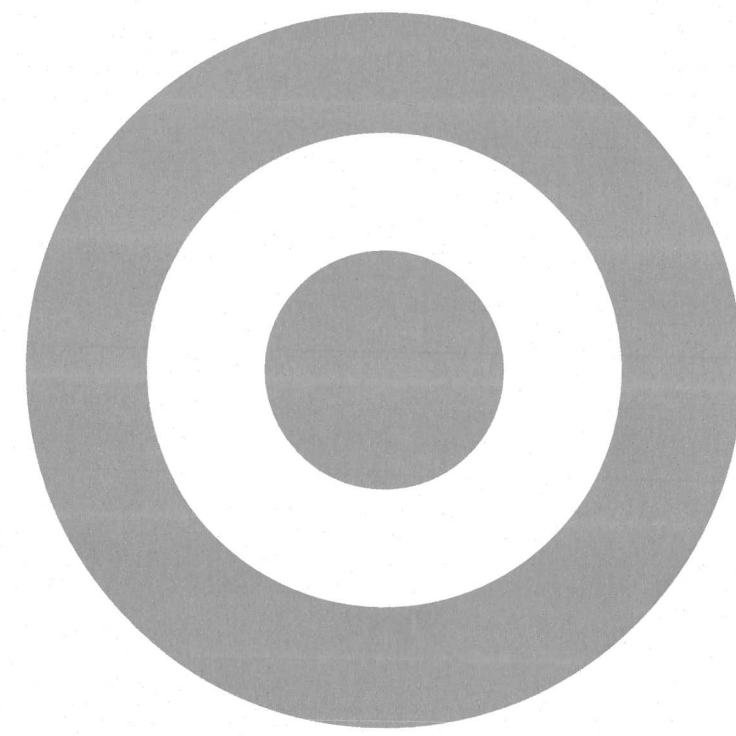
CONTACT:  
PROJECT MANAGER  
PHILIP KAUFMAN  
TEL: (630) 487-3425  
EMAIL: PHILIP.KAUFMAN@KIMLEY-HORN.COM

**CONTRACTOR**

CONTRACTOR NAME  
STREET ADDRESS  
CITY, STATE, ZIP

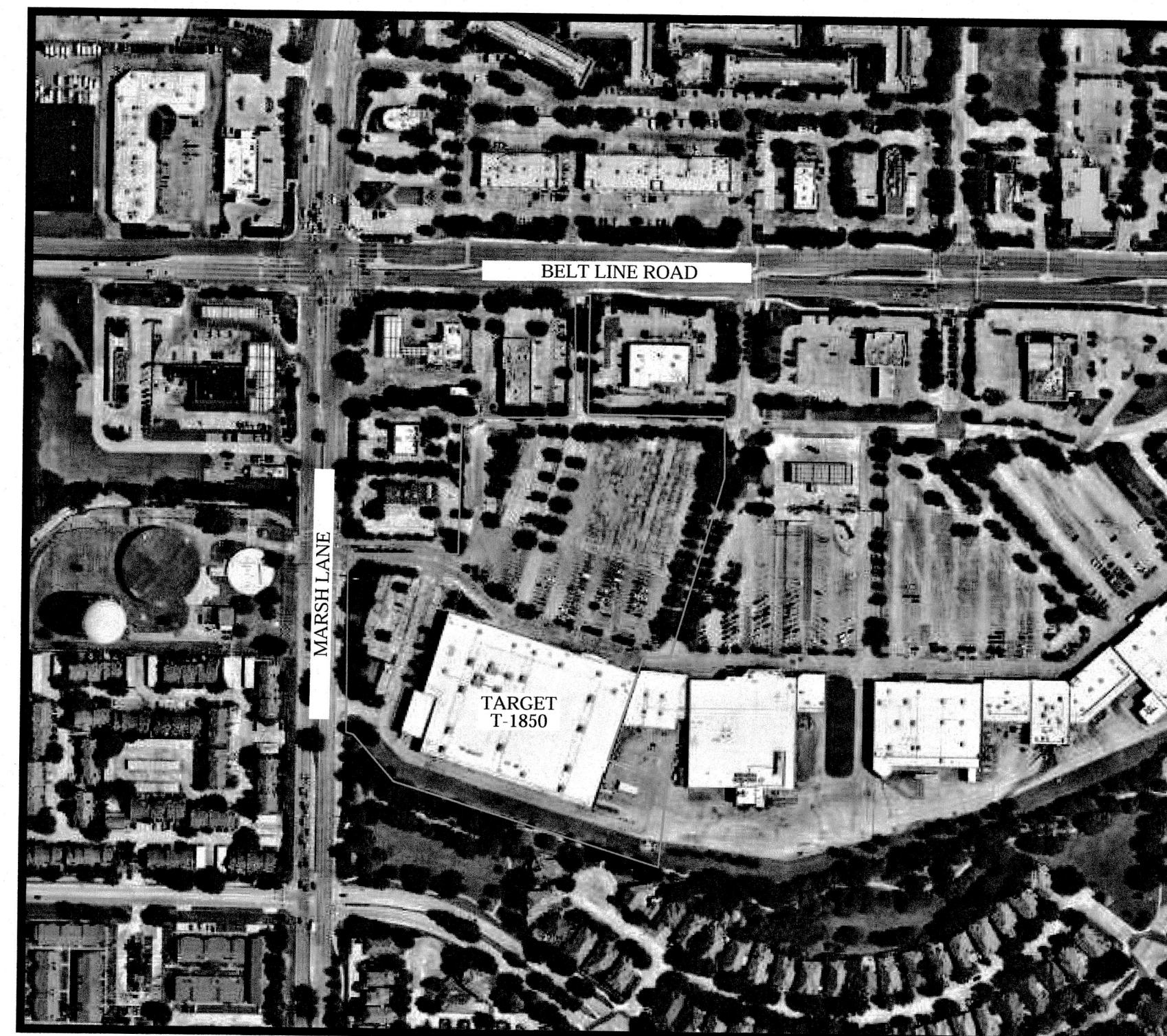
CONTACT:  
SUPERINTENDENT  
TEL:  
EMAIL:

# PAVING SITE REPAIR PLANS



## TARGET T1850

3730 BELT LINE ROAD  
ADDISON, TX 75001



LOCATION MAP

**PERMITS REQUIRED FOR PROJECT**

PERMIT	FEE	REVIEW TIME	SUBMITTAL DATE	APPROVAL DATE	EXP. DATE	REQUIRED INSPECTIONS
GENERAL BUILDING	\$50	2 WEEKS				

AGENCY CONTACT: INFRASTRUCTURE AND DEVELOPMENT SERVICES  
STREET ADDRESS: 16801 WESTGROVE DRIVE  
CITY, STATE, ZIP: ADDISON, TEXAS, 75001-5190  
CONTACT NAME: DAVID E. WILDE  
PHONE: 972-450-2871

**SHEET INDEX**

SHEET NO.	SHEET TITLE
C0-00	COVER SHEET
C0-01	DEMOLITION PLAN
C1-00	SITE REPAIR PLAN
C1-01	STRIPING PLAN
C1-02	ADA IMPROVEMENTS
C1-03	ADA IMPROVEMENTS
C1-04	ADA IMPROVEMENTS
C1-05	PHASING PLAN
C2-00	ARCHETYPE DETAILS
C2-01	ARCHETYPE DETAILS
C3-00	GENERAL NOTES

**Kimley»Horn**

**REVISIONS**

REV	DATE	COMMENT	BY

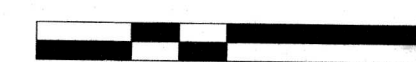
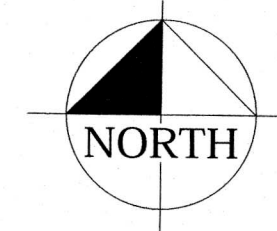


Know what's below.  
Call before you dig.

PROJECT No.: 16058147  
DRAWN BY: RTS  
CHECKED BY: PRK  
DATE: 10/23/17  
SCALE: AS SHOWN

PROJECT:  
**PAVING SITE REPAIR PLANS**  
FOR  
**TARGET CORPORATION**  
  
TARGET T1850  
3730 BELT LINE ROAD  
ADDISON, TX

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SCALED FOR 'D' SIZE (24"x36") PLANS ONLY  
ANY OTHER PLAN SIZE MAY NOT BE TO SCALE

RECEIVED MAY 03 2018





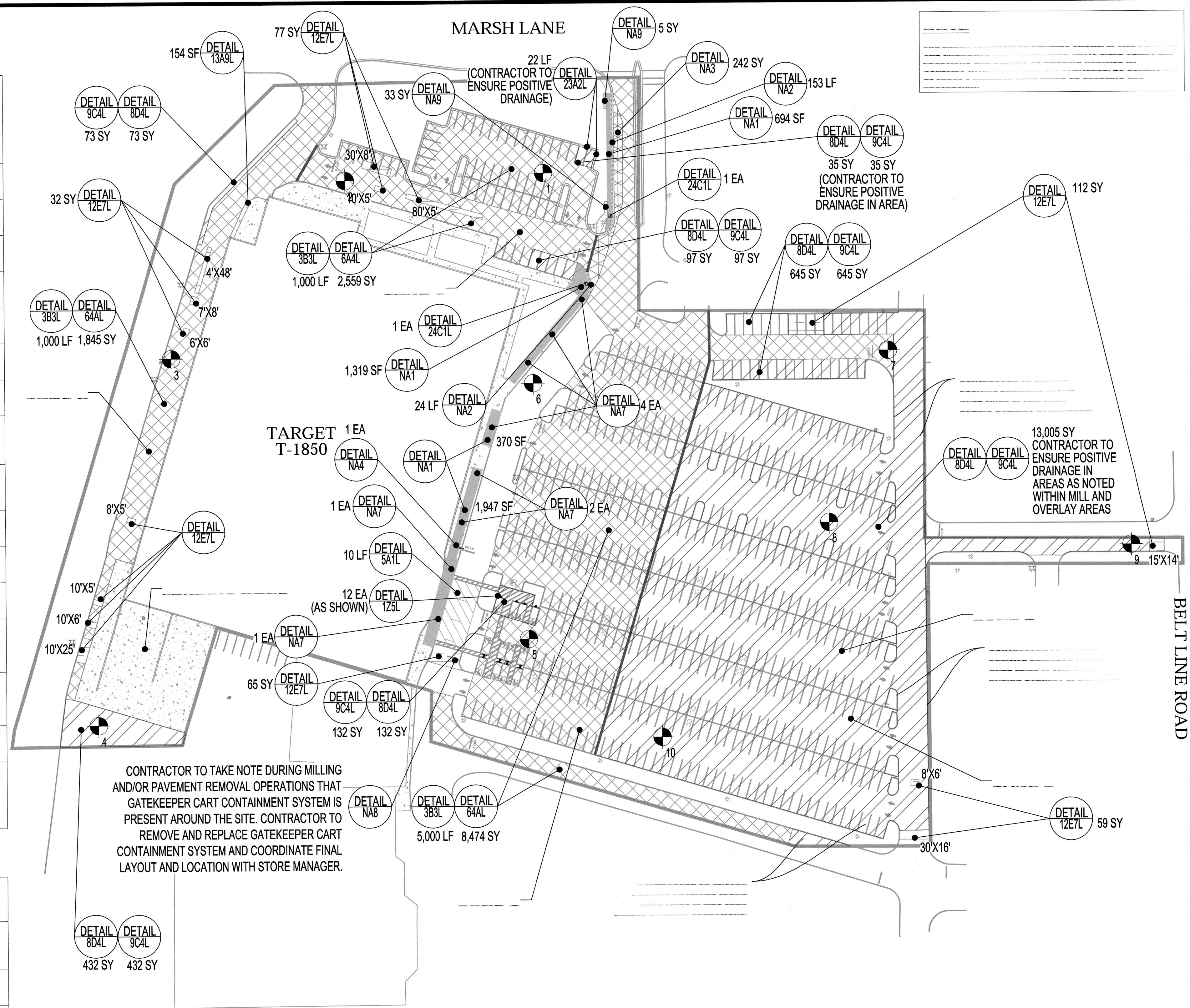


ARCHETYPE QUANTITIES

DETAIL REF#	ARCHETYPES	LEGEND	THICKNESS / DEPTH / TYPE	UNIT TYPE	ACTUAL QTY
1Z5L	ADA SIGN POST WITH BOLLARD		SINGLE MOUNTED SIGNS	EACH	12
2G4L	REPAINT/STRIPE		4" WIDTH	LINEAR FOOT	15,216
2Z5L	ADA SYMBOL WITH BACKGROUND		2 COATS	EACH	13
2Z9L	WHITE STOP BAR AND GRAPHIC		2 COATS	EACH	19
2Z11L	NO PARKING HATCH		2 COATS	EACH	9
2Z13L	CROSS WALKS		2 COATS	EACH	2
2Z17L	REPAINT BOLLARDS VARYING HEIGHT		2 COATS	EACH	48
3B3L	ASPHALT CRACK SEAL WITH HOT-APPLIED RUBBERIZED ASPHALT		1/4" - 3/4"	LINEAR FOOT	7,000
5A1L	CONCRETE PAVEMENT JOINT AND CRACK SEAL		>1/8" WIDE	LINEAR FOOT	10
6A4L	POLYMER MODIFIED ASPHALT EMULSION SEAL COAT		2 COATS	SQUARE YARD	12,878
8D4L	ASPHALT OVERLAY ON MILLED SURFACE		2"	SQUARE YARD	14,419
9C4L	MILL ASPHALT		2"	SQUARE YARD	14,419
12E7L	ASPHALT PAVEMENT CUT AND PATCH REPAIR ON EXISTING AGGREGATE BASE OR CONCRETE		5"	SQUARE YARD	390
13A9L	CONCRETE PAVEMENT CUT AND PATCH REPAIR ON EXISTING AGGREGATE BASE		6"	SQUARE FOOT	154
23A2L	CONCRETE CURB & GUTTER REMOVE & REPLACE		24" - CONCRETE CURB AND GUTTER	LINEAR FOOT	22
24A1L	CONCRETE ADA RAMP REPLACE INCLUDING REMOVE EXISTING CONCRETE		4" MIN-TYP 3A	EACH	2

NON-ARCHETYPE QUANTITIES

DETAIL REF#	ARCHETYPES	LEGEND	THICKNESS / DEPTH / TYPE	UNIT TYPE	ACTUAL QTY
NA1	5" CONCRETE SIDEWALK REMOVE, REGRADE, & REPLACE		5" OR MATCH EXISTING	SQUARE FOOT	4,330
NA2	CONCRETE CURB & GUTTER REMOVE, REGRADE, & REPLACE		MATCH EXISTING	LINEAR FOOT	177
NA3	REMOVE PAVEMENT, REGRADE AND REPAVE NEW ASPHALT FOR SLOPE CORRECTION		6"	SQUARE YARD	242
NA4	REMOVE AND REPLACE STOP SIGN AND POST		MATCH EXISTING	EACH	1
NA5	REPAINT "FIRE LANE NO PARKING"	N/A	2 COATS	LINEAR FOOT	2,835
NA6	REPAINT STRAIGHT DIRECTIONAL ARROW		2 COATS	EACH	36
NA7	REMOVE, SALVAGE, AND REPLACE SPHERICAL BOLLARDS	AS NOTED	MATCH EXISTING	EACH	8
NA8	REMOVE AND REPLACE GATEKEEPER CART CONTAINMENT SYSTEM	AS NOTED	MATCH EXISTING	LUMP SUM	1
NA9	REGRADE AND RE-ESTABLISH LANDSCAPING		N/A	SQUARE YARD	38



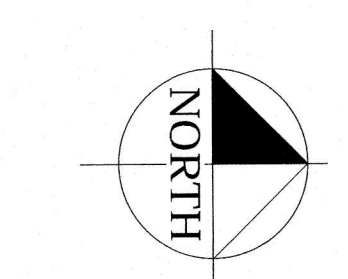
REVISIONS			
REV	DATE	COMMENT	BY



PROJECT No.:	160589147
DRAWN BY:	RTS
CHECKED BY:	FRK
DATE:	10/23/17
SCALE:	AS SHOWN

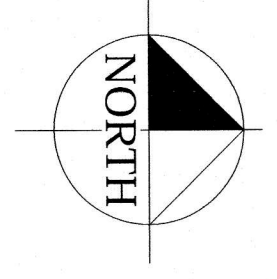
PROJECT:  
PAVING SITE REPAIR PLANS  
FOR  
TARGET CORPORATION  
  
TARGET T1850  
3730 BELT LINE ROAD  
ADDISON, TX

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**LEGEND**

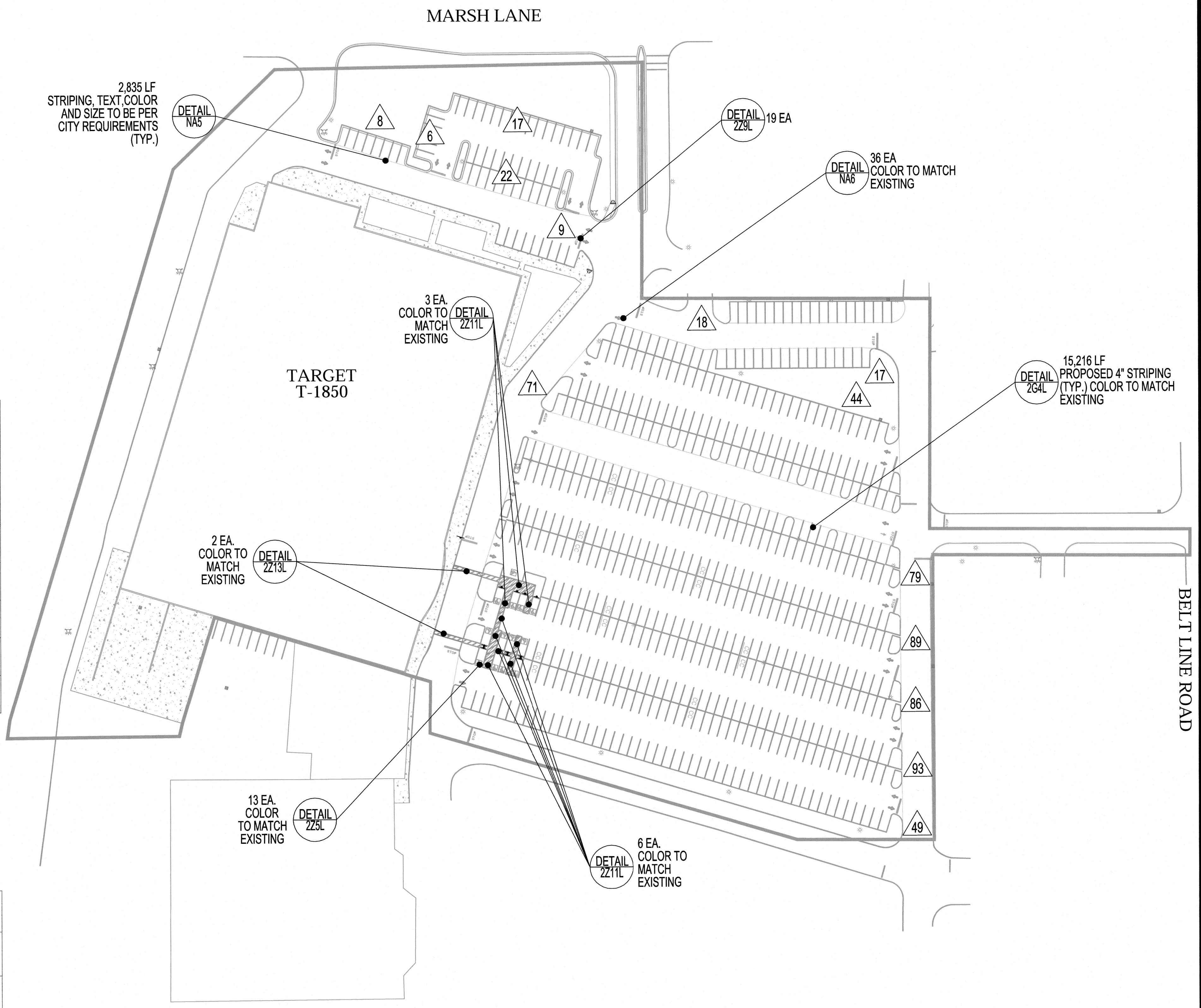
#	PARKING COUNT
—	PROPOSED STRIPING
♿	ADA SYMBOL WITH BACKGROUND (PROPOSED)

**ARCHETYPE QUANTITIES**

DETAIL REF#	ARCHETYPES	LEGEND	THICKNESS / DEPTH / TYPE	UNIT TYPE	ACTUAL QTY
2G4L	REPAINT/STRIPE	—	4" WIDTH	LINEAR FOOT	15,216
2Z5L	ADA SYMBOL WITH BACKGROUND	♿	2 COATS	EACH	13
2Z9L	WHITE STOP BAR AND GRAPHIC	—	2 COATS	EACH	19
2Z11L	NO PARKING HATCH	▨	2 COATS	EACH	9
2Z13L	CROSS WALKS	▽▽▽▽	2 COATS	EACH	2
2Z17L	REPAINT BOLLARDS VARYING HEIGHT		2 COATS	EACH	48

**NON-ARCHETYPE QUANTITIES**

DETAIL REF#	ARCHETYPES	LEGEND	THICKNESS / DEPTH / TYPE	UNIT TYPE	ACTUAL QTY
NA5	REPAINT "FIRE LANE NO PARKING"	—	2 COATS	LINEAR FOOT	2,835
NA6	REPAINT STRAIGHT DIRECTIONAL ARROW	→	2 COATS	EACH	36

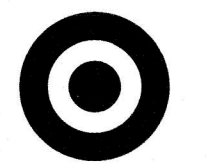


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PROJECT No.: 160589147  
DRAWN BY: RTS  
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SHEET TITLE:  
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SHEET NUMBER:  
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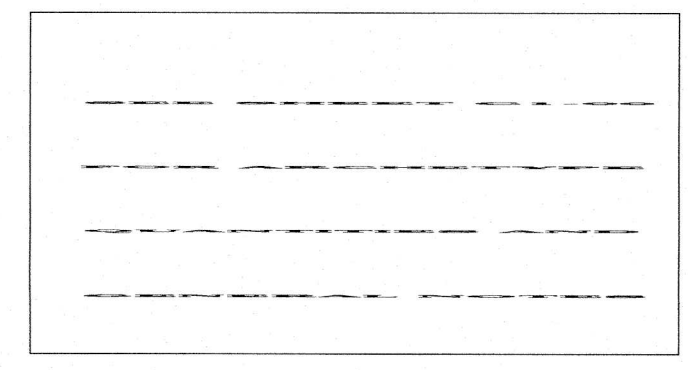
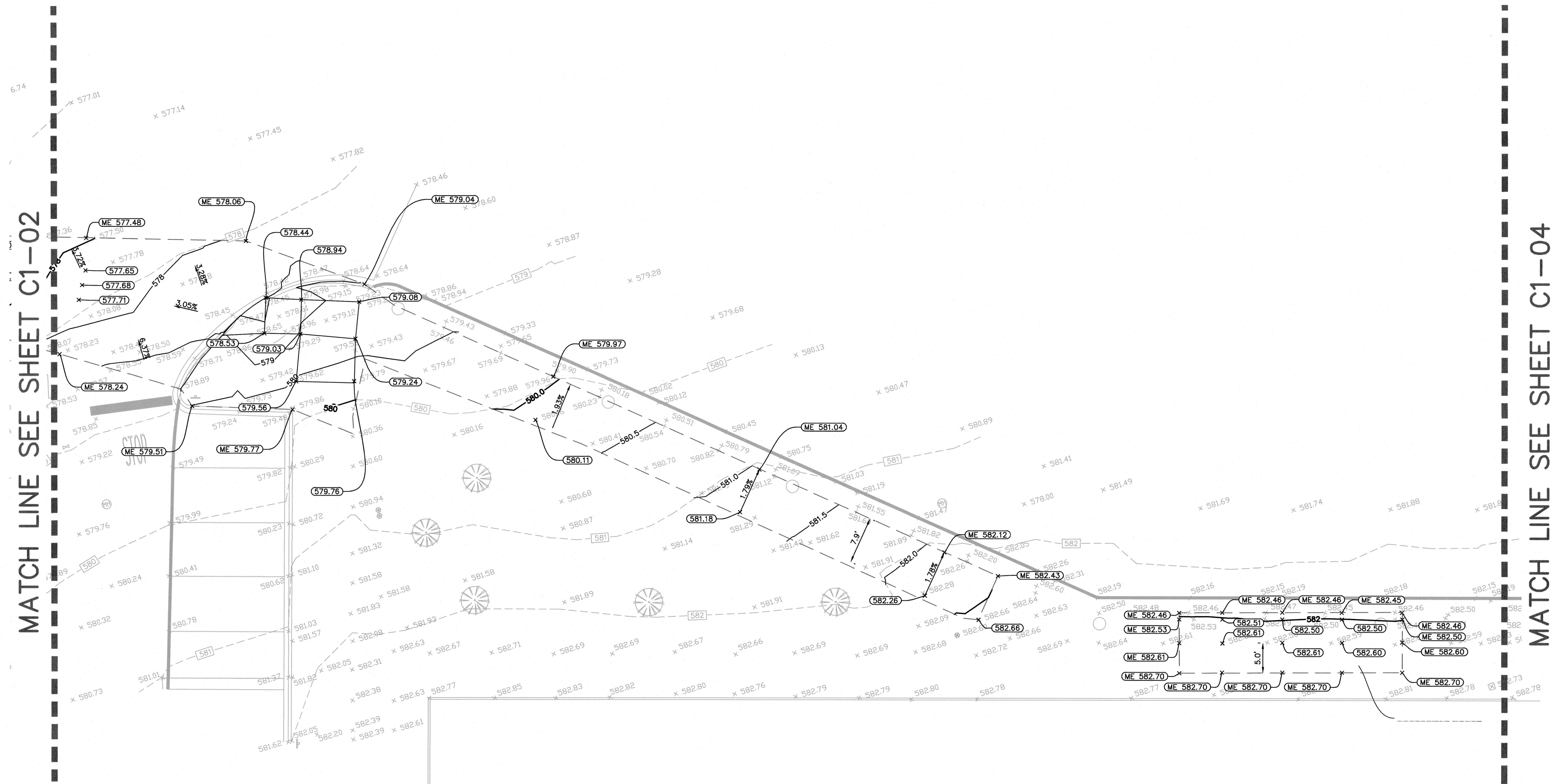




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STALL COUNT SUMMARY		
	EXISTING	PROPOSED
STANDARD	608	608
ADA SPACES	13	13
VAN ACCESSIBLE	2	2

LEGEND	
	LIMITS OF RE-GRADING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	SLOPE ARROW



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REV	DATE	COMMENT	BY



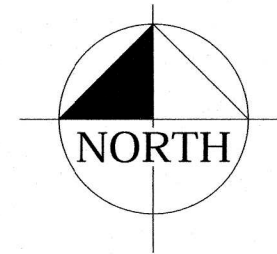
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CHECKED BY: PRK  
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SCALE: AS SHOWN

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SHEET TITLE:  
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SHEET NUMBER:  
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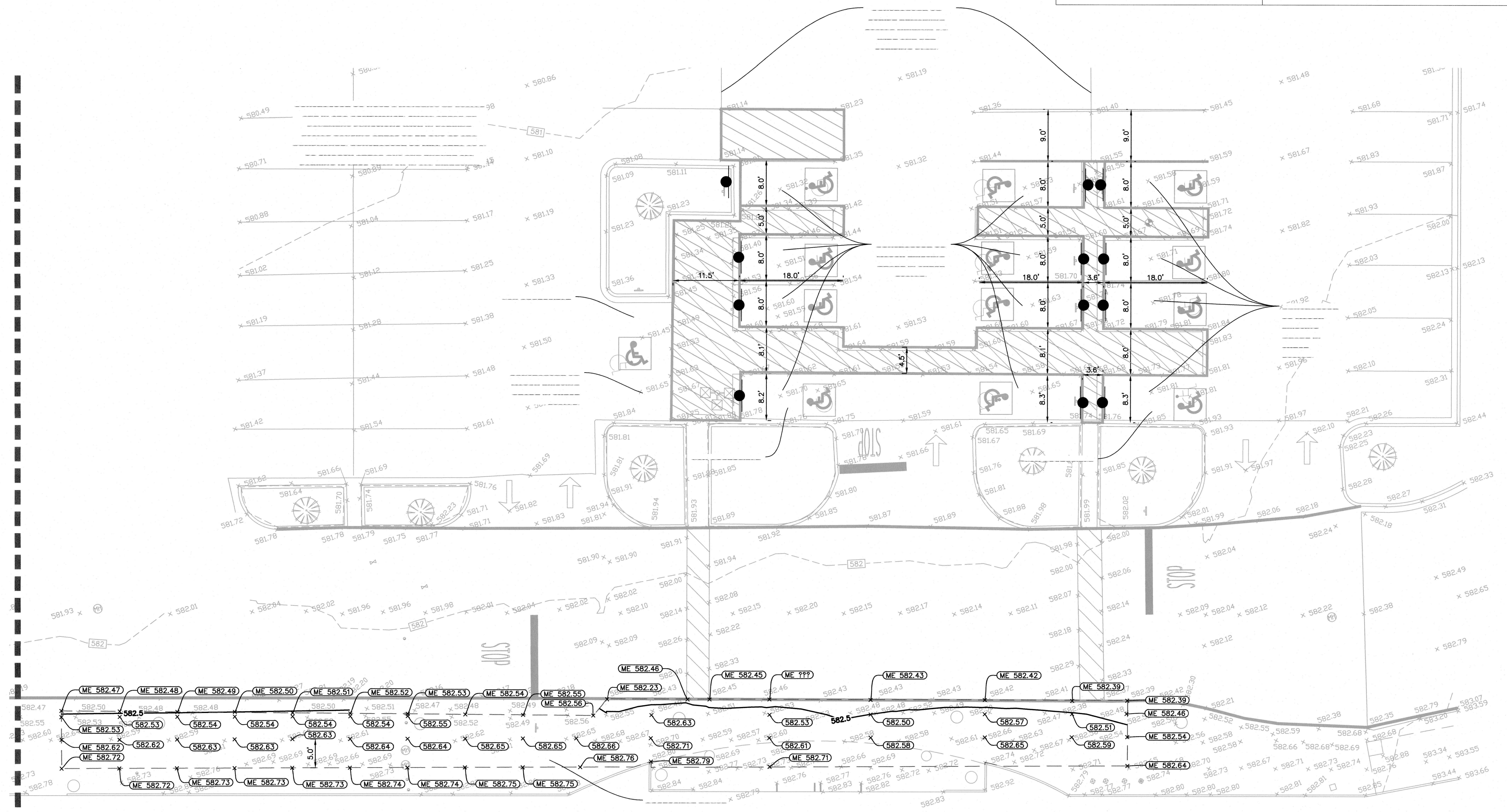


SCALED FOR 'D' SIZE (24"x36") PLANS ONLY  
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STALL COUNT SUMMARY		
	EXISTING	PROPOSED
STANDARD	608	607
ADA SPACES	13	13
VAN ACCESSIBLE	2	3

LEGEND	
	LIMITS OF RE-GRADING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	SLOPE ARROW

MATCH LINE SEE SHEET C1-03



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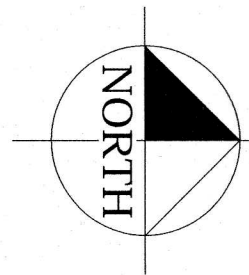
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SHEET TITLE:  
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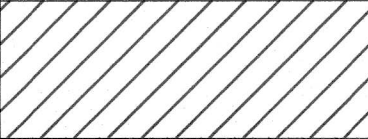
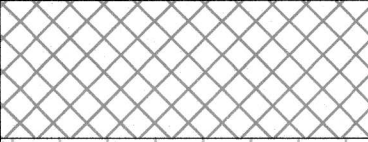
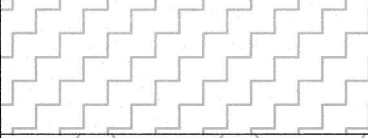

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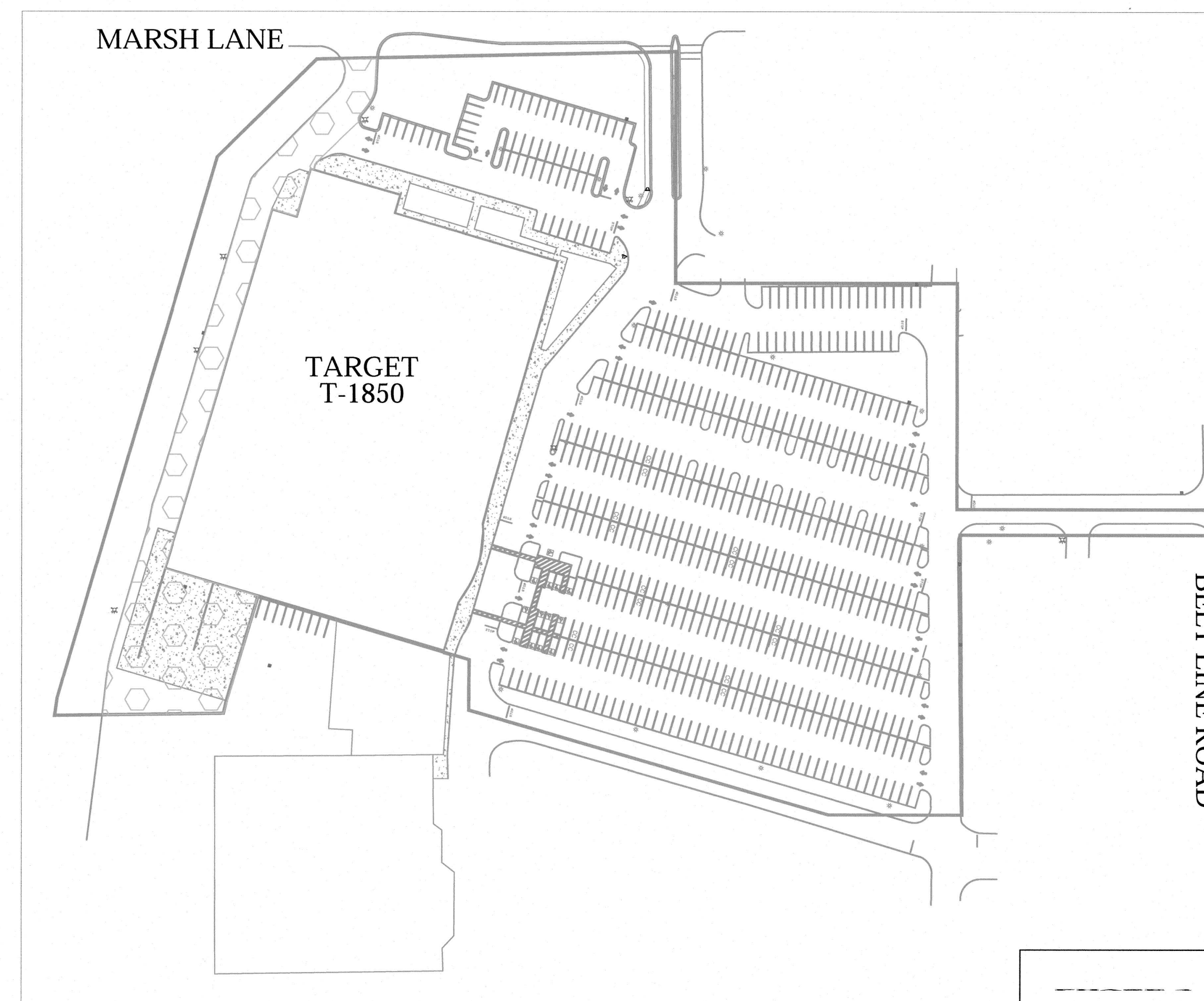
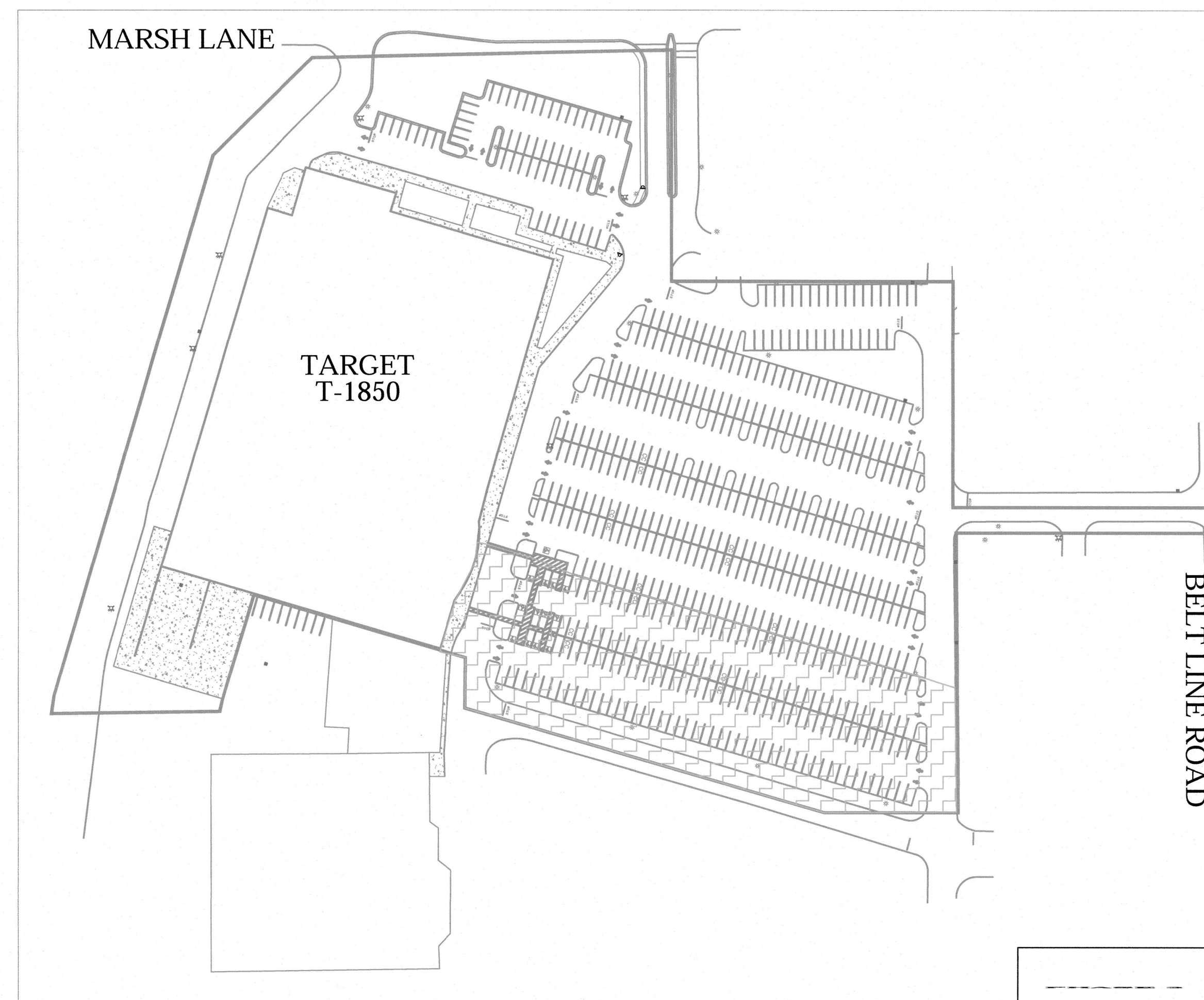
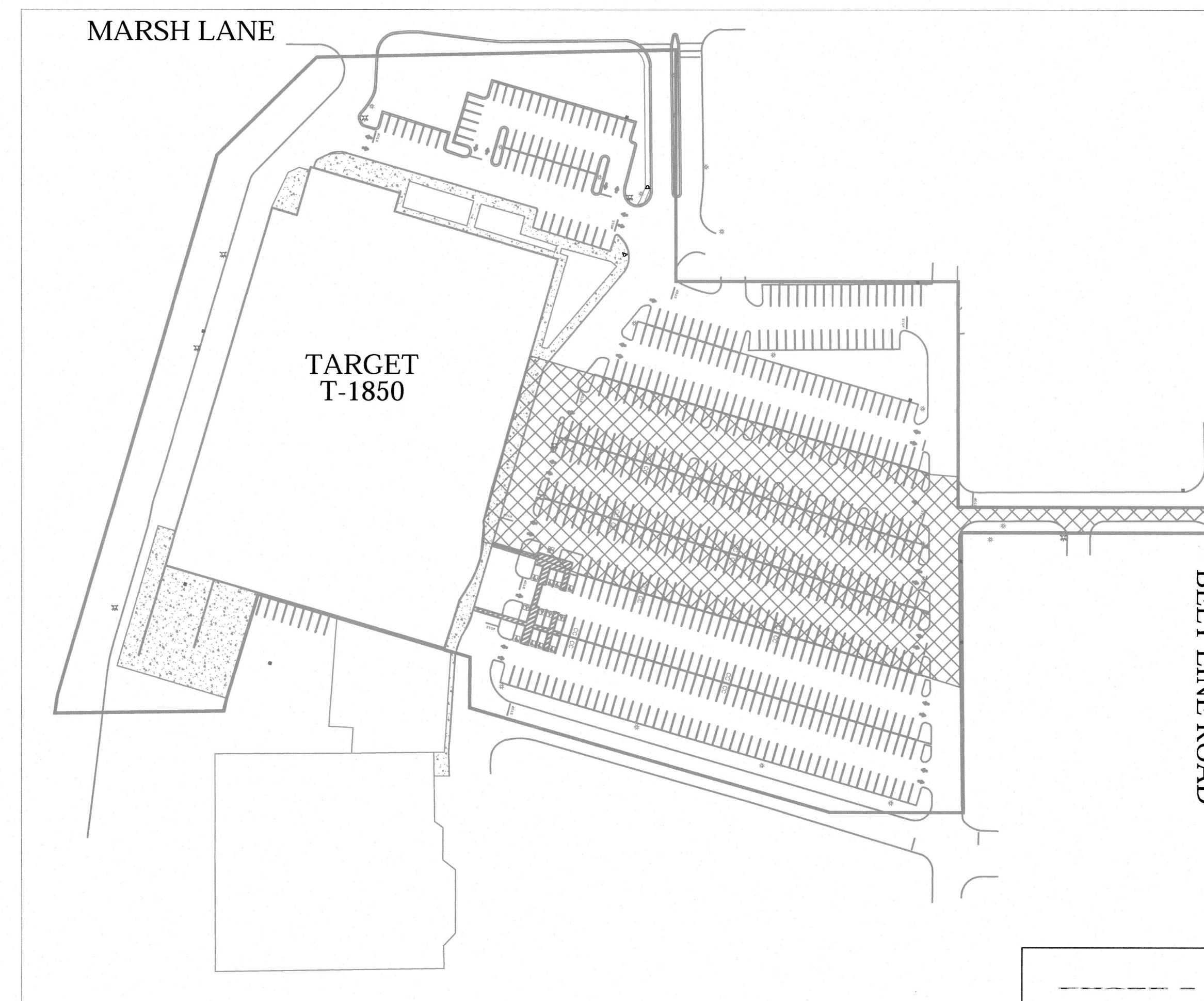
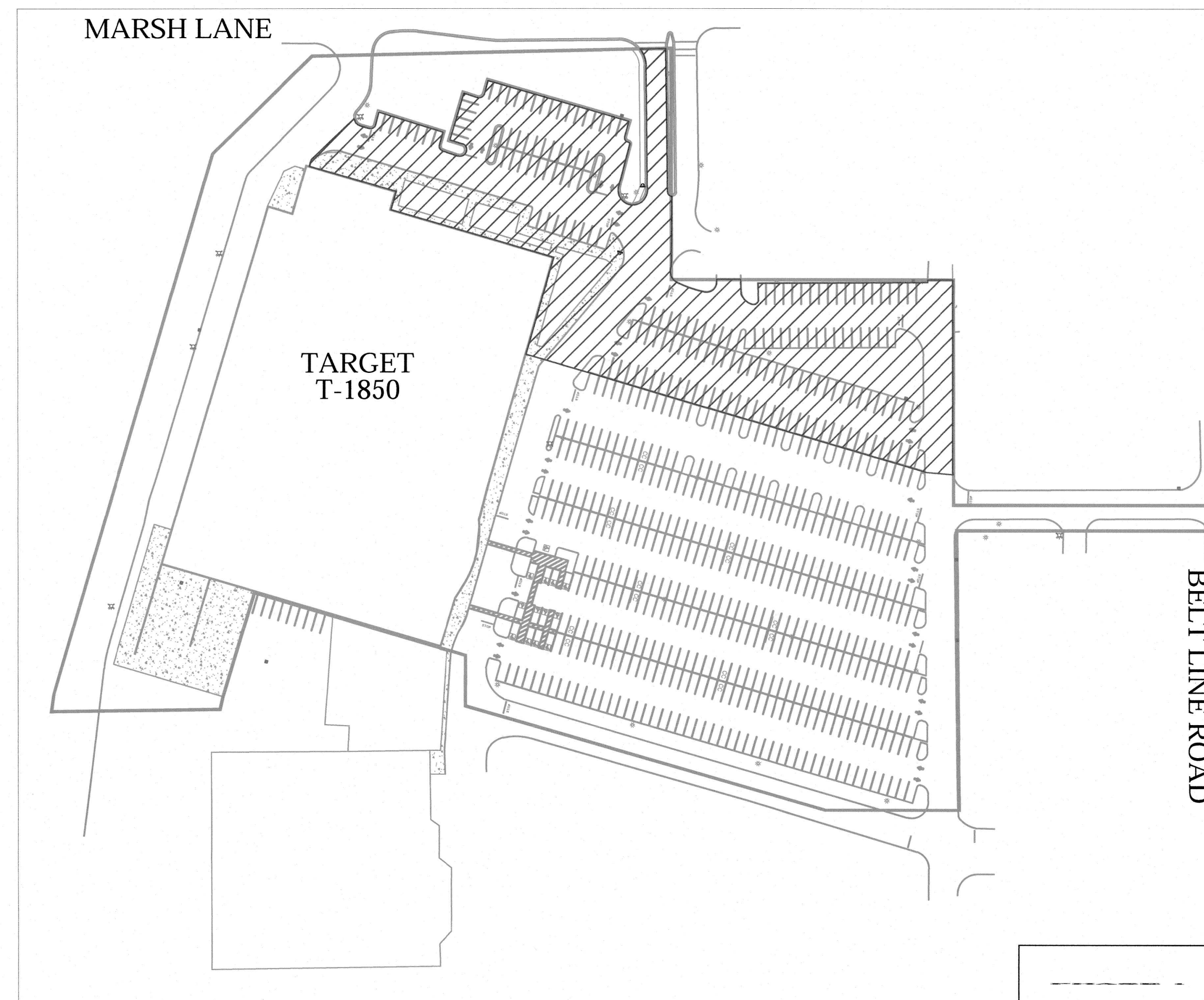




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PHASING PLAN LEGEND

	PHASE 1 WORK AREA
	PHASE 2 WORK AREA
	PHASE 3 WORK AREA
	PHASE 4 WORK AREA



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REVISIONS			
REV	DATE	COMMENT	BY



PROJECT No.: 160589147  
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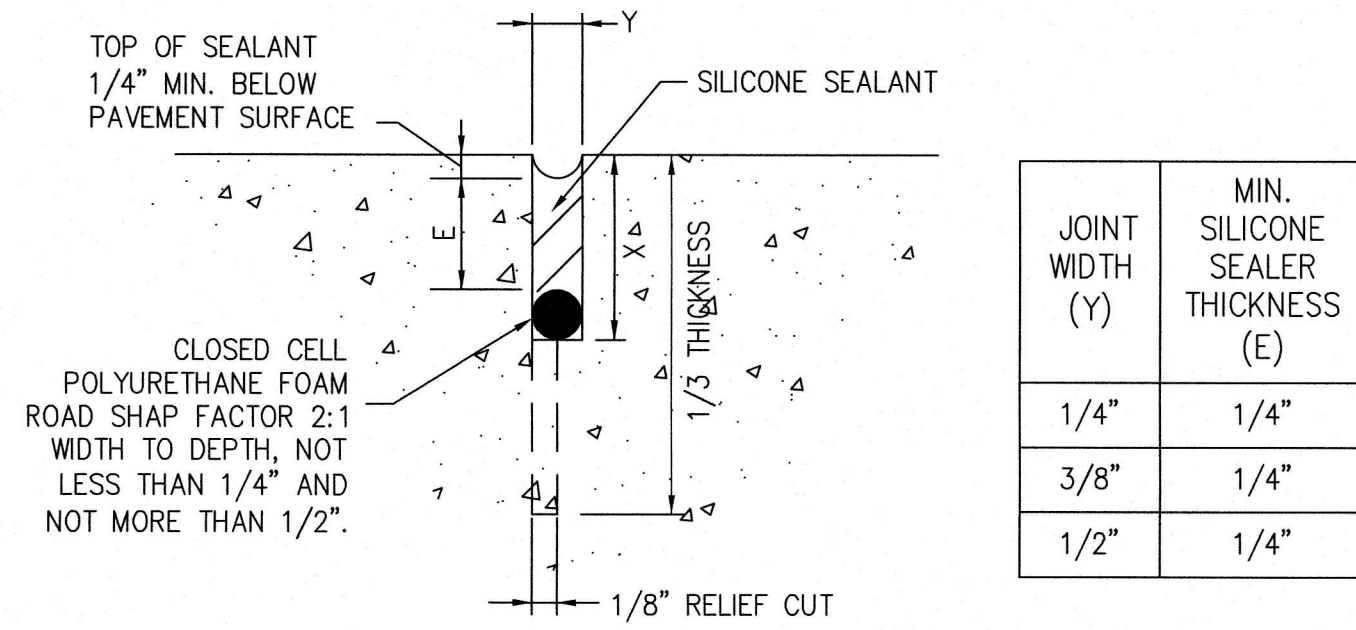
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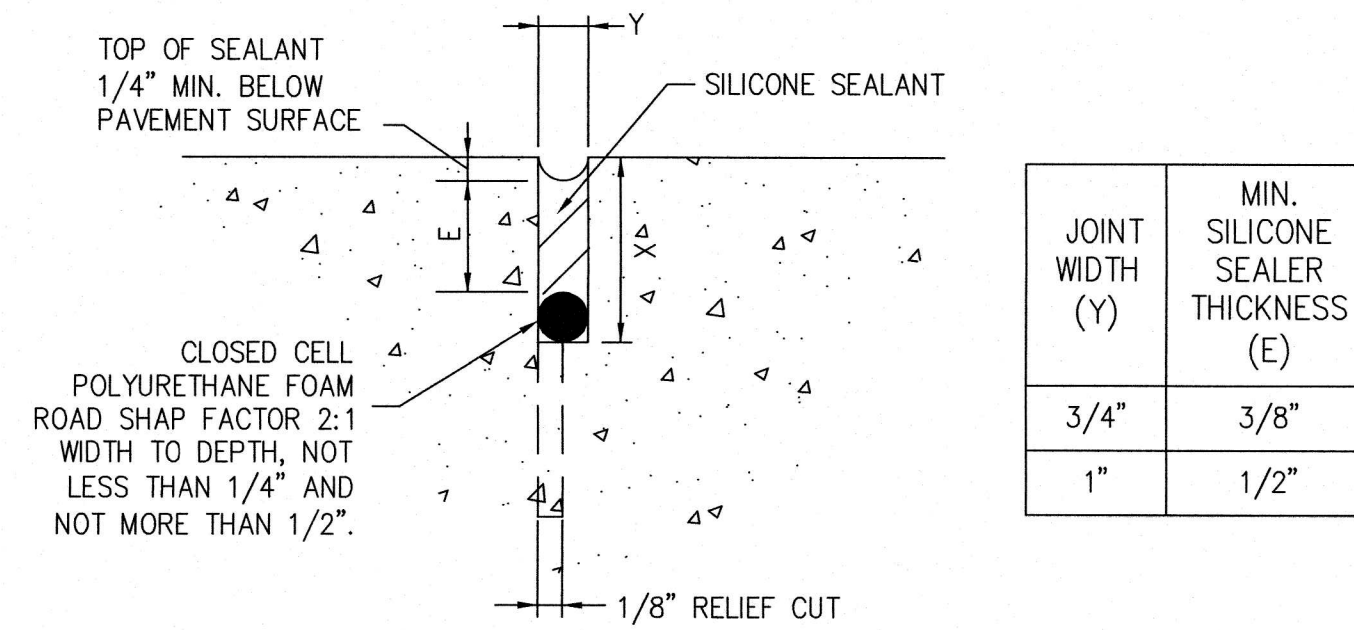


**CONTRACTION JOINTS (TYPE A SILICONE)**



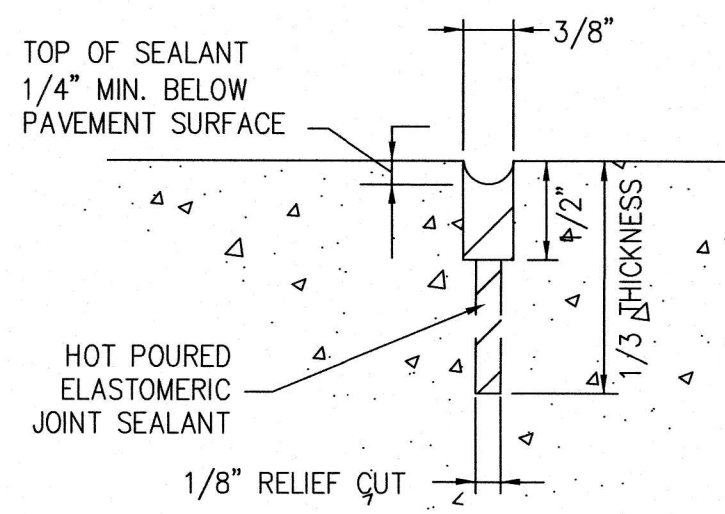
DIMENSION	FOR PLAIN CONCRETE SLAB SEALANT TYPES		FOR REINFORCED CONCRETE SLAB SEALANT TYPES	
	A	B	A	B
X	1 1/4"	1 3/4" - 2"	1 1/4"	1 3/4" OR 2"
Y	1/4"	3/4" OR 1"	3/8"	1/2" OR 1"

**EXPANSION JOINTS (TYPE B SILICONE)**

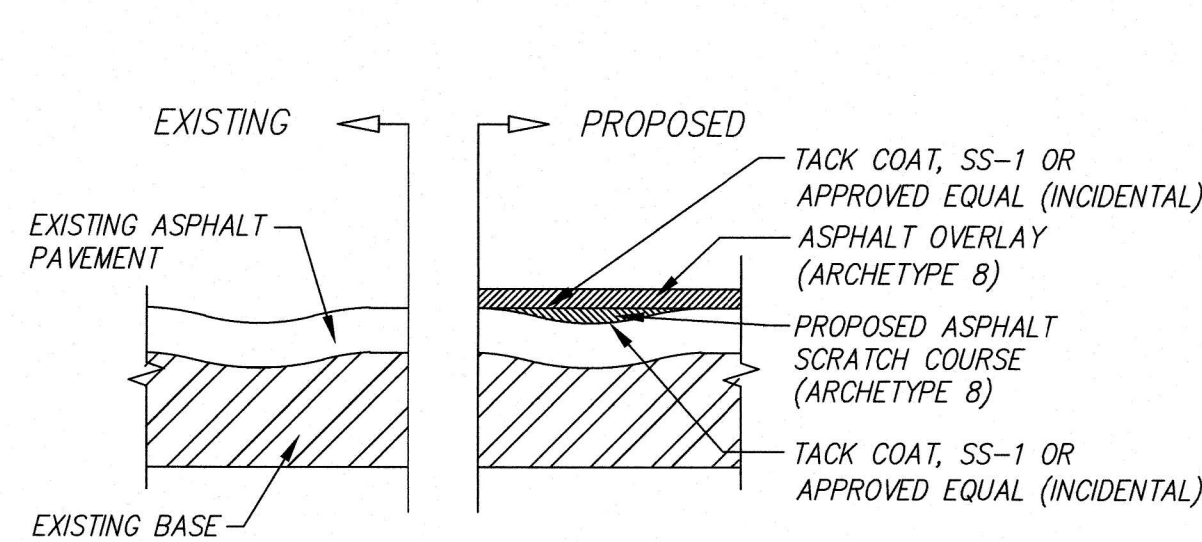


- NOTES:**
1. THESE DETAILS SHALL BE USED FOR ALL NEWLY CONSTRUCTED OR SAWN JOINTS.
  2. SILICONE SEALANTS SHALL BE USED TO SEAL ALL JOINTS WITHIN CONCRETE TRUCK DOCKS, TRUCK MARSHALLING AREAS (ADJACENT TO TRUCK DOCKS), INTERNAL DRIVES AND ROADWAYS, PALLET STORAGE PADS, GUARD GATE PADS, AND SIDEWALKS.
  3. IF A JOINT IS WITHIN THE FOLLOWING AREAS: CONCRETE IN REMOTE TRAILER STORAGE AREAS, PERIMETER DRIVES, AND INGRESS/EGRESS ROADS. HOT RUBBER SEALANTS MAY BE USED IN LIEU OF SILICONE SEALANTS, CONTRACTOR TO COORDINATE ACCEPTABLE USE OF HOT RUBBER SEALANTS WITH DC FACILITY MANAGER. JOINTS SHALL BE INSTALLED PER CONTRACTION JOINTS (HOT RUBBER) ABOVE AS SHOWN ABOVE.
  4. TYPES OF JOINT MATERIAL ARE TO BE IN ACCORDANCE WITH THE SPECIFICATIONS.
  5. ALL CONTRACTION JOINTS TO BE SAWED IN CONFORMANCE WITH THE DETAILS, EXCEPT THAT WHERE GRAVEL AGGREGATE IS USED IN THE CONCRETE, THE JOINT MAY BE PREPARED BY FORMING 1/4" OR LESS OF THE WIDTH, FOR THE DEPTH SHOWN WITH NON-METALLIC OR REMOVABLE MATERIAL, FOLLOWED BY SAWING TO COMPLETE THE JOINT TO THE REQUIRED WIDTH AND DEPTH.

**CONTRACTION JOINTS (HOT RUBBER)**

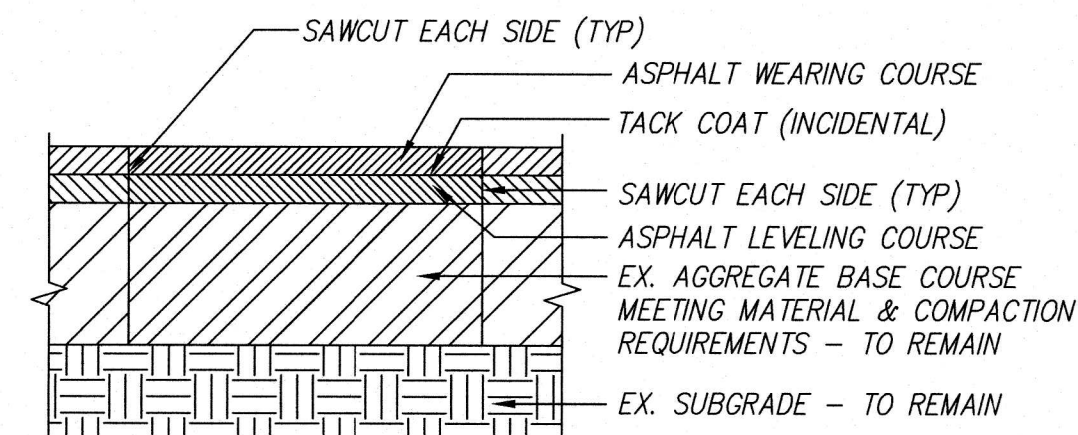


**DETAIL**  
CONCRETE JOINT SEALANT  
NOT TO SCALE



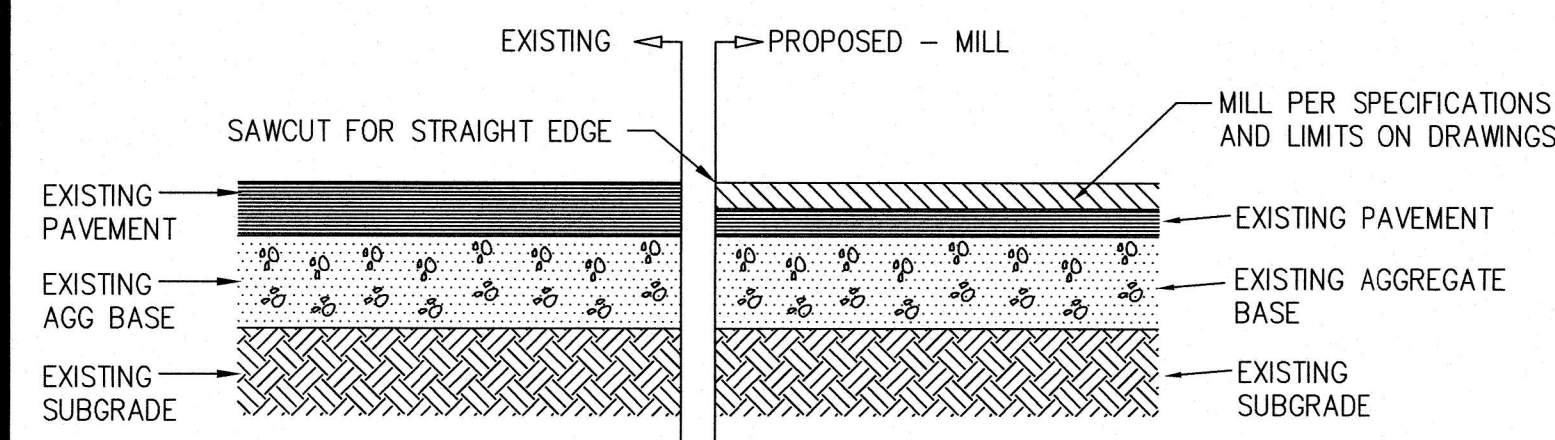
- NOTES:**
1. INSTALL SCRATCH COURSE TO FILL LOW POINTS, SHRINKAGE CRACKS AND SMALL TO MEDIUM POTHOLES. THIS COURSE IS TO PROVIDE A SMOOTH AND LEVEL SURFACE AS CALLED FOR ON THE PLANS.
  2. AFTER SURFACES HAVE BEEN PREPARED TO THE SATISFACTION OF THE DESIGN CONSULTANT AND PRIOR TO OVERLAY, ENTIRE AREA SHALL BE SWEEPED AND CLEANED OF DEBRIS. PRIOR TO OVERLAY APPLY TACK COAT AT THE RATE OF 0.20 GAL/SYD. TRAFFIC WILL NOT BE PERMITTED AFTER TACK COAT INSTALLATION.
  3. MIN. LIFT THICKNESS SHALL BE TWO TIMES THE MAX. AGGREGATE SIZE.
  4. ISOLATED SCRATCH COURSE TO BE USED WHEN THE ENGINEER OR OWNER DETERMINE THAT LOW SPOTS EXIST THROUGHOUT PAVEMENT SURFACE AREAS AND NEED TO BE LEVELED PRIOR TO ASPHALT OVERLAY.

**DETAIL**  
ASPHALT OVERLAY ON MILLED SURFACE  
NOT TO SCALE



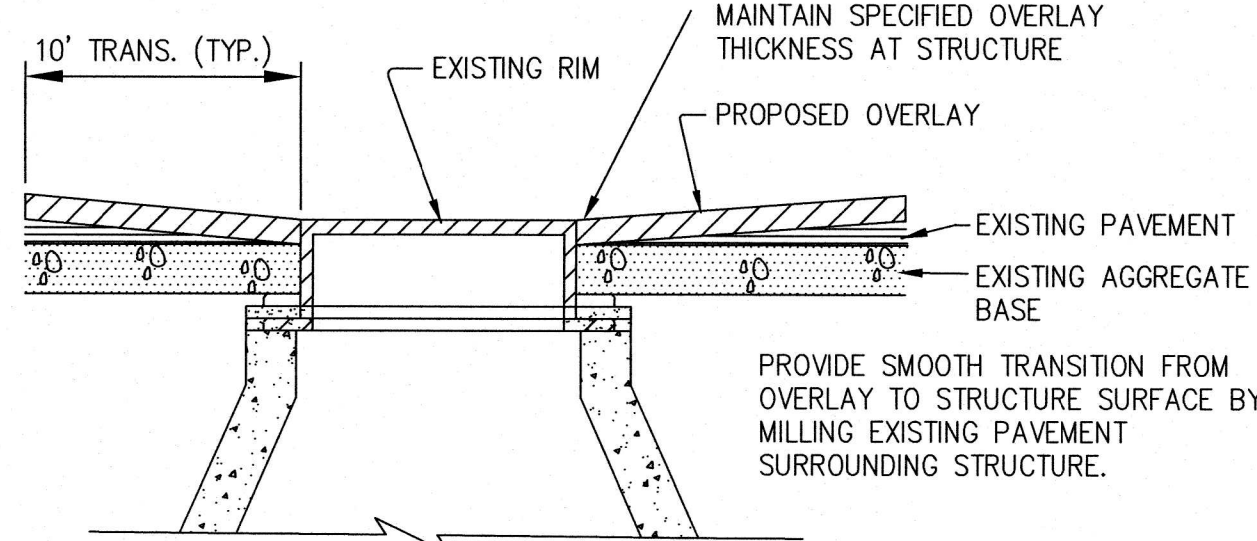
- NOTES:**
1. CUT AND PATCH AREAS SHOWN ON THE PLANS ARE APPROXIMATE IN SIZE AND LOCATION AND MAY BE ADJUSTED AT THE TIME OF CONSTRUCTION PER THE ASSIGNED ARCHETYPE PRICE.
  2. MIN. LIFT THICKNESS SHALL BE TWO TIMES THE MAX. AGGREGATE SIZE.

**DETAIL**  
ASPHALT PAVEMENT CUT AND PATCH REPAIR ON EXISTING AGGREGATE BASE OR CONCRETE  
NOT TO SCALE



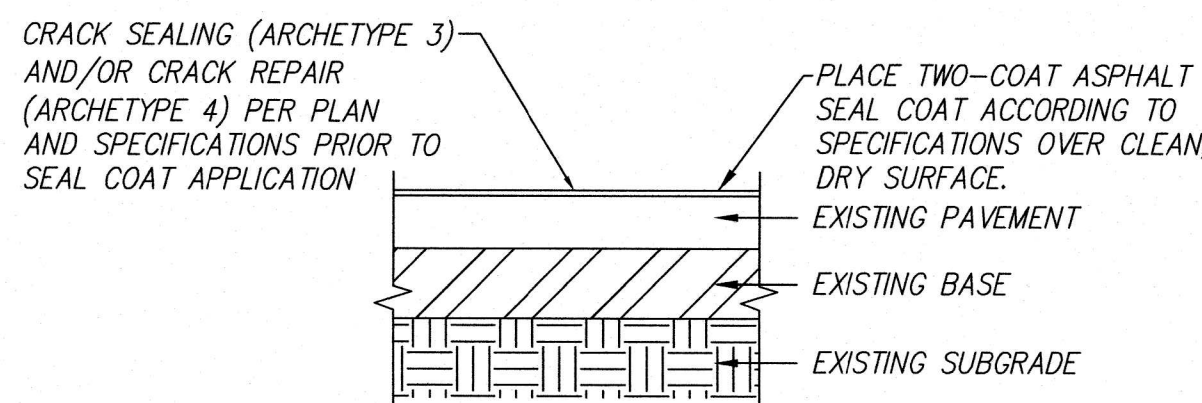
- NOTE:**
1. AFTER MILL, ENTIRE AREA SHALL BE SWEEPED & CLEANED OF DEBRIS.
  2. IT MAY BE REQUIRED TO RAISE MILL CUT WHERE THINNER PAVEMENTS ARE ENCOUNTERED. CORRESPONDING ARCHETYPE PRICING WILL BE ADJUSTED.

**DETAIL**  
MILL ASPHALT  
NOT TO SCALE

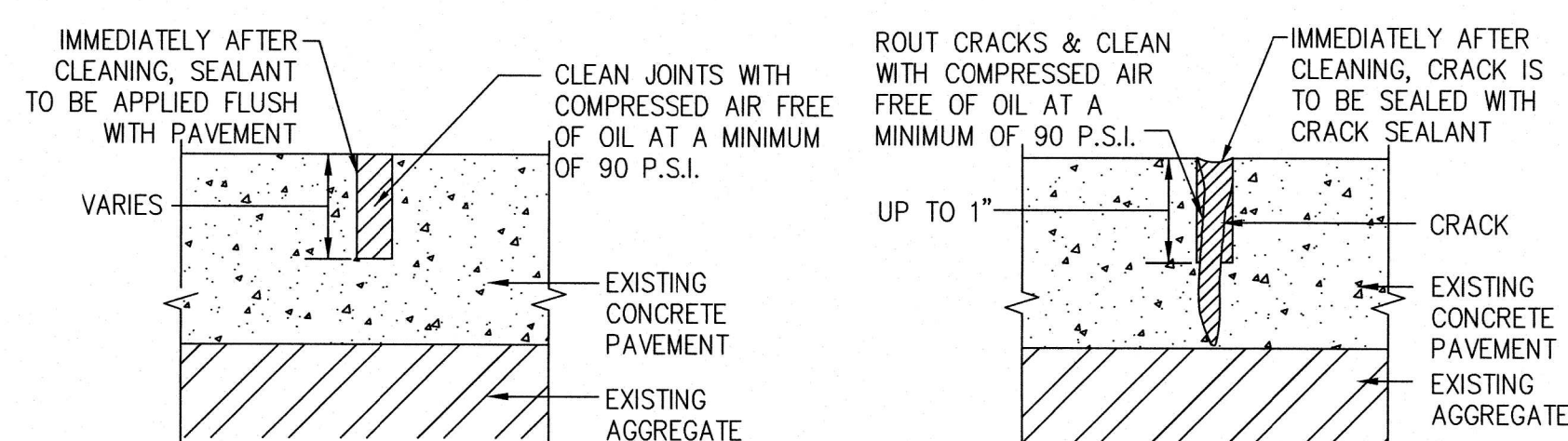


- NOTE:**
1. PLANS DO NOT NECESSARILY INCLUDE ALL STRUCTURE LOCATIONS. CONTRACTOR SHALL VERIFY THE NUMBER AND LOCATION OF ALL STRUCTURES.

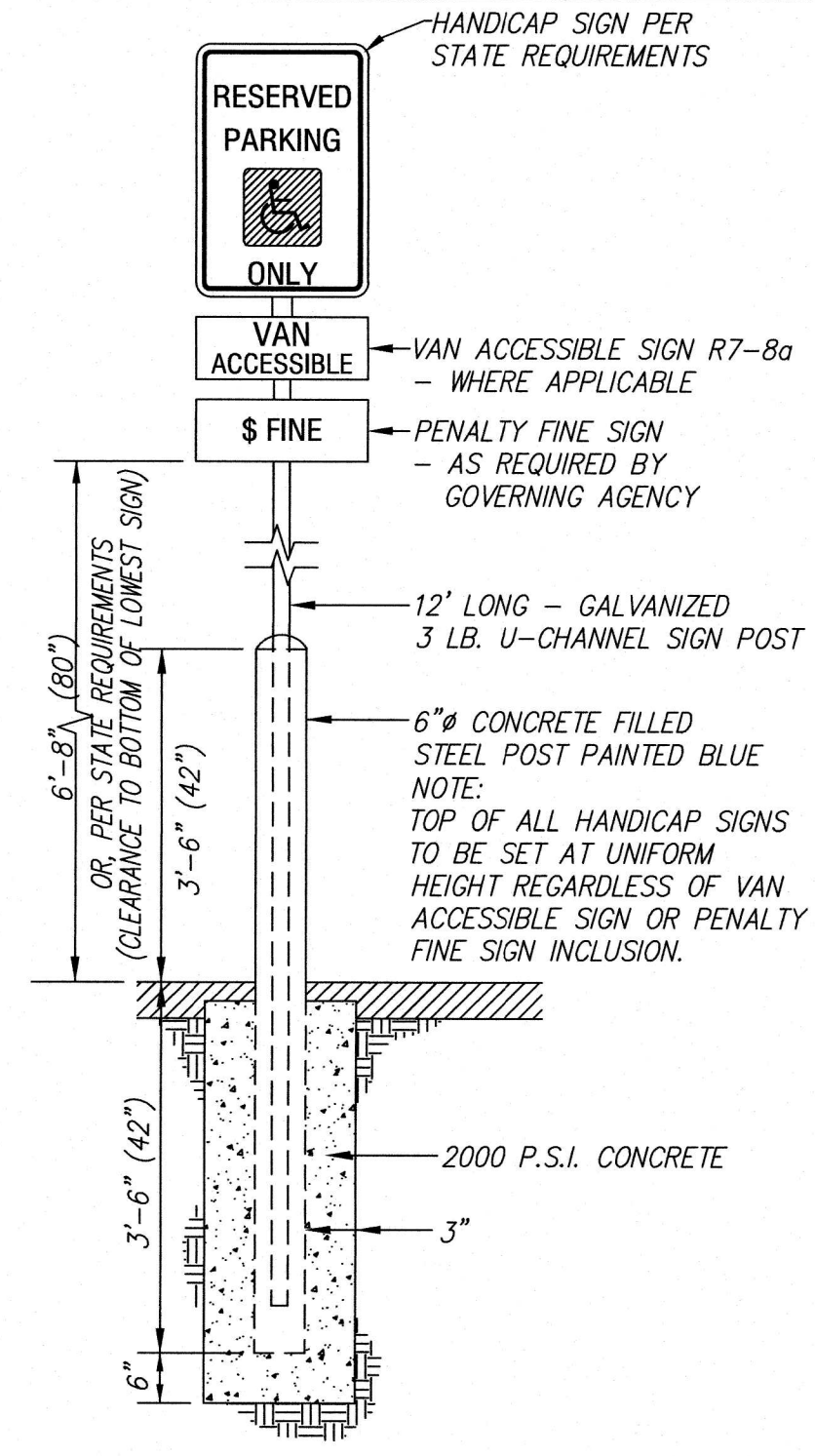
**DETAIL**  
POLYMER MODIFIED ASPHALT EMULSION SEAL COAT  
NOT TO SCALE



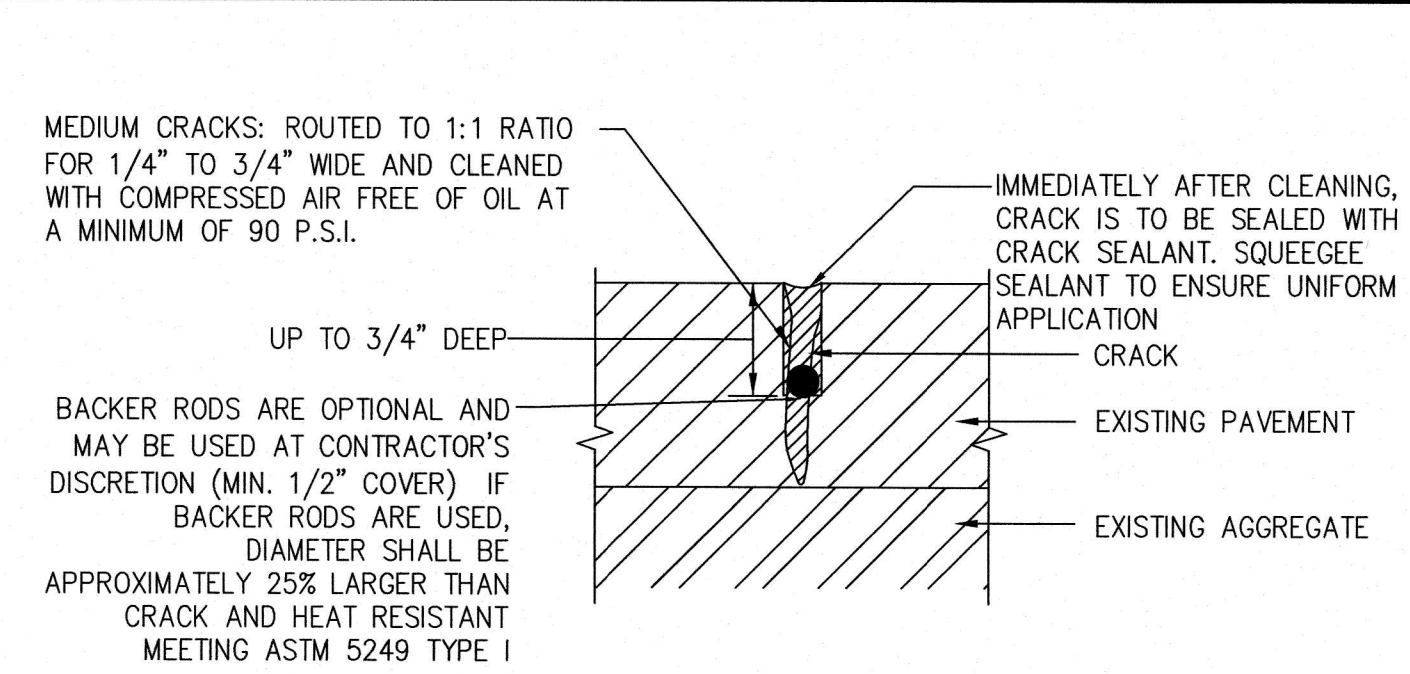
**DETAIL**  
CRACK SEALING (ARCHETYPE 3) AND/OR CRACK REPAIR (ARCHETYPE 4) PER PLAN AND SPECIFICATIONS PRIOR TO SEAL COAT APPLICATION  
NOT TO SCALE



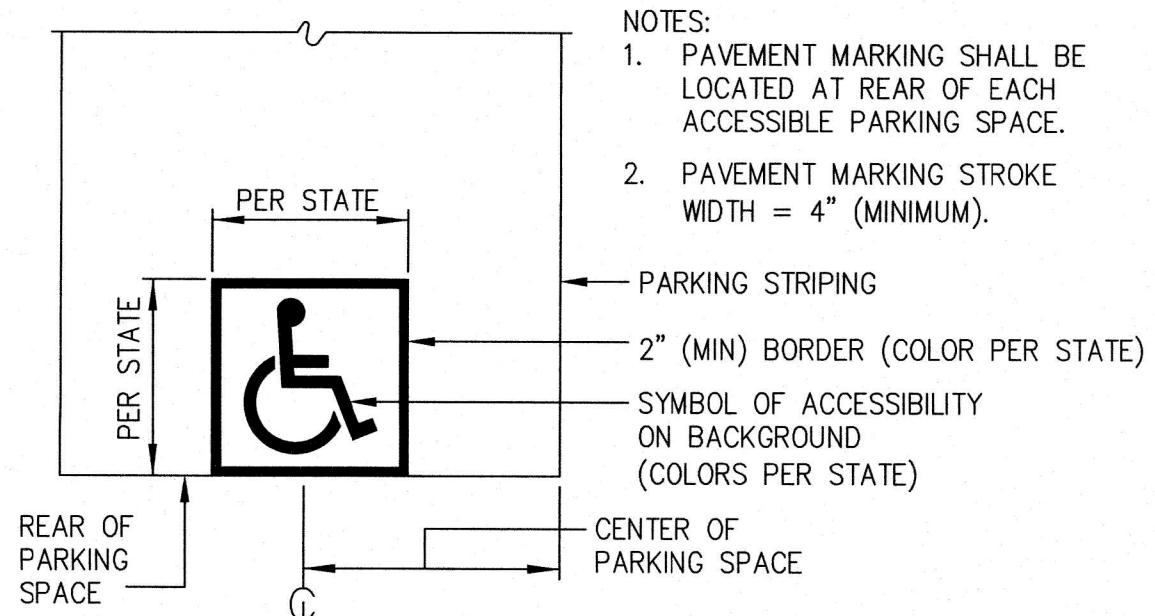
**DETAIL**  
CONCRETE PAVEMENT JOINT AND CRACK SEAL  
NOT TO SCALE



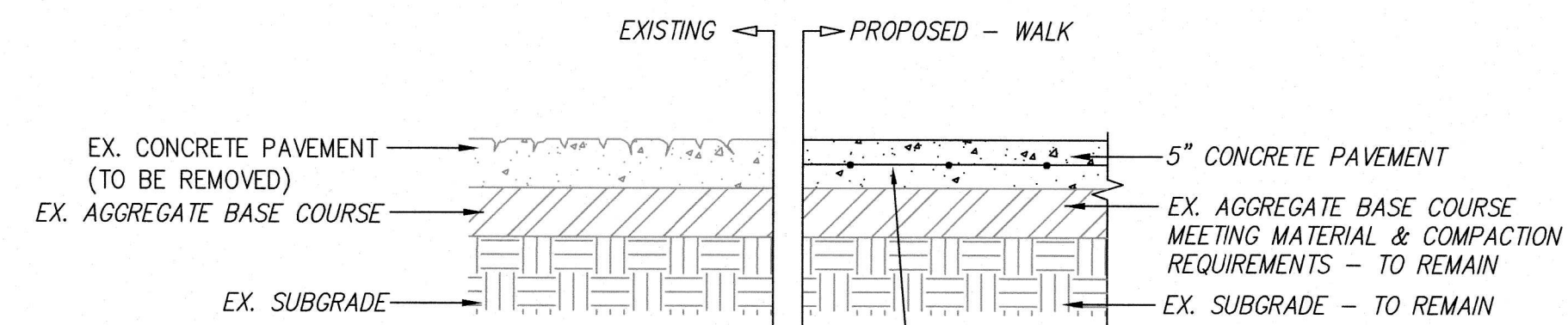
**DETAIL**  
ADA SIGN POST WITH BOLLARD  
NOT TO SCALE



**DETAIL**  
MEDIUM CRACKS 1/4" TO 3/4"  
ASPHALT CRACK SEAL WITH HOT-APPLIED RUBBERIZED ASPHALT  
NOT TO SCALE

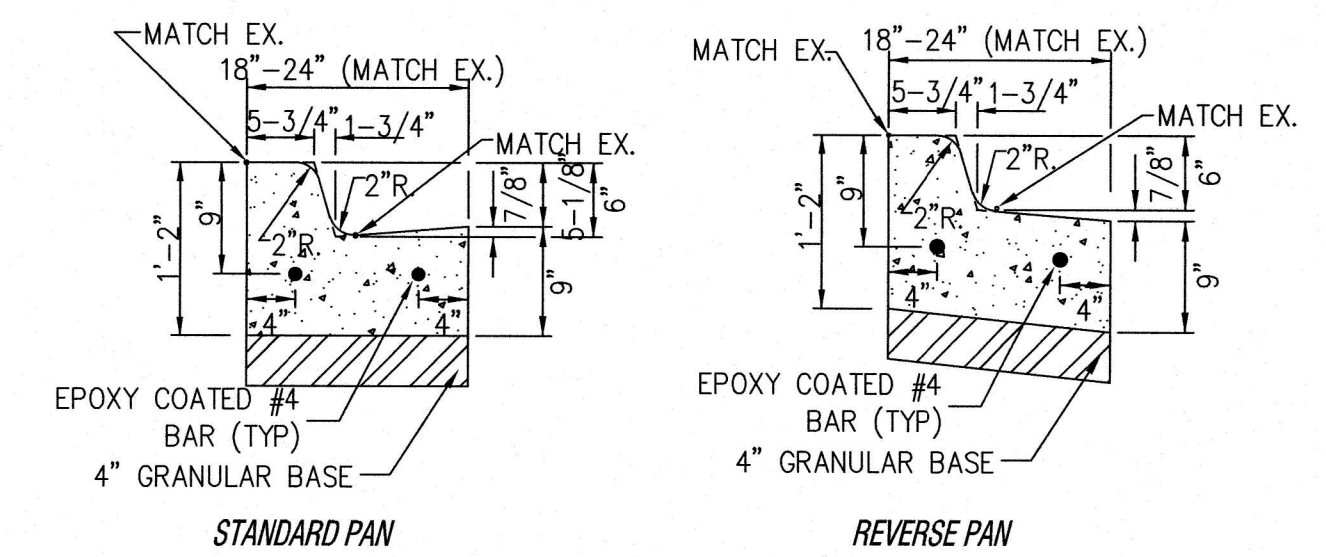


**DETAIL**  
ADA SYMBOL WITH BACKGROUND  
NOT TO SCALE



- NOTES:**
1. MATCH EXISTING CONTROL AND EXPANSION JOINTS.
  2. CONTRACTOR SHALL NOTIFY ENGINEER IF EX. BASE MATERIAL DOES NOT MEET REQUIREMENTS PER SPECIFICATIONS.

**DETAIL**  
5" CONCRETE SIDEWALK REMOVE, REGRADE AND REPLACE  
NOT TO SCALE



- NOTES:**
1. DETAIL SHOWN FOR REFERENCE ONLY. FIELD CONSTRUCTION SHALL MATCH EXISTING CURB AND GUTTER TYPE, INCLUDING DIMENSIONS AND REINFORCEMENT, AS WELL AS ELEVATION UNLESS SPECIFICALLY OTHERWISE NOTED FOR REGRADING/DRAINAGE IMPROVEMENTS.
  2. VERTICAL SAWCUT SHALL BE MADE AT ALL LIMITS OF REMOVAL TO CREATE A CLEAN EDGE.

**DETAIL**  
CONCRETE CURB AND GUTTER REMOVE AND REPLACE  
NOT TO SCALE

**Kimley»Horn**

**REVISIONS**

REV	DATE	COMMENT	BY

**811**

Know what's below.  
Call before you dig.

PROJECT No.: 16058917  
DRAWN BY: RTS  
CHECKED BY: PRK  
DATE: 10/23/17  
SCALE: AS SHOWN

PROJECT:  
**PAVING SITE REPAIR PLANS**

FOR  
**TARGET CORPORATION**



TARGET T1850  
3730 BELT LINE ROAD  
ADDISON, TX

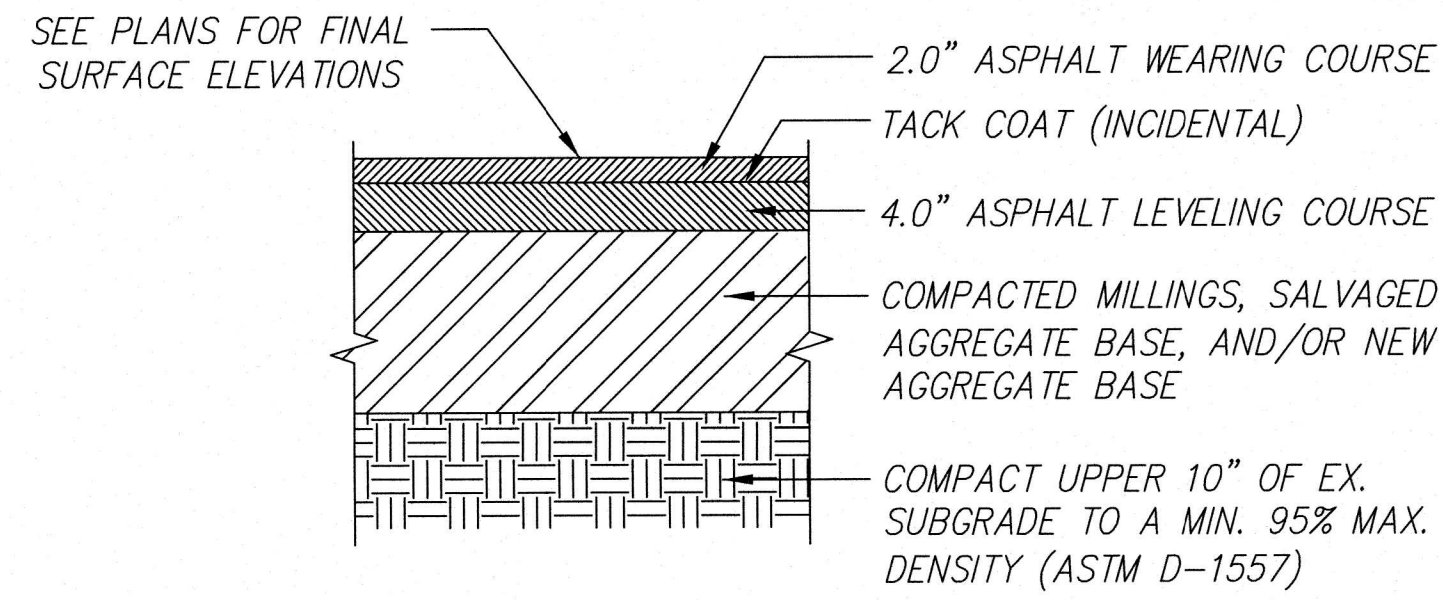
**Kimley»Horn**

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1001 WARRENVILLE ROAD, SUITE 350,  
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SHEET TITLE:

SHEET NUMBER:





NOTE:  
MIN. LIFT THICKNESS SHALL BE TWO TIMES THE MAX. AGGREGATE SIZE.

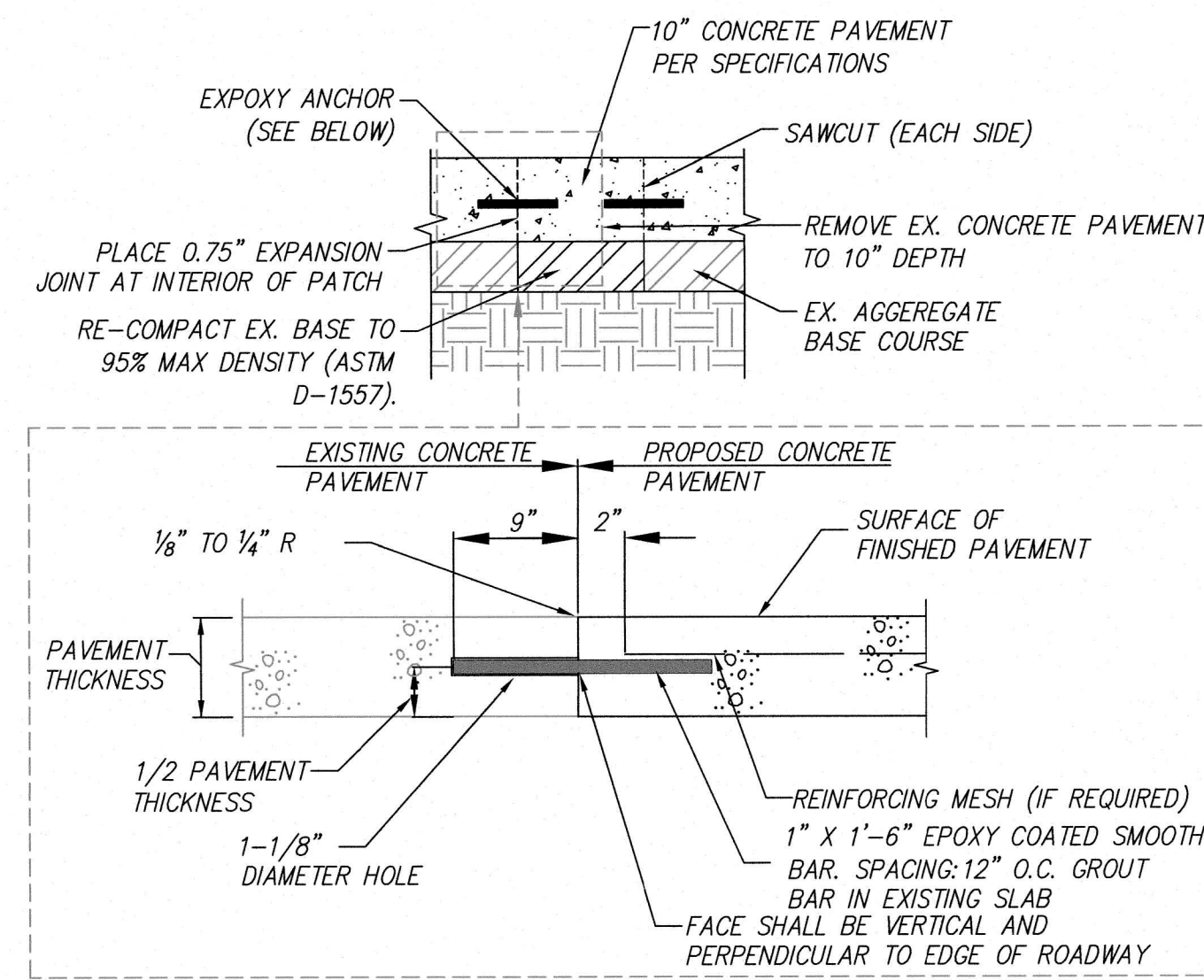
NOTES:

1. REMOVE EXISTING ASPHALT AND/OR CONCRETE PAVEMENT, AGGREGATE BASE, AND SUBGRADE MATERIAL TO REQUIRED ELEVATION TO MEET PROPOSED GRADES. PLACE COMPACTED BASE MATERIAL TO REQUIRED ELEVATION AND PLACE LEVELING AND WEARING COURSE PER CROSS-SECTIONAL DETAIL THIS SHEET.
2. CREATE A SMOOTH TRANSITION AT REPAIR LIMITS TO MATCH EXISTING GRADE. SEE PLAN FOR APPROXIMATE LIMITS.

**DETAIL**

REMOVE PAVEMENT, REGRADE AND REPAVE NEW ASPHALT FOR SLOPE CORRECTION

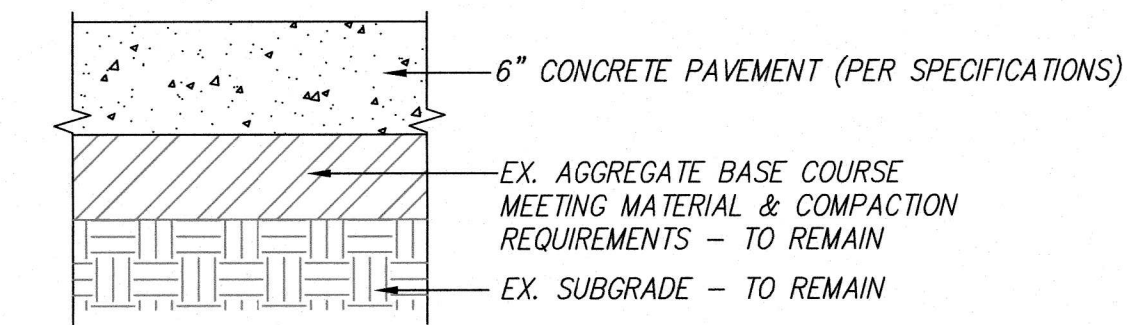
DETAIL  
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**DETAIL**

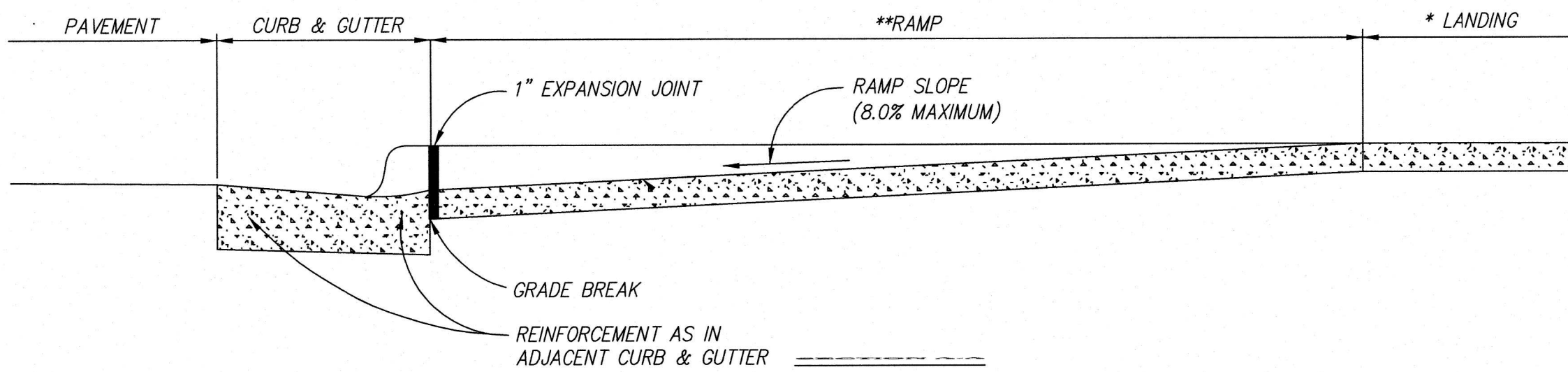
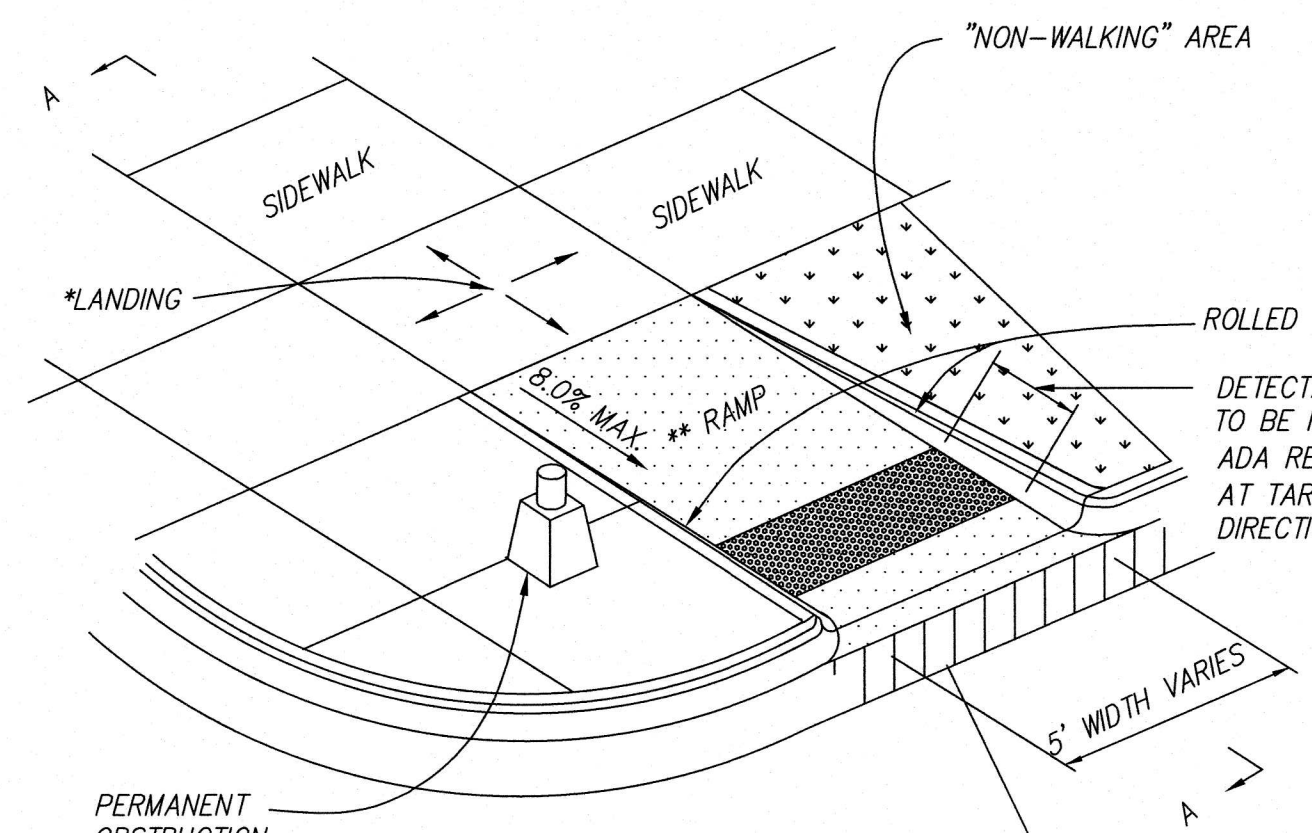
4" CONCRETE PAVEMENT CUT AND PATCH REPAIR ON EXISTING AGGREGATE BASE

DETAIL  
13A9L



NOTES - FOR ALL RAMPS:

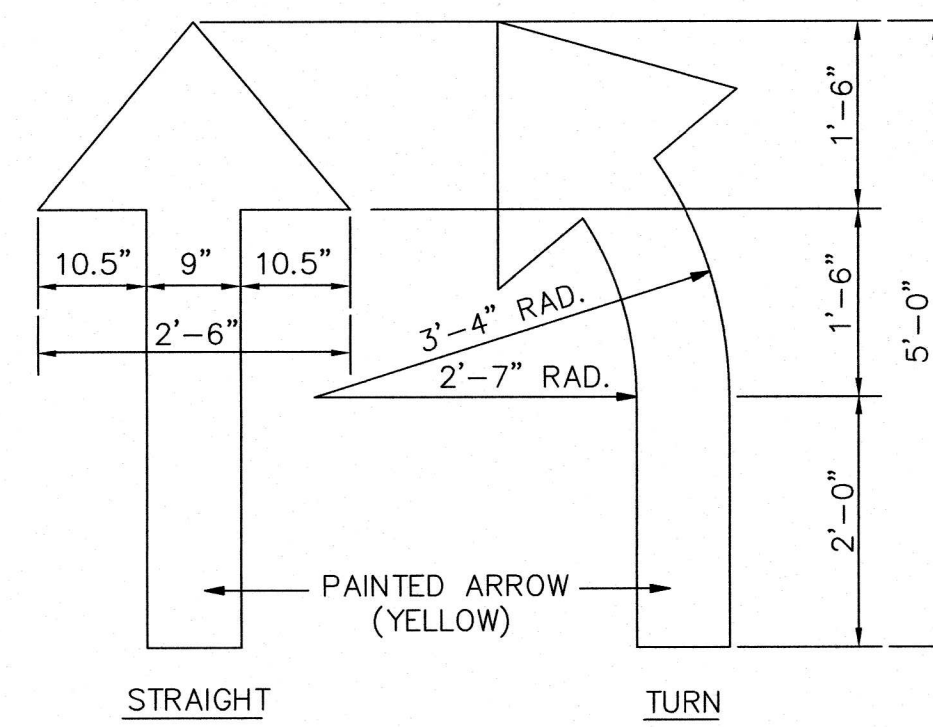
1. SAWCUT AND REMOVE EXISTING SIDEWALK AS REQUIRED TO CONSTRUCT CURB RAMP.
2. THE CURB RAMP SHALL HAVE A MINIMUM CONCRETE THICKNESS OF 4 INCHES.
3. ELEVATION DIFFERENCE BETWEEN TOP AND BOTTOM OF CURB RAMP SHALL NOT EXCEED 6 INCHES.
4. TRANSITION FROM RAMP AND LANDING TO WALK, GUTTER OR STREET SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
5. CONTRACTOR IS STRONGLY ENCOURAGED TO CONSTRUCT PROPOSED REMEDIATION MEASURES BELOW THE STATED MAXIMUMS IN ORDER TO ALLOW FOR CONSTRUCTION TOLERANCES. ANY REQUIRED RECONSTRUCTION EXCEEDING THE ADA MAXIMUMS WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY.
6. PROVIDE LEVEL LANDINGS WITH MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS AT THE TOP AND BOTTOM OF THE RAMP.
7. HIGH EARLY STRENGTH CONCRETE SHALL BE USED ON ALL RAMP CONSTRUCTION PROJECTS AT MAIN STORE ENTRANCES OR AT LOCATIONS WHERE SET TIMES NEED TO BE MINIMIZED TO REDUCE IMPACTS TO TRAFFIC.



**DETAIL**

CONCRETE ADA RAMP REPLACE INCLUDING INCLUDING REMOVE EXISTING CONCRETE

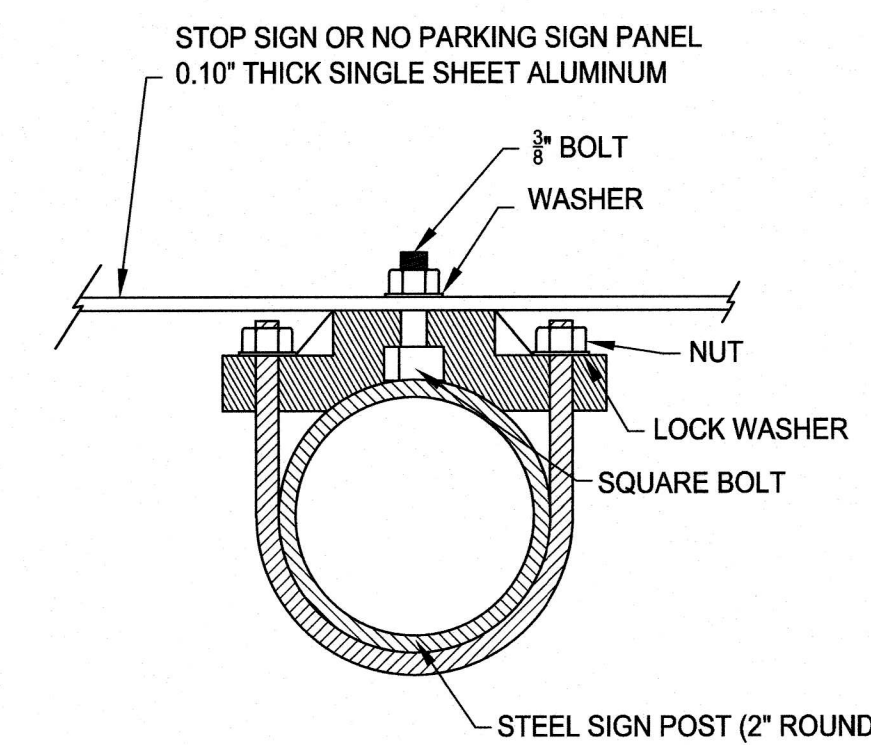
DETAIL  
24C1L



**DETAIL**

REPAINT STRAIGHT DIRECTIONAL ARROW

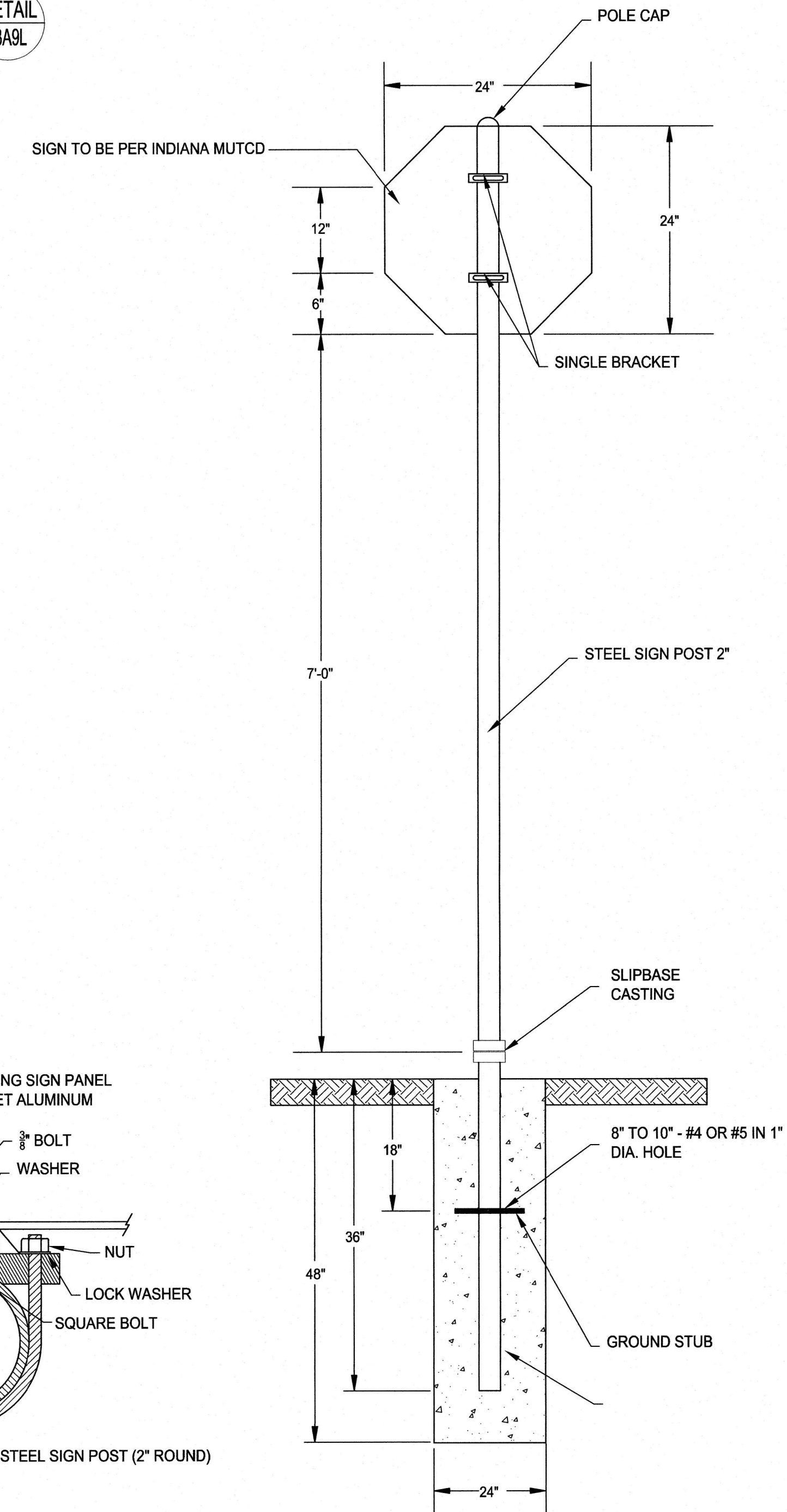
DETAIL  
NA6



**DETAIL**

REMOVE AND REPLACE STOP SIGN AND POST  
NOT TO SCALE

DETAIL  
NA5



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REVISIONS

REV	DATE	COMMENT	BY

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PROJECT No.: 160589147  
DRAWN BY: RTS  
CHECKED BY: PRK  
DATE: 10/23/17  
SCALE: AS SHOWN

PAVING SITE REPAIR PLANS

FOR  
TARGET CORPORATION



TARGET T1850  
3730 BELT LINE ROAD  
ADDISON, TX

Kimley»Horn

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1001 WARRENVILLE ROAD, SUITE 350,  
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SHEET TITLE:

SHEET NUMBER:



**GENERAL NOTES**

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE PROJECT PLANS AND SPECIFICATIONS. WHERE THE CONTRACTOR DETERMINES A CONFLICT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ALLOW THE ENGINEER SUFFICIENT TIME TO ADDRESS THE CONFLICT. FAILURE TO NOTIFY THE ENGINEER WILL NOT CAUSE THE OWNER ADDITIONAL EXPENSES FOR NOTED CONFLICTS.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
- ALL ACCESSIBLE SITE FEATURES SHALL BE CONSTRUCTED TO MEET THE CURRENT STANDARDS SET FORTH IN THE LATEST AMERICANS WITH DISABILITIES ACT (ADA).
- THE CONTRACTOR SHALL REFER TO AND COMPLY WITH THE PROJECT CONTRACT DOCUMENTS FOR ALL WORK. THE CONTRACTOR MUST FAMILIARIZE HIMSELF WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED PLANS. ANY EXISTING CONDITION FOUND IN CONFLICT WITH THE PROPOSED SCOPE OF WORK MUST BE IMMEDIATELY REPORTED TO THE ENGINEER AND OWNER TO ADDRESS.
- THE CONTRACTOR SHALL VERIFY THAT THE DESIGN PLANS AND SPECIFICATIONS ARE CURRENT AND HAVE BEEN APPROVED BY THE OWNER AND ALL APPLICABLE PERMIT-ISSUING AGENCIES. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL AND/OR PERMITS THAT REQUIRE ADJUSTMENT OR REPLACEMENT, SHALL BE COMPLETED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE EXISTING INFORMATION SHOWN ON THESE PLANS ARE BASED ON AERIAL PHOTOGRAPHY AND RECORD PLAN INFORMATION AND NOT FROM FIELD MEASUREMENTS. THE ENGINEER DOES NOT GUARANTEE THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING SITE CONDITIONS.
- ALL CONSTRUCTION OPERATIONS MUST BE DONE IN SUCH A MANNER AS TO PROTECT ALL ADJACENT EXISTING BUILDINGS, PAVEMENTS, LANDSCAPING AND OTHER SITE ELEMENTS. THIS INCLUDES USING SMALLER EQUIPMENT OR CONTROLLING ACCESS ROUTES FOR EQUIPMENT TO ELIMINATE DAMAGE TO SITE PAVEMENTS. ANY EXISTING ELEMENTS DAMAGED DURING CONSTRUCTION MUST BE REPAIRED TO THE OWNER'S SATISFACTION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE FOR THE CONTINUOUS OPERATION OF EXISTING FACILITIES WITHOUT INTERRUPTION DURING CONSTRUCTION UNLESS SPECIFICALLY AUTHORIZED OTHERWISE BY THE OWNER.
- THE CONTRACTOR'S STAGING AND MATERIAL STORAGE AREAS MUST BE COORDINATED WITH THE OWNER. ALL SUCH AREAS AND CONSTRUCTION METHODS MUST BE DONE IN SUCH A MANNER AS TO AVOID INTERFERENCE WITH THE OWNER'S OPERATIONS AND GUEST ACCESS.
- THE CONTRACTOR SHALL MAKE APPLICATION FOR, OBTAIN, AND HAVE IN HIS POSSESSION ALL NECESSARY PERMITS REQUIRED TO COMPLETE THE WORK PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, EXISTING RIGHTS-OF-WAY, AND EASEMENTS AS APPLICABLE. THE CONTRACTOR SHALL NOT TRESPASS UPON ANY OTHER PRIVATE PROPERTY WITHOUT THE WRITTEN CONSENT OF THE RESPECTIVE PROPERTY OWNER.
- THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS AND MATERIALS RESULTING FROM HIS OPERATION AND RESTORE ALL SURFACES, STRUCTURES, DITCHES, AND OTHER SITE ELEMENTS TO THEIR ORIGINAL CONDITION AND THE SATISFACTION OF THE OWNER.
- THE OWNER MAY PROVIDE A LICENSED MATERIALS TESTING AGENCY, SUPPORTED BY A REGISTERED PROFESSIONAL ENGINEER, TO PROVIDE ONSITE INSPECTION AND VERIFY IN THE FIELD THAT ALL MIX DESIGNS ARE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS AND THAT ALL BACKFILL AND PAVEMENT HAS BEEN PLACED WITH THE PROPER NUMBER OF LAYERS AND THICKNESS AND COMPACTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- A MATERIALS TESTING AGENCY SHALL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COORDINATE AND PROVIDE 48 HOUR NOTICE TO THE MATERIALS TESTING AGENCY FOR INSPECTION OF WORK IF REQUESTED BY THE ENGINEER OR OWNER.
- IF REQUESTED BY THE ENGINEER OR OWNER, REPORTS, CERTIFICATIONS, MATERIAL CHECKS, AND/OR FIELD TESTS SHALL BE COMPLETED DAILY AND A COPY OF THE RESULTS SHOULD BE EMAILED TO THE PROJECT ENGINEER DAILY.
- IF IN THE OPINION OF THE ENGINEER, THE WORK DOES NOT MEET THE TECHNICAL OR DESIGN REQUIREMENTS STIPULATED FOR THE WORK, THE CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS FOR APPROVAL AT HIS SOLE EXPENSE. THE CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT SPECIFIC WRITTEN APPROVAL OF THE ENGINEER OR OWNER.
- THE CONTRACTOR SHALL CERTIFY THAT THE PAVEMENT AND ALL RELATED WORK HAS BEEN INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CERTIFICATIONS SHALL BE EMAILED TO THE PROJECT ENGINEER. IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY CHANGES IN THE FIELD FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AT HIS SOLE EXPENSE.
- IF THE CONTRACTOR'S OPERATIONS ARE SHOWN TO NEGATIVELY IMPACT THE OWNER'S USE OF THE SITE, THE OWNER AND/OR THE ENGINEER SHALL PROVIDE IMMEDIATE NOTICE TO THE CONTRACTOR TO MODIFY THEIR OPERATIONS TO THE OWNER'S SATISFACTION.

**SITE INFRASTRUCTURE NOTES**

- THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS BY CALLING 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION (EXCLUDING WEEKENDS AND HOLIDAYS) TO REQUEST EXACT FIELD LOCATION AND STAKING OF UTILITIES. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE THEREOF. WHEN HIS OPERATIONS MAY REQUIRE AN INTERRUPTION OF THE UTILITY SERVICE OR POTENTIALLY CAUSE DAMAGE TO THE UTILITY INVOLVED, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY/OWNER PRIOR TO CONSTRUCTION.
- IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL UTILITY MANHOLE COVERS, VALVES, BOXES, FITTINGS AND/OR OTHER UTILITY APPURTENANCES THAT ARE AT THE SURFACE OF PAVEMENTS TO BE REPLACED OR REPAIRED SHALL BE ADJUSTED FLUSH WITH THE NEW SURFACE SO AS NOT TO BE COVERED WITH PAVEMENT OR CAUSE A TRIPPING HAZARD.
- IN THE EVENT THAT EXISTING UTILITY SERVICES ARE TO BE INTERRUPTED OR IMPACTED BY NECESSARY CONSTRUCTION OPERATIONS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO GIVE PRIOR NOTIFICATION TO THE RESPECTIVE OWNER/UTILITY COMPANY AND ALL SERVICE USERS TO BE AFFECTED BY THE SERVICE INTERRUPTION. SERVICE INTERRUPTIONS SHALL BE PERFORMED AT OFF-PEAK HOURS, WHEN POSSIBLE, TO MINIMIZE ANY INCONVENIENCE TO THE AFFECTED PARTIES.
- ALL EXISTING UTILITIES AND SITE INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO, CART CONTAINMENT SYSTEMS, PARKING LOT LIGHTING, CART CORRALS, BOLLARDS, IRRIGATION SYSTEMS, WATER MAINS, FIELD TILES, SEWERS, AND UTILITY SERVICE LINES SHALL BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION. DAMAGED INFRASTRUCTURE SHALL BE REPAIRED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.

**SITE ACCESS/TRAFFIC CONTROL NOTES**

- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION. ALL SIGNS, SUPPORTS, BARRICADES, AND OTHER REQUIRED MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED PLANS TO RECEIVE APPROVAL FROM THE LOCAL GOVERNING AGENCY FOR THE PROPER INSTALLATION OF NECESSARY TRAFFIC CONTROLS AND WORK AREA PROTECTION AS APPLICABLE.
- TRAFFIC CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK REQUIRING SUCH MATERIALS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER DAILY AND WEEKLY OF THE PROJECT SCHEDULE. ACCESS SHALL BE MAINTAINED AT ALL TIMES TO THE PROPERTIES ADJOINING THE CONSTRUCTION SITES, INCLUDING ROADWAYS PERMANENTLY OR TEMPORARILY CLOSED TO THROUGH TRAFFIC. ACCESS TO PRIVATE PROPERTIES MAY BE RESTRICTED TEMPORARILY FOR THE INSTALLATION OF A SPECIFIC UTILITY OR CONSTRUCTION ACTIVITY. IN THIS EVENT, THE PROPERTY OWNER SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF THE RESTRICTION AND SHALL BE GIVEN THE TIME AND DURATION OF THE RESTRICTION, IN NO EVENT SHALL ACCESS BE DENIED OVERNIGHT OR FOR MORE THAN EIGHT (8) CONSECUTIVE HOURS. IF TEMPORARY ACCESS IS AFFORDED NEAR EXCAVATIONS, SUCH ACCESS SHALL BE CLEARLY DELINEATED AND ADEQUATE MEASURES TAKEN AS REQUIRED TO INSURE ADEQUATE, SAFE ACCESS. ACCESS TO PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. WHERE MULTIPLE DRIVEWAYS ARE PRESENT, AT LEAST ONE SHALL REMAIN OPEN FOR ACCESS AT ALL TIMES. WHERE ONLY ONE DRIVEWAY IS PRESENT, WORK SHALL PROGRESS SUCH THAT ONLY ONE-HALF OF THE DRIVEWAY IS RESTRICTED OR AN ALTERNATE ACCESS SHALL BE PROVIDED IF THE ENTIRE SECTION IS CLOSED. PARTIAL CLOSURE SCHEDULES SHALL BE SUBMITTED TO THE BUSINESS PROPRIETOR AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF THE STARTING TIME AND FOR THE DURATION OF CLOSURE.
- DURING NORMAL PROGRESS OF WORK, FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL HAVE THE OPTION, UPON APPROVAL OF THE GOVERNING AGENCY, OF MOMENTARILY INTERRUPTING THE CONTINUOUS TWO-WAY TRAFFIC IN OFF-SITE ROADWAYS TO ALLOW ONE-WAY TRAFFIC. SUCH INTERRUPTIONS SHALL UTILIZE QUALIFIED FLAG PERSONNEL PLACED IN STRATEGIC LOCATIONS TO INSURE THE PUBLIC SAFETY AND MINIMIZE DRIVER CONFUSION. A MOMENTARY INTERRUPTION SHALL BE DEFINED AS A PERIOD OF TIME NOT TO EXCEED TWO (2) MINUTES OR A QUEUE OF NOT GREATER THAN TEN (10) VEHICLES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RESTORE CONTINUOUS TWO-WAY TRAFFIC DURING ALL NON-WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY ALL GOVERNING AGENCIES AND EMERGENCY RESPONSE PROVIDERS, INCLUDING FIRE AND POLICE DEPARTMENTS, BY PHONE OR IN WRITING, BEFORE THE BEGINNING OF HIS OPERATIONS SO THAT THESE AGENCIES MAY PLAN THEIR OPERATIONS IN CONSIDERATION OF THE CONSTRUCTION ZONE AND RELATED ACTIVITIES.
- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
- THE ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.

**NIGHT TIME WORK**

- ANY NIGHT TIME OR AFTER DARK WORK SHALL BE APPROVED BY THE OWNER AND LOCAL AGENCIES HAVING JURISDICTION.
- IF ADDITIONAL LIGHTING IS REQUIRED, ABOVE THE TARGET PARKING AREA EXTERIOR BUILDING LIGHTS, CONTRACTOR SHALL SUPPLY AMPLE LIGHTING TO PERFORM THE NIGHT TIME WORK. LIGHTING SHALL BE SHIELDED FOR ADJACENT PROPERTIES AND ROADWAYS.
- CONTRACTOR SHALL CONTACT TARGET'S FACILITY MANAGEMENT OPERATIONS CENTER (FMO) (888) 888-0304 AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY NIGHT TIME WORK UNDER THESE CONTRACT DOCUMENTS AND REQUEST THAT TARGET OVERRIDE THE PARKING AREA EXTERIOR BUILDING LIGHTS FOR THE EVENING(S) OF THE SCHEDULED WORK.

**PAVING CONSTRUCTION NOTES**

- PAVING CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL, STATE DEPARTMENT OF TRANSPORTATION, AND/OR OTHER PERMITTING AGENCIES HAVING JURISDICTION AS APPLICABLE. WHERE THESE PLANS DIFFER FROM THE STANDARD DETAILS OR SPECIFICATIONS OF ANY GOVERNING AGENCY, THE AGENCY'S REQUIREMENTS SHALL GOVERN.
- WHEN APPLICABLE REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- WHERE FULL-DEPTH PAVEMENT RESTORATION IS CALLED FOR ON THE PLANS, THE TOP 10 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
- WHERE FULL-DEPTH PAVEMENT RESTORATION IS CALLED FOR ON THE PLANS, THE FINAL SUBGRADE SHALL BE THOROUGHLY PROOF ROLLED. CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER OF ANY LOOSE OR YIELDING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED. THESE AREAS SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS UNDER THE APPROVAL OF THE ENGINEER AND/OR OWNER.
- WHERE PARTIAL-DEPTH PAVEMENT RESTORATION IS CALLED FOR ON THE PLANS, THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
- CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE PLACEMENT OF THE FINAL LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ANY DAMAGED SECTION RESULTING FROM CONSTRUCTION ACTIVITY AT THE SOLE EXPENSE OF THE CONTRACTOR.
- ANY CONCRETE CURB DISTURBED AND/OR CALLED OUT TO BE REPLACED DURING CONSTRUCTION SHOULD BE REPLACED TO MATCH THE EXISTING PROFILE OF THE CURB AND GUTTER. CONTRACTOR SHALL REVERSE GUTTER PANS, WHERE REQUIRED, TO PREVENT WATER PONDING AND/OR ENTRAPMENT AGAINST THE CURB.
- WHERE A PROPOSED CURB AND GUTTER SECTION IS ADJACENT TO A HANDICAP RAMP, DROP CURB HEIGHT TO MAXIMUM 1/4" ACROSS THE RAMP OPENING.
- PLACE EXPANSION JOINT AND JOINT SEALANT WHERE NEW CONCRETE PAVEMENT OR WALKS ABUT BUILDING WALLS (PROPOSED OR EXISTING), CURB, OR EXISTING CONCRETE PAVEMENT.
- ANY CUT AND PATCH AREAS SHOWN ON THESE PLANS ARE APPROXIMATE IN SIZE AND LOCATION AND MAY BE ADJUSTED BY THE ENGINEER OR OWNER AT THE TIME OF CONSTRUCTION PER THE PREDETERMINED ARCHETYPE PRICING.
- THE CONTRACTOR SHALL REMOVE EXISTING PAVEMENT IN A MANNER WHICH DOES NOT ADVERSELY AFFECT THE SURROUNDING AREAS OF THE SITE. ANY NEEDED REPAIRS DUE TO DAMAGE DONE DURING REMOVAL OPERATIONS TO SURROUNDING AREAS SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR AND TO THE SATISFACTION OF THE OWNER.
- IF REQUESTED BY THE ENGINEER OR OWNER, THE SUBGRADE SHALL BE INSPECTED BY A MATERIALS TESTING AGENCY AFTER PAVEMENT REMOVAL AND PRIOR TO REPLACEMENT. SUBGRADE UNDERCUTTING SHALL BE PERFORMED AT THE REQUEST OF THE TESTING AGENCY, OWNER, OR ENGINEER AND WILL BE PAID AS A SEPARATE ITEM, UNLESS SPECIFICALLY CALLED OUT FOR ON THE PLANS.
- WHERE SECTIONS OF EXISTING PARKING LOTS AND/OR INTERNAL ROADWAYS ARE TO BE MODIFIED, THE CONTRACTOR SHALL PROVIDE ALL FINISHED PAVEMENT MARKINGS, INCLUDING INFORMATIONAL AND DIRECTIONAL MARKINGS, SUCH THAT THEY MATCH THE EXISTING MARKING TYPE, COLOR, PATTERN AND LOCATION. THE CONTRACTOR MUST TAKE FIELD MEASUREMENTS AND ESTABLISH CONTROLS IN THE FIELD PRIOR TO REMOVING OR COVERING THE EXISTING MARKINGS IN ORDER TO REPLACE THEM. NOT ALL EXISTING PAVEMENT MARKINGS THAT ARE TO BE RE-ESTABLISHED MAY BE SHOWN ON THE PROJECT PLANS. REFER TO THE PROJECT PLANS FOR AREAS OF PAVEMENT MARKINGS THAT ARE TO BE MODIFIED FROM THE EXISTING LAYOUT. CONTRACTOR SHALL INSTALL NEW PAVEMENT MARKINGS IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. NOTIFY THE ENGINEER PRIOR TO NEW MARKINGS BEING PLACED IF ANY CONFLICTS ARE FOUND WITH THE EXISTING MARKINGS.
- WHERE AREAS OF PARKING LOTS WILL BE REOPENED FOR CUSTOMER USE PRIOR TO FINAL PAVEMENT MARKINGS BEING INSTALLED, THE CONTRACTOR SHALL PROVIDE TEMPORARY STRIPING OF THE PARKING LOT AREAS IN ORDER TO ASSIST DRIVERS TO PARK IN INTENDED PARKING STALLS.

**GRADING NOTES**

- THE CONTRACTOR SHALL CONFIRM THAT THE FINAL PAVEMENT GRADES WILL NOT CREATE A STANDING WATER CONDITION (I.E. A LOW SPOT OR PAVEMENT SLOPES LESS THAN 1%) OR SLOPES IN EXCESS OF 5%. THE CONTRACTOR SHALL ADVISE ENGINEER IMMEDIATELY IF HE BELIEVES THAT ONE OF THESE SITUATIONS WILL OCCUR.
- "SKIN PATCHING" WILL NOT BE PERMITTED FOR THE REPAIR OF WATER PONDING AREAS. AT A MINIMUM, A 1" THICK MILL AND REPLACE SHOULD BE USED FOR THE REPAIR OF THESE AREAS AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORM WATER RUNOFF DURING CONSTRUCTION OPERATIONS. OF PARTICULAR CONCERN WILL BE THE TIME PERIOD AFTER THE SITE HAS BEEN STRIPPED AND NOT YET RESTORED, BUILT UPON, OR PAVED. THE CONTRACTOR MUST INSTALL OR CONSTRUCT APPROPRIATE TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES TO PROTECT ADJACENT PROPERTIES.
- CONTRACTOR IS MADE AWARE THAT ANY PAVEMENT WORK WITHIN AND 5 FEET SURROUNDING ADA PARKING AREAS SHALL HAVE A MAXIMUM SLOPE OF 2 PERCENT IN ANY DIRECTION. THE ENGINEER WILL INDICATE THE LOCATION OF THESE AREAS ON THE PLANS WHICH MUST BE CORRECTED AS PART OF THE NEW RESURFACING PROJECT.

**DEMOLITION NOTES**

- THE CONTRACTOR SHALL PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, SIGNS, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.
- DISPOSAL OF MATERIALS REMOVED FROM THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN A TIMELY MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCY REGULATIONS. BURYING DEBRIS ON THE SUBJECT SITE IS PROHIBITED.
- EQUIPMENT AND MATERIALS USED IN CONSTRUCTION OPERATIONS SHALL BE STORED AND STOCKPILED IN ACCORDANCE WITH ALL GOVERNING AGENCY REGULATIONS AND AT THE DIRECTION OF THE OWNER OR THE ENGINEER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE CLEANLINESS OF THE SITE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL CLEAN UP ANY DEBRIS ON SITE RESULTING FROM CONSTRUCTION OPERATIONS.
- THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
- ALL NECESSARY RESTORATION WORK SHALL BE COMPLETED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES' ENVIRONMENTAL STANDARDS.
- CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO KEEP ON-SITE SOIL EROSION SEDIMENT FROM ENTERING ADJACENT PARKING AREA AND INSURE THAT THE PARKING AREA IS KEPT CLEAN.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO ANY LAND DISTURBANCE AND/OR DEMOLITION.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSPECTED A MINIMUM OF ONCE PER WEEK AND/OR WITHIN 24 HOURS AFTER A RAIN EVENT. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE MAINTAINED AND REPAIRED IMMEDIATELY AS NECESSARY.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MAY HAVE TO BE ALTERED AT VARIOUS STAGES DURING CONSTRUCTION TO ACCOMMODATE ACTUAL SITE CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING AND REMOVING ANY MUD/DEBRIS TRACKING FROM THE STREETS AND SIDEWALKS DURING THE SAME DAY OF OCCURRENCE.
- ALL WASH WATER (PAVING TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE OR BY OTHER APPROVED MEANS THROUGHOUT ALL CONSTRUCTION OPERATIONS. WATERING TRUCKS SHALL BE USED AS NEEDED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- THE CONTRACTOR SHALL FOLLOW ALL LOCAL AND STATE SOIL EROSION ORDINANCES TO INSURE THAT NO ON-SITE SOIL EROSION SEDIMENT LEAVES THE CONSTRUCTION SITE. ANY SOIL EROSION SEDIMENT OR CONSTRUCTION DEBRIS WHICH IS FOUND OFF-SITE SHALL BE PROMPTLY REMOVED AT CONTRACTOR'S SOLE EXPENSE.

**RESTORATION NOTES**

- RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SPECIFIED SEED MIX. PLACE MULCH IN ALL SEEDED AREAS. ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL PLACE NORTH AMERICAN GREEN DS150 MULCH BLANKET IMMEDIATELY AFTER SEEDING. USE METAL STAPLES PER MANUFACTURERS RECOMMENDATIONS TO HOLD MATTING IN PLACE.
- CONTRACTOR TO REMOVE ALL EXCESS MATERIALS AND ALL CONSTRUCTION EQUIPMENT AND/OR VEHICLES IMMEDIATELY FOLLOWING PROJECT COMPLETION.
- CONTRACTOR SHALL PROVIDE TEMPORARY ADA PARKING STALLS, RAMPS, AND/OR OTHER ACCESSIBLE ROUTES AT ALL TIMES THAT PERMANENT ADA ITEMS ARE RESTRICTED.



REVISIONS			
REV	DATE	COMMENT	BY



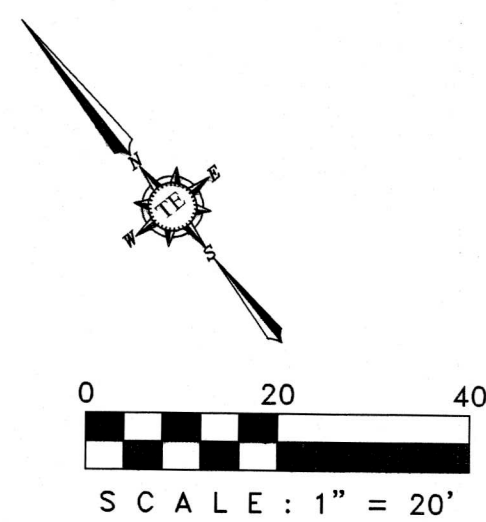
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DRAWN BY:	RTS
CHECKED BY:	PRK
DATE:	10/23/17
SCALE:	AS SHOWN

PROJECT:  
**PAVING SITE REPAIR PLANS**  
 FOR  
**TARGET CORPORATION**  
  
 TARGET T1850  
 3730 BELT LINE ROAD  
 ADDISON, TX

**Kimley Horn**  
 © 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
 1001 WARRENVILLE ROAD, SUITE 350,  
 URBANA, IL 61802  
 PHONE: 630-487-5550  
 WWW.KIMLEY-HORN.COM

SHEET TITLE:  
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 SHEET NUMBER:  
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**ADDISON**

**APPROVED FOR CONSTRUCTION**  
 INFRASTRUCTURE & DEVELOPMENT SERVICES  
 BY *[Signature]*  
 DATE: 2/12/19

IN APPROVING THESE PLANS, THE TOWN OF ADDISON ASSUMES NO RESPONSIBILITY FOR THEIR ADEQUACY, WHICH REMAINS WITH THE ENGINEER OF RECORD.  
 18801 WEST GROVE DRIVE, ADDISON, TX 75001 - (972) 450-2871

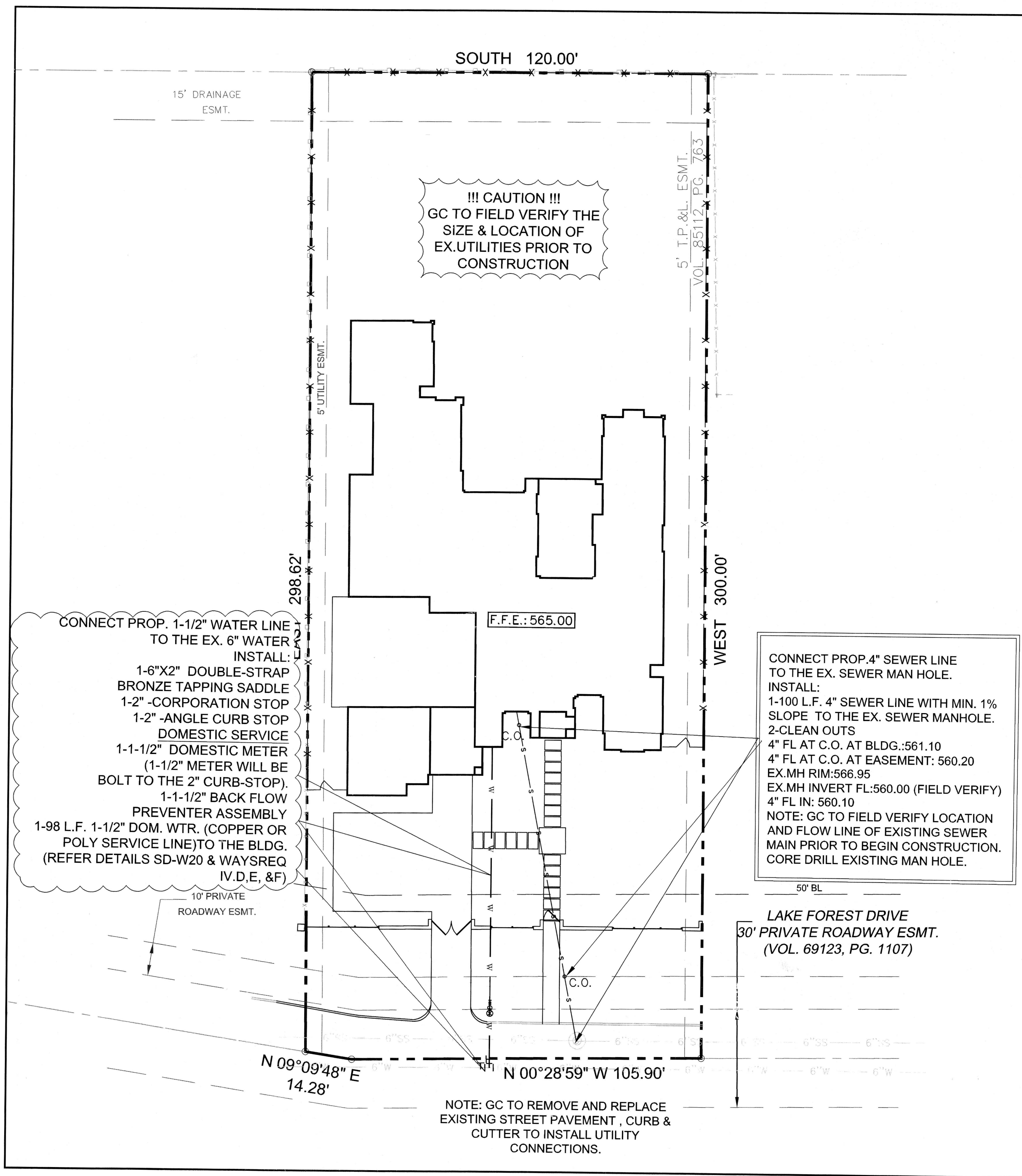
~~APPROVED FOR CONSTRUCTION~~  
 INFRASTRUCTURE & DEVELOPMENT SERVICES  
 BY \_\_\_\_\_  
 DATE: \_\_\_\_\_

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 18801 WEST GROVE DRIVE, ADDISON, TX 75001 - (972) 450-2871

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
(D)	DOM.	1-1/2"	1	4"

**NOTE:**

- FIELD VERIFY LOCATION OF EXISTING GAS, TELEPHONE AND ELECTRICAL LINE. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH SERVICE PROVIDER.
- CONTRACTOR SHALL REPLACE ANY DAMAGE STREET PAVEMENT, CURB, SIDEWALK AND ANY ABOVE GROUND OR UNDER UTILITIES FOR WATER LINE INSTALLATION.



- WATER & SEWER GENERAL NOTES**
- ALL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY OF ADDISON STANDARDS AND SPECIFICATIONS EXCEPT AS NOTED HEREIN OR APPROVED BY THE TOWN.
  - THE CONTRACTOR SHALL COORDINATE ALL PHASES OF INSPECTION OF UTILITIES WITH THE TOWN OF ADDISON PRIOR TO CONSTRUCTION AND/OR INSTALLATION. ALL PIPES AND PIPE FITTINGS SHALL BE INSPECTED BY THE TOWN OF ADDISON PRIOR TO COVERING AND/OR BACKFILLING OF UTILITY TRENCHES.
  - CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES AND FIRE HYDRANTS MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE UTILITY CONTRACTOR AFTER PLACEMENT OF PAVING, AND BEFORE FINAL ACCEPTANCE.
  - TRENCHING AND EMBEDMENT WORK SHALL CONFORM TO THE TOWN OF ADDISON STANDARD SPECIFICATIONS AS A MINIMUM STANDARD. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS AND /OR SHALL FOLLOW THE TYPICAL CROSS-SECTION DETAIL FOR TRENCHING UPON APPROVAL AND ACCEPTANCE OF THE CONSTRUCTION PLANS BY THE TOWN. UNLESS SPECIFIED OTHERWISE, BACKFILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF STANDARD PROCTOR IN ACCORDANCE WITH ASTM D-698. ALL BACKFILL MATERIAL SHALL BE COMPACTED IN EIGHT-INCH (8") LAYERS.
  - THE CONTRACTOR SHALL MEET THE REQUIREMENTS FOR TRENCH SAFETY AS CONTAINED IN THE LATEST VERSION OF THE US DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS, 29 CFR PART 1926 SUBPART P-EXCAVATION. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE A PLAN FOR TRENCH SAFETY (I.E., SHORING SYSTEMS, SHIELD SYSTEMS, BENCHING SYSTEMS, SLOPING SYSTEMS, ETC.) THAT SHALL BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS. THE CONTRACTOR'S SHALL PREPARE TRENCH SAFETY PLANS PRIOR TO CONSTRUCTION AND IMPLEMENT DURING CONSTRUCTION. NO WORK SHALL BEGIN UNTIL SUCH TRENCH SAFETY PLAN IS APPROVED.
  - THE END OF WATER AND SANITARY SEWER LINES SHALL BE TIGHTLY CAPPED OR PLUGGED AND MARKED UNTIL SUCH TIME AS SERVICE CONNECTIONS ARE MADE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY DAMAGES TO ADJACENT PROPERTY, VEGETATION, STRUCTURES, ETC. WHICH MY RESULT DURING THE INSTALLATION OF THE PROPOSED WATER AND SANITARY LINES, STORM DRAIN PIPES, AND APPURTENANCES. THE CONTRACTOR SHALL LEAVE THE CONSTRUCTION SITE CLEAN OF ALL DEBRIS.
  - ALL WATER MAINS SHALL BE INSTALLED WITH THREE & HALF FEET (3½)-FOUR FEET (4') MINIMUM COVER AT FINISHED GRADE LINE UNLESS SHOWN OTHERWISE.
  - WHERE PROPOSED OR EXISTING WATER LINES CROSS PROPOSED OR EXISTING SANITARY SEWER LINES, THE SANITARY SEWER MAIN SHOULD BE EITHER CONCRETE ENCASED OR WATER TIGHT PIPE LAID NINE (9') ON EITHER SIDE OF THE CROSSING WHILE MAINTAINING TWO FEET (2') OF CLEARANCE.
  - A MINIMUM OF EIGHTEEN (18") OF VERTICAL CLEARANCE AND FIVE (5) FEET OF HORIZONTAL CLEARANCE SHALL BE REQUIRED BETWEEN WATER LINES AND CURB INLETS, INCLUDING STUB-OUTS FROM THE REAR OF INLETS. NO CONCRETE ENCASEMENT PERMITTED.
  - CLEAN-OUTS WILL BE INSTALLED AT THE PROPERTY LINE ON EACH SANITARY SEWER LATERAL.
  - THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR PAVING OF INLET BLOCK OUTS, VARIABLE HEIGHT CURBS, AND INLET THROATS, UNLESS SEPARATELY SPECIFIED ELSEWHERE.
  - THE UTILITY CONTRACTOR SHALL PROVIDE ENGINEER AS-BUILT INFORMATION SUCH AS LOCATIONS AND DEPTHS OF UTILITY SERVICES IN ORDER TO PRODUCE RECORD DRAWINGS. DESIGN ENGINEER SHALL PROVIDE AS-BUILT DRAWINGS TO THE TOWN PRIOR TO CLOSE OUT OF THE PROJECT.
  - SANITARY SEWER SERVICES SHALL BE CONSTRUCTED USING MINIMUM ALLOWABLE SLOPE IN AREAS WHERE SEWER MAIN DEPTH IS SHALLOW AND WHERE NOTED ON PROFILE.

- NOTE:**
- FIELD VERIFY LOCATION OF EXISTING GAS, TELEPHONE AND ELECTRICAL LINE. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH SERVICE PROVIDER.
  - CONTRACTOR SHALL REPLACE ANY DAMAGE STREET PAVEMENT, CURB, SIDEWALK AND ANY ABOVE GROUND OR UNDER UTILITIES FOR WATER LINE INSTALLATION.
  - IF THE CORE DRILL INTO THE EXISTING MANHOLE IS > 24" ABOVE THE OUTFLOW ELEVATION, AN INSIDE DROP, PER ADDISON SD-WW09 (ATTACHED) SHALL BE MADE.

**UTILITY PLAN**  
 PRIVATE RESIDENCE  
 14914 LAKE FOREST DRIVE  
 CITY OF ADDISON  
 DALLAS COUNTY, TEXAS



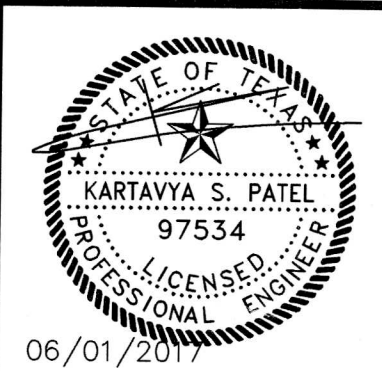
T: 214.609.9211 | F: 469.359.6709 | E: kpatel@triangle-engr.com  
 W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

**Planning | Civil Engineering | Construction Management**

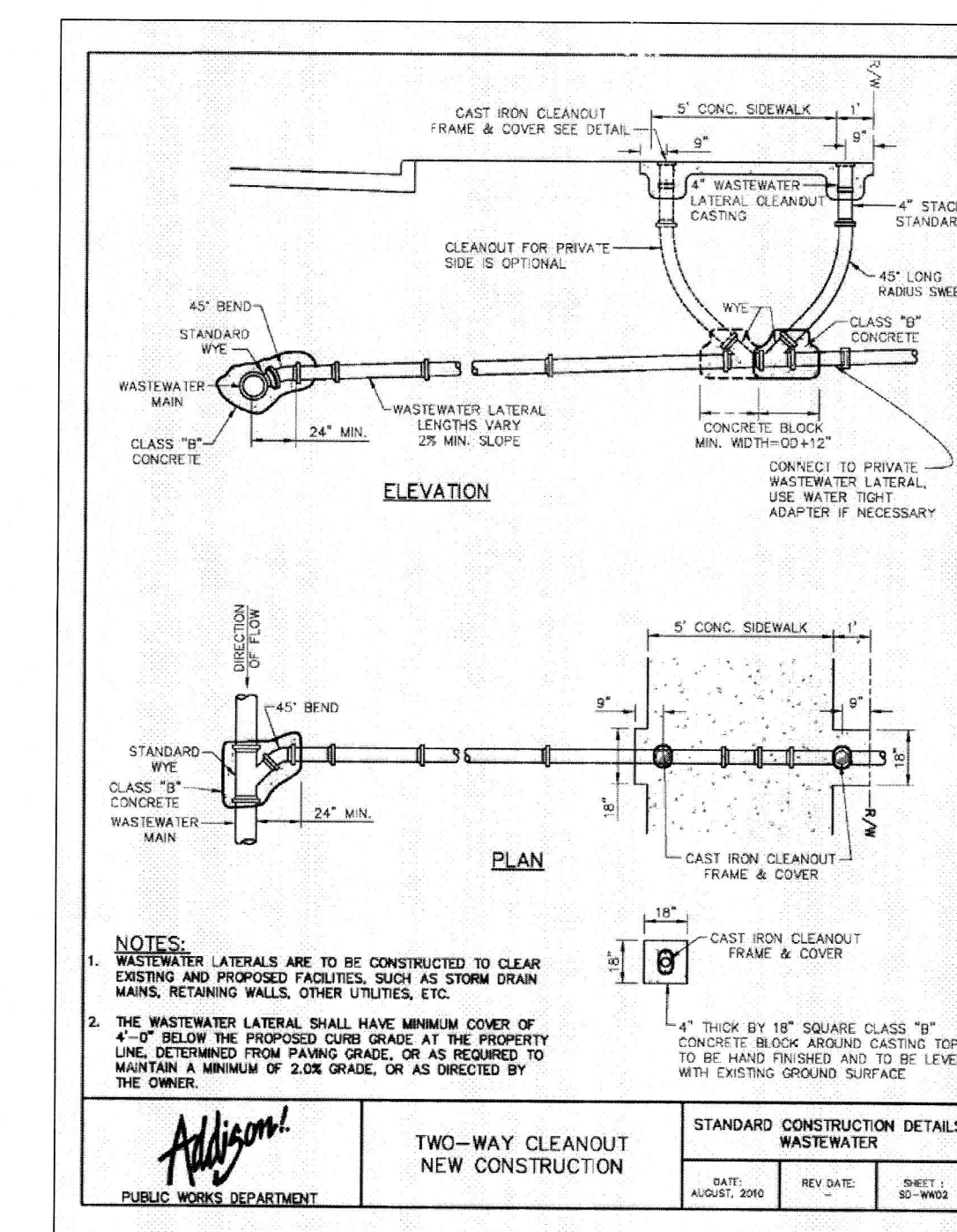
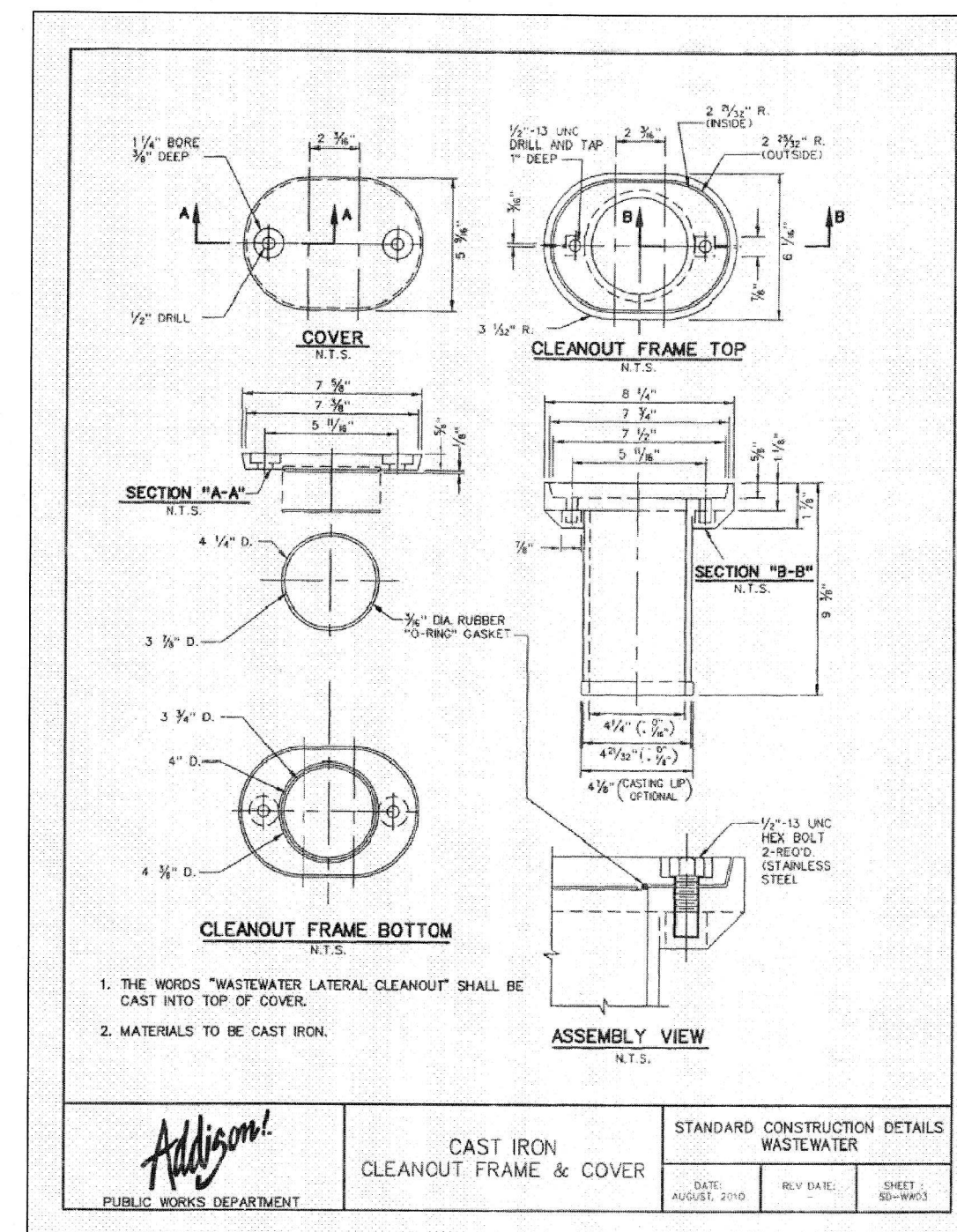
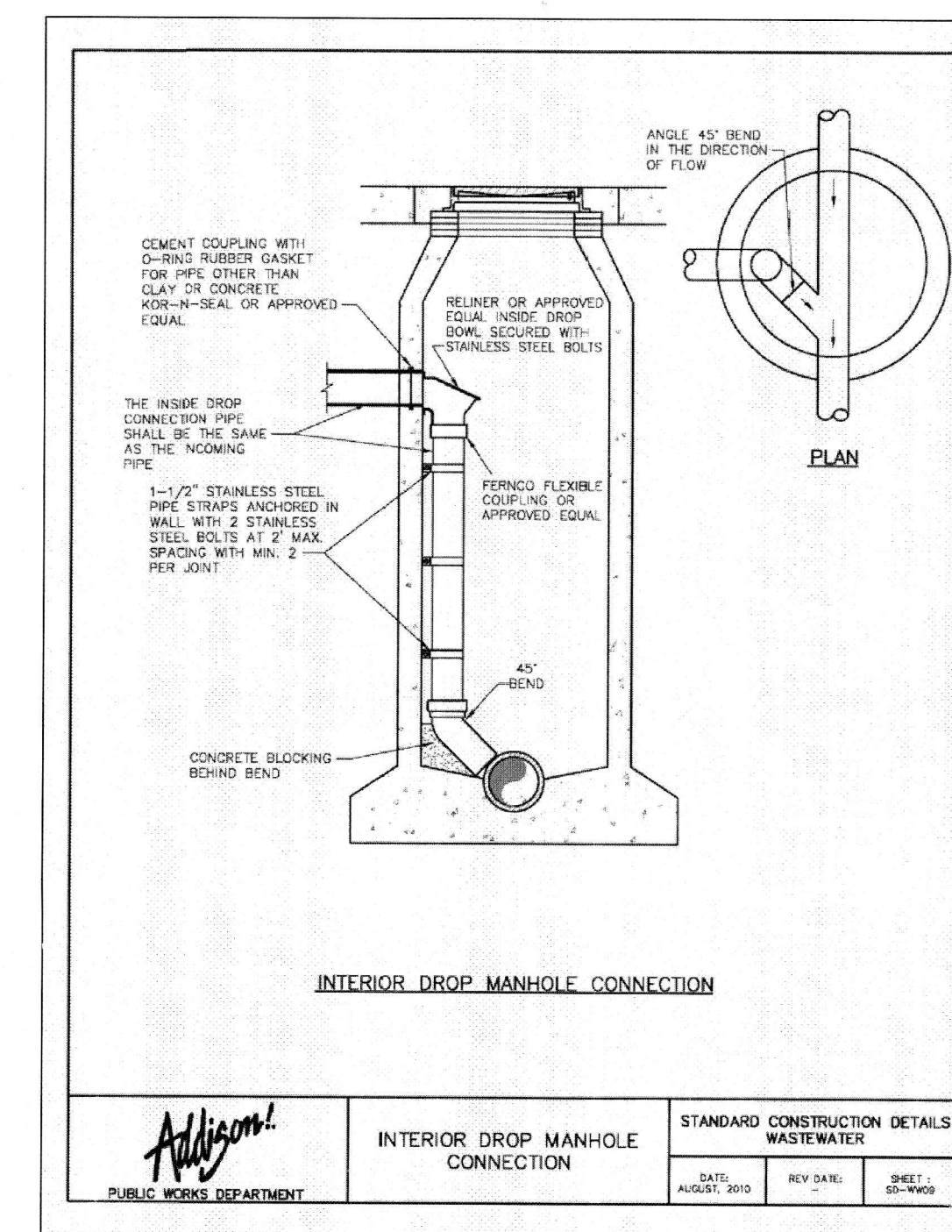
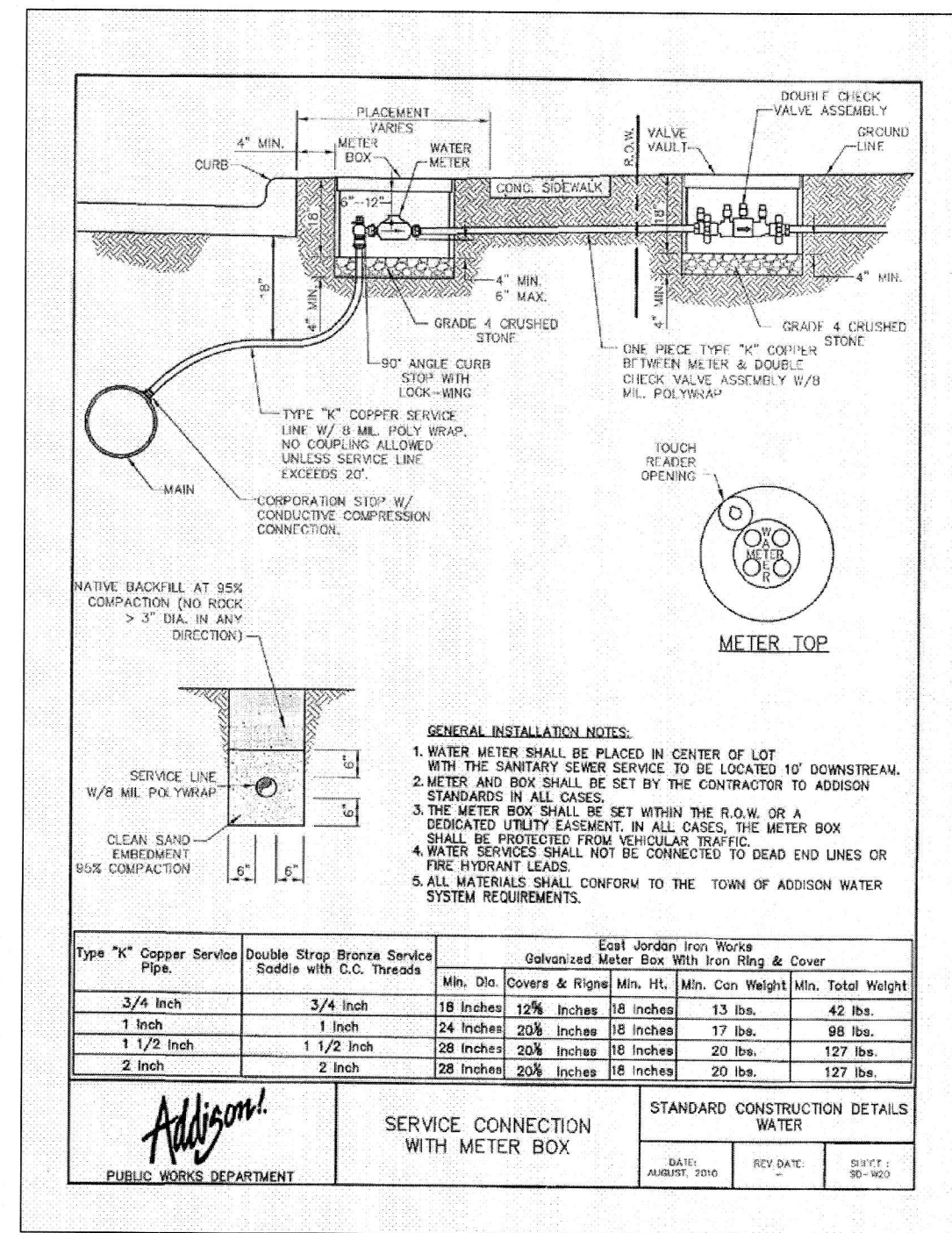
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KP	KP	06/01/17	1"=20'	035-17	<b>7</b>

TX PE FIRM #11525

NO.	DATE	DESCRIPTION	BY
1	06/01/17	1st CITY SUBMITTAL	KP







**ADDISON**

**APPROVED FOR CONSTRUCTION**  
 INFRASTRUCTURE & DEVELOPMENT SERVICES

BY: *David White*  
 DATE: 2/12/18

IN APPROVING THESE PLANS, THE TOWN OF ADDISON ASSUMES NO RESPONSIBILITY FOR THEIR ADEQUACY, WHICH REMAINS WITH THE ENGINEER OF RECORD.

16801 WESTGROVE DRIVE, ADDISON, TX 75001-9522

**UTILITY DETAILS**  
**PRIVATE RESIDENCE**  
 14914 LAKE FOREST DRIVE  
 CITY OF ADDISON  
 DALLAS COUNTY, TEXAS

**TRIANGLE ENGINEERING LLC**

T: 214.609.9271 | F: 469.359.6709 | E: kpatel@triangle-engr.com  
 W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

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DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	06/01/17	1":20'	035-17	<b>7.1</b>

TX PE FIRM #11525

NO.	DATE	DESCRIPTION	BY
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