

# DEVELOPMENT PLANS FOR



## 3790 BELT LINE ROAD ADDISON TOWN CENTER LOT 2, BLOCK D THE TOWN OF ADDISON, TEXAS

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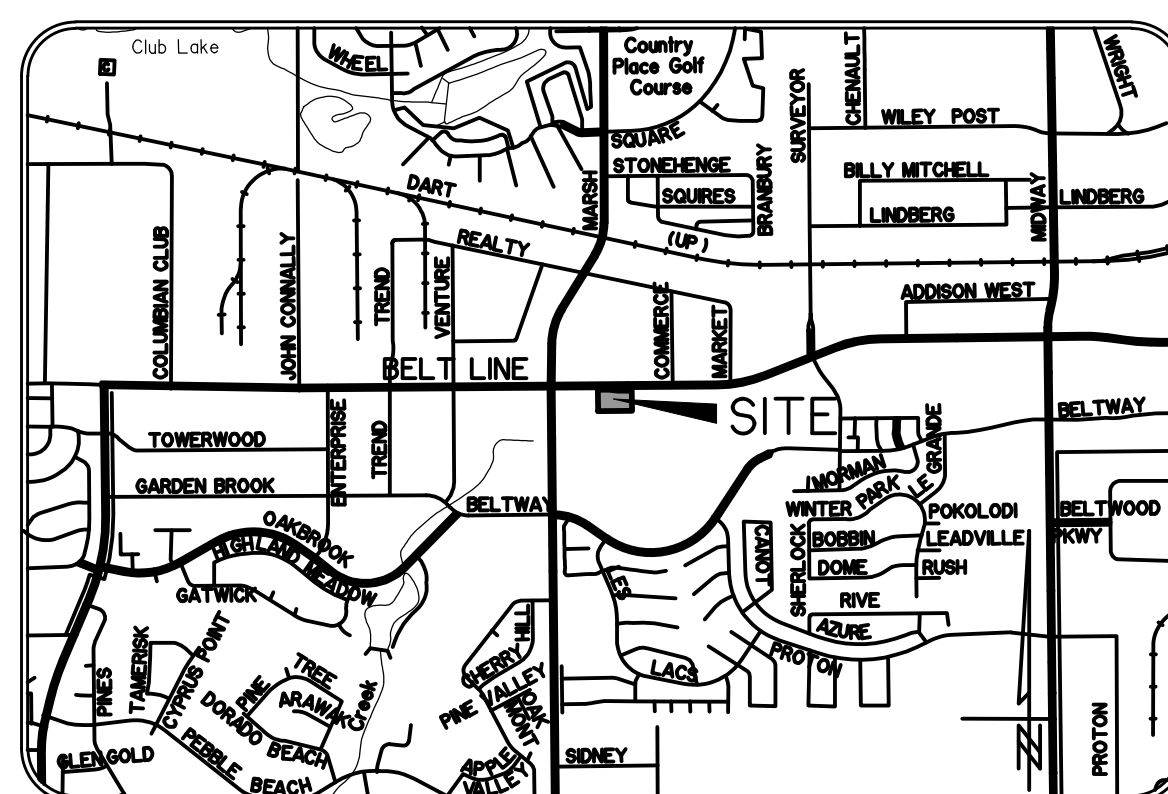
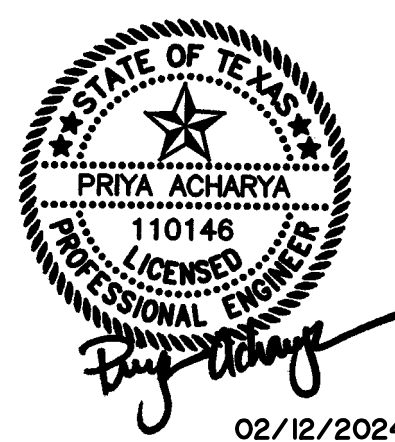
**APPLICANT:** CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GEORGIA 30349  
(404) 765-8000  
CONTACT: GETRA SANDERS

**OWNER:** BELTLINE INVESTMENT, LLC  
2618 SAN MIGUEL  
NEWPORT BEACH, CALIFORNIA 92660  
CONTACT: CRAIG WILLIAMS

**CIVIL ENGINEER:** WIER & ASSOCIATES, INC  
2201 E. LAMAR BOULEVARD, SUITE 200E  
ARLINGTON, TEXAS 76006  
(817) 467-7700  
CONTACT: PRIYA ACHARYA, P.E.  
PRIYAA@WIERASSOCIATES.COM

**ARCHITECT:** MAYSE & ASSOCIATES, INC.  
14881 QUORUM DRIVE, STE. 800  
DALLAS, TEXAS 75254  
(972) 386-0338  
CONTACT: BRYCE NICHOLS

**LANDSCAPE ARCHITECT:** MANLEY LAND DESIGN  
51 OLD CANTON STREET  
ALPHARETTA, GEORGIA 30009  
(770) 442-8171  
CONTACT: AARON NEITZKE, PLA



VICINITY MAP  
NOT TO SCALE

RECORD DRAWING  
October 30, 2024

**Town of Addison  
Engineering Review - Civil  
Approval Recommendation**

Reviewed by: **Jenny Prazak, P.E.**  
Date: 03/13/2024  
Cobb, Fendley & Associates, Inc.

Contact Public Works Dept. for pre-construction instructions.

1. If applicable (public infrastructure only - PROWAG review), a TDLR plan review & approval report from a licensed RAS must be submitted prior to receiving full civil construction plan approval.
2. The responsibility for the accuracy, completeness, and safety of these plans lies solely with the engineer preparing and sealing the plans. By approving the plans, neither the review engineer nor CobbFendley assumes any liability.
3. There may be additional outstanding items from other departments, therefore please continue to coordinate with those departments to receive their full approval. Approval from all departments must be granted prior to plans being stamped approved for construction.

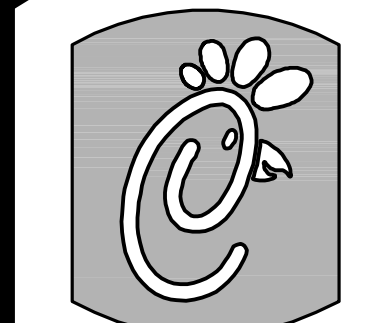
PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com

# BELT LINE ROAD

(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

**\* LEGEND \***

BOL	BOLLARD
BR	BICYCLE RACK
CI	CURB INLET
EB	ELECTRIC BOX
EM	ELECTRIC METER
EMH	ELECTRIC MANHOLE
FI-O	FIRE HYDRANT
FP-O	FLAG POLE
HCR	HANDICAPPED RAMP
FOWL	FIBER OPTIC VAULT
GI	GRATE INLET
GM	GAS METER
GTS	GAS TEST STATION
GUY	GUY WIRE
HDM	CONCRETE HEADWALL
ICV	IRRIGATION CONTROL VALVE
IR	IRON ROD FOUND
LP	LIGHT POLE
MB	MAIL BOX
PP	POWER POLE
PPC	POWER POLE W/CONDUIT
PPLP	POWER POLE W/LIGHT POLE
PPT	POWER POLE W/TRANSFORMER
RCP	CONCRETE STORM DRAIN PIPE
SDMH	STORM DRAIN MANHOLE
SN	SN
SN-T	UNDERGROUND TELEPHONE SIGN
SN-C	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TPD	TELEPHONE PEDESTAL
TSB	TRAFFIC SIGNAL BOX
TSM	TRAFFIC SIGNAL PAD
TSP	TRAFFIC SIGNAL POLE
TSVLT	TRAFFIC SIGNAL VAULT
VT	VACUUM TUBE BOX
WER	"WER & ASSOC INC"
WM	WATER METER
WMH	WATER MANHOLE
WVLT	WATER VALVE
WWT	WATER WALL
OE	OVERHEAD ELECTRIC LINE
UE	UNDERGROUND ELECTRIC LINE
UL	UNDERGROUND LIGHT POLE
FO	FIBER OPTIC LINE
UG	UNDERGROUND GAS
UT	OFFICIAL PUBLIC RECORDS
O.P.R.D.C.T.	DALLAS COUNTY TEXAS
60.97 TC	PLAT RECORDS SHOT
60.47 C	COUNTY TEXAS
X	TOP OF CURB SPOT SHOT
	GUTTER SPOT SHOT
	TOPOGRAPHIC SPOT SHOT
	OVERHANG OR AWNING



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By

Mark Date By

Mark Date By

1.769 ACRES OF LAND LOCATED IN  
THE THOMAS L. CHENOWITH SURVEY  
ABSTRACT NO. 273  
CITY OF ADDISON  
DALLAS COUNTY, TEXAS

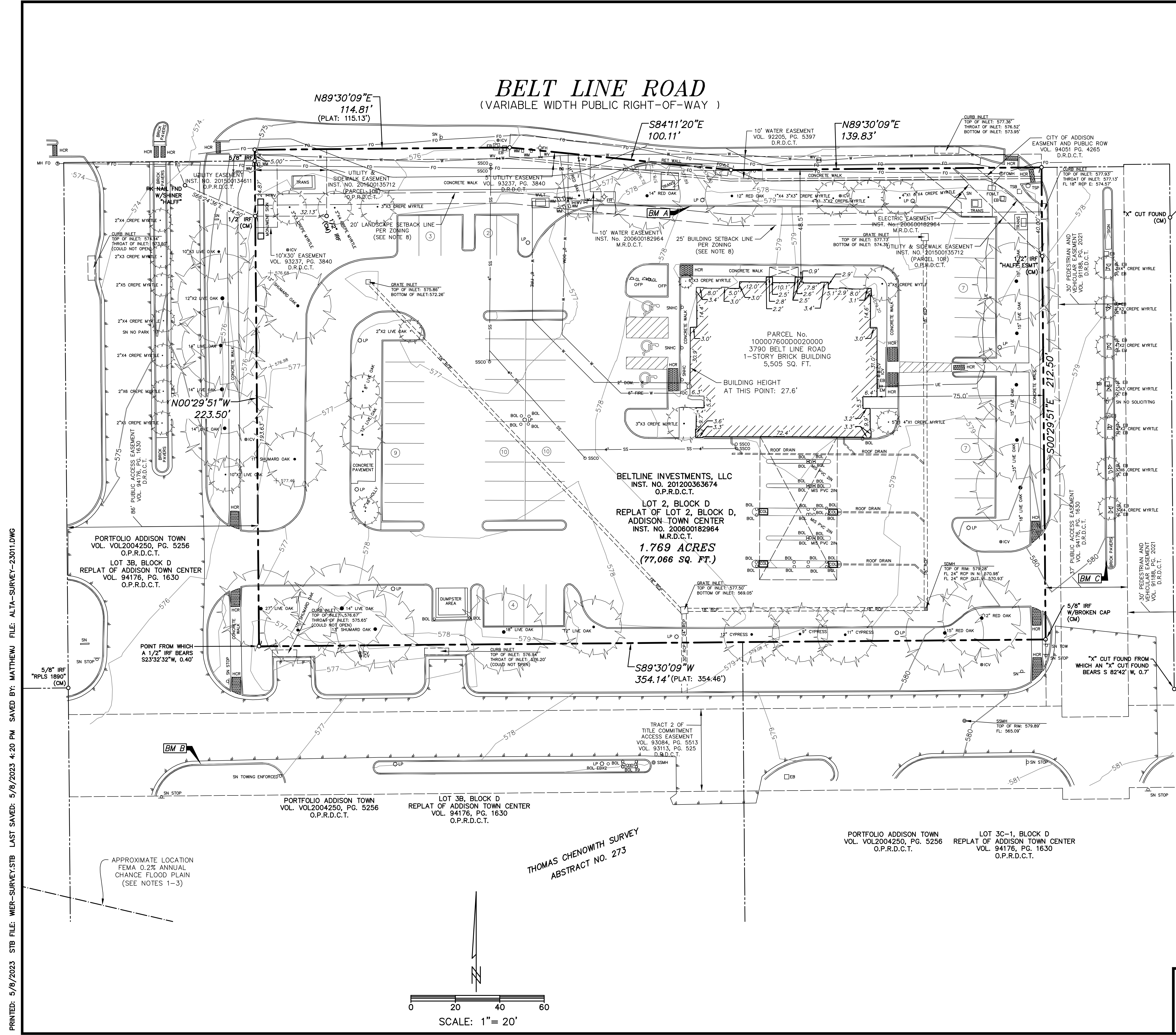
SHEET TITLE  
ALTA/NSPS  
LAND TITLE  
SURVEY

Preliminary  
 80% Submittal  
 For Construction

Job No. : 23011  
Store : #05521  
Date : 5/8/2023  
Drawn By : MTJ  
Checked By : GAM

Sheet

C-1.1



**VERTICAL DATUM NOTE:**  
REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAD) 88 UTILIZING THE RTK NETWORK ADMINSTRATED BY ALLTERRA CENTRAL, INC.

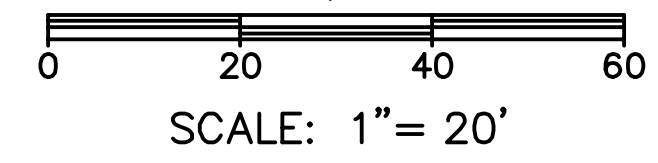
SITE BENCHMARK A AN "X" CUT IN CONCRETE BACK OF CURB ALONG NORTH LINE OF PARKING LOT NEAR NORTHWEST CORNER OF BUILDING, ±9' SOUTHEAST OF TRANSFORMER AND ±5' SOUTHWEST OF LIGHT POLE  
ELEVATION = 578.55'

SITE BENCHMARK B AN "X" CUT IN CONCRETE BACK OF CURB ALONG SOUTH LINE OF ACCESS DRIVE ±23' NORTHEAST OF STOP SIGN AND ±87' WEST OF LIGHT POLE.  
ELEVATION = 577.30'

SITE BENCHMARK C AN "X" CUT IN WEST END OF CURB RADIUS ALONG WEST BACK OF CURB LINE OF MEDIAN FOR ACCESS DRIVE ALONG EAST SIDE OF LOT 2 ±54' SOUTHWEST OF LIGHT POLE AND ±175' SOUTH OF INTERSECTION WITH BELT LINE ROAD  
ELEVATION = 580.64'

ALTA/NSPS  
LAND TITLE SURVEY

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com  
Texas Board of Professional Land Surveying Registration No. 10033900



PRINTED: 5/9/2023 STB FILE: WIER-SURVEY.STB LAST SAVED: 5/8/2023 4:20 PM SAVED BY: MATTHEW FILE: ALTA-SURVEY-23011.DWG

**\*FIELD NOTES\***

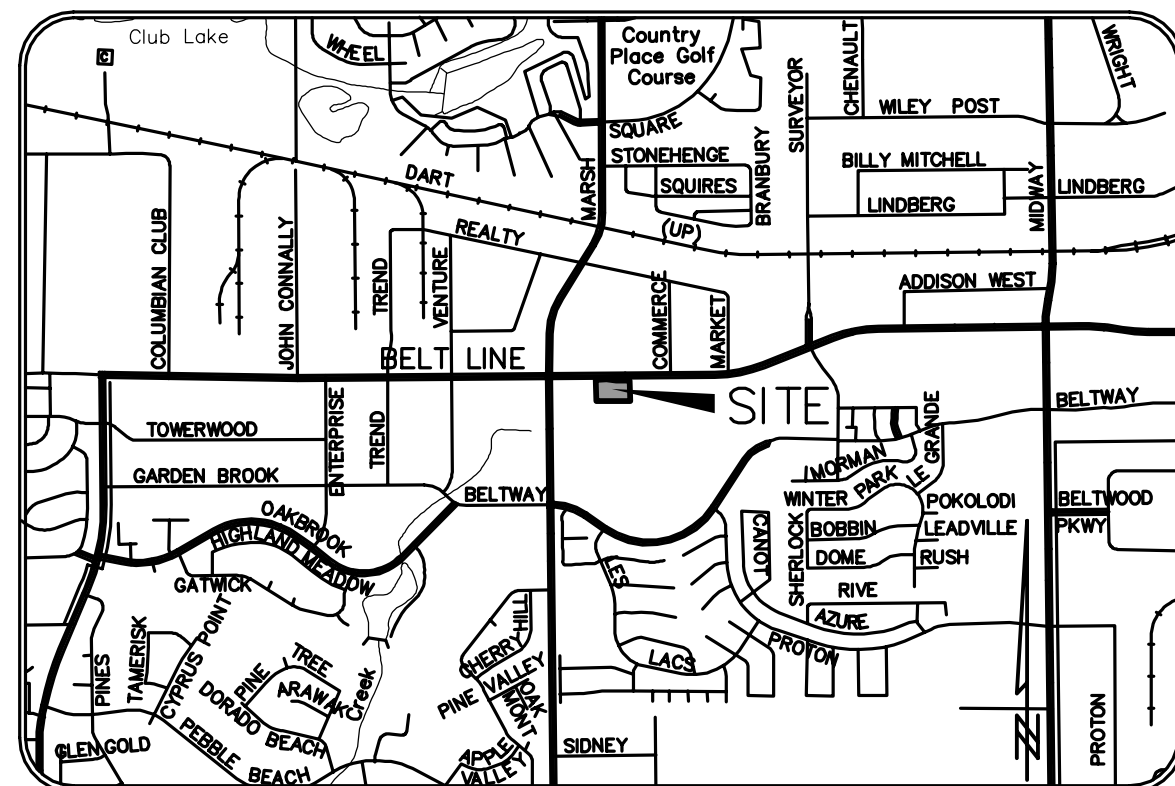
**TRACT 1 OF TITLE COMMITMENT:**  
BEING A TRACT OF LAND LOCATED IN THE THOMAS CHENOWETH SURVEY, ABSTRACT No. 273, DALLAS COUNTY, TEXAS, BEING ALL OF LOT 2, BLOCK D OF REPLAT OF LOT 2, BLOCK 2 ADDISON TOWN CENTER, AN ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT No. 200600182964, MAP RECORDS, DALLAS COUNTY, TEXAS (M.R.D.C.T.).

**TRACT 2:**  
NON-EXCLUSIVE EASEMENT FOR ACCESS, INGRESS AND EGRESS BETWEEN ALL BENEFITED PARCELS AS CREATED BY THAT CERTAIN EASEMENT AGREEMENT BY AND BETWEEN PALOMAR PARTNERS, LTD. AND HUNT-STEPHENS INVESTMENTS, AND ADDISON INVESTORS, LTD., DATED APRIL 29, 1993, AND RECORDED IN/UNDER VOLUME 93084, PAGE 5513 OF THE REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS, AS AFFECTED BY CERTIFICATE OF CORRECTION OF ERROR, RECORDED JUNE 11, 1993, IN VOLUME 93113, PAGE 525, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS.

**\*TITLE NOTES\***

THIS SURVEY WAS PREPARED WITH BENEFIT OF A COPY OF COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, OF. No. 4715003227, EFFECTIVE DATE JANUARY 15, 2023, ISSUED DATE FEBRUARY 15, 2023.

1. THE SUBJECT TRACT IS THE SAME TRACT OF LAND DESCRIBED IN THE PLAT RECORDED IN INSTRUMENT No. 200600182964, M.R.D.C.T. THE SUBJECT TRACT IS INCLUDED IN THE LANDS DESCRIBED IN EXHIBIT "A" OF THE DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS RECORDED IN VOL. 83084, PG. 5548, O.P.R.D.C.T., AND EXHIBIT "A" OF THE GRANT OF RESTRICTIONS RECORDED IN VOL. 94217, PG. 2201, O.P.R.D.C.T.
- 10a. THE VARIABLE WIDTH ELECTRIC EASEMENT, TEN FOOT (10') WATER EASEMENT, FIVE FOOT (5') UTILITY EASEMENT, TEN FOOT BY THIRTY FOOT (10'X30') WATER LINE EASEMENT; AND VARIABLE WIDTH EASEMENT AND PUBLIC RIGHT-OF-WAY, SHOWN ON ARE PLAT RECORDED IN VOL. 68012, PG. 168 D.R.D.C.T., ARE LOCATED ON THE SUBJECT TRACT, AND IS SHOWN HEREON.
- 10i. THE 10' WATER EASEMENT RECORDED IN VOL. 92205, PG. 5397, D.R.D.C.T., IS LOCATED ON THE SUBJECT TRACT, AND IS SHOWN HEREON.
- 10j. THE ELECTRIC EASEMENT RECORDED IN VOL. 93243, PG. 6548, D.R.D.C.T., WAS ABANDONED BY PREVIOUS PLAT, AND IS NO LONGER LOCATED ON THE SUBJECT TRACT.
- 10k. THE 10' GAS EASEMENT RECORDED IN VOL. 83251, PG. 4359, D.R.D.C.T., WAS ABANDONED BY PREVIOUS PLAT, AND IS NO LONGER LOCATED ON THE SUBJECT TRACT.
- 10l. THE EASEMENT AND PUBLIC RIGHT-OF-WAY TO THE CITY OF ADDISON RECORDED IN VOL. 94051, PG. 4265, D.R.D.C.T., IS LOCATED ON THE SUBJECT TRACT, AND IS SHOWN HEREON.
- 10m. THE UTILITY AND SIDEWALK EASEMENT RECORDED IN INSTRUMENT No. 201500135712, O.P.R.D.C.T., IS LOCATED ON THE SUBJECT TRACT, AND IS SHOWN HEREON.
- 10n. THE PLAT RECORDED IN 94176, PG. 1830, O.P.R.D.C.T., HAS BEEN SUPERCEDED BY THE PLAT RECORDED IN INSTRUMENT No. 200600182964, M.R.D.C.T., AND THE EASEMENTS CREATED BY THAT PREVIOUS PLAT ARE SHOWN HEREON, TO THE EXTENT APPLICABLE.
- 10o. THE PLAT RECORDED IN 96216, PG. 6707, M.R.D.C.T., HAS BEEN SUPERCEDED BY THE PLAT RECORDED IN INSTRUMENT No. 200600182964, M.R.D.C.T., AND THE EASEMENTS CREATED BY THAT PREVIOUS PLAT ARE SHOWN HEREON, TO THE EXTENT APPLICABLE.
- 10p. THE SUBJECT TRACT IS A PORTION OF PARCEL "C" OF THE DOCUMENT RECORDED IN VOL. 88165, PG. 3914, D.R.D.C.T., BUT THE RIGHT-OF-WAY EASEMENT IS NOT LOCATED ON THE SUBJECT TRACT.
- 10q. THE WATER EASEMENT RECORDED IN VOL. 93153, PG. 2144, D.R.D.C.T., IS NOT LOCATED ON THE SUBJECT TRACT.
- 10r. THE EASEMENT AGREEMENT RECORDED IN VOL. 93084, PG. 5513, D.R.D.C.T., AMENDED BY CERTIFICATE OF ERROR RECORDED IN VOL. 93113, PG. 525, D.R.D.C.T., IS NOT LOCATED ON THE SUBJECT, BUT IS SHOWN HEREON.
- 10s. THE PYLON SIGN EASEMENT RECORDED IN VOL. 95029, PG. 1292, D.R.D.C.T., IS NOT LOCATED ON THE SUBJECT TRACT.
- 10t. THE SUBJECT TRACT IS NOT A PORTION OF THE LANDS DESCRIBED IN THE OPERATION AND EASEMENT AGREEMENT RECORDED IN VOL. 2003031, PG. 10582, D.R.D.C.T., AMENDED BY FIRST AMENDMENT OF OPERATION AND EASEMENT AGREEMENT RECORDED IN INSTRUMENT No. 201500215654, O.P.R.D.C.T.
- 10u. THE UTILITY AND SIDEWALK EASEMENT RECORDED IN INSTRUMENT No. 201500135712, O.P.R.D.C.T., DIRECTLY ABUTS THE SUBJECT TRACT, AND IS SHOWN HEREON.
- 10v. THE WATER EASEMENT RECORDED IN VOL. 93153, PG. 2144, D.R.D.C.T., IS NOT LOCATED ON THE SUBJECT TRACT.



VICINITY MAP  
NOT TO SCALE

**\*SURVEYOR'S NOTES\***

1. ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), MAP No. 48113C0180K MAP REVISED JULY 07, 2014, ALL OF THE SUBJECT TRACT LIES WITHIN LIES WITHIN ZONE "X" (SHADED), DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS BEING "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD".
2. THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP"; IT DOES NOT NECESSARILY SHOW ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL SOURCES OF SMALL SIZE, WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL, COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "FIRM".
3. THE LINE INDICATED HEREON DEPICTS THE APPROXIMATE GRAPHICAL LOCATION OF THE FLOODPLAIN BOUNDARY FOR A "SPECIAL FLOOD HAZARD AREA INUNDED BY 100-YEAR FLOOD" ZONE ACCORDING TO SURVEYOR'S INTERPRETATION OF THE FLOODPLAIN BOUNDARY GRAPHICALLY DEPICTED ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), COMMUNITY-PANEL NUMBER 48113C0180K, MAP EFFECTIVE DATE JULY 7, 2014. (THE APPROXIMATE GRAPHICAL LOCATION OF THE FLOODPLAIN BOUNDARY SHOWN ON THIS SURVEY HAS NOT BEEN FIELD VERIFIED OR CONFIRMED BY CURRENT IN-FIELD SURVEYS, AND THE ACTUAL LOCATION OF THE FLOODPLAIN BOUNDARY MAY VARY FROM THAT APPROXIMATE LOCATION SHOWN HEREON).
4. THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION MARKED BY UTILITY LOCATORS. VISIBLE IMPROVEMENTS AND/OR EXISTING DRAWINGS; THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THIS SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED OR DESIGNATED THE UNDERGROUND UTILITIES.
5. ALL BEARINGS SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINISTERED BY ALL TERRA SYSTEMS, INC.
6. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COPY OF COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, OF. No. 4715003227, EFFECTIVE DATE JANUARY 15, 2023, ISSUED DATE FEBRUARY 15, 2023.
7. THE SUBJECT TRACT CONTAINS 52 STRIPED PARKING SPACES, OF WHICH 3 ARE DESIGNATED AS HANDICAPPED ACCESSIBLE.
8. ACCORDING TO SITE INVESTIGATION REPORT PREPARED FOR CHICK-FIL-A, INC., PREPARED BY TRINITY PROGRAM MANAGEMENT, INC., FSU No. 05521, DATED JANUARY 16, 2023, THE SUBJECT TRACT IS ZONED "PD", PLANNED DEVELOPMENT.
9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK DURING THE PROCESS OF CONDUCTING THE FIELDWORK.
10. AT THE TIME OF THE SURVEY, SURVEYOR WAS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT-OF-WAY. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
12. PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$2,000,000 TO BE IN EFFECT THROUGHOUT CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.
13. THE SUBJECT TRACT CONTAINS NO GAPS, STRIPS, OR GORES.

**ZONING INFORMATION:**

THE SUBJECT PROPERTY HEREON IS CURRENTLY ZONED "PD" (PLANNED DEVELOPMENT)

**ADJACENT PROPERTIES ARE ZONED:**

- Front (North): Town Principal Arterial Belt Line Road
- Left Side (East): Planned Development (PD) Shopping center access drive
- Right Side (West): Planned Development (PD) Shopping center access drive
- Rear (South): Planned Development (PD) Shopping center drive aisle

MINIMUM LOT WIDTH IS N/A  
MINIMUM LOT DEPTH IS N/A  
MAXIMUM FLOOR AREA N/A.

MAXIMUM BUILDING HEIGHT IS 29 FEET.

**BUILDING SETBACKS ARE:**

- Front (North): 25ft Left Side (East): 0ft
- Right Side (West): 0ft Rear (South): 0ft

**LANDSCAPE SETBACKS ARE:**

FRONT: 20' LEFT SIDE: 0'

RIGHT SIDE: 0' REAR: 0'

**THE PARKING FORMULA FOR MINIMUM REQUIREMENTS:**

1 space per 70sf of building space.

POLE SIGNS ARE NOT PERMITTED

**\*UTILITY PROVIDERS\***  
(SET NOTE 8)

- 1) PLANNING DEPARTMENT  
Town of Addison Development Services Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Lesley Nye, Planning and Development Manager  
Phone: 972-450-2823  
Email: lny@addison.tx.gov
- 2) ZONING DEPARTMENT  
Town of Addison Development Services Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Lesley Nye, Planning and Development Manager  
Phone: 972-450-2823  
Email: lny@addison.tx.gov
- 3) SIGNS  
Town of Addison Development Services Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Lesley Nye, Planning and Development Manager  
Phone: 972-450-2823  
Email: lny@addison.tx.gov
- 4) BUILDING DEPARTMENT  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Michael Doherty  
Phone: 972-450-2808  
Email: mdoherty@addison.tx.gov
- 5) FIRE MARSHAL  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Fred Gibson, Fire Marshal  
Phone: 972-450-7201  
Email: fegibson@addison.tx.gov
- 6) SLURMING  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Michael Doherty  
Phone: 972-450-2808  
Email: mdoherty@addison.tx.gov
- 7) HEALTH DEPARTMENT  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Michael Doherty  
Phone: 972-450-2808  
Email: mdoherty@addison.tx.gov
- 8) TRAFFIC ENGINEERING  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Philip Willis, Infrastructure Inspector  
Phone: 972-450-2847  
Email: pwillis@addison.tx.gov
- 9) SITE UTILITIES
- 1) SANITARY SEWER  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Philip Willis, Infrastructure Inspector  
Phone: 972-450-2847  
Email: pwillis@addison.tx.gov
- 2) WATER  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Philip Willis, Infrastructure Inspector  
Phone: 972-450-2847  
Email: pwillis@addison.tx.gov
- 3) STORM DRAINAGE  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Philip Willis, Infrastructure Inspector  
Phone: 972-450-2847  
Email: pwillis@addison.tx.gov
- 4) EROSION CONTROL  
Town of Addison Building Department  
Address: 16801 Westgrove Drive, Addison, TX 75001  
Contact: Philip Willis, Infrastructure Inspector  
Phone: 972-450-2847  
Email: pwillis@addison.tx.gov
- 5) GAS UTILITY  
Atmos Energy  
Contact: Representative  
Phone: 988-288-8700
- 6) ELECTRIC  
Oncor - New Construction, Commercial  
Contact: Representative  
Phone: 988-315-8882
- 7) TELEPHONE  
Spectrum  
Contact: Adaliso Sedenio, Representative  
Phone: 833-267-6046, 813-462-2746  
Email: adaliso.sedenio@spectrum.com
- 10) LANDLORD/DEVELOPER  
Beltline Investment, LLC  
Craig Williams  
2616 Son Miguel, Box 314  
Newport Beach, CA 92660-5437  
Business Line: 714-546-7200  
Cell: 425-232-4851  
Email: sanmargry@mac.com

**\*SURVEYOR'S STATEMENT\***

TO CHICK-FIL-A, INC., A GEORGIA CORPORATION, BELTLINE INVESTMENTS, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AND CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH LAWS REGULATING SURVEYING IN THE STATE OF TEXAS, AND WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b), 8, 9, 11, 13, 16, 17, 20, AND 21 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETE ON MAY 3RD, 2023.

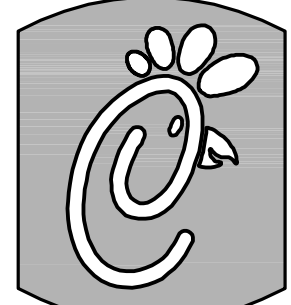
DATE OF PLAT OR MAP: \_\_\_\_\_

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF GREGG A.E. MADSEN, R.P.L.S. NO. 5798 ON MAY 8, 2023. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."

GREGG A.E. MADSEN, R.P.L.S.  
STATE OF TEXAS No. 5798  
E-MAIL: GreggM@WierAssociates.com

ALTA/NSPS  
LAND TITLE SURVEY

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com  
Texas Board of Professional Land Surveying Registration No. 10033900



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△ \_\_\_\_\_

Mark Date By

△ \_\_\_\_\_

Mark Date By

△ \_\_\_\_\_

1.769 ACRES OF LAND LOCATED IN  
THE THOMAS L. CHENOWETH SURVEY  
ABSTRACT No. 273  
CITY OF ADDISON  
DALLAS COUNTY, TEXAS

SHEET TITLE

ALTA/NSPS  
LAND TITLE  
SURVEY

- Preliminary
- 80% Submittal
- For Construction

Job No. : 23011

Store : #05521

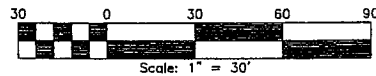
Date : 5/8/2023

Drawn By : MTJ

Checked By : GAM

Sheet

C-1.2



**LEGEND**

- S/BRF 5/8" IRON ROD FOUND
- XFND CHISELED X CUT IN CONCRETE FOUND
- PKFND PK NAIL FOUND
- XSET CHISELED X CUT IN CONCRETE SET
- S/BRIS 5/8" IRON ROD WITH CAP MARKED "WEBB-4125" SET

**SURVEYOR CERTIFICATE**

STATE OF TEXAS

I, Kurtis R. Webb, Registered Public Surveyor, hereby certify that I have prepared this plat from an actual on-the-ground survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Addison, Texas.

*[Signature]*  
Surveyor's Signature



**NOTARY CERTIFICATE**

STATE OF TEXAS]

COUNTY OF COLLIN]

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Kurtis R. Webb, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

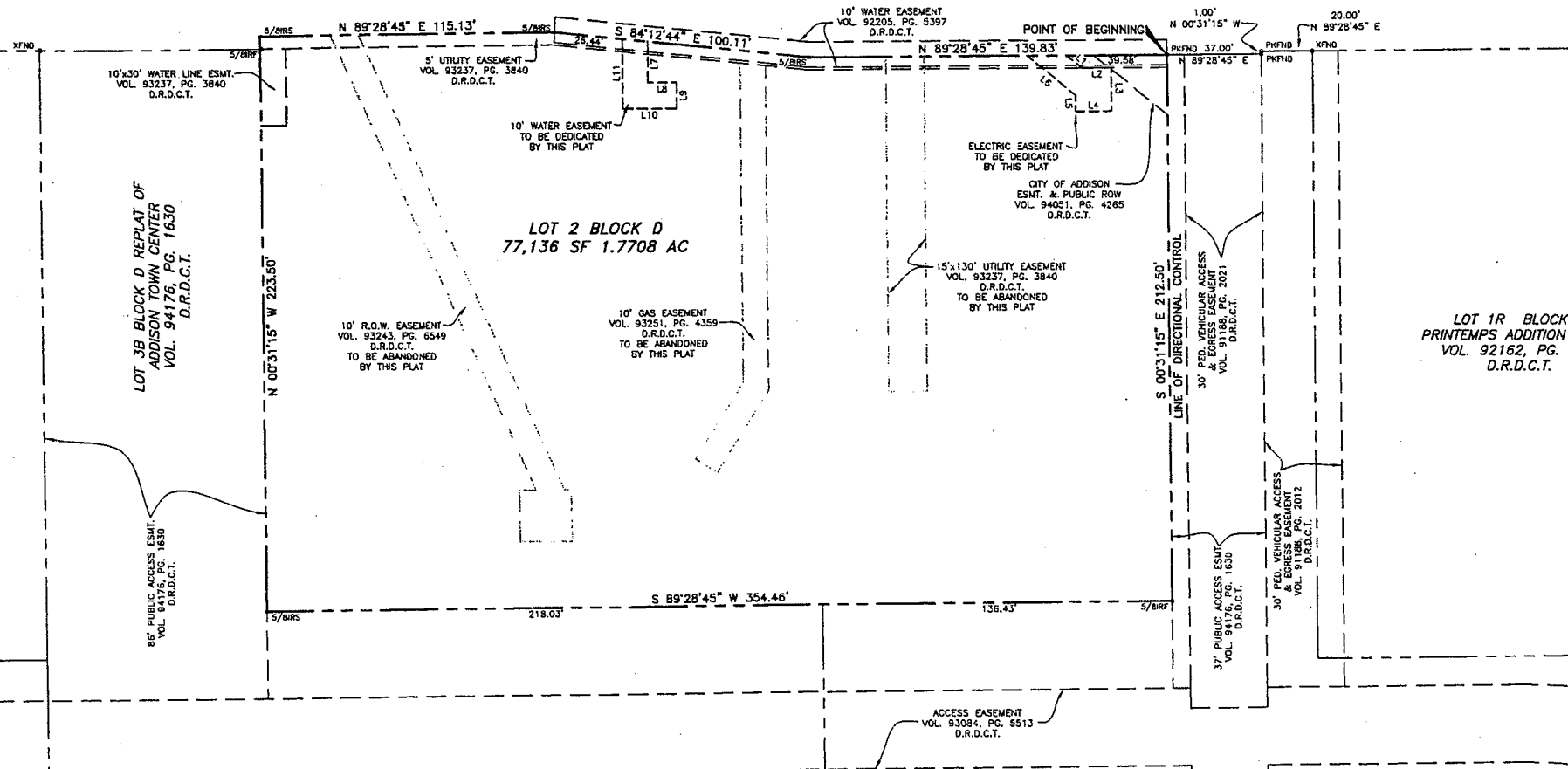
Given under my hand and seal of office, this 18 day of May, 2006.

*[Signature]*  
Notary Public in and for the State of TEXAS.



My commission expires: 10-19-2008

**BELTLINE ROAD**  
(ROW VARIES)



**LEGAL DESCRIPTION**

BEING all of Lot 2, Block D of Addison Town Center, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 93237, Page 3840, Map Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a PK Nail found for the northeast corner of said Lot 2, Block D, being on the south right-of-way line of Beltline Road (right-of-way varies) also being the most northerly northwest corner of Lot 3C-1, Block D, Replat of Addison Town Center, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 94176, Page 1630, Map Records, Dallas County, Texas;

THENCE along the east line of said Lot 2, Block D, same being an interior line of said Lot 3C-1, Block D, South 00 degrees 31 minutes 15 seconds East, a distance of 212.50 feet to a 5/8" iron rod found for the southeast corner hereof, same being an interior corner of said Lot 3C-1, Block D;

THENCE along the south line of said Lot 2, Block D, South 89 degrees 28 minutes 45 seconds West, passing at a distance of 136.43 feet the most westerly northwest corner of said Lot 3C-1, Block D, same being the most easterly northeast corner of Lot 3B, Block D of said Replat of Addison Town Center, and continuing for a total distance of 354.46 feet to a 5/8" iron rod set with cap marked "WEBB-4125" for the southwest corner hereof, same being an interior corner of said Lot 3B, Block D;

THENCE along the west line of said Lot 2, Block D, same being an interior line of said Lot 3B, Block D, North 00 degrees 31 minutes 15 seconds West, a distance of 223.50 feet to a 5/8" iron rod set with cap marked "WEBB-4125" for the northwest corner hereof;

THENCE along the north line of said Lot 2, Block D, same being the south right-of-way line of Beltline Road the following three (3) courses:

1. North 89 degrees 28 minutes 45 seconds East, a distance of 115.13 feet to a 5/8" iron rod set with cap marked "WEBB-4125"
2. South 84 degrees 12 minutes 44 seconds East, a distance of 100.11 feet to a 5/8" iron rod set with cap marked "WEBB-4125";
3. North 89 degrees 28 minutes 45 seconds East, a distance of 139.83 feet to the POINT OF BEGINNING hereof and containing 1.7708 acres or 77,136 square feet of land, more or less.

**OWNER'S CERTIFICATE**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That TRAVIS HOLDINGS, L.L.C., a Texas limited liability company, does hereby adopt this plat designating the hereinabove property as REPLAT OF LOT 2, BLOCK D, ADDISON TOWN CENTER, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, Owner dedicates to the public use, forever, the streets and alleys shown thereon.

The easements shown on this plot are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The Town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type of building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the Town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the Town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the Town for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

TRAVIS HOLDINGS, L.L.C.  
A Texas limited liability company

*[Signature]*

**NOTARY CERTIFICATE**

STATE OF

COUNTY OF

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Travis Holdings, L.L.C. known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this 18 day of May, 2006.

*[Signature]*  
Notary Public in and for the State of TX

My commission expires: 4-21-09



**REPLAT OF LOT 2, BLOCK D  
ADDISON TOWN CENTER**

BEING A TOTAL OF 77,136 SQUARE FEET  
OR 1.7708 ACRES IN THE  
THOMAS L. CHENOWETH SURVEY  
ABSTRACT NO. 273  
CITY OF ADDISON, DALLAS COUNTY, TEXAS

DATE: 5/15/2006

**Notes:**

Bearings shown hereon are Grid Bearings, NAD83, Texas North Central Zone, based on GPS observations taken coincident with survey.

By graphic plotting only, this property is within zone "X", areas outside of a 100 yr. flood plain as shown by FIRM Map Community Panel Number 48113C 0180 J, dated AUG. 23, 2001.

NUMBER	DIRECTION	DISTANCE
L1	S 51°08'24" E	7.88'
L2	N 89°28'45" E	11.15'
L3	S 09°28'42" E	17.00'
L4	S 89°28'45" W	14.00'
L5	N 00°31'15" W	6.39'
L6	N 51°08'24" W	24.61'
L7	SOUTH	16.18'
L8	EAST	11.33'
L9	SOUTH	10.00'
L10	WEST	21.33'
L11	NORTH	27.19'

**CERTIFICATE OF APPROVAL:**

Approved by the Addison City Council on the 17<sup>th</sup> day of April, 2006

*[Signature]*  
Mayor

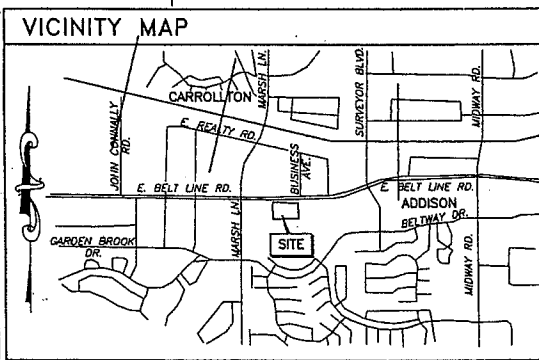
*[Signature]*  
City Secretary

**FILED AND RECORDED**



OFFICIAL PUBLIC RECORDS  
*[Signature]*  
Cynthia Figueroa Calhoun, County Clerk  
Dallas County TEXAS  
May 19, 2006 10:45:12 AM  
FEE: \$33.00  
200600182964

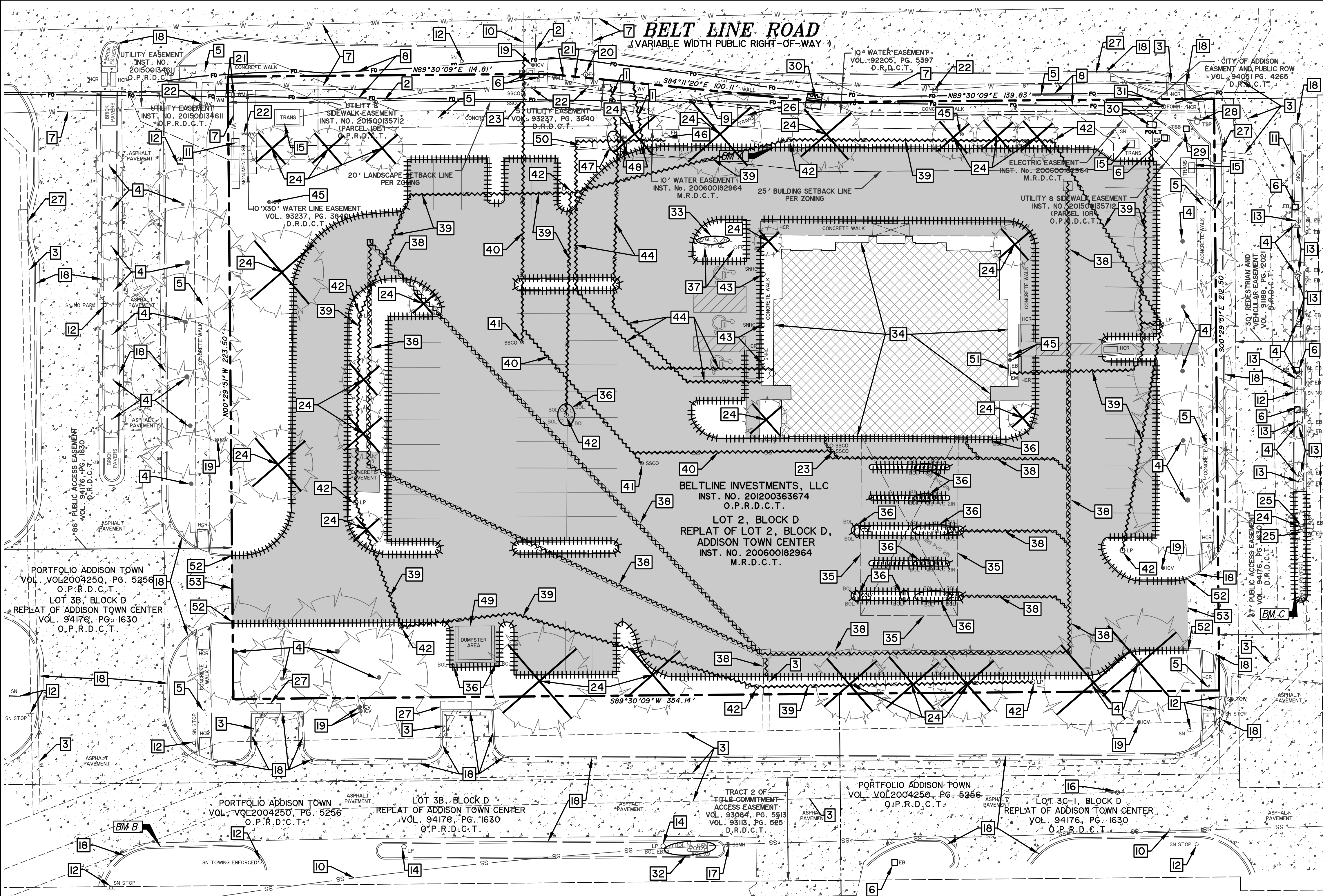
Webb Surveying, Inc. Land Surveyors  
3400 Silverstone Drive Phone: (972) 964-1737  
Suite 121 Fax: (972) 348-4428  
Plano, TX 75023 webbsurveying.com



PLAT 1 PG 200600182964

TAX, JAN. 01, 2006, 03:10, P. C:\VAL-JONES\CENTER\_BURGESS\GRANITE - CARROLLTON\GRANITE-CARROLLTON REPLAT.DWG

PRINTED: 2/12/2024 5:10 PM FILE: WIER-DEMOLITION.STB LAST SAVED: 1/17/2024 6:10 PM SAVED BY: HAYDENF FILE: C-3 DEMO PLAN - 23011.DWG



- LEGEND**
- PAVEMENT TO BE REMOVED
  - PAVEMENT TO REMAIN
  - EX. BUILDING AND IMPROVEMENTS WITHIN THE CURB OF BUILDING AREA TO BE DEMOLISHED BY CFA CONTRACTOR (INCLUDING UNDERGROUND FOUNDATIONS OR FOOTINGS)
  - CURB TO BE REMOVED
  - UNDERGROUND UTILITY TO BE REMOVED
  - TREE TO BE REMOVED
1. EX. WATER LINE TO BE CUT & PLUGGED AT MAIN
  2. EX. UNDERGROUND ELECTRIC TO REMAIN
  3. EX. STORM DRAIN TO REMAIN
  4. EX. TREE TO REMAIN
  5. EX. SIDEWALK TO REMAIN
  6. EX. ELECTRIC BOX TO REMAIN
  7. EX. WATERLINE TO REMAIN
  8. EX. FIBER OPTIC UNDERGROUND UTILITY TO REMAIN
  9. EX. RETAINING WALL TO REMAIN
  10. EX. SANITARY SEWER LINE TO REMAIN
  11. EX. MONUMENT SIGN TO REMAIN
  12. EX. SIGN TO REMAIN
  13. GROUND LIGHT TO REMAIN
  14. EX. LIGHT POLE TO REMAIN
  15. EX. TRANSFORMER TO REMAIN
  16. EX. STORM DRAIN MANHOLE TO REMAIN
  17. EX. SANITARY SEWER MANHOLE TO REMAIN
  18. EX. CURB TO REMAIN
  19. EX. IRRIGATION CONTROL VALVE TO REMAIN
  20. EX. FIRE HYDRANT TO REMAIN
  21. EX. WATER METER TO REMAIN
  22. EX. WATER VALVE TO REMAIN
  23. EX. DOUBLE SANITARY SEWER CLEANOUT TO BE REMOVED
  24. EX. TREE TO BE REMOVED
  25. EX. GROUND LIGHTS TO BE REMOVED & REPLACED WITH TRAFFIC RATED SPLICE BOX
  26. EX. TRANSFORMER TO BE REMOVED & REPLACED BY ONCOR
  27. EX. STORM DRAIN INLET TO REMAIN
  28. EX. TRAFFIC SAFETY POLE TO REMAIN
  29. EX. TRAFFIC SAFETY BOX TO REMAIN
  30. EX. FIBER OPTIC VAULT TO REMAIN
  31. EX. FIBER OPTIC MANHOLE TO REMAIN
  32. EX. BOLLARD TO REMAIN
  33. EX. GROUND LIGHTS TO BE REMOVED
  34. EX. ONE STORY BUILDING, DOWNSPOUTS, AND ALL UTILITIES SERVING THE BUILDING TO BE DEMOLISHED & REMOVED
  35. EX. OVERHEAD CANOPY TO BE REMOVED
  36. EX. BOLLARD TO BE REMOVED
  37. EX. FLAGPOLE TO BE REMOVED
  38. EX. STORM DRAIN TO BE REMOVED
  39. EX. UNDERGROUND ELECTRIC LINE TO BE REMOVED
  40. EX. UNDERGROUND SANITARY SEWER LINE
  41. EX. SANITARY SEWER CLEANOUT TO BE REMOVED
  42. EX. LIGHT POLE TO BE REMOVED
  43. EX. SIGN TO BE REMOVED
  44. EX. WATER LINE TO BE REMOVED
  45. EX. IRRIGATION CONTROL VALVE TO BE REMOVED
  46. EX. FIRE HYDRANT TO BE REMOVED
  47. EX. WATER METER TO BE REMOVED
  48. EX. WATER VALVE TO BE REMOVED
  49. EX. DUMPSTER AREA TO BE REMOVED
  50. EX. WATER VAULT TO BE REMOVED
  51. EX. ELECTRICAL BOX & METER TO BE REMOVED
  52. FULL DEPTH SAWCUT AND REMOVE EX. CONCRETE CURB
  53. FULL DEPTH SAWCUT AND REMOVE EX. CONCRETE



**CAUTION !!**

EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTOR'S OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTOR'S OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

**GENERAL NOTES**

1. CONTRACTOR SHALL ARRANGE AND PAY FOR DISCONNECTING, REMOVING, AND PLUGGING UTILITY SERVICES. CONTRACTOR SHALL NOTIFY AFFECTED UTILITY COMPANIES AND OBTAIN APPROVAL BEFORE STARTING WORK.
2. CONTRACTOR SHALL REMOVE VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION.
3. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED OR IN USE WITHOUT PRIOR WRITTEN APPROVAL FROM ARCHITECT. CONTRACTOR SHALL ENSURE TEMPORARY UTILITY SERVICES ARE OPERATIONAL BEFORE INTERRUPTION OF EXISTING SERVICES.
4. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL BE FAMILIAR WITH CONTRACT DOCUMENTS, SPECIFICATIONS, CONSTRUCTION PLANS, ALL NOTES, CITY STANDARDS, AND ANY OTHER SPECIFICATIONS APPLICABLE TO THE PROPER COMPLETION OF THIS PROJECT.
5. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO ANY DEMOLITION OR CONSTRUCTION, ALL NECESSARY PERMITS AND LICENSES. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON SITE AT ALL TIMES.
6. ALL WORK SHALL CONFORM TO THE CITY'S SPECIFICATIONS, STANDARDS, AND DETAILS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTIONS.
8. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", AS CORRECTLY AMENDED, AND CITY STANDARDS.
9. ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR. TOP SOIL SHALL BE STOCK PILED AT THE SITE FOR USE IN LANDSCAPED AREAS.
10. CONTRACTOR TO COORDINATE WITH ALL FRANCHISE & CITY UTILITY COMPANIES PRIOR TO REMOVAL OF ANY EXISTING FACILITIES.
11. ALL PAVEMENT REMOVAL ADJACENT TO EX. PAVEMENT SHALL BE REMOVED BY FULL DEPTH SAWCUT.
12. PRIOR TO BID THE CONTRACTOR SHALL VISIT THE SITE & BE RESPONSIBLE FOR REMOVAL OF ALL EXISTING FACILITIES, TREES, AND UTILITIES LOCATED WITHIN THE PROJECT.

**\* LEGEND \***

AC	AR CONDITIONER
BOL	BOLLARD
CL	CURB INLET
EM	CONTROLLING MONUMENT
EB	ELECTRIC BOX
EM	ELECTRIC METER
FI	FIRE HYDRANT
FOVLT	FIBER OPTIC VAULT
GM	GAS METER
GTW	GREAT TRAP MANHOLE
GTS	GAS TEST STATION
GV	GAS VALVE
GMW	GAS MONITOR WELL
ICV	IRRIGATION CONTROL VALVE
IR	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE
PPC	POWER POLE W/CONDUIT
PPF	POWER POLE W/LIGHT POLE
PPT	POWER POLE W/TRANSFORMER
PCP	CONCRETE STORM DRAIN PIPE
PPC	POWER POL W/CONDUIT AND TRANSFORMER
TR	RAIL ROAD TIE RETAINING WALL
SMH	STORM DRAIN MANHOLE
SN	SIGN
SNT	UNDERGROUND TELEPHONE SIGN
SNPT	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TR	TELEPHONE PESTICIDE
TSB	TRAFFIC SIGNAL BOX
TR	TELEPHONE MANHOLE
TRP	TRANSFORMER PAD
TSP	TRAFFIC SIGNAL POLE
TSVLT	TRAFFIC SIGNAL VAULT
WV	WATER VALVE
WVLT	WATER VAULT
OE	OVERHEAD ELECTRIC LINE
UE	UNDERGROUND ELECTRIC LINE
WL	WATER LINE
US	SANITARY SEWER LINE
UG	UNDERGROUND GAS
UT	UNDERGROUND TELEPHONE

**VERTICAL DATUM NOTE:**  
REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAD) 88 UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC.

SITE BENCHMARK A AN "X" CUT IN CONCRETE BACK OF CURB ALONG NORTH LINE OF PARKING LOT NEAR NORTHWEST CORNER OF BUILDING, ±9' SOUTHWEST OF TRANSFORMER AND ±5' SOUTHWEST OF LIGHT POLE  
ELEVATION = 578.55'

SITE BENCHMARK B AN "X" CUT IN CONCRETE BACK OF CURB ALONG SOUTH LINE OF ACCESS DRIVE ±23' NORTHEAST OF STOP SIGN AND ±87' WEST OF LIGHT POLE.  
ELEVATION = 577.30'

SITE BENCHMARK C AN "X" CUT IN WEST END OF CURB RADIUS ALONG WEST BACK OF CURB LINE OF MEDIAN FOR ACCESS DRIVE ALONG EAST SIDE OF LOT 2 ±64' SOUTHWEST OF LIGHT POLE AND ±175' SOUTH OF INTERSECTION WITH BELT LINE ROAD  
ELEVATION = 580.64'

**UTILITY CONTACTS**

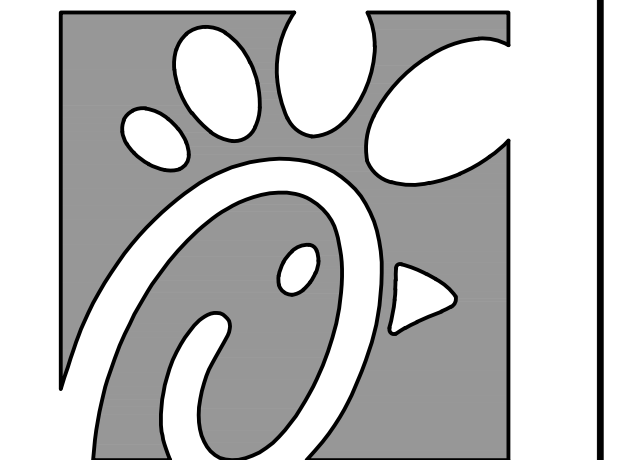
UTILITY	UTILITY COMPANY	CONTACT	PHONE
ELECTRIC	ONCOR	BROGAN HALLORAN	469-315-3620
WATER & WASTEWATER	PUBLIC WORKS	PHILLIP WILLIS	972-450-2847
TELEPHONE/CABLE	SPECTRUM	ADALISA SENDENO	833-267-6094
GAS	ATMOS ENERGY	CARLOS SALDIVAR	945-275-1335

**IMPORTANT !!**  
CONTRACTOR SHALL PREPARE A COORDINATION & BYPASS PLAN TO NOT DISRUPT ANY UTILITY SERVICE TO EXISTING NEIGHBORING LOTS.

**DEMOLITION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND PINS
2. CONTRACTOR SHALL REMOVE PAVEMENT IN ACCORDANCE WITH SPECIFICATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
4. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
5. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, OR OTHER MEANS OF PROTECTION, INCLUDING, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
8. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND IMPLEMENTING AN ASBESTOS OR OTHER HAZARDOUS MATERIAL ABATEMENT PLAN.
11. CONTRACTOR SHALL REVIEW ENVIRONMENTAL SITE ASSESSMENT REPORTS, ASBESTOS REPORT, AND ASBESTOS ABATEMENT REPORT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
12. CONTRACTOR SHALL COMPLETE REMOVAL AND PROPER DISPOSAL OF ALL FOUNDATIONS, PAVEMENTS, AND UNDERGROUND UTILITIES ENCOUNTERED THAT ARE NOT REUSED.

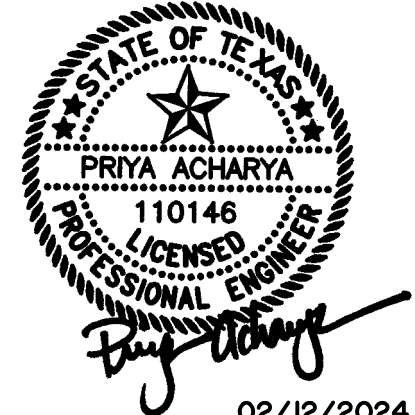
**RECORD DRAWING**  
October 30, 2024



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
SURVEYORS  
ENGINEERS  
LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
www.ViaWierAssociates.com  
Texas Firm Registration No. F-2776



02/12/2024

**CHICK-FIL-A**  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

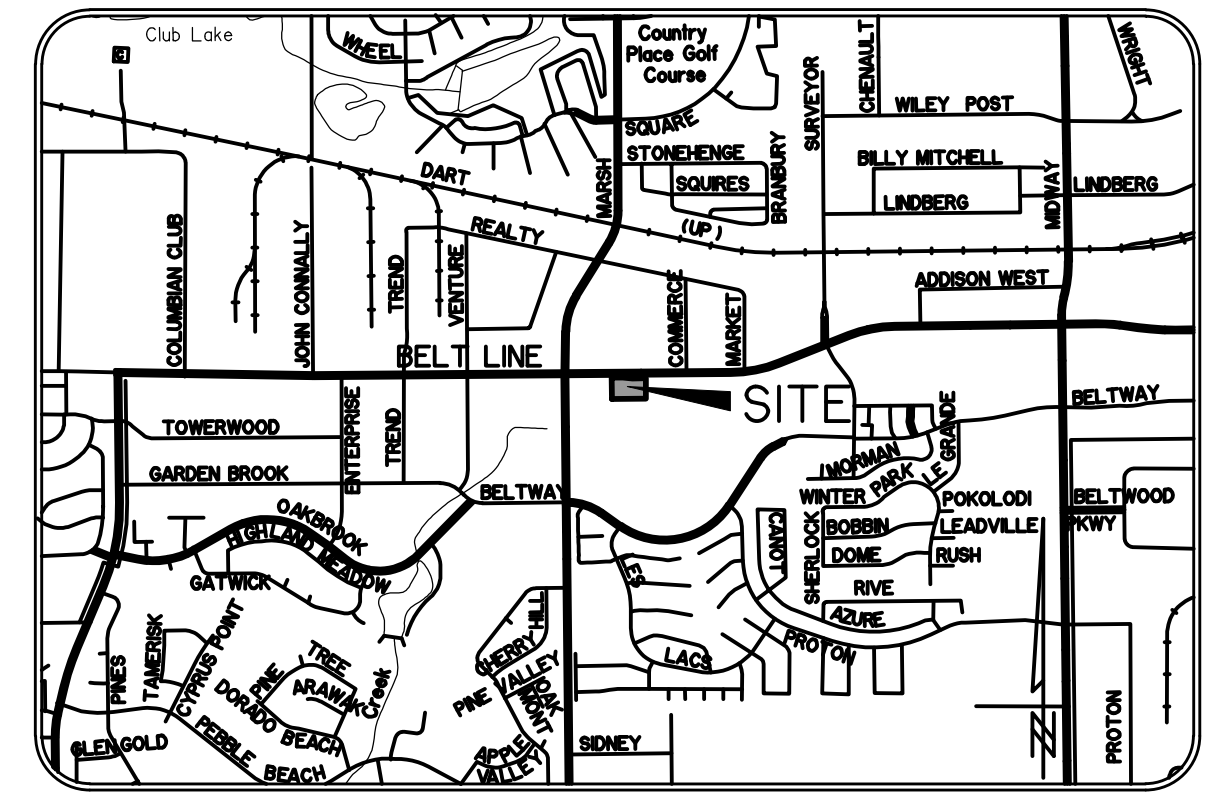
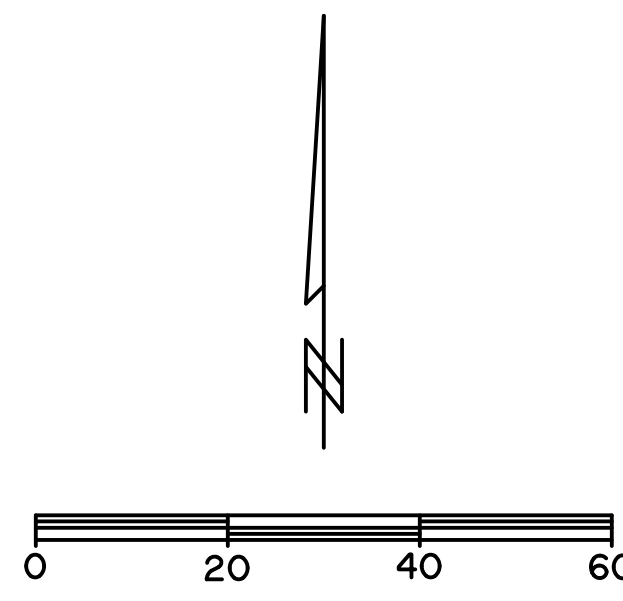
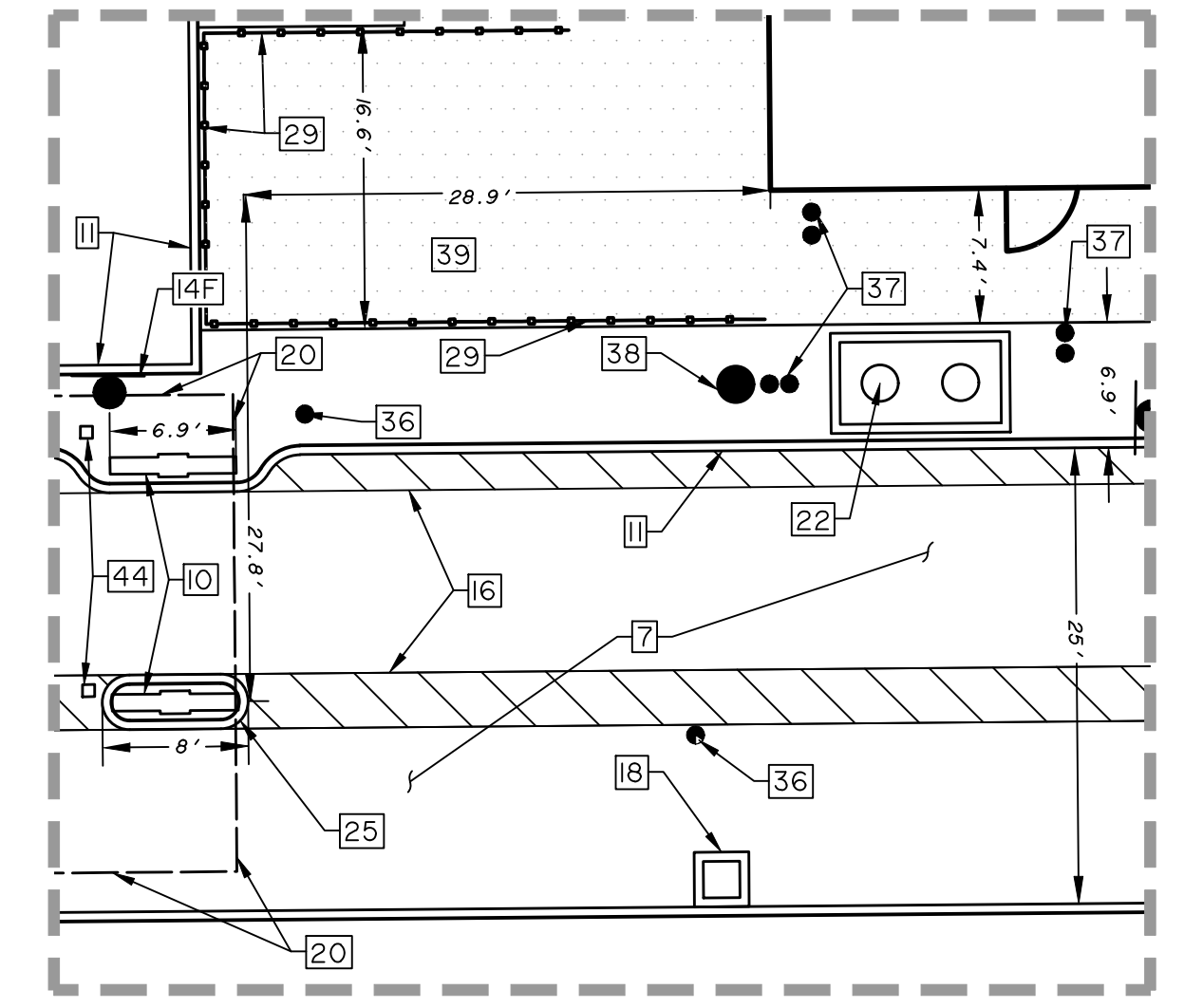
FRS# 05521  
BUILDING TYPE / P14-LS-BN  
SIZE:  
REVISION SCHEDULE  
NO. DATE DESCRIPTION

WA JOB NUMBER 23011  
PRINTED FOR IFP  
DATE 1/17/24  
DRAWN BY HAF  
Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representative.  
SHEET  
**DEMOLITION PLAN**  
SHEET NUMBER **C-3**

PRINTED: 7/1/2024 11:39 AM FILE: WIER-PAVING.STB LAST SAVED: 7/1/2024 11:39 AM SAVED BY: HAYDEN.F. FILE: C-4 SITE-DIMENSIONAL CONTROL PLAN - 23011.DWG

LAYOUT NOTES

- |                                      |  |  |   |   |  |
|--------------------------------------|--|--|---|---|--|
| 1 PAINTED TRAFFIC ARROW              | 14 DIRECTIONAL SIGNAGE   | 22 1,500 GAL. GREASE TRAP. COORDINATE WITH MEP PLANS.                | 34 CONTINUOUS STRIPE                                      | 47 EX. ELECTRICAL BOX TO REMAIN                               | 60 EX. WATER METER TO REMAIN                       |
| 2 DRIVE THRU STRIPING                | 14A *RESERVED PARKING // VAN ACCESSIBLE // VIOLATORS SUBJECT TO FINE AND/OR TOWING* H.C. SIGN WITH BOLLARD | 23 MATCH EXISTING CONCRETE PAVEMENT AND GRADE                        | 35 EX. FIBER OPTIC MANHOLE                                | 48 EX. TRAFFIC SAFETY BOX TO REMAIN                           | 61 EX. FIRE HYDRANT TO REMAIN                      |
| 3 STOP BAR                           | 14B *RESERVED PARKING // VIOLATORS SUBJECT TO FINE AND/OR TOWING* H.C. SIGN WITH BOLLARD                   | 24 END CURB AT DUMPSTER  | 36 SANITARY SEWER CLEANOUT                                | 49 EX. GROUND LIGHTS TO REMAIN                                | 62 EX. RETAINING WALL TO REMAIN                    |
| 4 PAINTED HANDICAP PARKING SYMBOL    | 14C *STOP // DO NOT ENTER* SIGNS   | 25 MULTI-ORDER POINT ISLAND  | 37 DOUBLE SANITARY SEWER CLEANOUT                         | 50 WHEEL STOPS  | 63 EX. TRAFFIC SAFETY POLE TO REMAIN               |
| 5 PARKING STALLS / 4' PAINTED STRIPE | 14D *PEDESTRIAN CROSSING* SIGN   | 26 MEAL DELIVERY CANOPY  | 38 SAMPLING WELL PER DETAIL SHEET C-10.6                  | 51 WATER LINE REDUCER   | 64 PROP. TRAFFIC RATED SPLICE BOX                  |
| 6 STRIPING                           | 14E *STOP* SIGN  | 27 EX. PUBLIC SIDEWALK TO REMAIN                                     | 39 PATIO WITH HAND RAILING (REFER TO ARCHITECTURAL PLANS) | 52 GREASE INTERCEPTOR PER DETAIL SHEET C-10.6                 | 65 EXISTING PAD MOUNTED TRANSFORMER TO BE REPLACED |
| 7 CONCRETE PAVEMENT                  | 14F *CURBSIDE ORDERS* SIGN   | 28 MATCH EXISTING GRADE  | 40 PROP. 1.5" DOMESTIC WATER METER                        | 53 2" BACKFLOW PREVENTOR                                      | 66 *NO PARKING* STRIPING (SEE DETAIL SHEET C-10.1) |
| 8 CONCRETE RADIUS PROTECTION         | 14G *DRIVE THRU* SIGN  | 29 TYPICAL HANDRAIL AND RAILING PER ARCHITECT DETAIL.                | 41 PROP. GUARD POST PER CITY DETAIL SHEET C-10.5          | 54 EXISTING PAD MOUNTED TRANSFORMER TO REMAIN                 | 67 PROP. MONUMENT SIGN (REFER TO SIGN PLAN)        |
| 9 DUMPSTER/STORAGE AREA W/SCREENING  | 14H *CAUTION TEAM MEMBER CROSSING* SIGN  | 30 ~TALL FLAGPOLE & GROUNDING ROD BY APPROVED VENDOR (SEE SIGN PLAN) | 42 1" BACKFLOW PREVENTOR                                  | 55 EXISTING TREE TO REMAIN                                    |  |
| 10 MENU BOARD AND ORDERING STATION   | 15 RETURN CURB BARRIER FREE ACCESS RAMP  | 31 EX. MONUMENT SIGN TO REMAIN                                       | 43 FIRE LANE STRIPING                                     | 56 PROP. WATER VALVE  |  |
| 11 INTEGRAL CURB                     | 16 STRIPING PER DETAIL (SEE SHEET C-10.3)  | 32 REMOTE F.D.C.   | 44 CANOPY COLUMN (REFER TO PLANS BY LANE SUPPLY, INC.)    | 57 EX. SIGN TO REMAIN   |  |
| 12 STEEL PIPE BOLLARD                | 17 DRIVE THRU ISOMETRIC VIEW   | 33 PROPOSED FIRE HYDRANT WITH GUARD POSTS                            | 45 BIKE RACK  | 58 PROP. SANITARY SEWER MANHOLE PER DETAIL (SEE SHEET C-10.5) |  |
| 13 DRIVE THRU PLAN VIEW              | 18 INLET   |  | 46 EX. IRRIGATION CONTROL VALVE TO REMAIN                 | 59 EX. WATER VALVE TO REMAIN                                  |  |
|                                      | 19 EX. STORM DRAIN MANHOLE TO REMAIN   |  |   |   |  |
|                                      | 20 ORDER POINT CANOPY  |  |   |   |  |
|                                      | 21 CLEARANCE BAR   |  |   |   |  |



- LEGEND
- LS LANDSCAPE AREA
  - LIGHT POLE
  - BFR BARRIER FREE RAMP
  - PROPOSED SIDEWALK
  - EX. CONC. PAVEMENT TO REMAIN
  - EX. ASPHALT PAVEMENT TO REMAIN

OWNER:  
**BELTLINE INVESTMENTS, LLC**  
 2618 SAN MIGUEL  
 NEWPORT BEACH, CALIFORNIA 92660  
 PHONE: 425-232-4615  
 CONTACT: CRAIG WILLIAMS

APPLICANT:  
**CHICK-FIL-A, INC.**  
 5200 BUFFINGTON ROAD  
 ATLANTA, GEORGIA 30349  
 PHONE: (404) 765-8000  
 CONTACT: GETRA SANDERS

ENGINEER:  
**WIER & ASSOCIATES, INC.**  
 2201 E. LAMAR BLVD., STE 200E  
 ARLINGTON, TEXAS 76006  
 PHONE: (817) 467-7700  
 CONTACT: PRIYA ACHARYA, P.E.



**CAUTION !!**  
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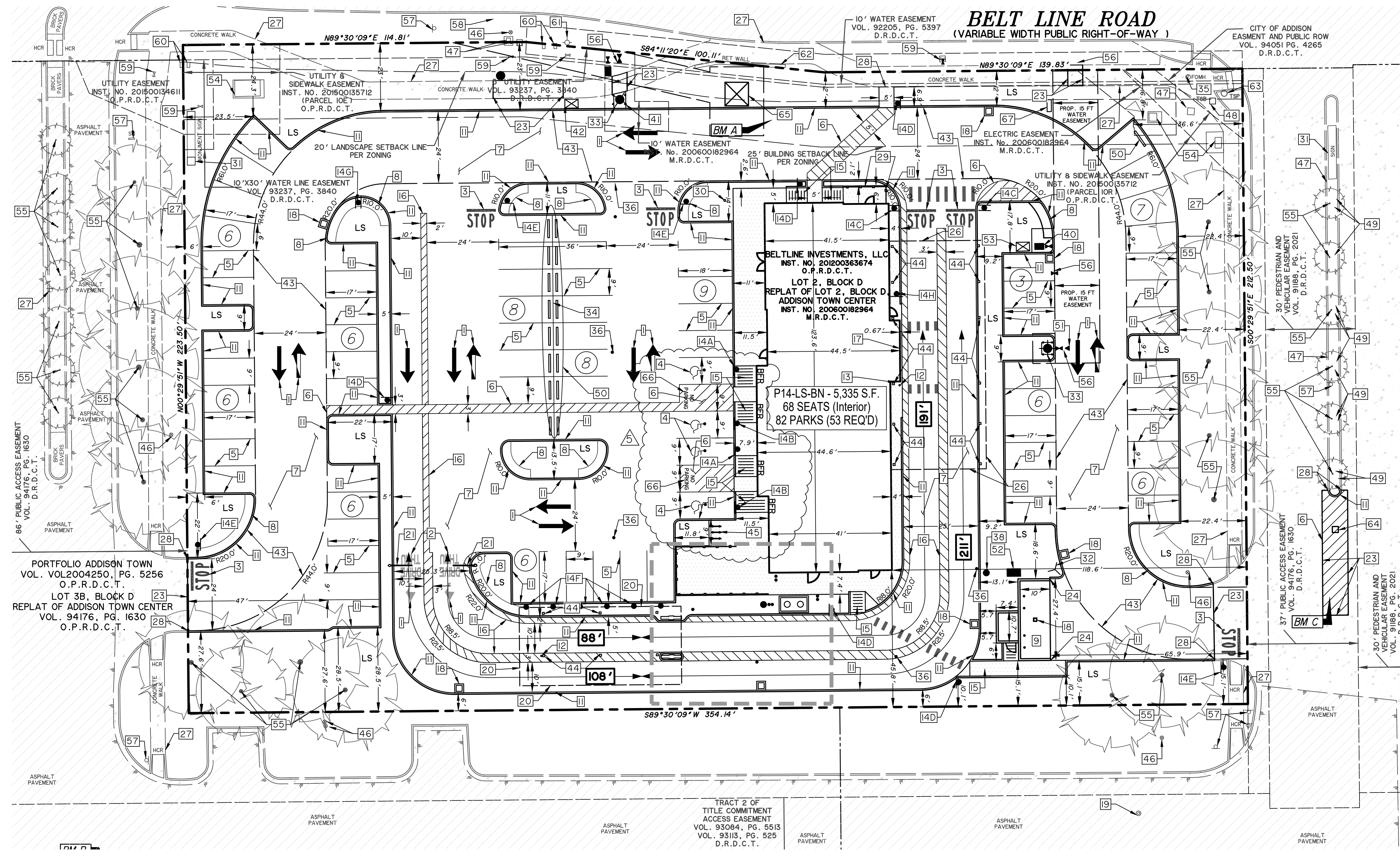
- NOTES
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
  - ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
  - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
  - IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
  - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  - REFER TO ARCHITECTURAL PLANS FOR HAND RAIL LOCATIONS, PATIO TABLES, & BICYCLE RACK CONFIGURATIONS.
  - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
  - ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.
  - BUILDING IS PARALLEL & PERPENDICULAR TO SOUTH & EAST PROPERTY LINES.
  - REFER TO IRRIGATION PLANS FOR LOCATIONS OF PROPOSED IRRIGATION CONDUITS.
  - CONTRACTOR SHALL REFER TO SIGN PACKAGE FOR DIRECTIONAL AND HANDICAP-ACCESSIBLE SIGNAGE DETAILS.

VERTICAL DATUM NOTE:  
 REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAD) 88 UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC.

SITE BENCHMARK A AN "X" CUT IN CONCRETE BACK OF CURB ALONG NORTH LINE OF PARKING LOT NEAR NORTHWEST CORNER OF BUILDING, ±9' SOUTHWEST OF TRANSFORMER AND ±5' SOUTHWEST OF LIGHT POLE  
 ELEVATION = 578.55'

SITE BENCHMARK B AN "X" CUT IN CONCRETE BACK OF CURB ALONG SOUTH LINE OF ACCESS DRIVE ±23' NORTHEAST OF STOP SIGN AND ±87' WEST OF LIGHT POLE.  
 ELEVATION = 577.30'

SITE BENCHMARK C AN "X" CUT IN WEST END OF CURB RADIUS ALONG WEST BACK OF CURB LINE OF MEDIAN FOR ACCESS DRIVE ALONG EAST SIDE OF LOT 2 ±64' SOUTHWEST OF LIGHT POLE AND ±175' SOUTH OF INTERSECTION WITH BELT LINE ROAD  
 ELEVATION = 580.64'



PORTFOLIO ADDISON TOWN  
 VOL. 2004250, PG. 5256  
 O.P.R.D.C.T.

LOT 3B, BLOCK D  
 REPLAT OF ADDISON TOWN CENTER  
 VOL. 94176, PG. 1630  
 O.P.R.D.C.T.

TRACT 2 OF  
 TITLE COMMITMENT  
 ACCESS EASEMENT  
 VOL. 93084, PG. 5513  
 VOL. 93113, PG. 525  
 D.R.D.C.T.

Chick-fil-A  
 5200 Buffington Road  
 Atlanta, Georgia  
 30349-2998

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.wierassociates.com

7/1/2024

RECORD DRAWING  
 October 30, 2024

CHICK-FIL-A  
 3790 BELT LINE ROAD  
 ADDISON, TEXAS 75001  
 STORE #05521

FSR# 05521

BUILDING TYPE / P14-LS-BN  
 SIZE:

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
4	4/24/24	CLARIFICATIONS
5	5/6/24	CONTRACTOR CLARIFICATION
6	6/20/24	FIELD REVISION
7	6/27/24	FIELD REVISION

WA JOB NUMBER 23011  
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 DATE 7/1/24  
 DRAWN BY HAF  
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SHEET  
**SITE-DIMENSIONAL CONTROL PLAN**  
 SHEET NUMBER  
**C-4**

PRINTED: 2/12/2024 9:45 AM FILE: WIER-GRADING.STB LAST SAVED: 12/19/2023 9:45 AM SAVED BY: KYLEM FILE: C-5 GRADING PLAN - 23011.DWG

### BELT LINE ROAD (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

### LEGEND

- 560 EXIST. CONTOUR
- 560 PROP. CONTOUR
- ACCESSIBLE SPACE
- PROP. SPOT ELEV.
- PROP. TOP OF CURB & GUTTER ELEVATION
- PROP. TOP OF PAVEMENT ELEVATION
- PROP. TOP OF INLET ELEV.
- PROP. FINISHED GRADE ELEV.
- PROP. TOP OF WALL & BOTTOM OF WALL ELEV.
- PROP. TOP OF RIM ELEV. (0.2' ABOVE FG WHEN IN LANDSCAPING)
- PROP. TOP OF PAVEMENT ELEV. PROP. TOP OF FOOTING OF CANOPY COLUMN (24" BELOW LOWEST PVMT AT CANOPY)
- FLOW ARROW
- PROPOSED SWALE
- PROPOSED RIDGE
- GRATE INLET
- CURB INLET
- HANDICAP ACCESSIBLE ROUTE PER TEXAS ACCESSIBILITY STANDARDS
- CONTRACTOR SHALL ENSURE GRADES IN THIS AREA DO NOT EXCEED 2% IN ANY DIRECTION

### GRADING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGN SHALL CONFORM TO STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS AND CITY SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
5. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
6. REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
7. SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
9. THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
10. GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY OLD CASTLE WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL. CURB INLETS TO BE PRECAST AND MANUFACTURED BY OLD CASTLE, OR APPROVED EQUAL.
11. CONTRACTOR TO ENSURE GRADES IN ACCESSIBLE ROUTE DO NOT EXCEED 5% IN THE RUN DIRECTION W/ A 2% CROSS SLOPE.
12. UNLESS OTHERWISE NOTED, ALL PARKING LOT GRADES ARE TO GUTTER OR INVERT. ADD 0.5' TO GUTTER GRADE FOR TOP OF CURB GRADE.

### CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT.
2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
3. CLEAR SITE.
4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
5. GRADE SITE.
6. INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
7. INSTALL PAVEMENT.
8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SOODED (IN ACCORDANCE WITH THE LANDSCAPE PLAN) AND A MOWABLE STAND OF GRASS IS ACHIEVED.

### CAUTION !!

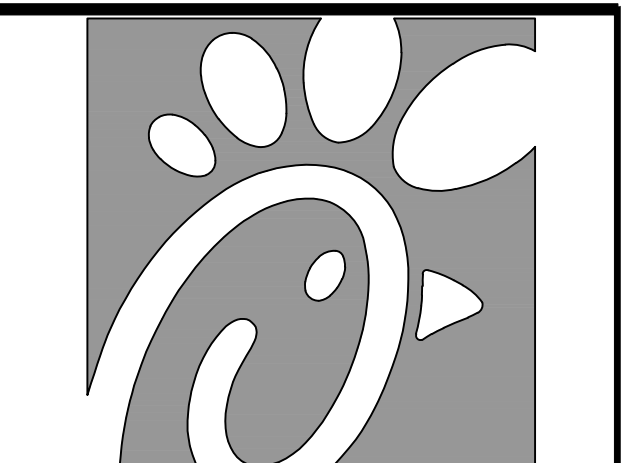
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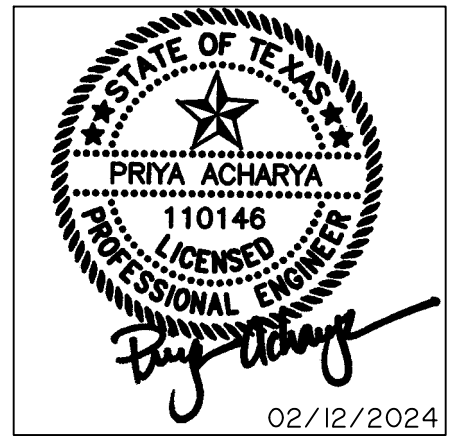
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Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

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PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. JAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776 www.viawier.com



CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521

BUILDING TYPE / P14-LS-BN

REVISION SCHEDULE  
NO. DATE DESCRIPTION

WA JOB NUMBER 23011

PRINTED FOR IFP

DATE 12/19/23

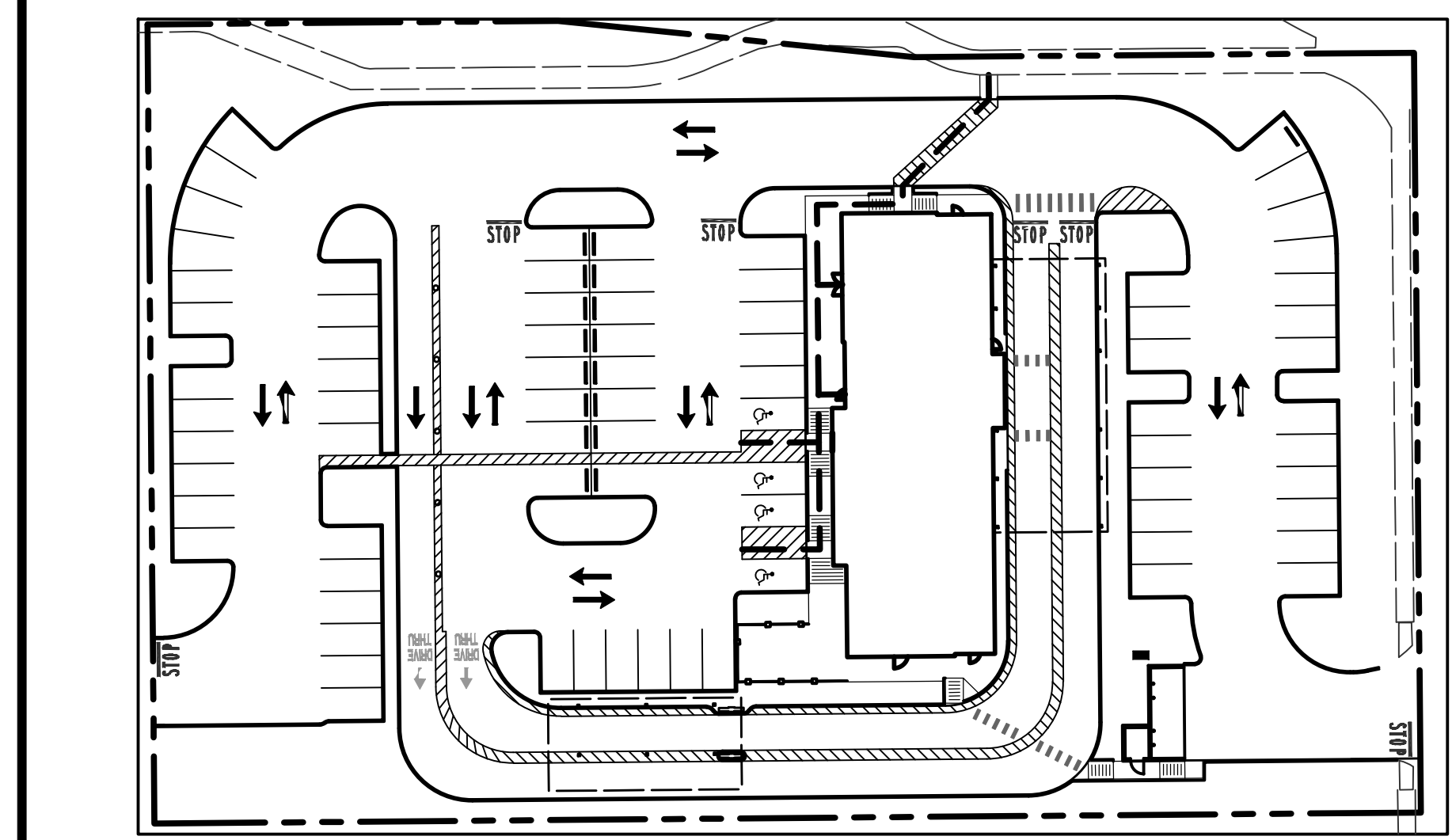
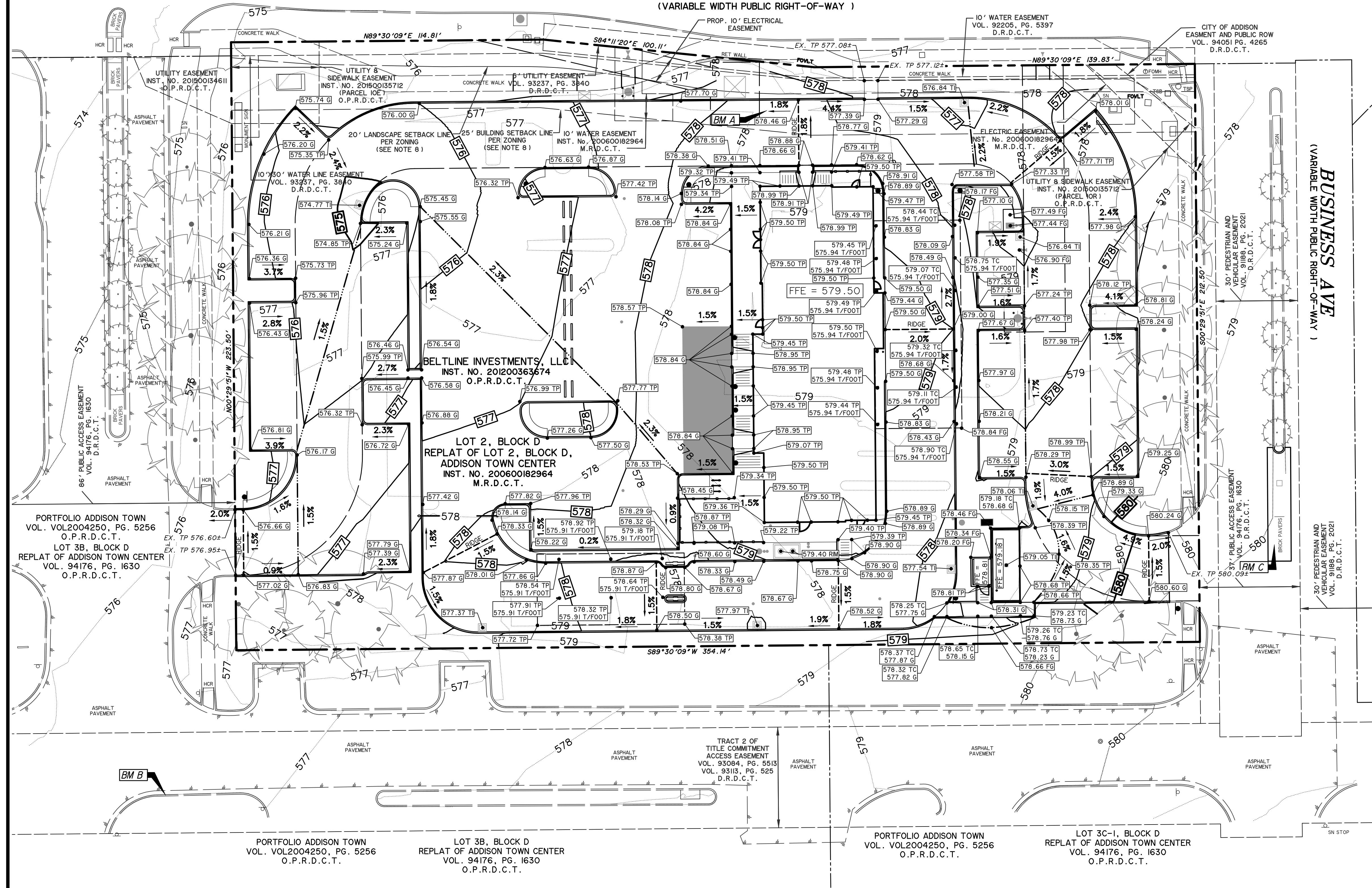
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SHEET GRADING PLAN

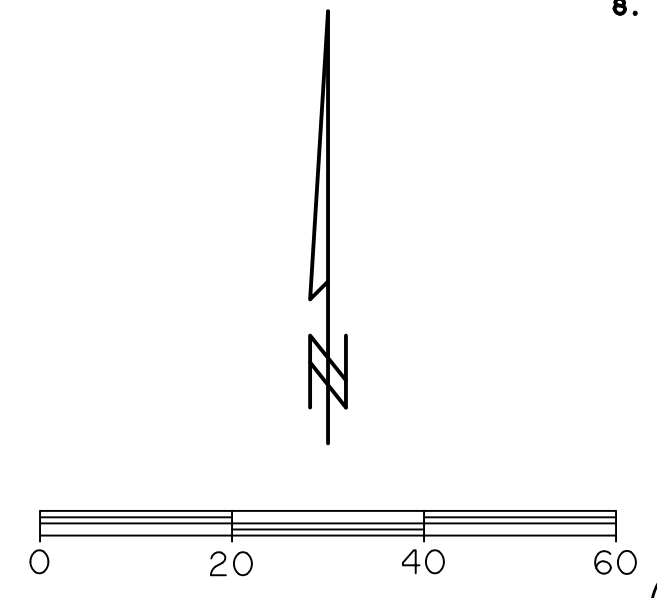
SHEET NUMBER

C-5



RECORD DRAWING  
October 30, 2024

- ### \* LEGEND \*
- BOL BOLLARD
  - CI CURB INLET
  - CM CONTROLLING MONUMENT
  - CONC CONCRETE COLUMN
  - EB ELECTRIC BOX
  - EM ELECTRIC METER
  - FH FIRE HYDRANT
  - FOV FIBER OPTIC VAULT
  - GM GAS METER
  - GTS GAS TEST STATION
  - GUY GUY WIRE
  - GV GAS VALVE
  - HWL CONCRETE HEADWALL
  - ICV IRRIGATION CONTROL VALVE
  - IRN IRON ROD FOUND
  - LPC LIGHT POLE
  - PP POWER POLE
  - PPC POWER POLE W/CONDUIT
  - PLP POWER POLE W/LIGHT POLE
  - PPT POWER POLE W/TRANSFORMER
  - RCP CONCRETE STORM DRAIN PIPE
  - SDMH STORM DRAIN MANHOLE
  - SN SIGN
  - SPR GAS PIPELINE MARKER
  - SSMH SANITARY SEWER MANHOLE
  - SSCO SANITARY SEWER CLEANOUT
  - TPD TELEPHONE PEDESTAL
  - TBX TELEPHONE BOX
  - TSR TRAFFIC SIGNAL BOX
  - TSM TELEPHONE MANHOLE
  - TRANS TRANSFORMER PAD
  - TSP TRAFFIC SIGNAL POLE
  - TSVLT TRAFFIC SIGNAL VAULT
  - WM WATER METER
  - WMH WATER MANHOLE
  - WV WATER VALVE
  - WVLT WATER VAULT
  - OE OVERHEAD ELECTRIC LINE
  - UE UNDERGROUND ELECTRIC LINE
  - W WATER LINE
  - US UNDERGROUND SEWER LINE
  - FO FIBER OPTIC LINE
  - UG UNDERGROUND GAS
  - UT UNDERGROUND TELEPHONE
  - CS 3620.87 TC
  - CS 3620.47 G
  - X TOPOGRAPHIC SPOT SHOT



VERTICAL DATUM NOTE:  
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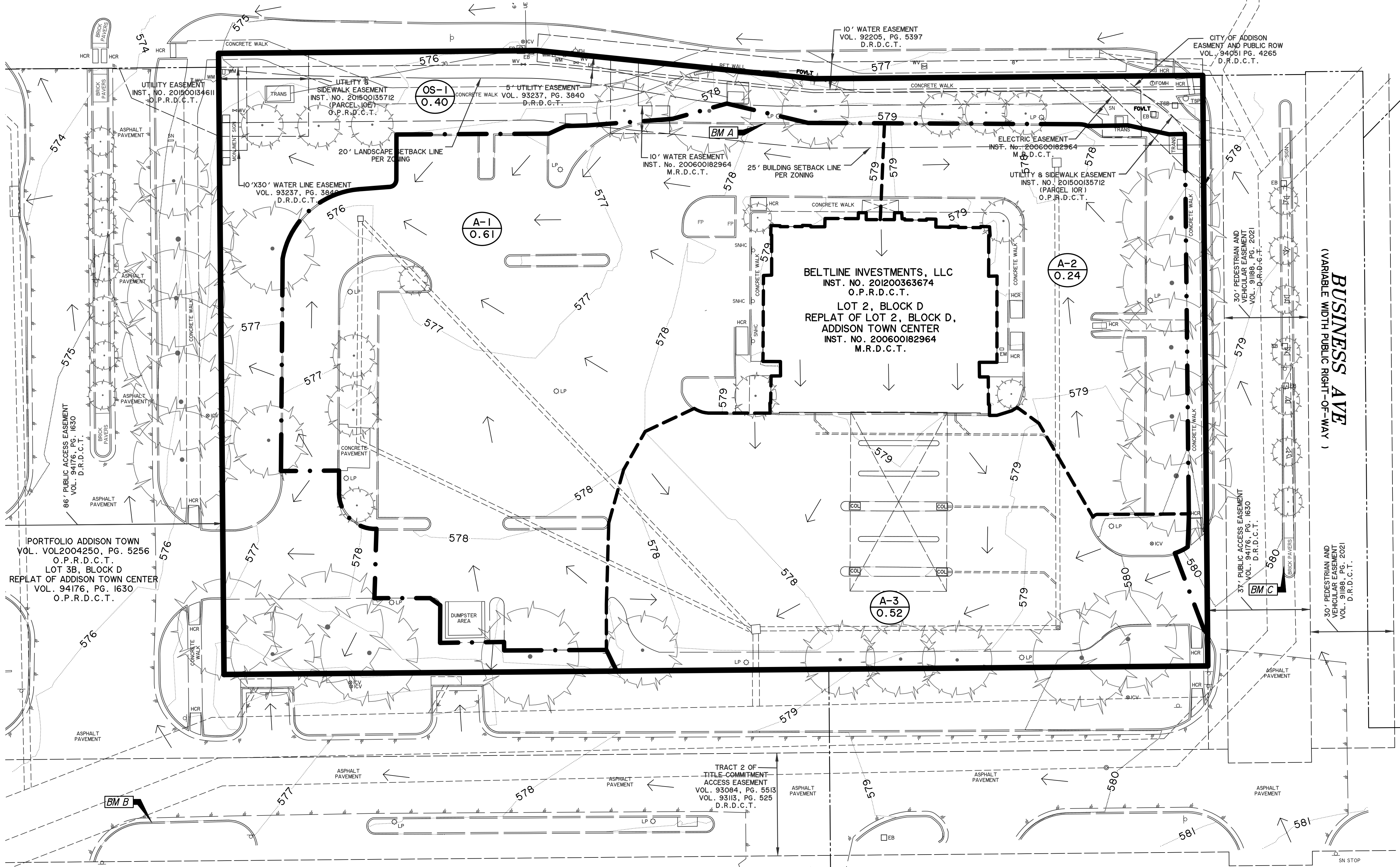
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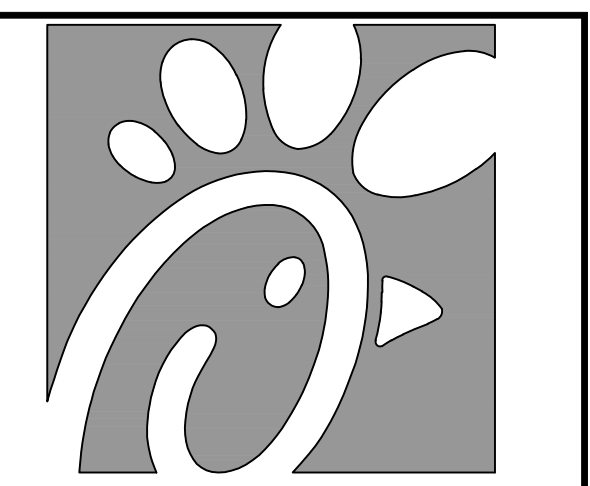
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**BELT LINE ROAD**  
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**LEGEND**

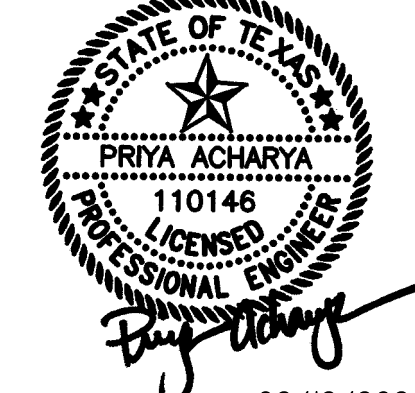
- 560 EXIST. CONTOUR
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- DRAINAGE SUBDIVIDE
- WATERSHED BOUNDARY
- DIRECTION OF FLOW



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

Chick-fil-A  
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PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAWR BLVD., SUITE 200E ARLINGTON, TEXAS 76010 (817)467-7700  
www.viawier.com  
Texas Firm Registration No. F-2776



02/12/2024

**CHICK-FIL-A**

3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521

REVISION SCHEDULE	NO.	DATE	DESCRIPTION
BUILDING TYPE / P14-LS-BN SIZE:			

**RECORD DRAWING**  
October 30, 2024



EXISTING DRAINAGE AREA CALCULATIONS							NOTES
DRAINAGE AREA DESIGNATOR	DRAINAGE AREA (AC.)	RUNOFF COEFFICIENT 'c'	CxA	TC (min)	I <sub>100</sub> (in/hr) 100-YR STORM	Q <sub>100</sub> (cfs)	
A-1	0.61	0.9	0.55	10	9.27	5.1	EXISTING GRATE INLET
A-2	0.24	0.9	0.22	10	9.27	2.0	EXISTING GRATE INLET
A-3	0.52	0.9	0.47	10	9.27	4.4	EXISTING GRATE INLET
OS-1	0.40	0.9	0.36	10	9.27	3.3	DRAINS TO OFF-SITE CURB INLETS

- 1.) Runoff Coefficient obtained from Table 1 of the Town of Addison Drainage Design Manual (Rev 03/2022)
  - 2.) Time of Concentrations obtained from Table 1 of the Town of Addison Drainage Design Manual (Rev 03/2022)
  - 3.) Rainfall Intensities obtained from Figure 2 of the Town of Addison Drainage Design Manual (Rev 03/2022)
  - 4.) Drainage Design Method: Modified Rational Formula: Q=CIA
- c= 0.90 for Commercial

THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.

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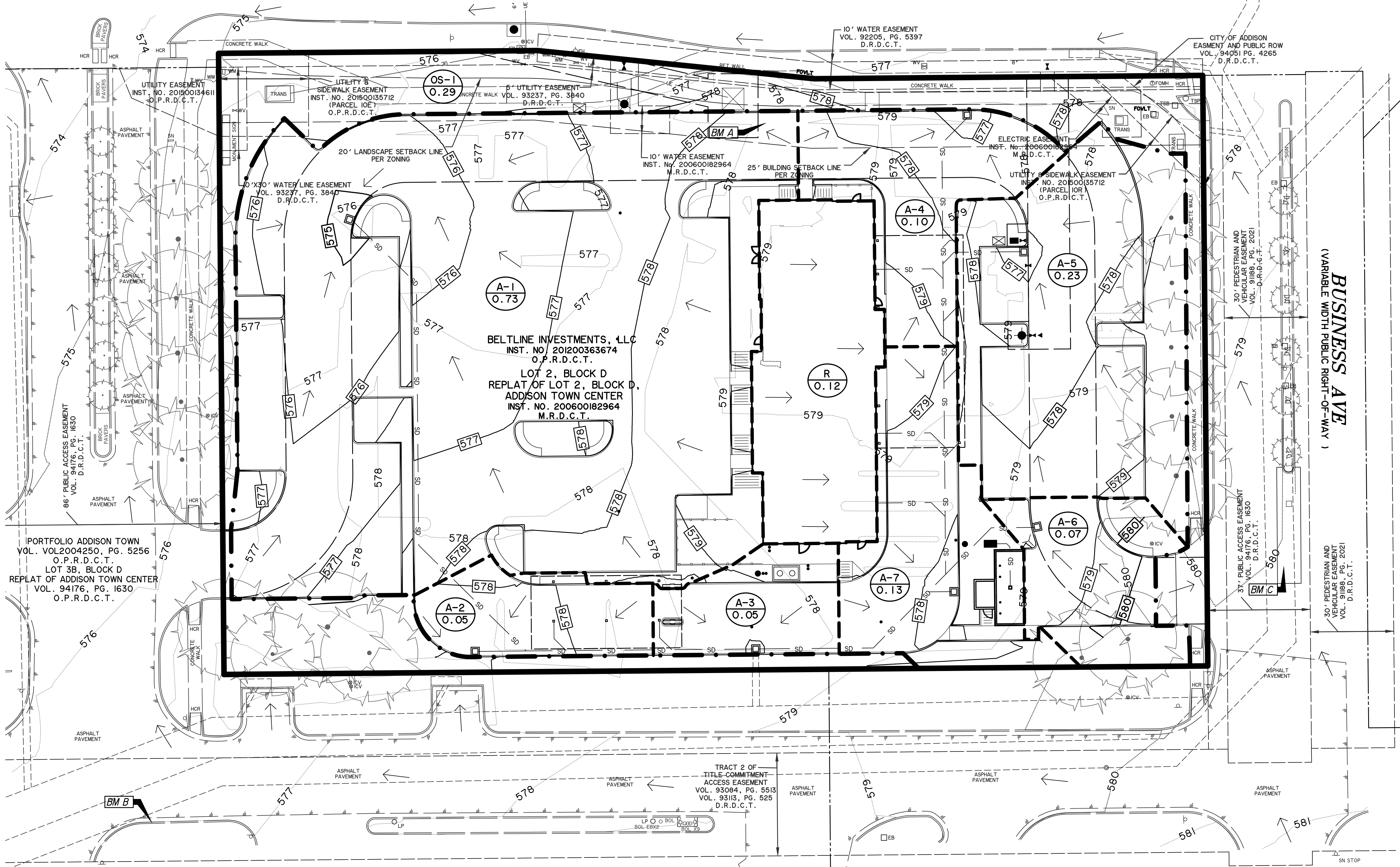


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SHEET  
**EXISTING DRAINAGE AREA MAP**  
SHEET NUMBER  
**C-6.1**



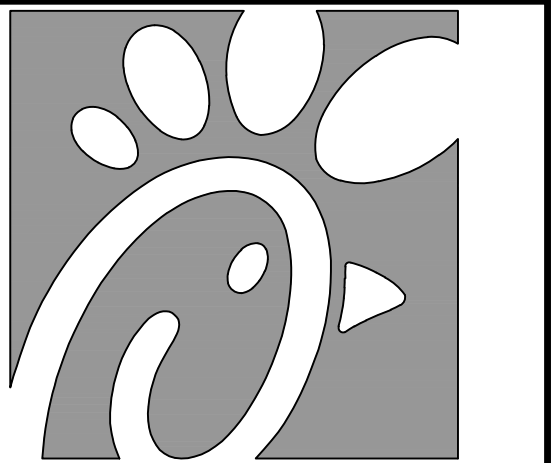
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**BELT LINE ROAD**  
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



**LEGEND**

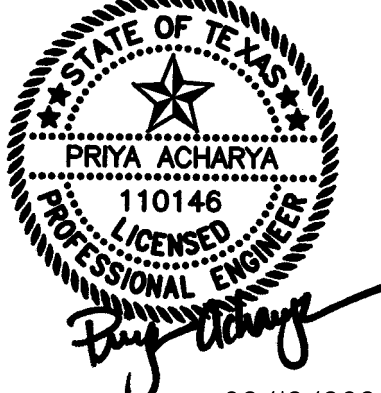
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STORE #05521

FSR# 05521

BUILDING TYPE / P14-LS-BN  
SIZE:

REVISION SCHEDULE  
NO. DATE DESCRIPTION

WA JOB NUMBER 23011

PRINTED FOR IFP

DATE 12/15/23

DRAWN BY LFG

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SHEET

**PROPOSED DRAINAGE AREA MAP**

SHEET NUMBER

**C-6.2**

**RECORD DRAWING**  
October 30, 2024



**VERTICAL DATUM NOTE:**  
REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAVD) 88 UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC.  
SITE BENCHMARK A AN "X" CUT IN CONCRETE BACK OF CURB ALONG NORTH LINE OF PARKING LOT NEAR NORTHWEST CORNER OF BUILDING, ±9' SOUTHWEST OF TRANSFORMER AND ±5' SOUTHWEST OF LIGHT POLE  
ELEVATION = 578.55'  
SITE BENCHMARK B AN "X" CUT IN CONCRETE BACK OF CURB ALONG SOUTH LINE OF ACCESS DRIVE ±23' NORTHEAST OF STOP SIGN AND ±87' WEST OF LIGHT POLE.  
ELEVATION = 577.30'  
SITE BENCHMARK C AN "X" CUT IN WEST END OF CURB RADIUS ALONG WEST BACK OF CURB LINE OF MEDIAN FOR ACCESS DRIVE ALONG EAST SIDE OF LOT 2 ±64' SOUTHWEST OF LIGHT POLE AND ±175' SOUTH OF INTERSECTION WITH BELT LINE ROAD  
ELEVATION = 580.64'

THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.

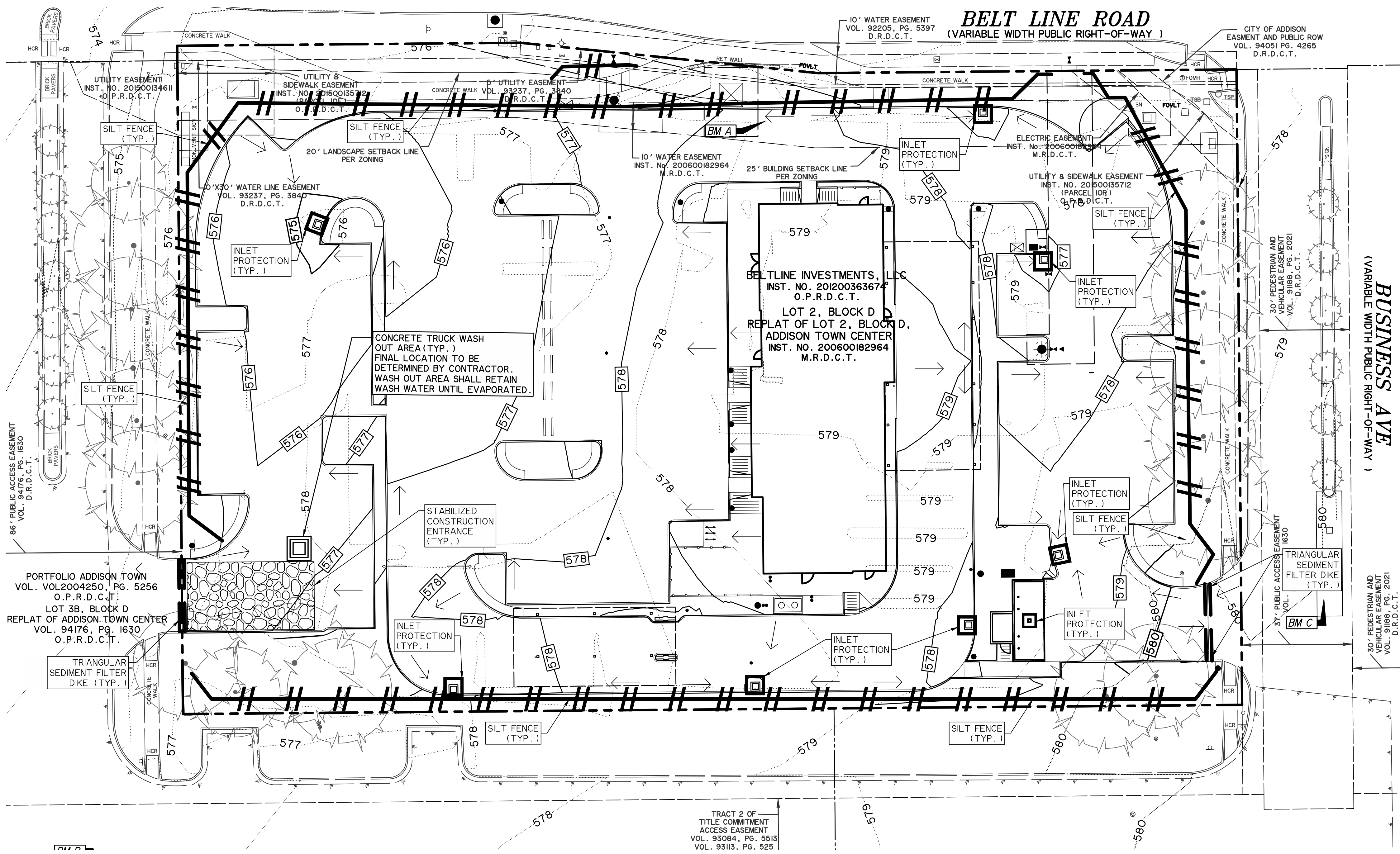
**CAUTION !!**  
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

**PROPOSED DRAINAGE AREA CALCULATIONS**

DRAINAGE AREA DESIGNATOR	DRAINAGE AREA (AC.)	RUNOFF COEFFICIENT 'C'	C x A	TC (min)	$t_{1000}$ (in/hr) 100-YR STORM	$Q_{100}$ (cfs)	NOTES
A-1	0.73	0.9	0.66	10	9.27	6.1	PROPOSED GRATE INLET
A-2	0.05	0.9	0.05	10	9.27	0.5	PROPOSED GRATE INLET
A-3	0.05	0.9	0.05	10	9.27	0.5	PROPOSED GRATE INLET
A-4	0.10	0.9	0.09	10	9.27	0.8	PROPOSED GRATE INLET
A-5	0.23	0.9	0.21	10	9.27	1.9	PROPOSED GRATE INLET
A-6	0.07	0.9	0.06	10	9.27	0.6	PROPOSED GRATE INLET
A-7	0.13	0.9	0.12	10	9.27	1.1	PROPOSED GRATE INLET
R	0.12	0.9	0.11	10	9.27	1.0	ROOF DRAINS
OS-1	0.29	0.9	0.26	10	9.27	2.4	SHEET FLOW OFFSITE

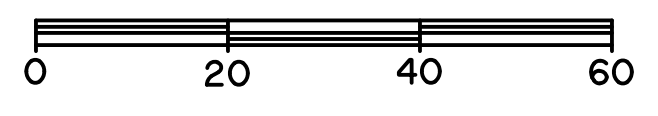
- 1) Runoff Coefficient obtained from Table 1 of the Town of Addison Drainage Design Manual (Rev 03/2022)
- 2) Time of Concentration obtained from Table 1 of the Town of Addison Drainage Design Manual (Rev 03/2022)
- 3) Rainfall Intensities obtained from Figure 2 of the Town of Addison Drainage Design Manual (Rev 03/2022)
- 4) Drainage Design Method: Modified Rational Formula:  $Q=CQA$   
c= 0.90 for Commercial

PRINTED: 2/12/2024 10:46 AM FILE: WER-EROSION-CONTROL.STB LAST SAVED: 1/9/2024 9:46 AM SAVER BY: HAYDENF FILE: C-7 EROSION CONTROL PLAN - 23011.DWG



**BELT LINE ROAD**  
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

**BUSINESS AVE**  
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



**LEGEND**

- 560 ——— EXIST. CONTOUR
- 560 ——— PROP. CONTOUR
- ||| SILT FENCE
- ▲ TRIANGULAR SEDIMENT FILTER TUBE
- LOCATION OF STABILIZED CONSTRUCTION ACCESS
- INLET PROTECTION

REF. SHEETS C-8 FOR EROSION CONTROL DETAILS

TOTAL DISTURBED ACREAGE = 1.77 ACRES



**CAUTION !!**  
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

**EROSION AND SEDIMENTATION CONTROL NOTES**

- EROSION CONTROL MEASURES, SITE WORK, AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY'S REQUIREMENTS.
- ALL SLOPES SHALL BE SODDED OR SEEDDED WITH APPROVED GRASS, GRASS MIXTURE, OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED IN ACCORDANCE WITH LANDSCAPE PLANS.
- BRUSH BERMS, HAY BALES, SEDIMENTATION BASINS, AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE IF THEY ARE WARRANTED.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE CITY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

**CONSTRUCTION SEQUENCE**

- OBTAIN GRADING PERMIT.
- INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
- CLEAR SITE.
- INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
- GRADE SITE.
- INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
- INSTALL PAVEMENT.
- INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SODDED (IN ACCORDANCE WITH THE LANDSCAPE PLAN) AND A MOWABLE STAND OF GRASS IS ACHIEVED.

**VERTICAL DATUM NOTE:**  
REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAVD) 88 UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC.

**SITE BENCHMARK A** AN "X" CUT IN CONCRETE BACK OF CURB ALONG NORTH LINE OF PARKING LOT NEAR NORTHWEST CORNER OF BUILDING, 29' SOUTHWEST OF TRANSFORMER AND ±5' SOUTHWEST OF LIGHT POLE.  
ELEVATION = 578.55'

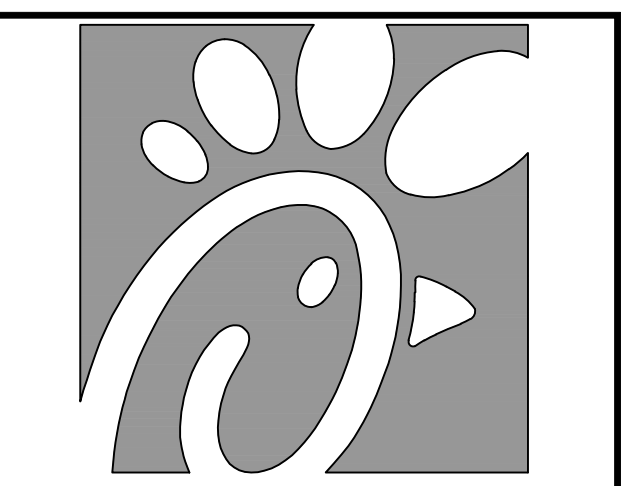
**SITE BENCHMARK B** AN "X" CUT IN CONCRETE BACK OF CURB ALONG SOUTH LINE OF ACCESS DRIVE ±23' NORTHEAST OF STOP SIGN AND ±87' WEST OF LIGHT POLE.  
ELEVATION = 577.30'

**SITE BENCHMARK C** AN "X" CUT IN WEST END OF CURB RADIUS ALONG WEST BACK OF CURB LINE OF MEDIAN FOR ACCESS DRIVE ALONG EAST SIDE OF LOT 2 ±84' SOUTHWEST OF LIGHT POLE AND ±175' SOUTH OF INTERSECTION WITH BELT LINE ROAD.  
ELEVATION = 580.64'

**EROSION AND SEDIMENTATION CONTROLS SCHEDULE & PHASING**

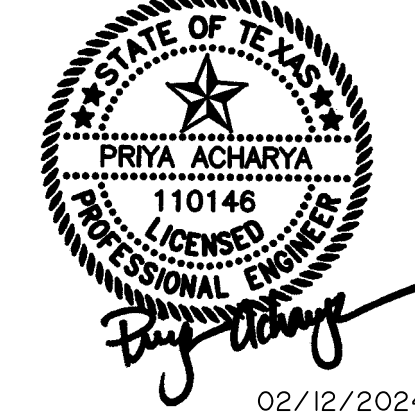
Activity	Control Measure	Installation/Removal Timing
I. CUTTING, GRUBBING, & GRADING	> PERIMETER SILT FENCE > STABILIZED STONE CONSTRUCTION ENTRANCE/EXIT	> TO BE INSTALLED PRIOR TO CLEARING & GRUBBING. MEASURES TO BE REMOVED AFTER FINAL STABILIZATION UP-GRADIENT OF THE CONTROL MEASURES. STABILIZED STONE CONSTRUCTION ENTRANCE/EXIT TO BE REMOVED PRIOR TO FINAL STABILIZATION.
II. UTILITY CONSTRUCTION	> CURB & GRATE INLET PROTECTION	> TO BE INSTALLED AFTER APPLICABLE STORM SYSTEM IS CONSTRUCTED. TO BE REMOVED UPON PAVEMENT CONSTRUCTION.
III. PAVING CONSTRUCTION	> CURB & GRATE INLET PROTECTION	> TO BE INSTALLED UPON PAVEMENT CONSTRUCTION. TO BE REMOVED AFTER SITE IS 70% VEGETATED DENSITY.
IV. PAVING CONSTRUCTION	> SILT FENCE AT ROADWAYS & ALLEYS	> TO BE INSTALLED UPON BACKFILLING AROUND CURBS AND/OR EDGE OF PAVEMENT. TO BE REMOVED UPON FINAL GRADING.
V. FINAL GRADING	> CURLEX SOIL, RETENTION BLANKET, AND FINAL STABILIZATION	> TO BE INSTALLED UPON FINAL GRADING. TO REMAIN AS PERMANENT.

**RECORD DRAWING**  
October 30, 2024



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAWR RD., SUITE 200E ARLINGTON TEXAS 76010 (817)467-7700  
www.viawier.com  
Texas Firm Registration No. F-2776



**CHICK-FIL-A**  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521

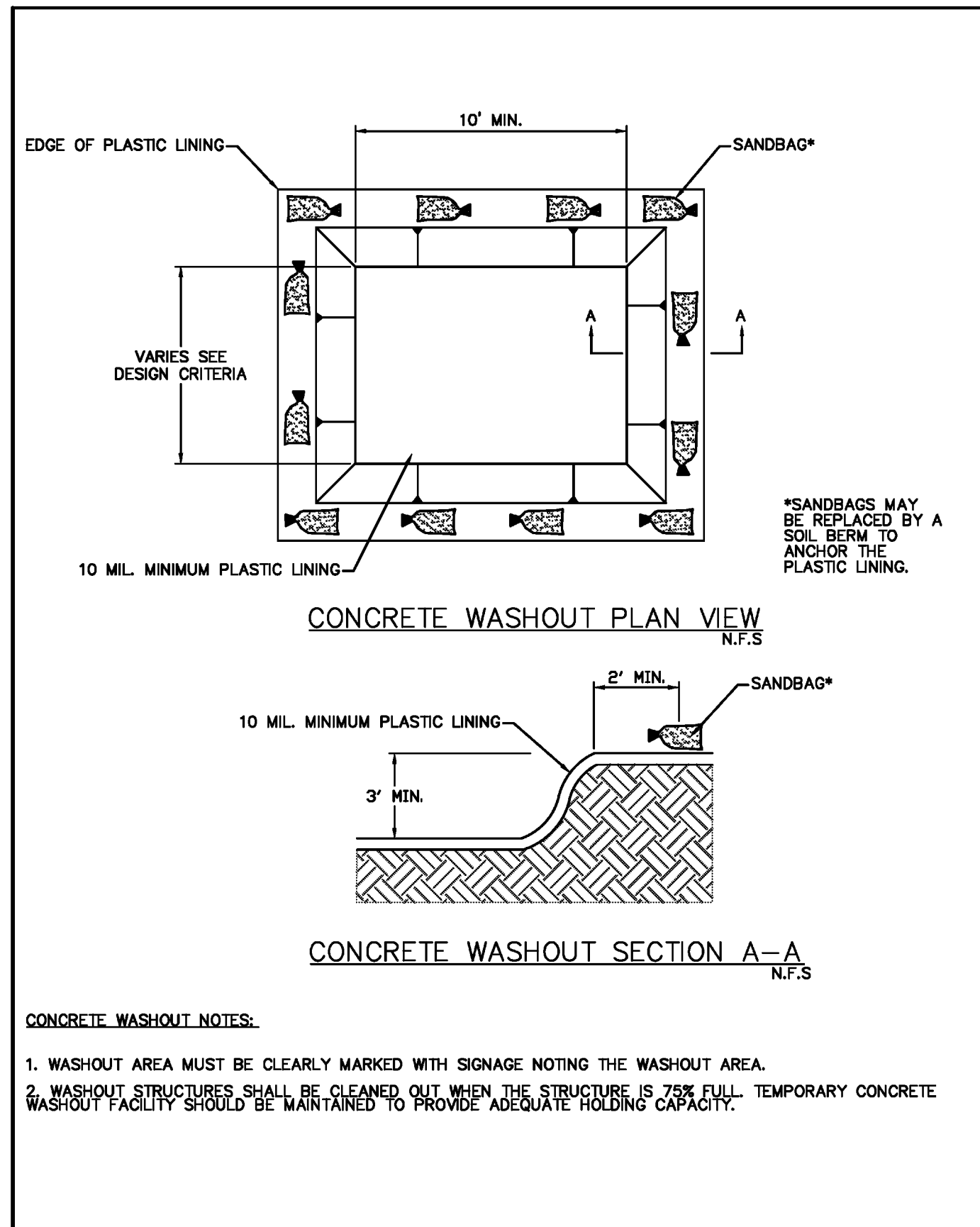
BUILDING TYPE / P14-LS-BN  
SIZE:  
**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

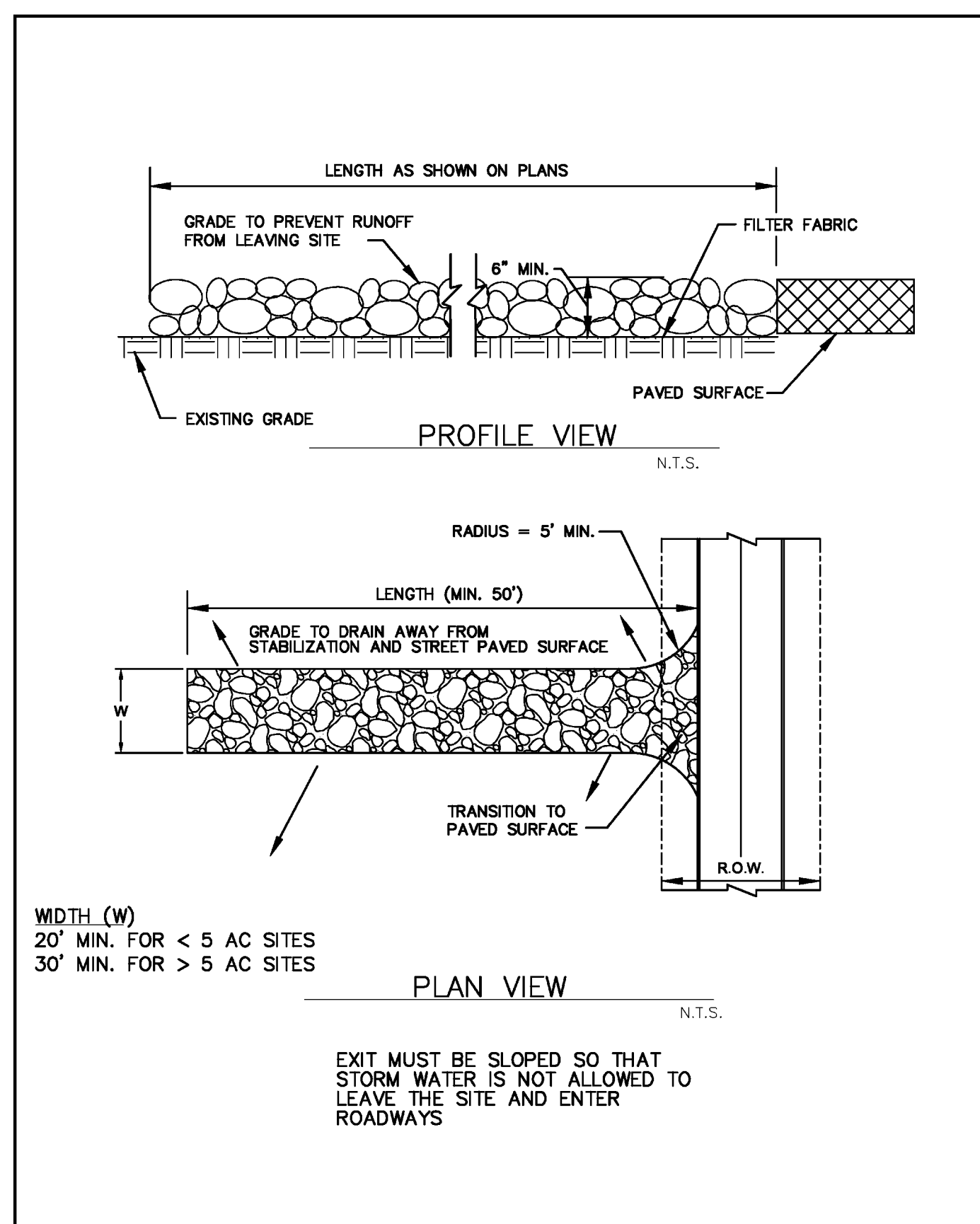
WA JOB NUMBER 23011  
PRINTED FOR IFP  
DATE 1/8/24  
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SHEET  
**EROSION CONTROL PLAN**  
SHEET NUMBER  
**C-7**

PRINTED: 2/12/2024 10:15 AM FILE: WIER-PAVING.STB LAST SAVED: 1/15/2024 8:19 AM SAVED BY: JACOBG FILE: C-8 EROSION CONTROL DETAILS - 23011.DWG



CONCRETE WASHOUT CONTAINMENT	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE N/A
		DATE AUG '23
		STANDARD DRAWING NO. 1240

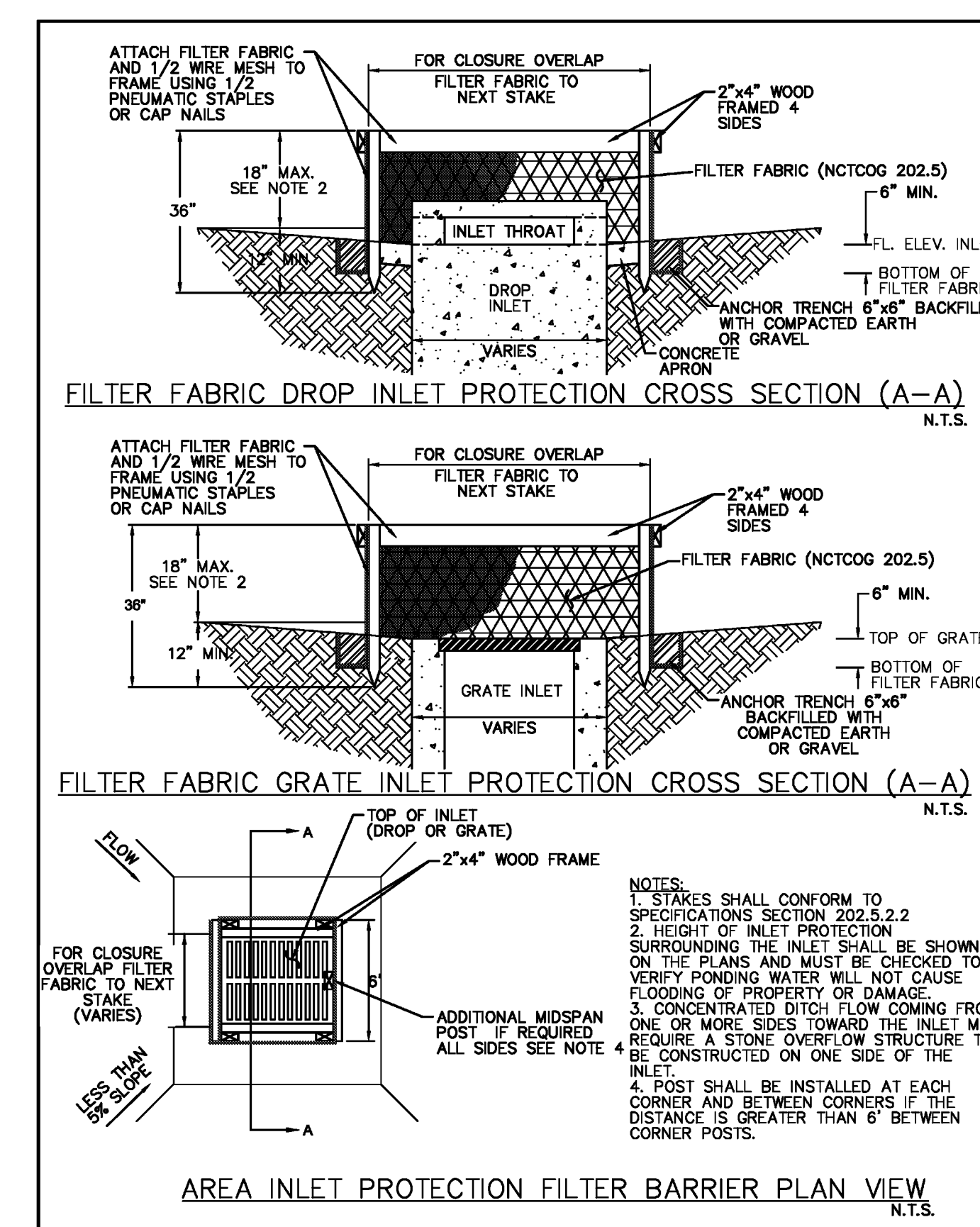


STABILIZED CONSTRUCTION EXIT	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 202.11
		DATE AUG '23
		STANDARD DRAWING NO. 1070A

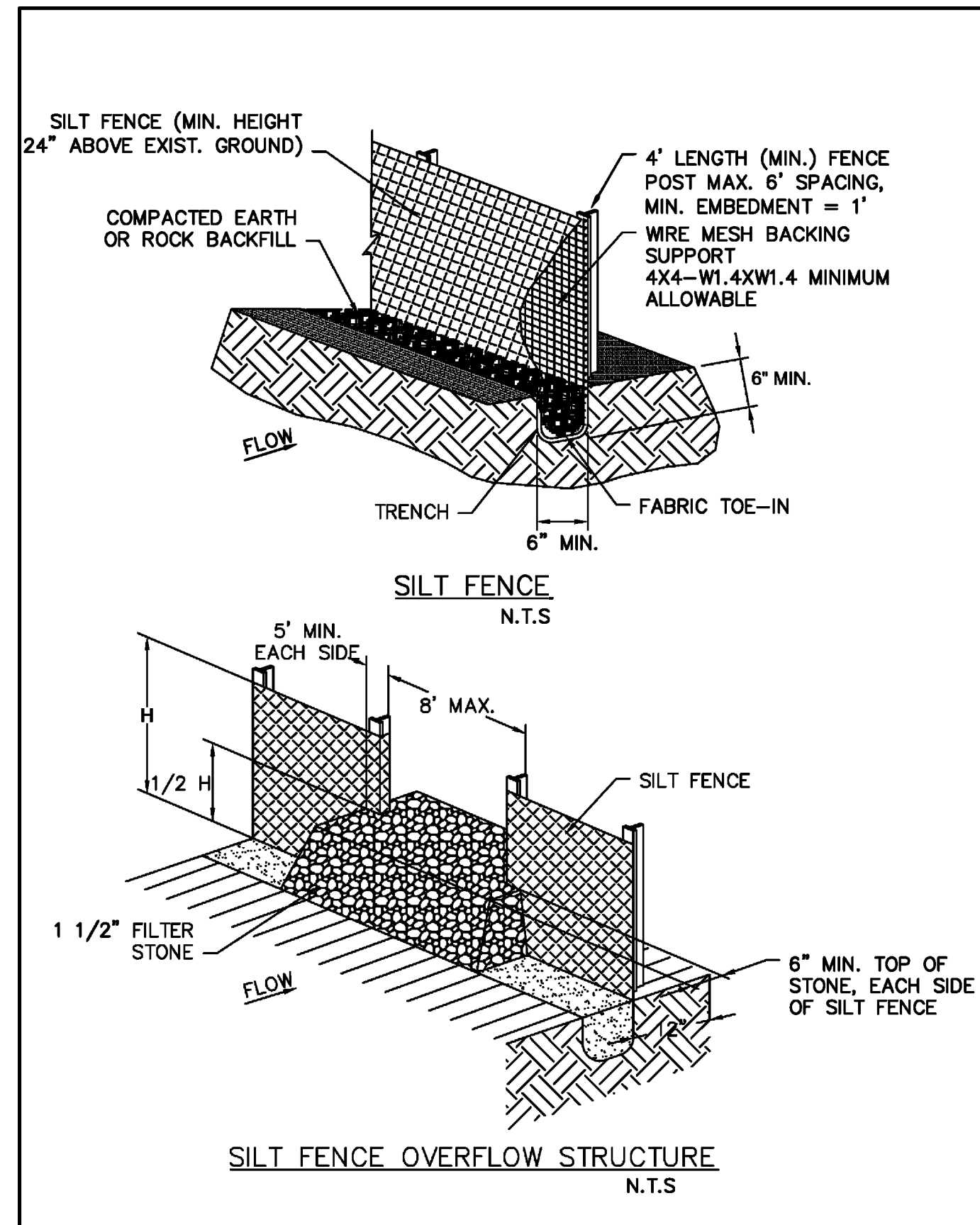
**STABILIZED CONSTRUCTION EXIT GENERAL NOTES:**

- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.11
- THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
- STONE SHALL BE 3 TO 5 INCH DIAMETER COURSE AGGREGATE, NO CRUSHED PORTLAND CEMENT CONCRETE ALLOWED.
- LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 50 FEET.
- THE WIDTH SHALL BE NO LESS THAN 20' FOR SITES LESS THAN 5 AC, AND 30' FOR SITES GREATER THAN 5 AC, AT ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED EXIT. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
- THE EXIT MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- INSPECTION SHALL BE SPECIFIED IN THE SWPPP.

STABILIZED CONSTRUCTION EXIT, GENERAL NOTES	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 202.11
		DATE AUG '23
		STANDARD DRAWING NO. 1070B



AREA INLET PROTECTION FILTER BARRIER	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 202.14
		DATE AUG '23
		STANDARD DRAWING NO. 1190

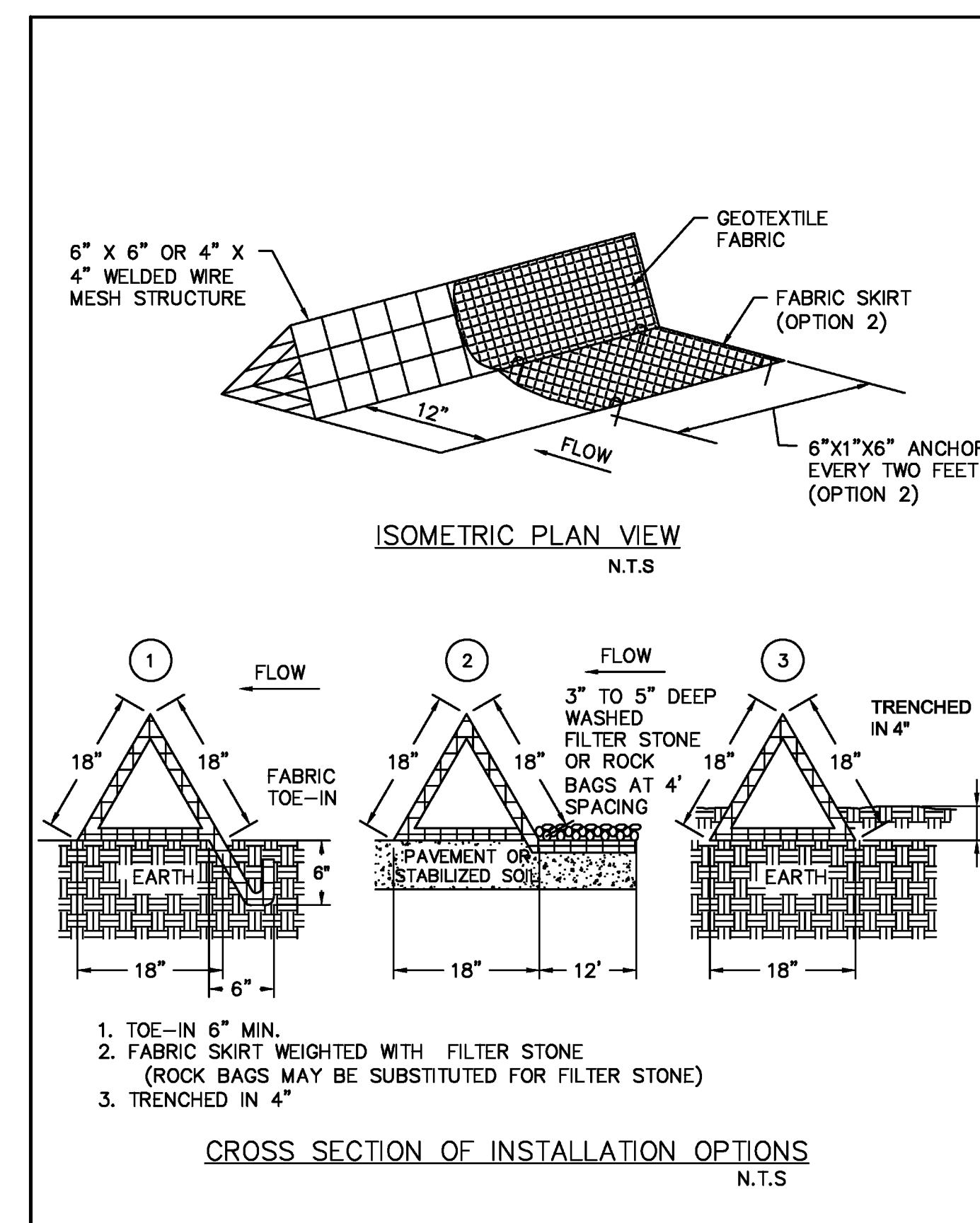


SILT FENCE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 202.5
		DATE AUG '23
		STANDARD DRAWING NO. 1020A

**SILT FENCE GENERAL NOTES:**

- DESIGN SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE OVERFLOW STRUCTURES SHALL BE INSTALLED. OVERFLOW STRUCTURES ARE REQUIRED AT ALL LOW POINTS AND AT A SPACING OF APPROXIMATELY 300 FEET WHERE NO LOW POINT IS APPARENT.
- DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE SILT FENCE IS TO BE TURNED UPSLOPE AT THE ENDS. UPSLOPE LENGTHS SHALL BE A MINIMUM OF 10 FEET.
- POST WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.5

SILT FENCE GENERAL NOTES	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 202.5
		DATE AUG '23
		STANDARD DRAWING NO. 1020B



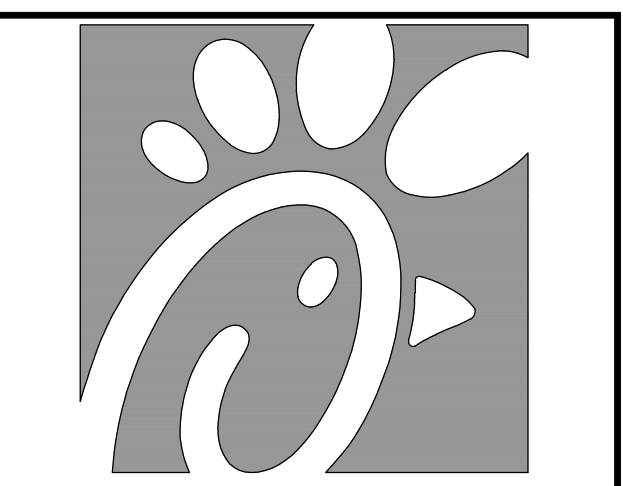
TRIANGULAR SEDIMENT FILTER DIKE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 202.8
		DATE AUG '23
		STANDARD DRAWING NO. 1050A

**TRIANGULAR SEDIMENT FILTER DIKE GENERAL NOTES:**

- DIKES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT DIKE.
- THE FABRIC COVER AND SKIRT SHALL BE A CONTINUOUS EXTENSION OF THE FABRIC ON THE UPSTREAM FACE, AND FABRIC SHALL BE OVERLAPPED A MINIMUM OF 12".
- THE SKIRT SHALL BE WEIGHTED WITH A CONTINUOUS LAYER OF TYPE 'A' RIP RAP, OR TOED-IN 6" WITH MECHANICALLY COMPACTED MATERIAL. OTHERWISE, THE ENTIRE STRUCTURE SHALL BE TRENCHED TO A DEPTH OF 4 INCHES.
- DIKES AND SKIRT SHALL BE SECURELY ANCHORED IN PLACE USING 6-INCH WIRE STAPLES ON 2-FOOT CENTERS ON BOTH EDGES AND SKIRTS.
- FILTER MATERIAL SHALL BE LAPPED OVER ENDS 6" TO COVER DIKE TO DIKE JOINTS. JOINTS SHALL BE FASTENED WITH GALVANIZED SHOAT RINGS.
- THE DIKE STRUCTURE SHALL BE W2.9-6" X 6" OR 4" X 4" WELDED WIRE MESH, 18" ON A SIDE.
- INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED BY THE CONTRACTOR.
- THE FILTER DIKE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES APPROXIMATELY 6-INCHES IN DEPTH. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

TRIANGULAR SEDIMENT FILTER DIKE GENERAL NOTES	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 202.8
		DATE AUG '23
		STANDARD DRAWING NO. 1050B

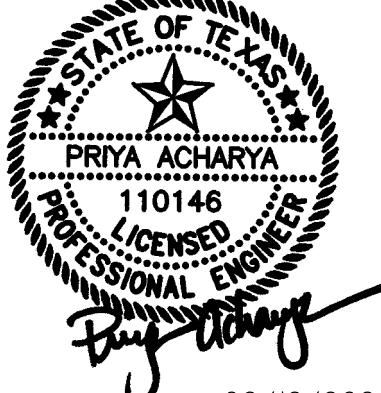
RECORD DRAWING  
October 30, 2024



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

PREPARED BY:  
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www.viawier.com  
Texas Firm Registration No. F-2776



02/12/2024

CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521

BUILDING TYPE / P14-LS-BN  
SIZE:

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

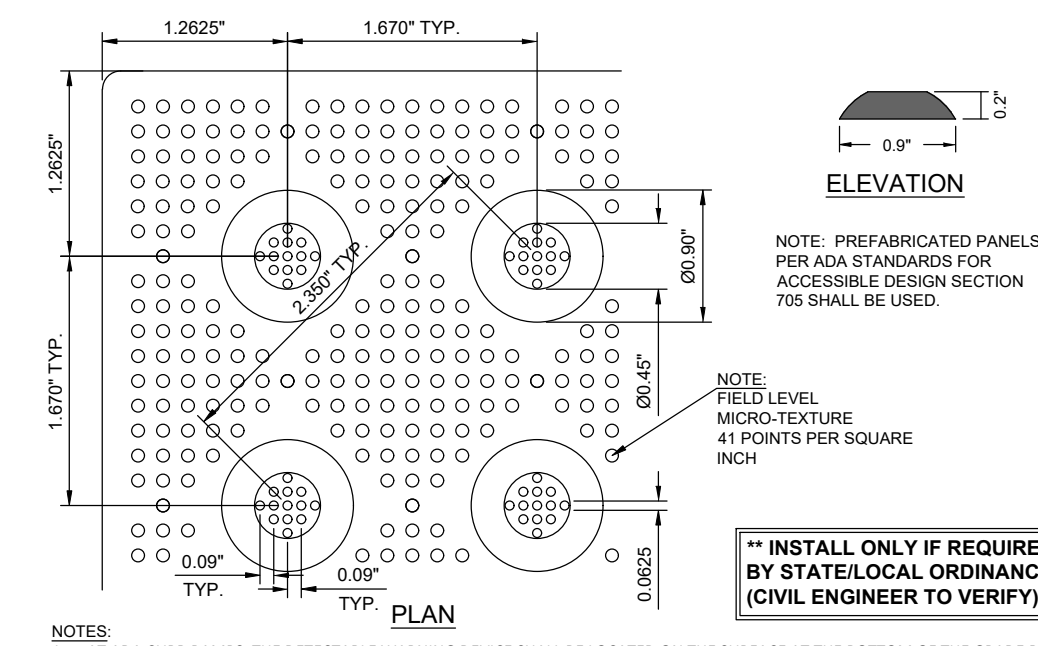
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SHEET  
**EROSION CONTROL DETAILS**

SHEET NUMBER  
**C-8**

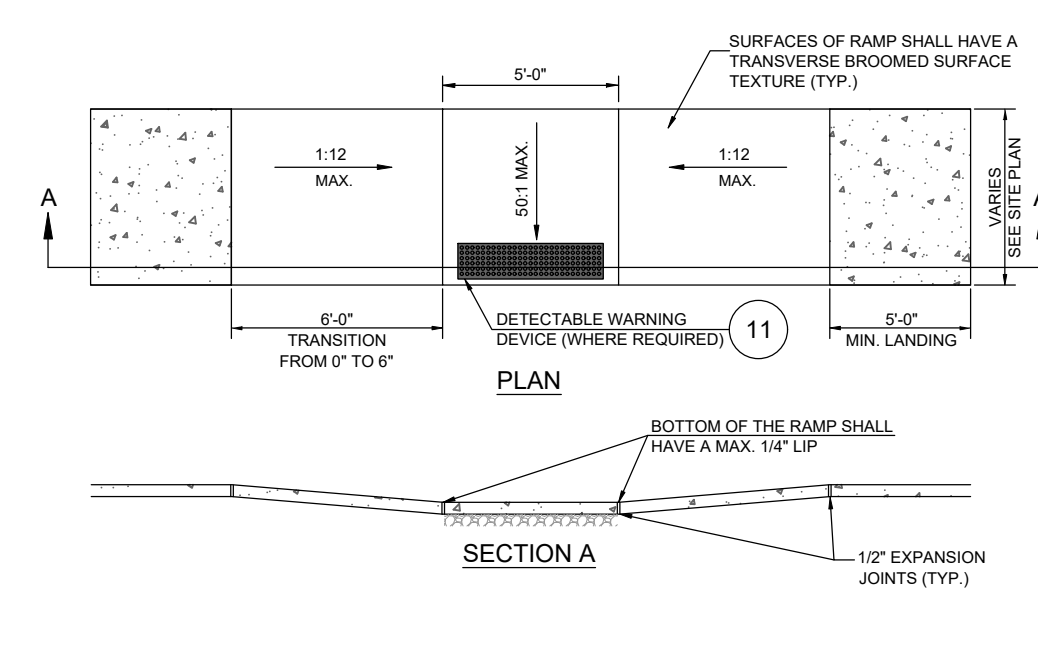


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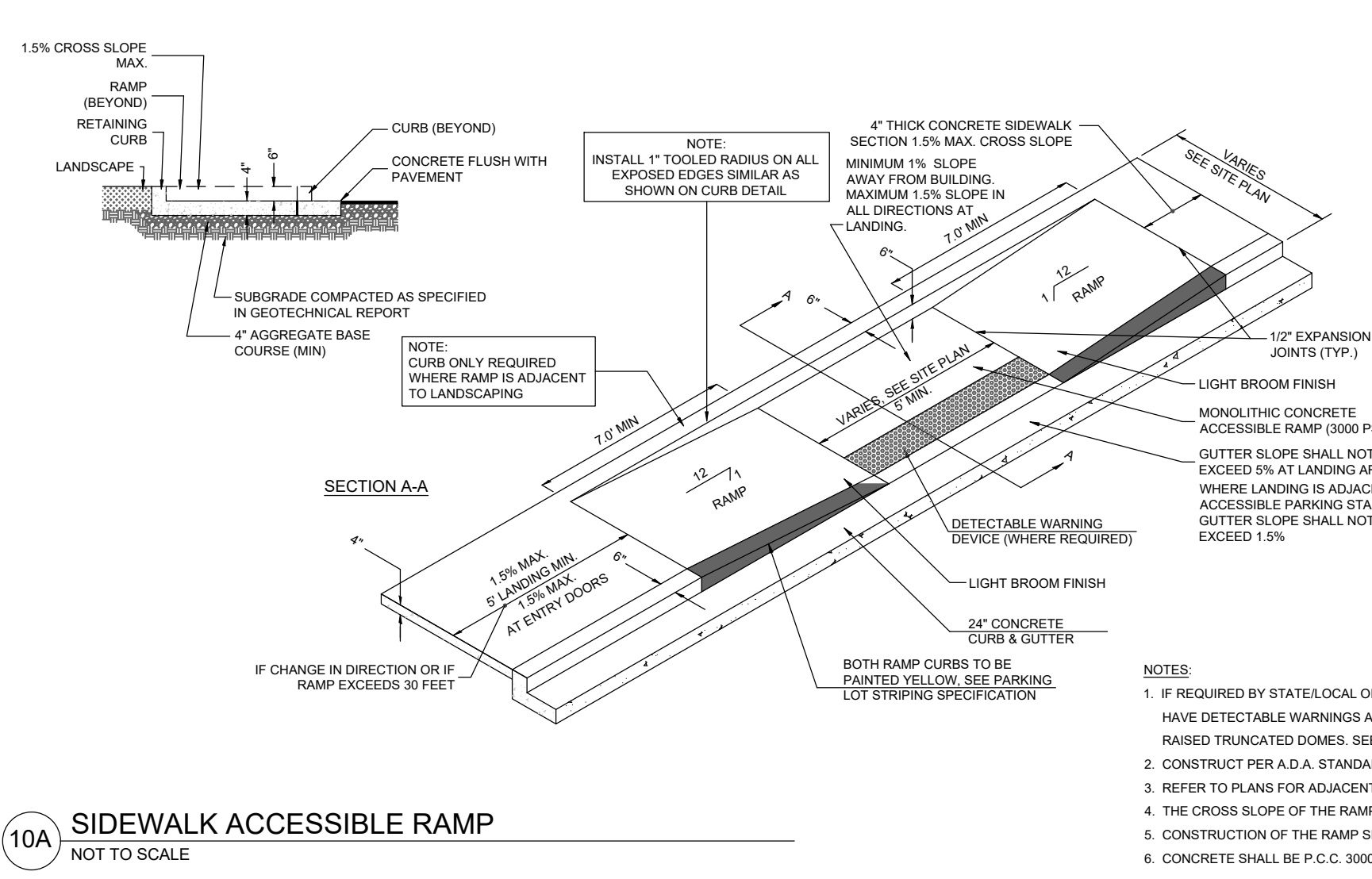
**11 DETECTABLE WARNING DEVICE**  
NOT TO SCALE

NOTES:  
1. AT ADA CURB RAMPS, THE DETECTABLE WARNING DEVICE SHALL BE LOCATED ON THE SURFACE AT THE BOTTOM OF THE GRADE BREAK OR AT THE LOWER LANDING FOR LANDINGS AND BLENDED TRANSITIONS. DETECTABLE WARNING DEVICES SHALL BE LOCATED ON THE LANDING OR BLENDED TRANSITION AT THE BACK OF CURB.  
2. DETECTABLE WARNING DEVICE SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE RAMP OR FLUSH SURFACE.  
3. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING PRODUCTS CONFORMING TO PROVAQ R305. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS. CONTRACTOR SHALL CONFIRM LOCAL CODES ARE MET.  
4. WHERE A CURB RAMP IS CONSTRUCTED WITH AN EXISTING CURB, CURBS & GUTTER AND SIDEWALK, THE EXISTING CURBS & GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB & GUTTER IS LESS THAN 2' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 2'.  
5. THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT OR LIGHT-ON-DARK. STANDARD DOME COLOR IS BROWN RED.  
6. TRUNCATED DOMES TO BE INSTALLED USING ARMOR TILE CAST IN PLACE DOME TACTILE TILE PART NUMBER ADA-2424 OR OTHER EQUIVALENT APPROVED MATERIAL. PREFERRED MANUFACTURER ARMOR TILE TACTILE SYSTEMS LANCE MITCHELL PHR22-416. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO VERIFY THAT CURBS RAMP MEET LOCAL CODES AND ADA REQUIREMENTS.



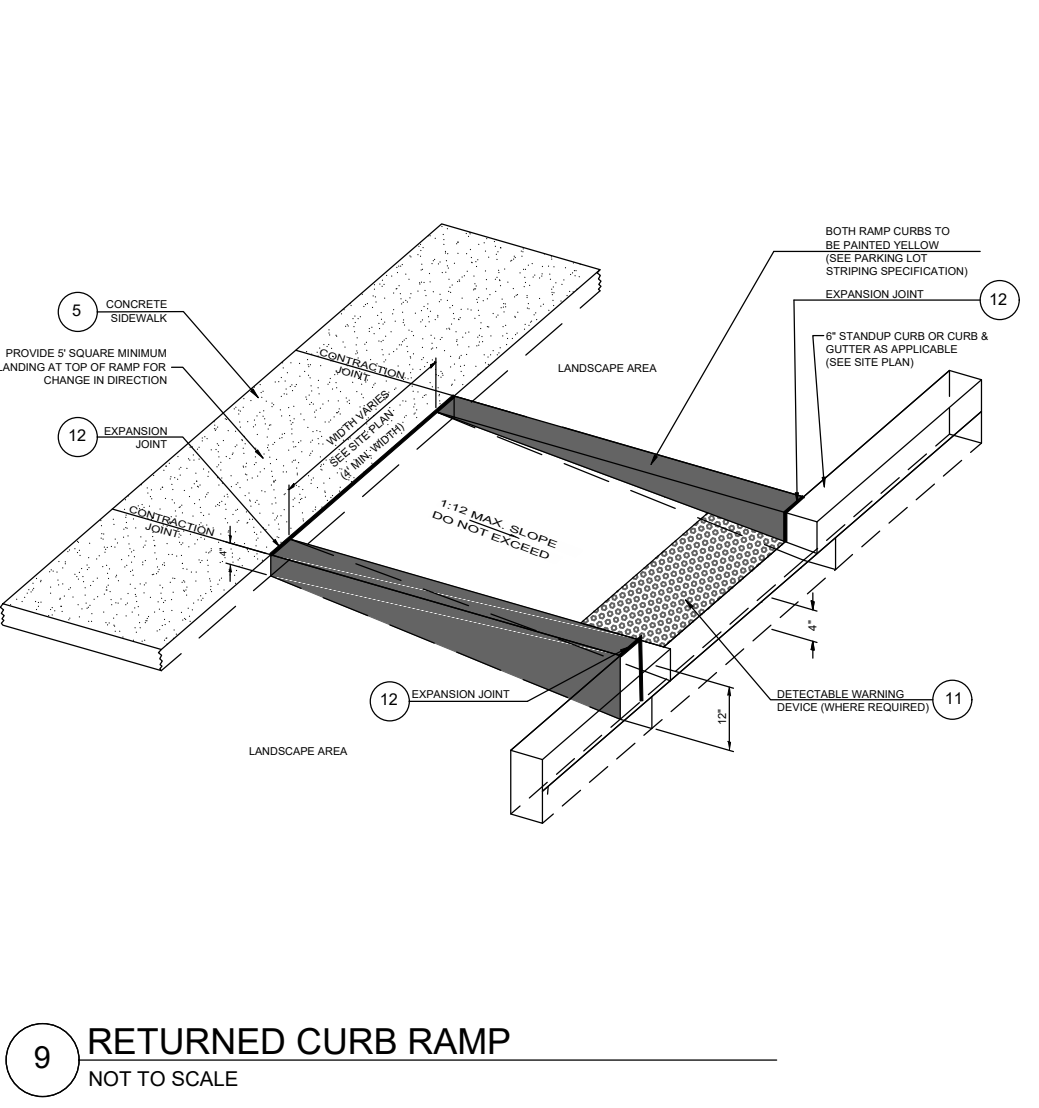
**10B SIDEWALK ACCESSIBLE RAMP**  
NOT TO SCALE

NOTES:  
1. THE SURFACE OF THE RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.  
2. CONSTRUCT PER A.D.A. STANDARDS.  
3. REFER TO PLANS FOR ADJACENT SLOPES.  
4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1:50.  
5. CONSTRUCTION OF THE RAMP SHALL MATCH ADJOINING SIDEWALK DETAIL.  
6. CONCRETE SHALL BE P.C.C. 3000 PSI.



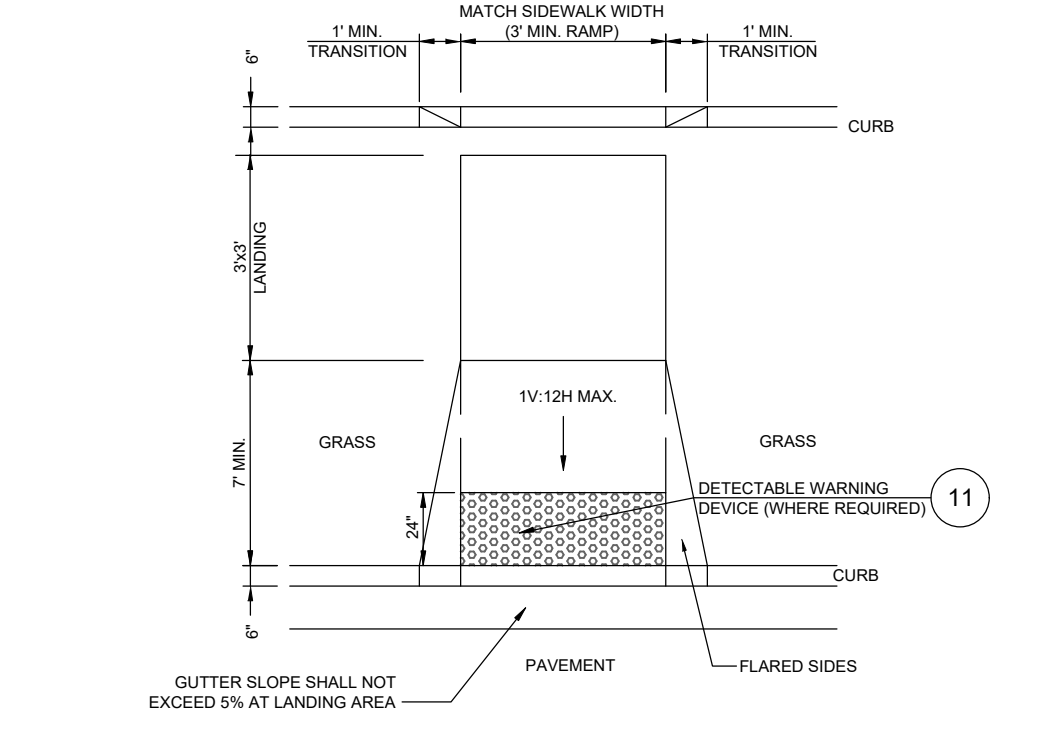
**10A SIDEWALK ACCESSIBLE RAMP**  
NOT TO SCALE

NOTES:  
1. DESIGN PER GEOTECH REPORT BY GILES ENGINEERING ASSOCIATES, DATED AUGUST 29, 2023.  
2. PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION.  
3. JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS.  
4. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS.



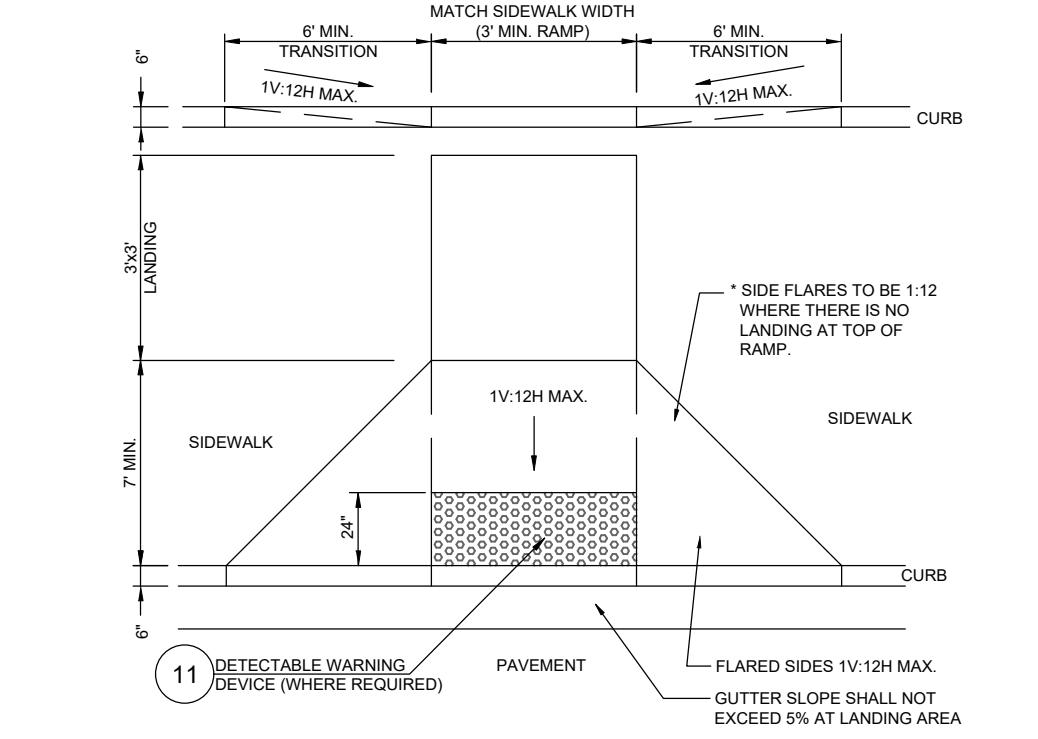
**9 RETURNED CURB RAMP**  
NOT TO SCALE

NOTES:  
1. IF REQUIRED BY STATE/LOCAL ORDINANCE, THE SURFACE OF THE RAMP LANDING SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.  
2. CONSTRUCT PER A.D.A. STANDARDS.  
3. REFER TO PLANS FOR ADJACENT SLOPES.  
4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1:50.  
5. CONSTRUCTION OF THE RAMP SHALL MATCH ADJOINING SIDEWALK DETAIL.  
6. CONCRETE SHALL BE P.C.C. 3000 PSI.



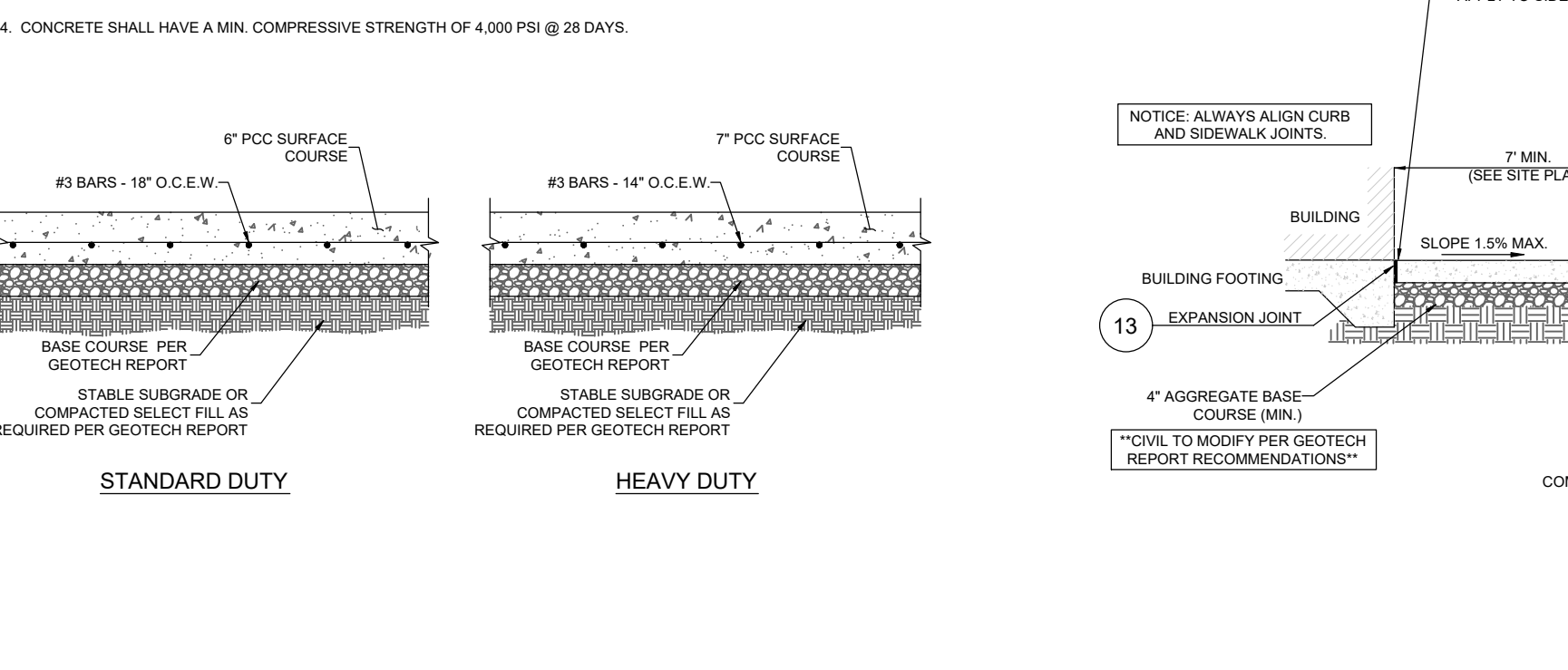
**8B CURB RAMP w/ SHORT FLARED SIDES**  
NOT TO SCALE

NOTES:  
1. SIDE FLARES TO BE 1:12 WHERE THERE IS NO LANDING AT TOP OF RAMP.  
2. GUTTER SLOPE SHALL NOT EXCEED 5% AT LANDING AREA.



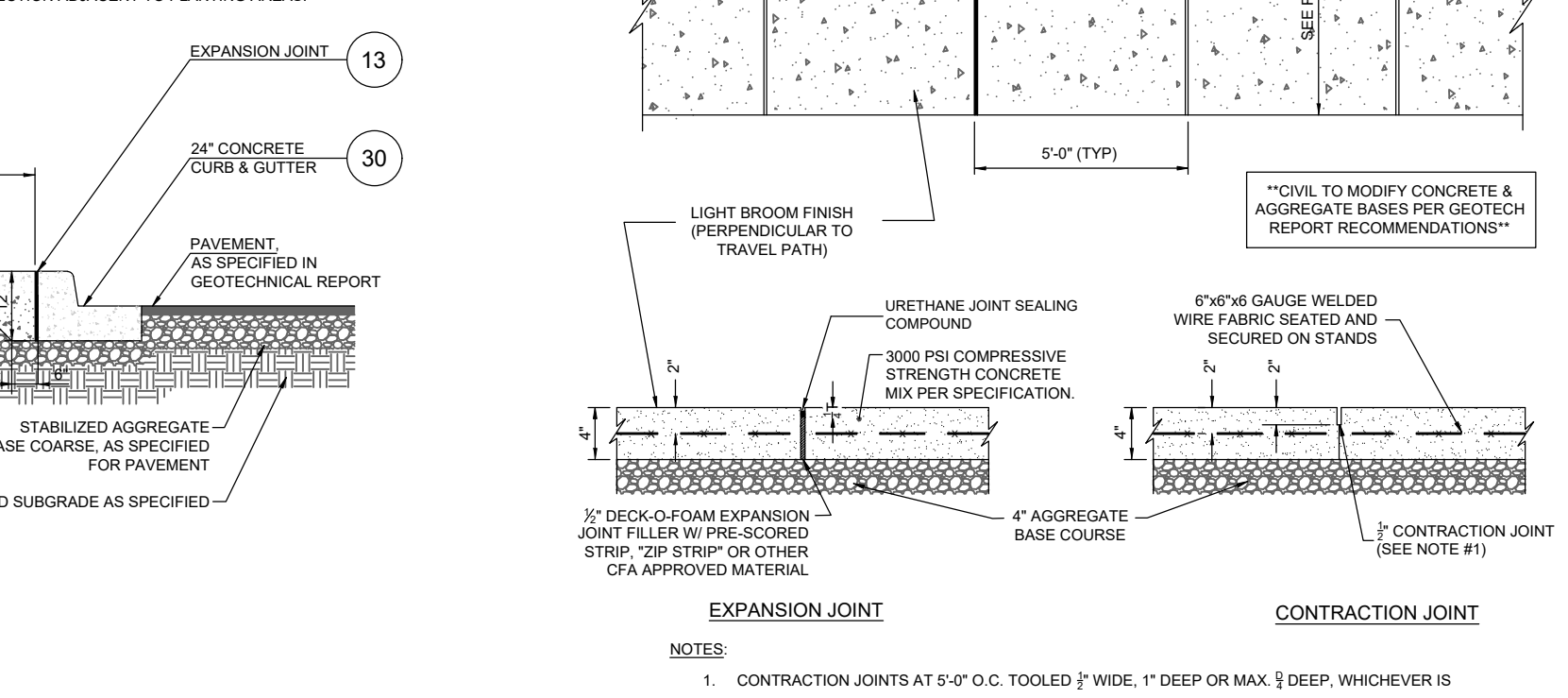
**8A CURB RAMP w/ FLARED SIDES**  
NOT TO SCALE

NOTES:  
1. SIDE FLARES TO BE 1:12 WHERE THERE IS NO LANDING AT TOP OF RAMP.  
2. GUTTER SLOPE SHALL NOT EXCEED 5% AT LANDING AREA.



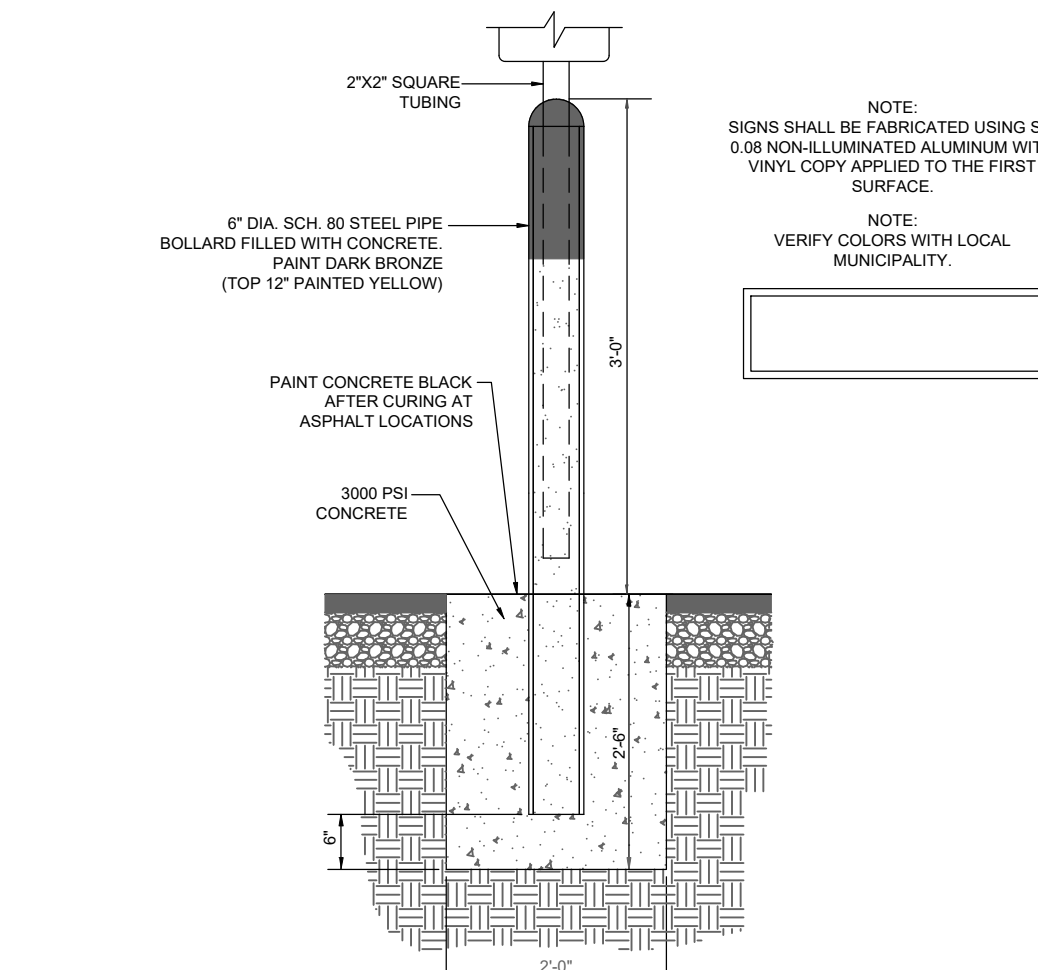
**7 CONCRETE PAVEMENTS**  
NOT TO SCALE

NOTES:  
1. CIVIL TO MODIFY PER GEOTECH REPORT RECOMMENDATIONS\*\*



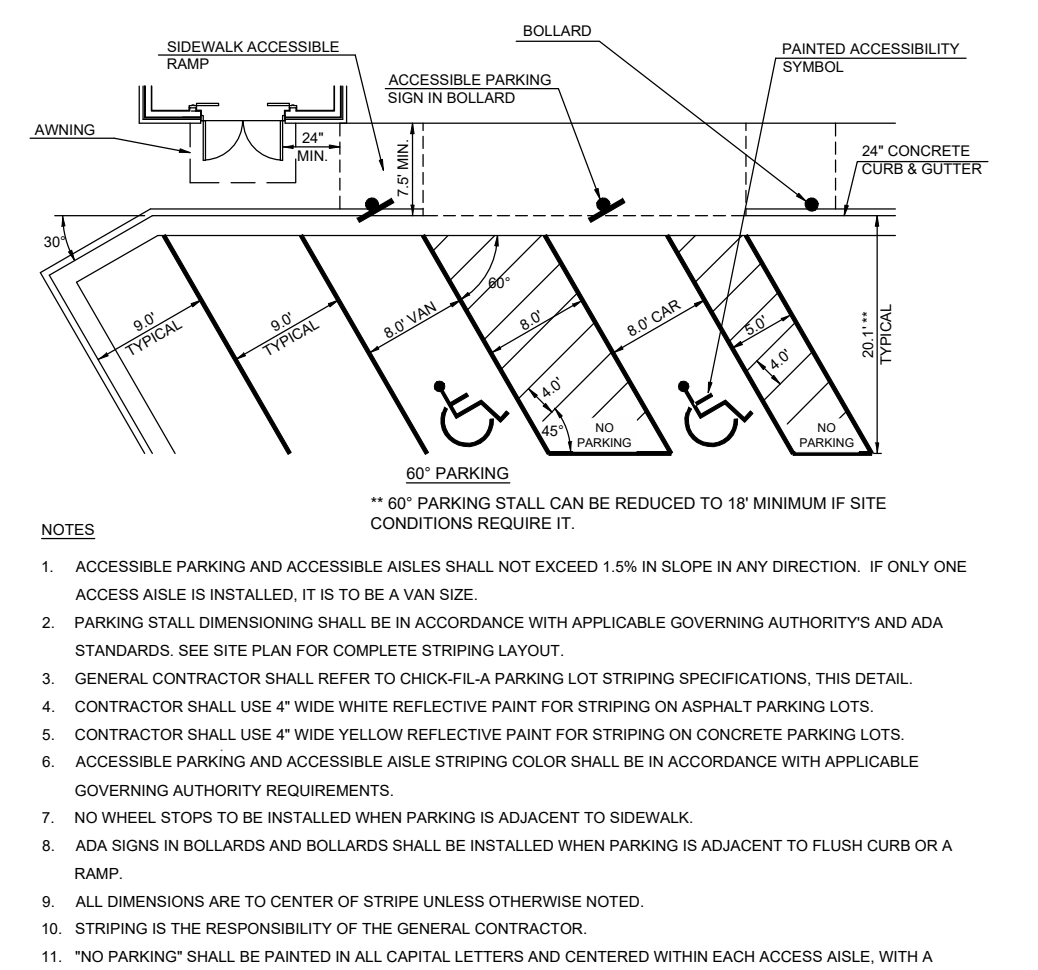
**5 CONCRETE SIDEWALK**  
NOT TO SCALE

NOTES:  
1. CONTRACTION JOINTS AT 5'-0\"/>



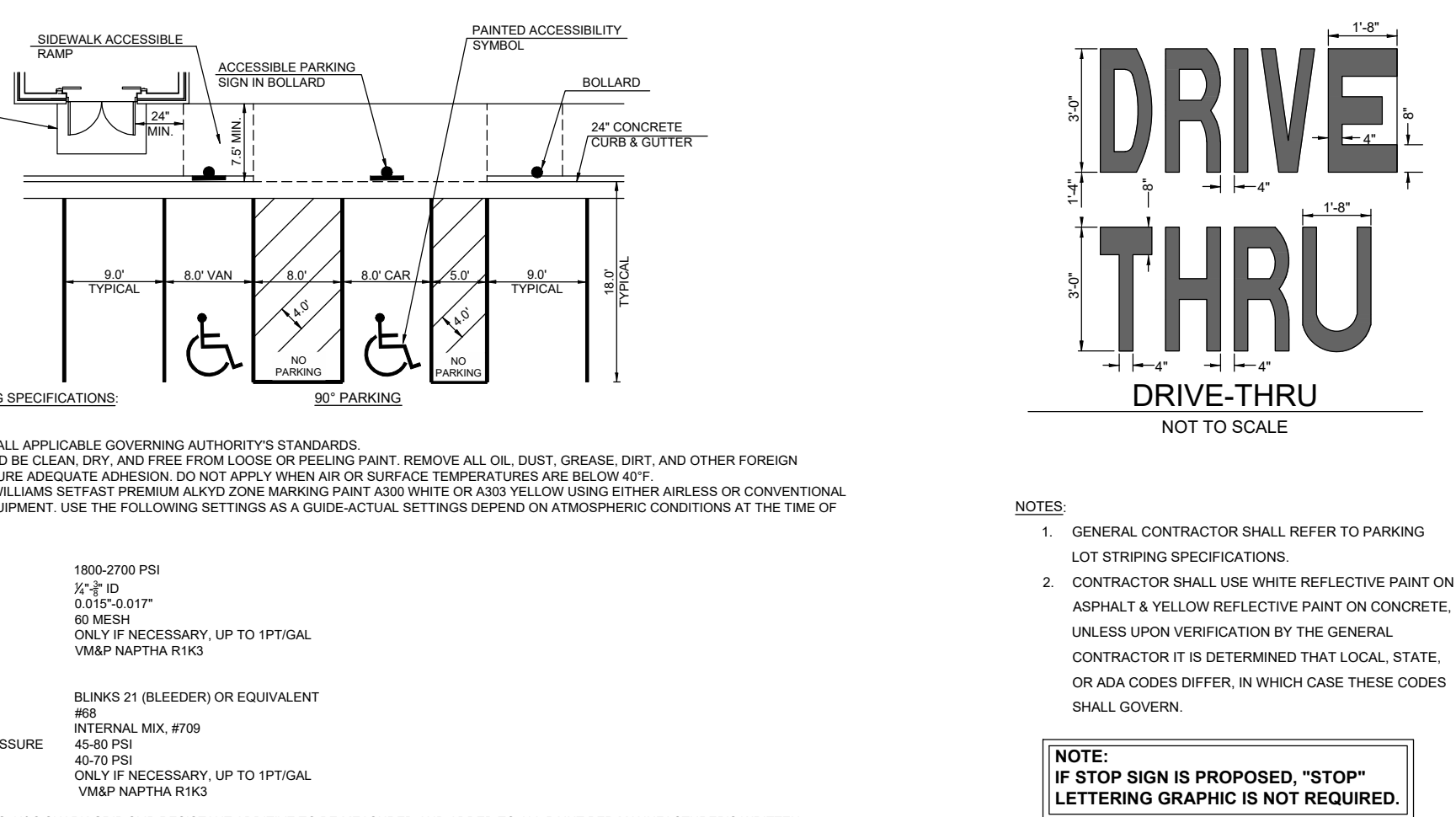
**4 BOLLARD MOUNTED SIGN**  
NOT TO SCALE

NOTES:  
1. SIGNS SHALL BE FABRICATED USING SF OR NON-ILLUMINATED ALUMINUM WITH VINYL COPY APPLIED TO THE FIRST SURFACE.  
2. VERIFY COLORS WITH LOCAL MUNICIPALITY.



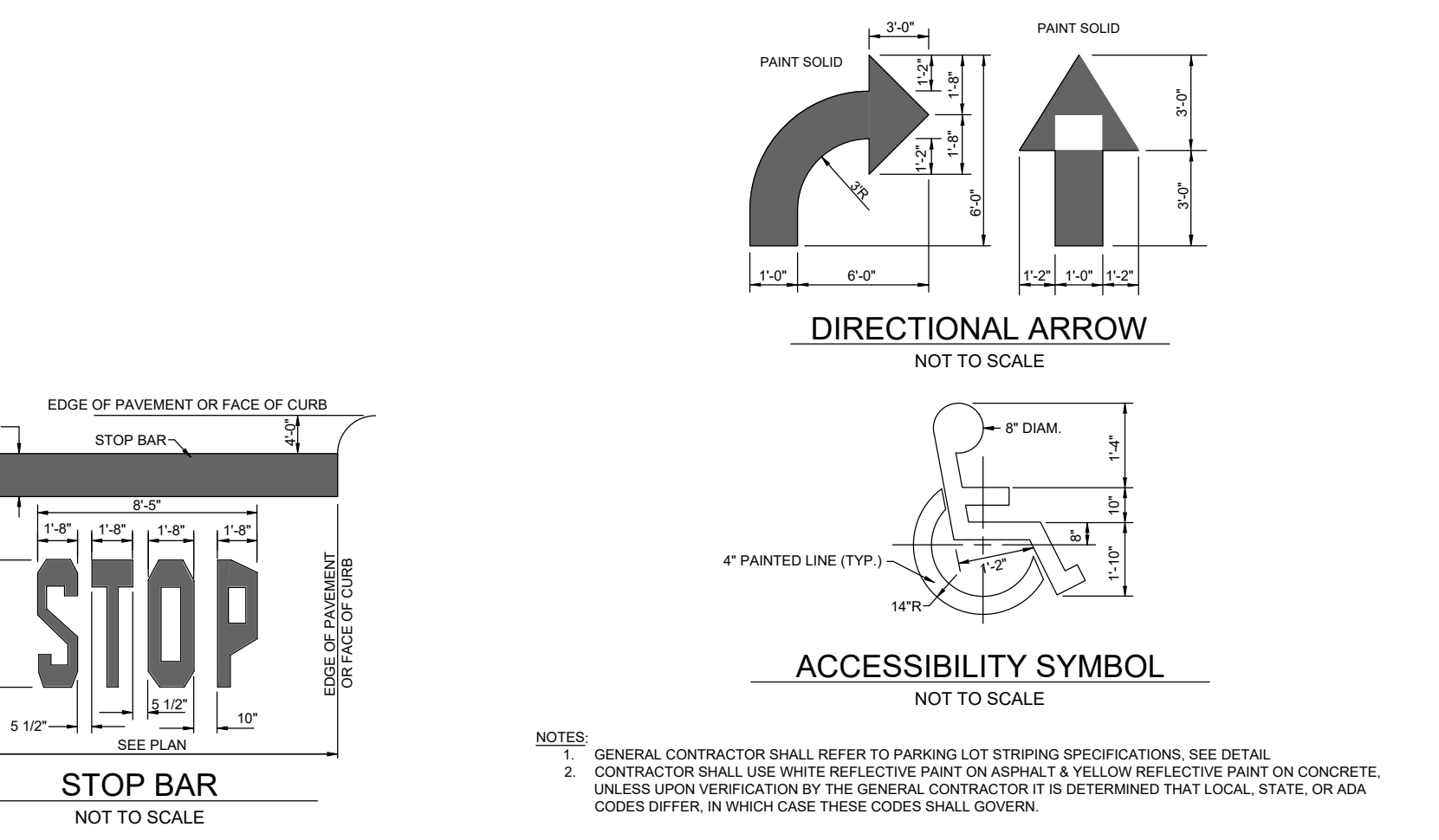
**3 PARKING STALL LAYOUT AND STRIPING**  
NOT TO SCALE

NOTES:  
1. ACCESSIBLE PARKING AND ACCESSIBLE ANGLES SHALL NOT EXCEED 1.5% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESSIBLE IS INSTALLED, IT IS TO BE A VAN SIZE.  
2. PARKING STALL DIMENSIONS SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES AND ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.  
3. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, THIS DETAIL.  
4. CONTRACTOR SHALL USE 4\"/>



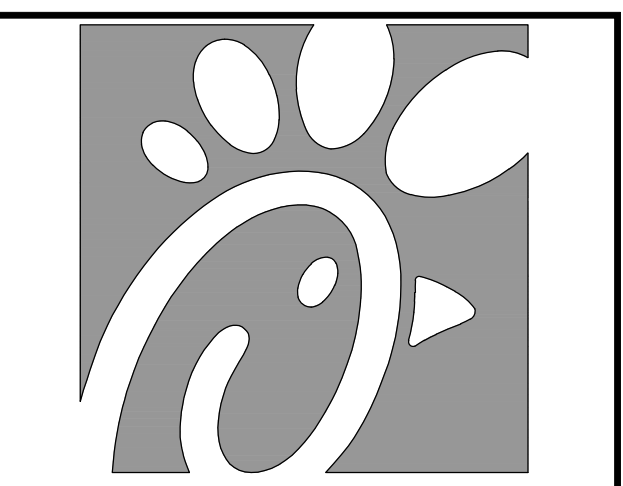
**2 PAVEMENT MARKINGS - 2**  
NOT TO SCALE

NOTES:  
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.  
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.



**1 PAVEMENT MARKINGS - 1**  
NOT TO SCALE

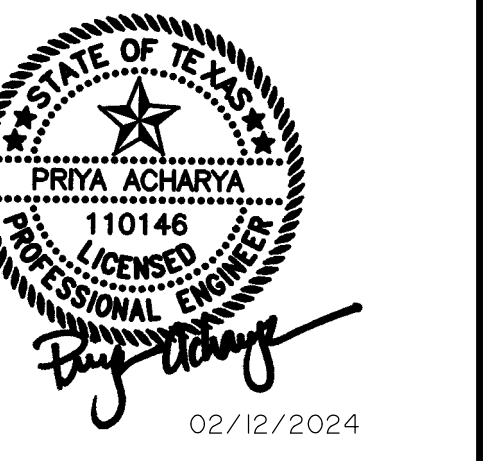
NOTES:  
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.  
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

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Texas Firm Registration No. F-2776



CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521  
BUILDING TYPE / P14-LS-BN  
SIZE:  
REVISION SCHEDULE  
NO. DATE DESCRIPTION

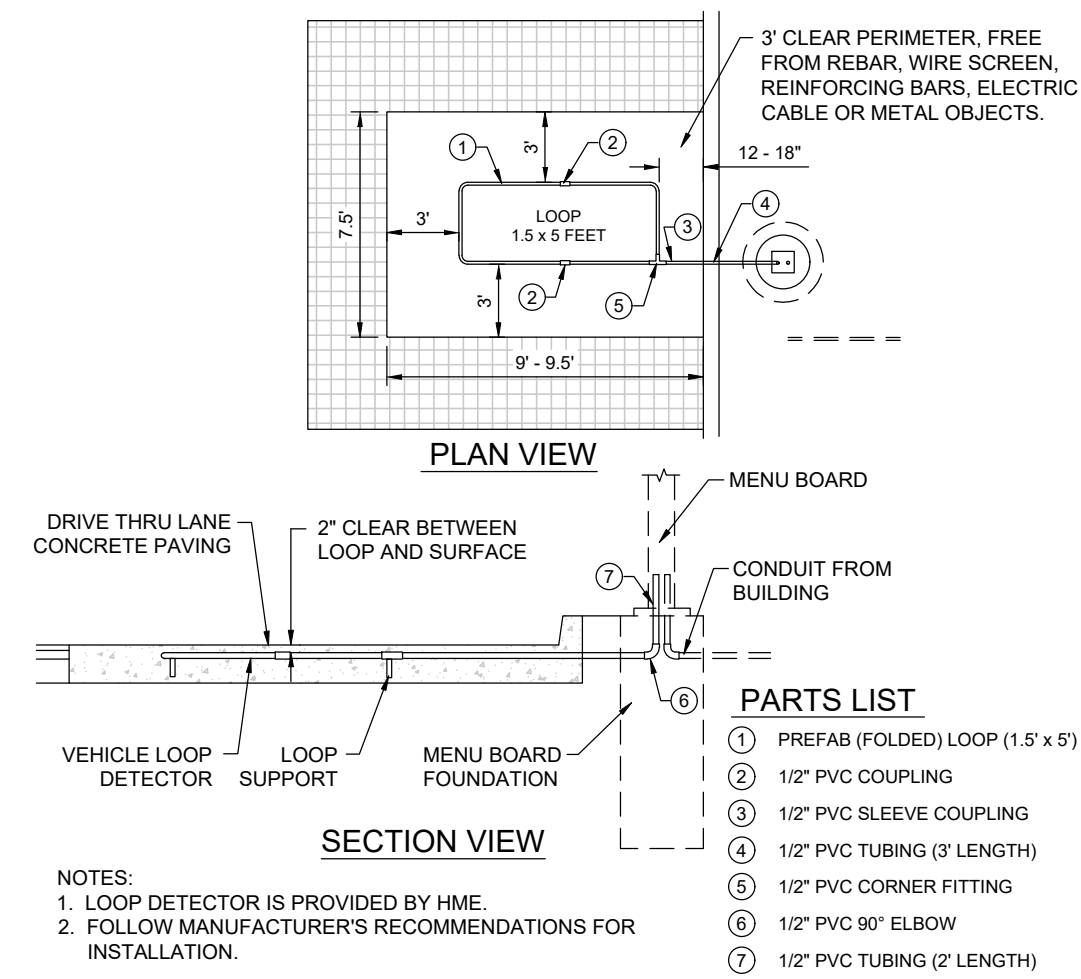
WA JOB NUMBER 23011  
PRINTED FOR IFP  
DATE 2/12/24  
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SHEET  
**CFA STANDARD DETAILS**  
SHEET NUMBER

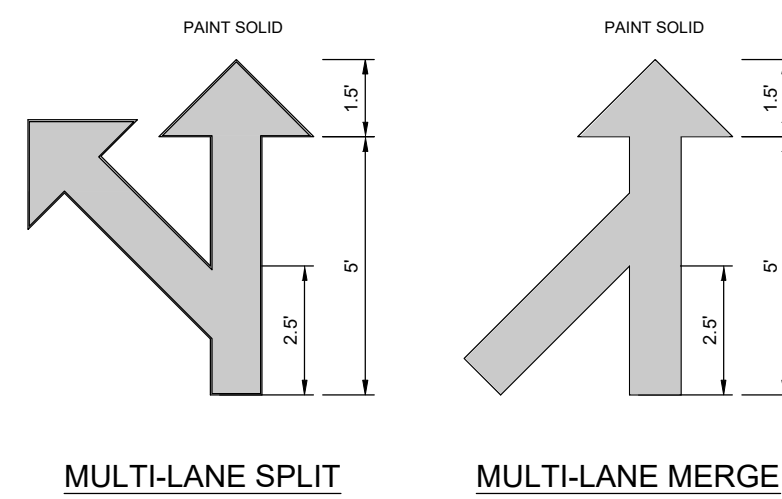
C-10.1

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October 30, 2024

NOTE:  
1. THESE DETAILS ARE FOR PRIVATE ONSITE INFRASTRUCTURE ONLY AND SHALL NOT BE USED IN PUBLIC ROW, FIRELANES, OR EASEMENTS.

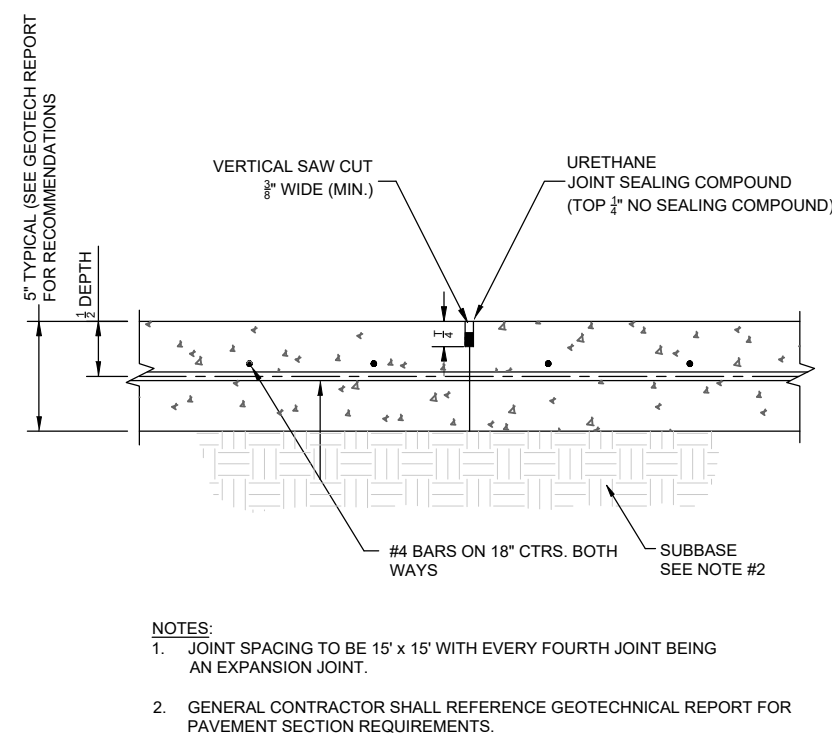


23 MENU BOARD LOOP DETECTION SYSTEM  
 NOT TO SCALE

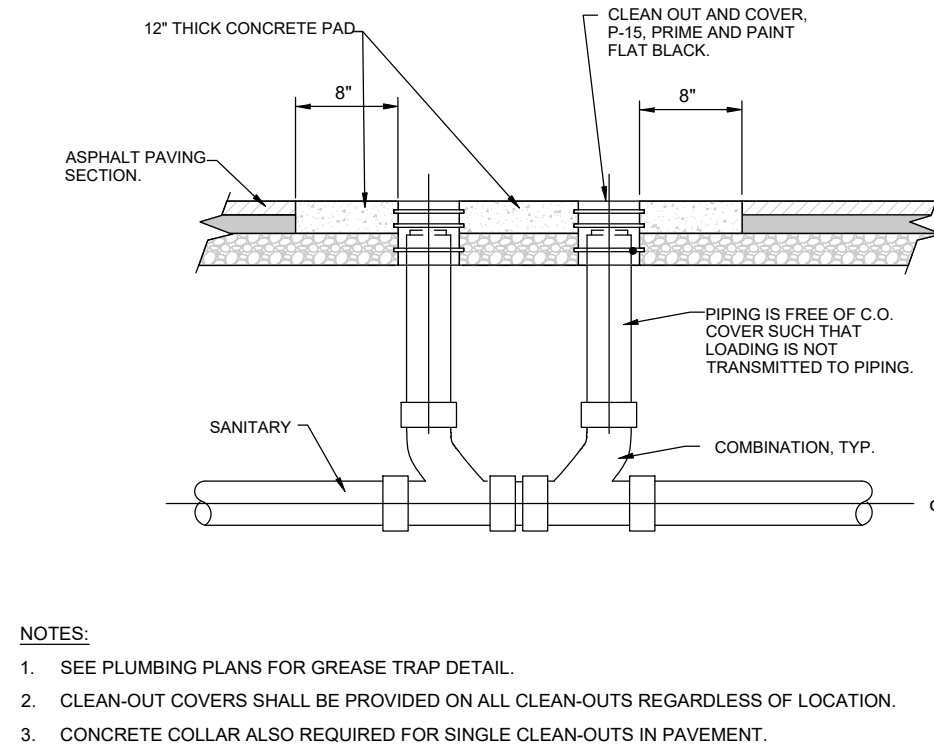


**NOTES:**  
 1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL).  
 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

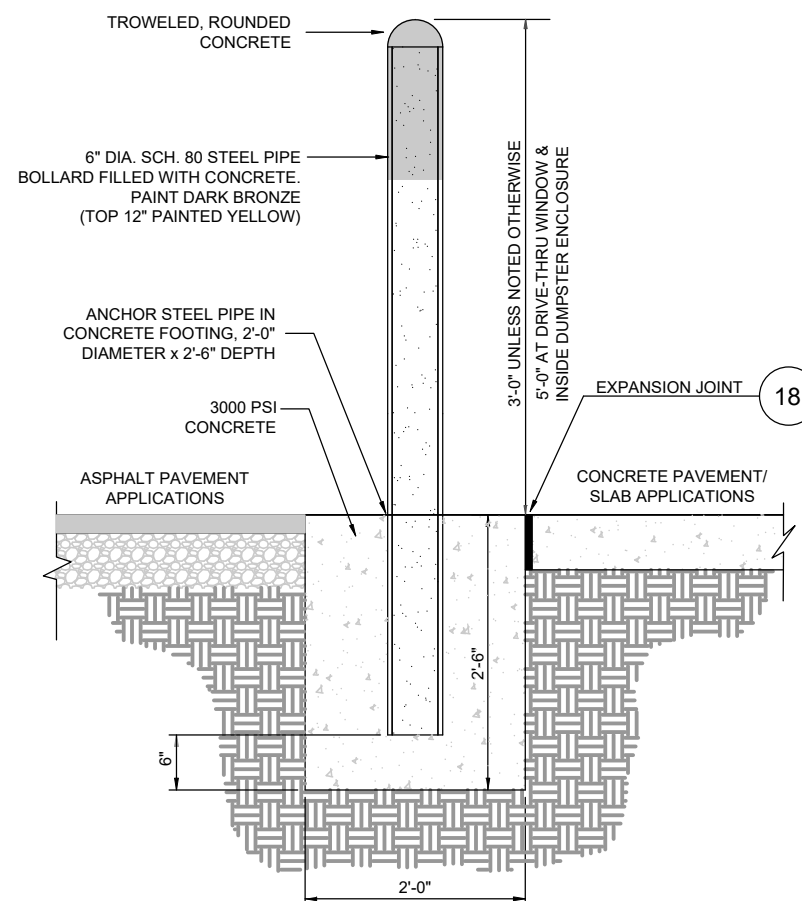
19 MULTI-LANE DIRECTIONAL GRAPHICS  
 NOT TO SCALE



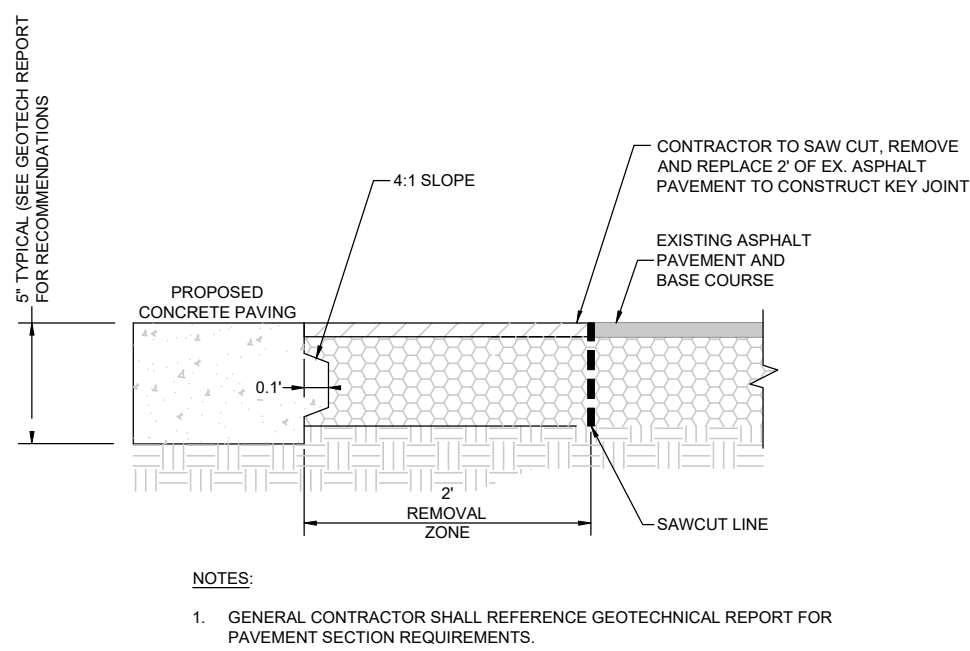
15 CONTRACTION JOINT  
 NOT TO SCALE



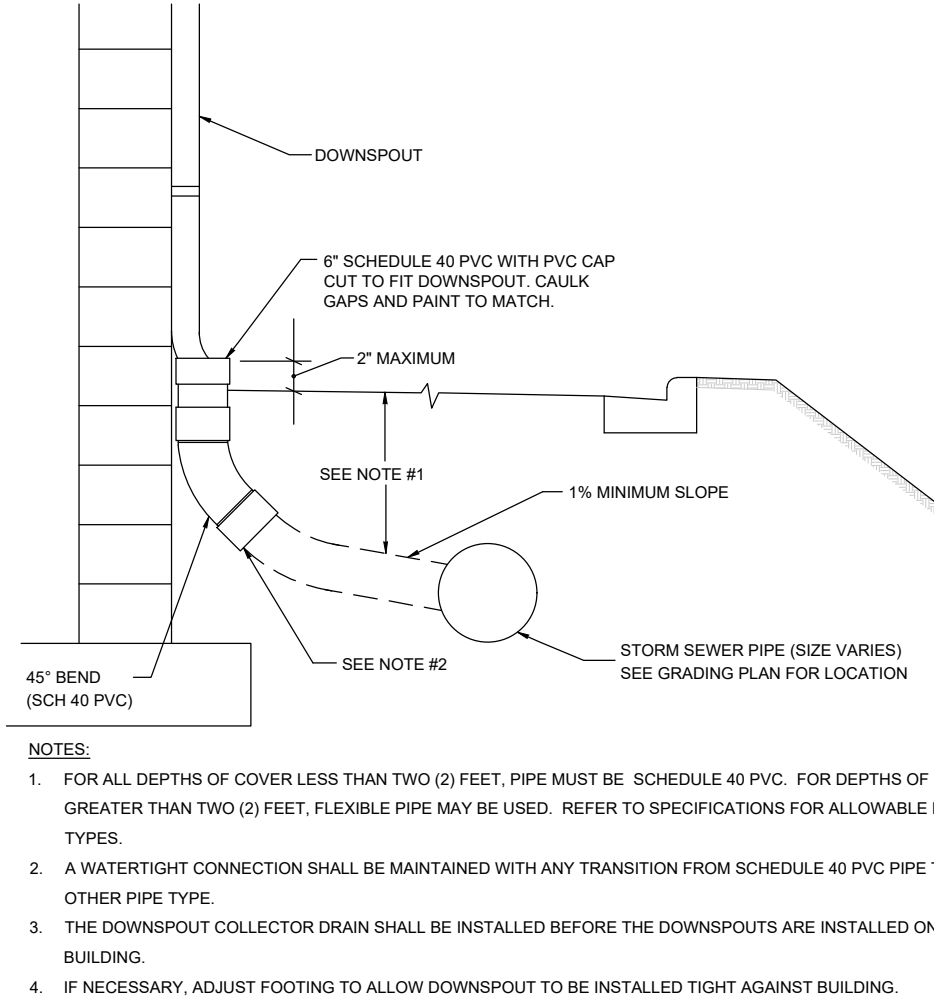
22 CLEAN-OUT (OUTSIDE OF BUILDING)  
 NOT TO SCALE



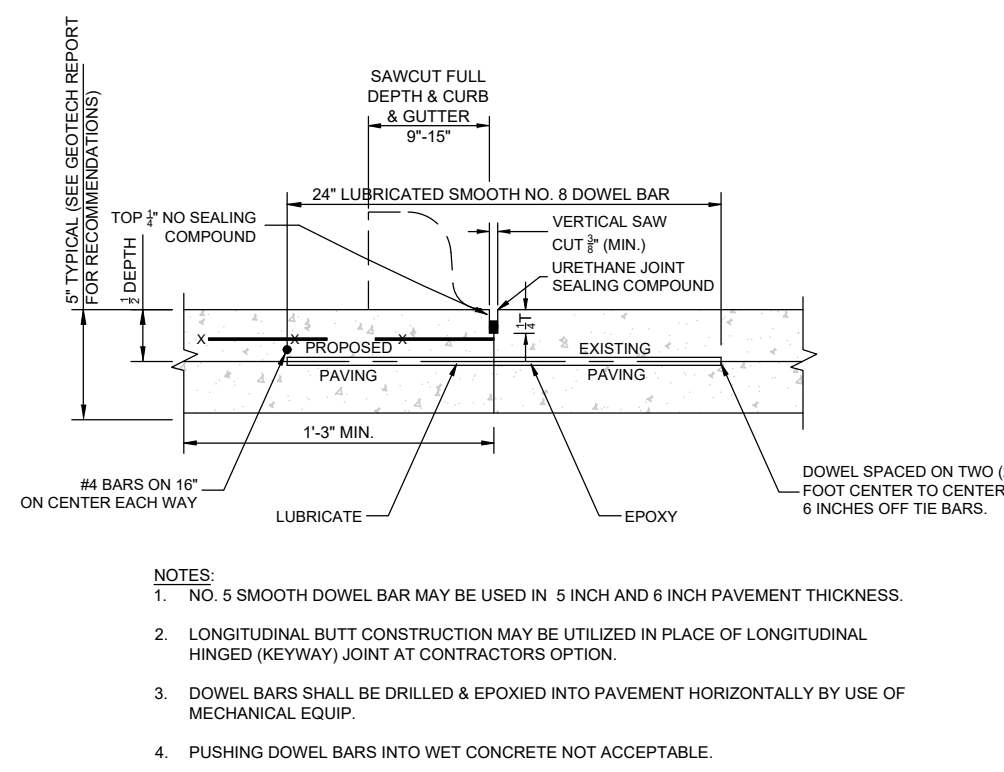
18 CONCRETE BOLLARD  
 NOT TO SCALE



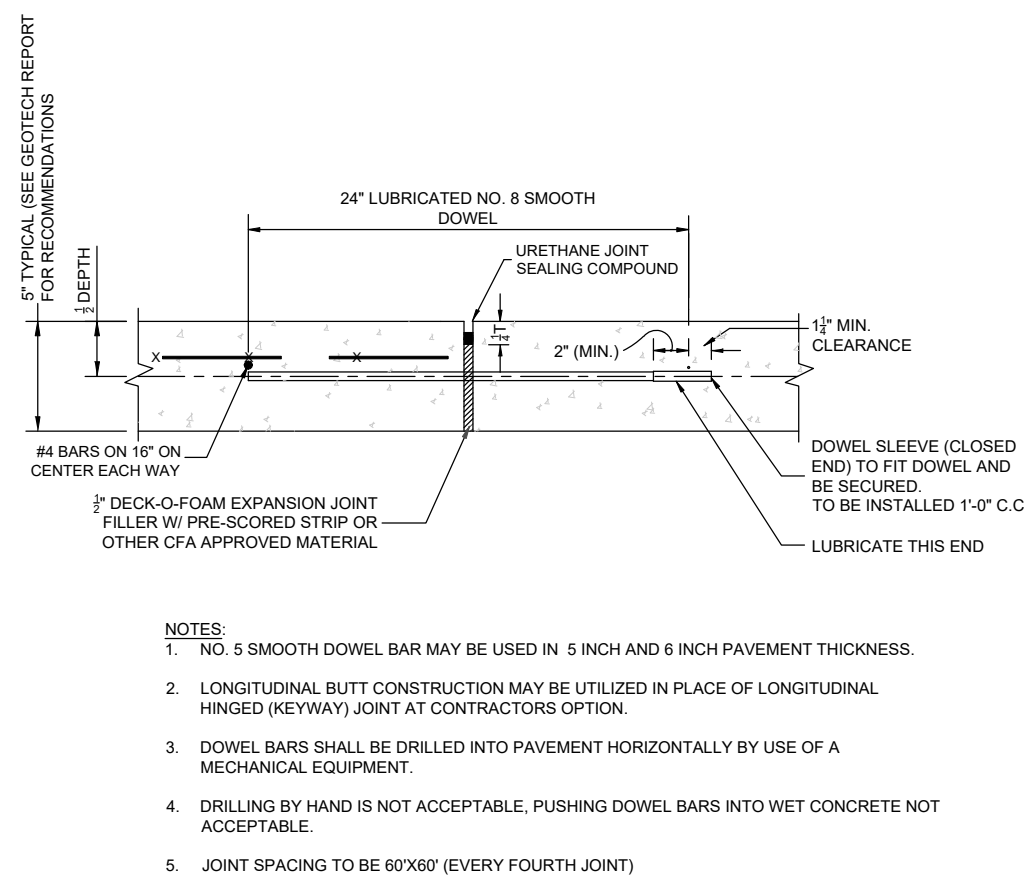
14 KEYED CONSTRUCTION JOINT  
 NOT TO SCALE



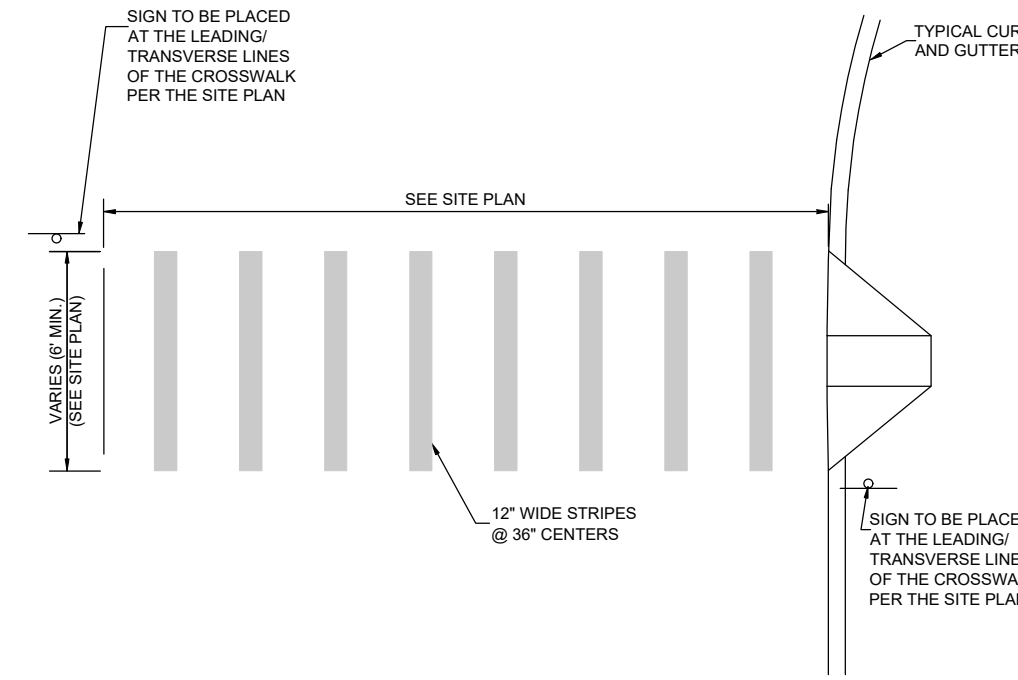
21 BUILDING DOWNSPOUT CONNECTION  
 NOT TO SCALE



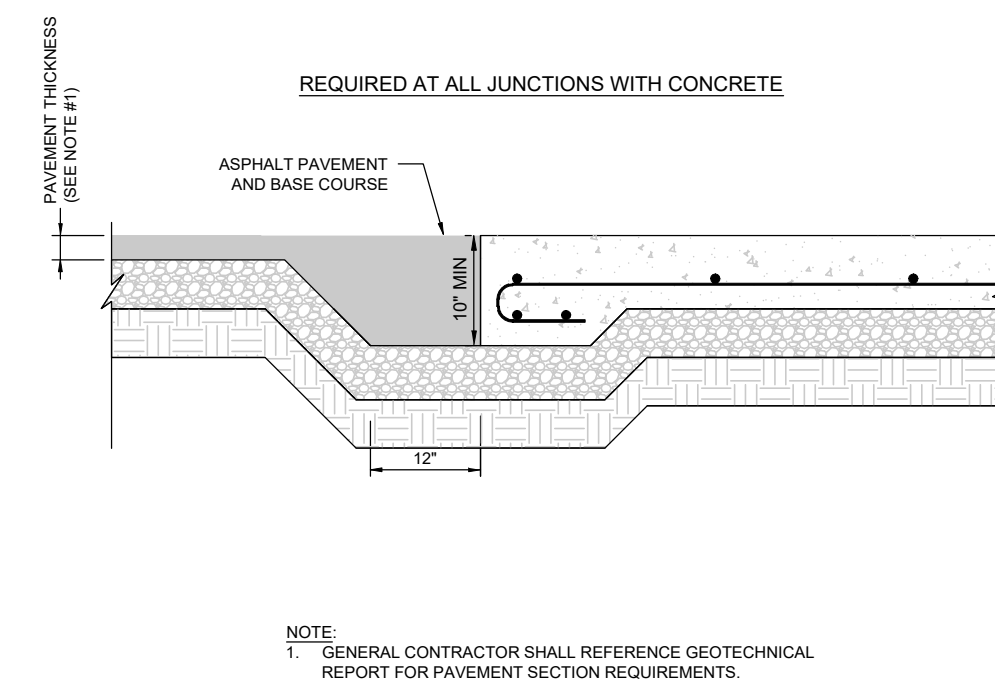
17 LONGITUDINAL BUTT JOINT  
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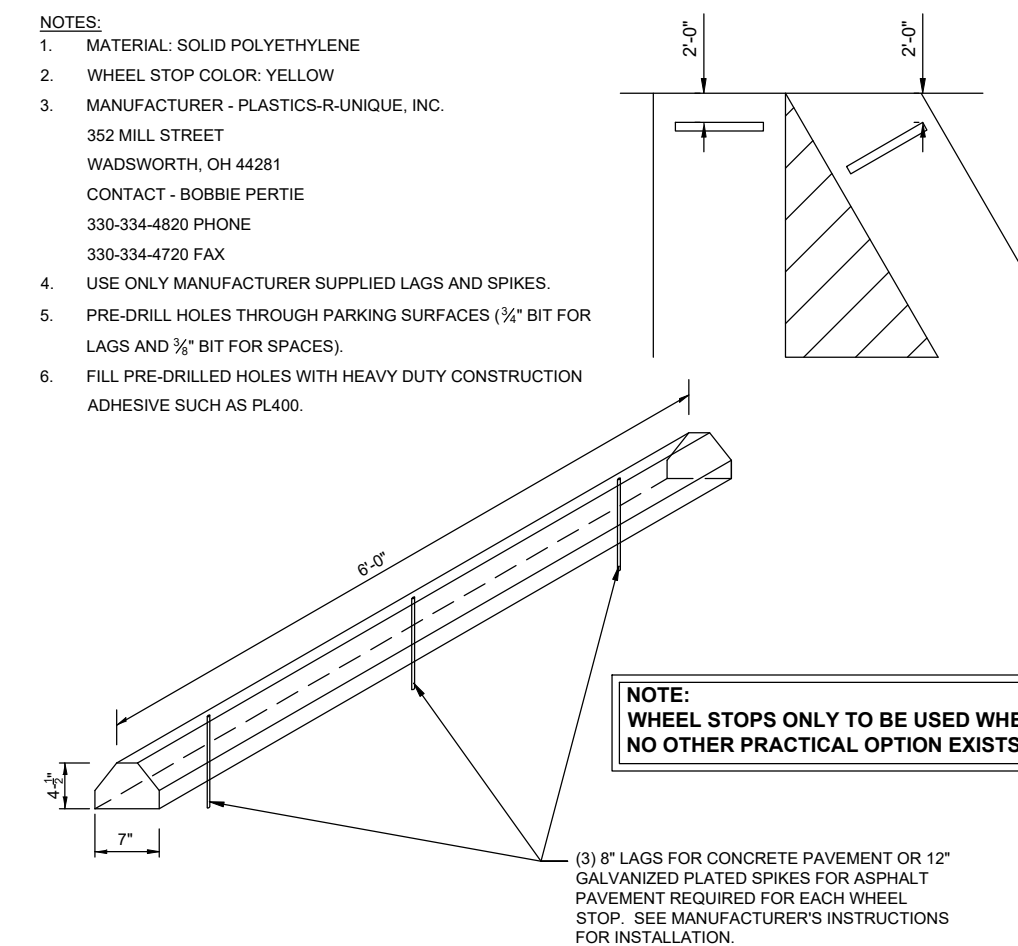
13 EXPANSION JOINT  
 NOT TO SCALE



20 CROSSWALK MARKINGS  
 NOT TO SCALE



16 PAVEMENT EDGE DETAIL  
 NOT TO SCALE



12 SOLID PLASTIC WHEEL STOP  
 NOT TO SCALE

**NOTE:**  
 1. THESE DETAILS ARE FOR PRIVATE ONSITE INFRASTRUCTURE ONLY AND SHALL NOT BE USED IN PUBLIC ROW, FIRELANES, OR EASEMENTS.

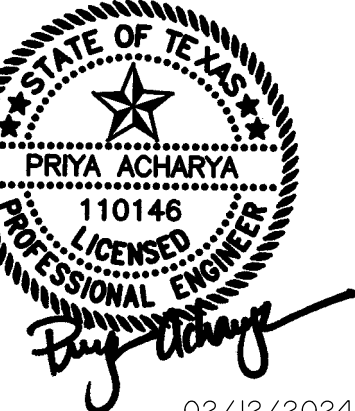
RECORD DRAWING  
 October 30, 2024



Chick-fil-A

Chick-fil-A  
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 Atlanta, Georgia  
 30349-2998

PREPARED BY:  
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 Texas Firm Registration No. F-2776 www.viawier.com



02/12/2024

CHICK-FIL-A  
 3790 BELT LINE ROAD  
 ADDISON, TEXAS 75001  
 STORE #05521

FSR# 05521

BUILDING TYPE / P14-LS-BN SIZE:

REVISION SCHEDULE  
 NO. DATE DESCRIPTION

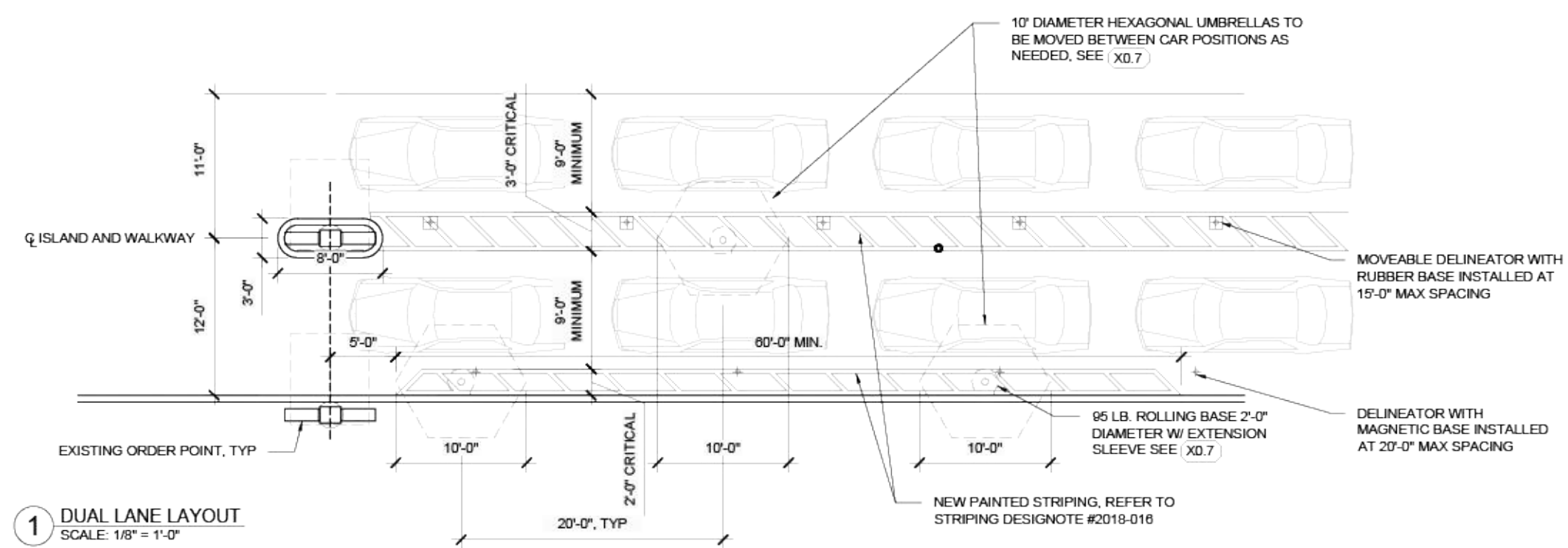
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 DATE 2/12/24  
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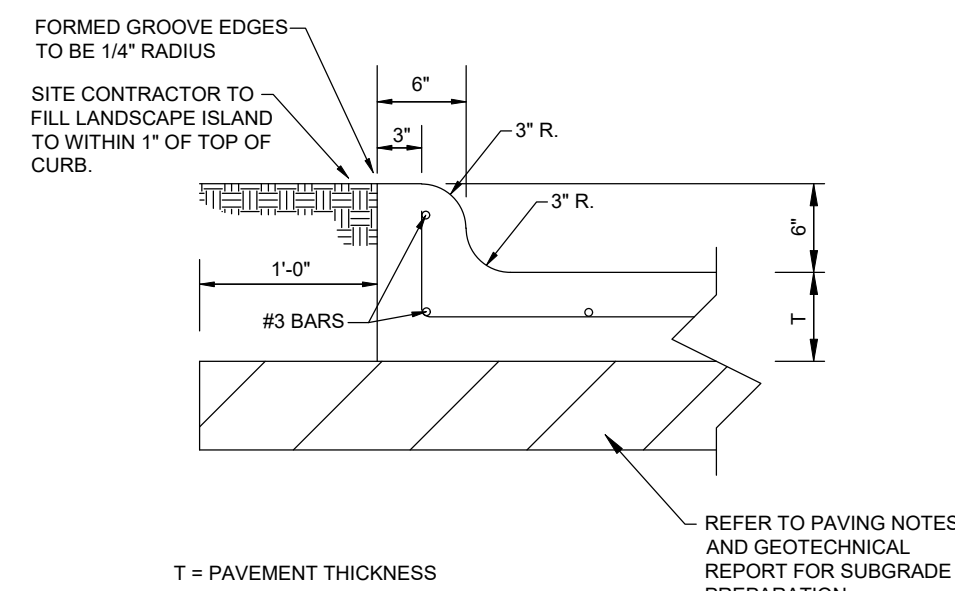
SHEET  
**CFA STANDARD DETAILS**

SHEET NUMBER  
**C-10.2**

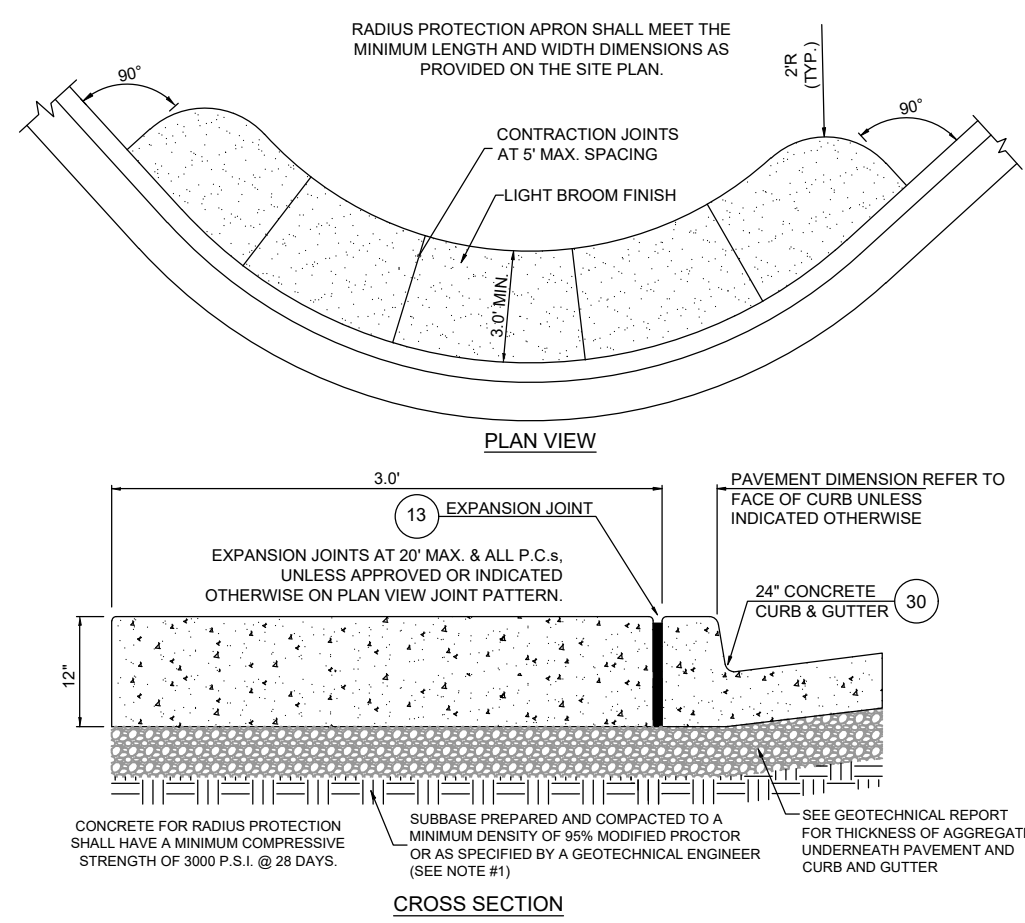
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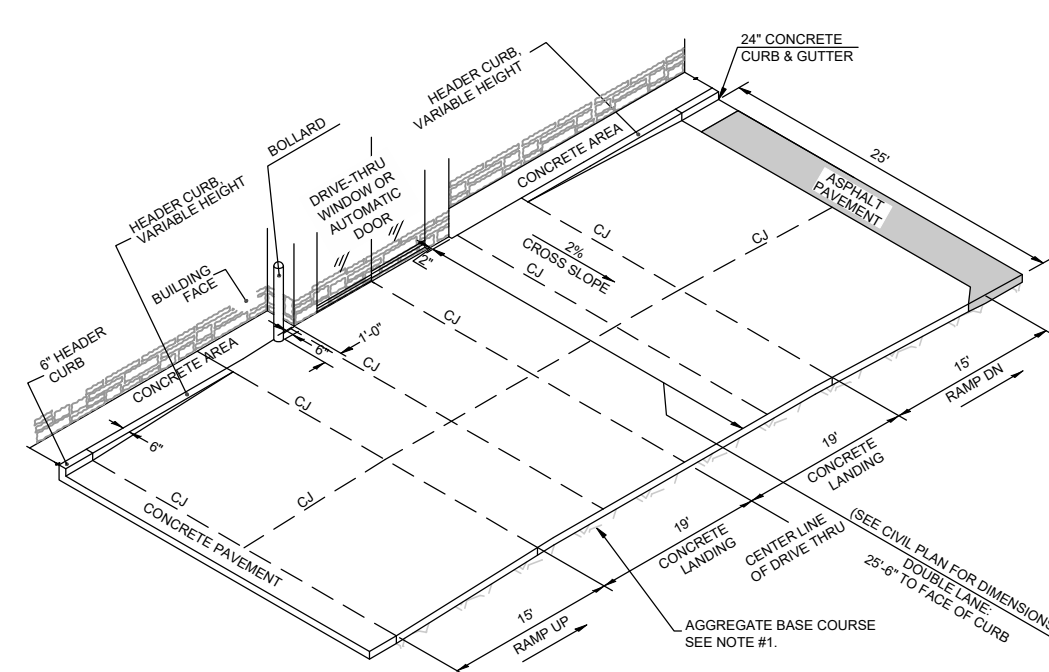
1 DUAL LANE LAYOUT  
SCALE: 1/8" = 1'-0"  
ORDER POINT & PAYMENT ZONE STRIPING DETAIL  
NOT TO SCALE



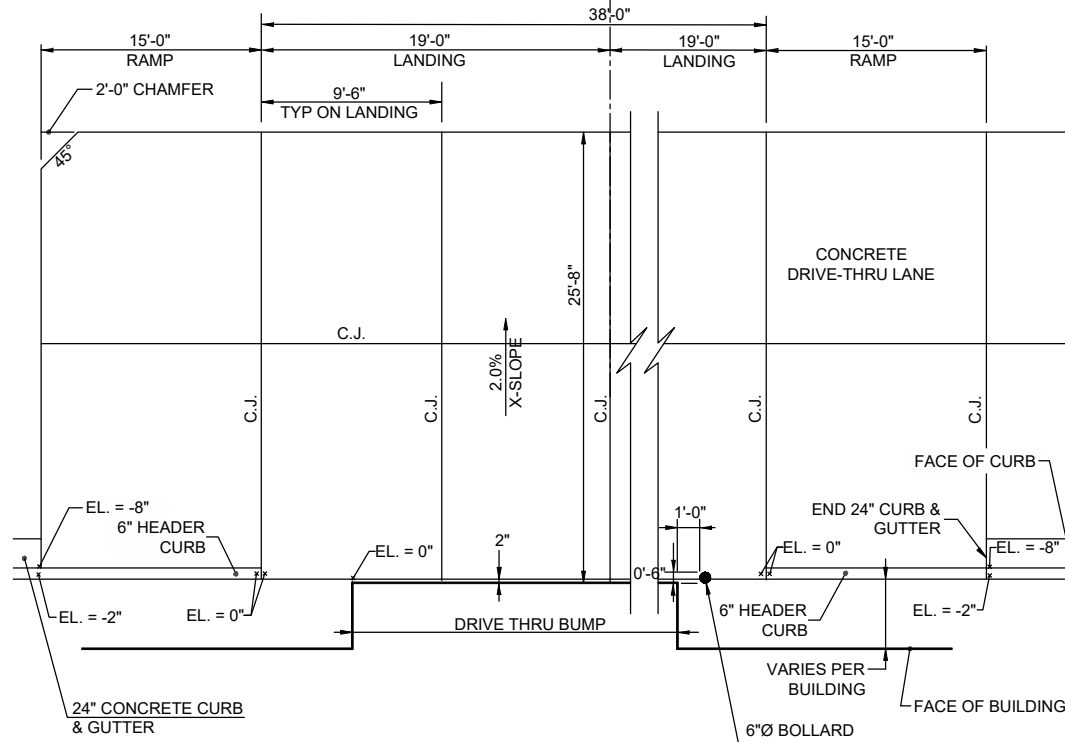
29 INTEGRAL CURB DETAIL  
NOT TO SCALE



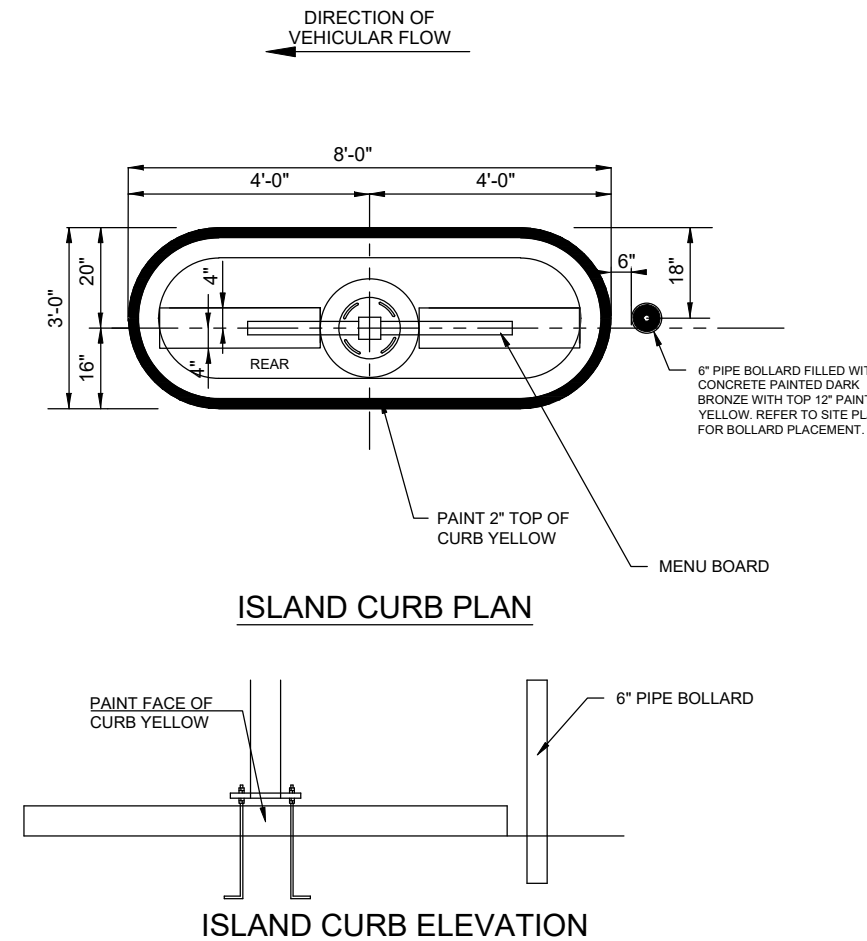
28 LANDSCAPE & IRRIGATION PROTECTOR  
NOT TO SCALE



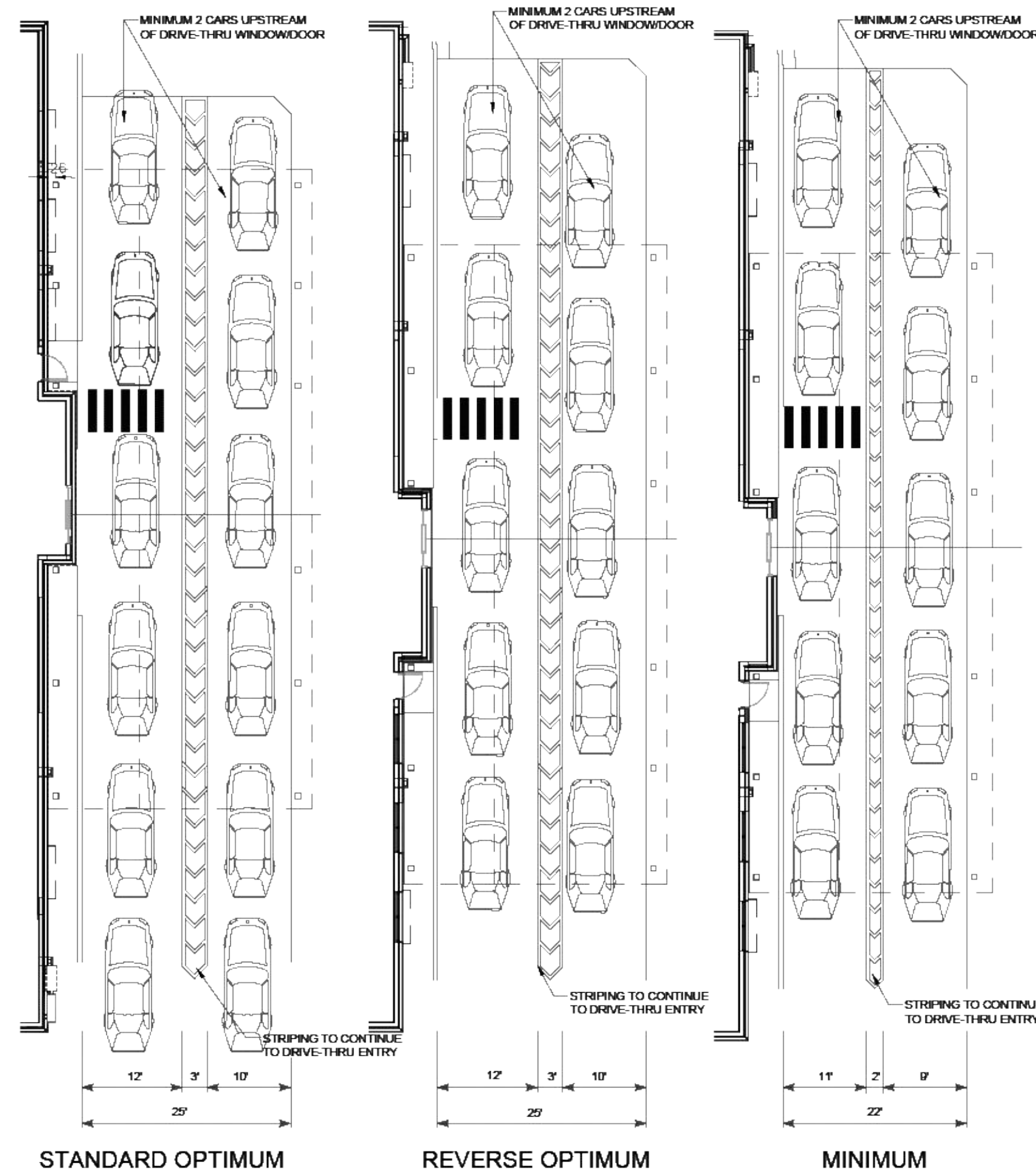
27 DRIVE-THRU ISOMETRIC  
NOT TO SCALE



26 DRIVE-THRU PLAN - FLUSH WITH FFE  
NOT TO SCALE

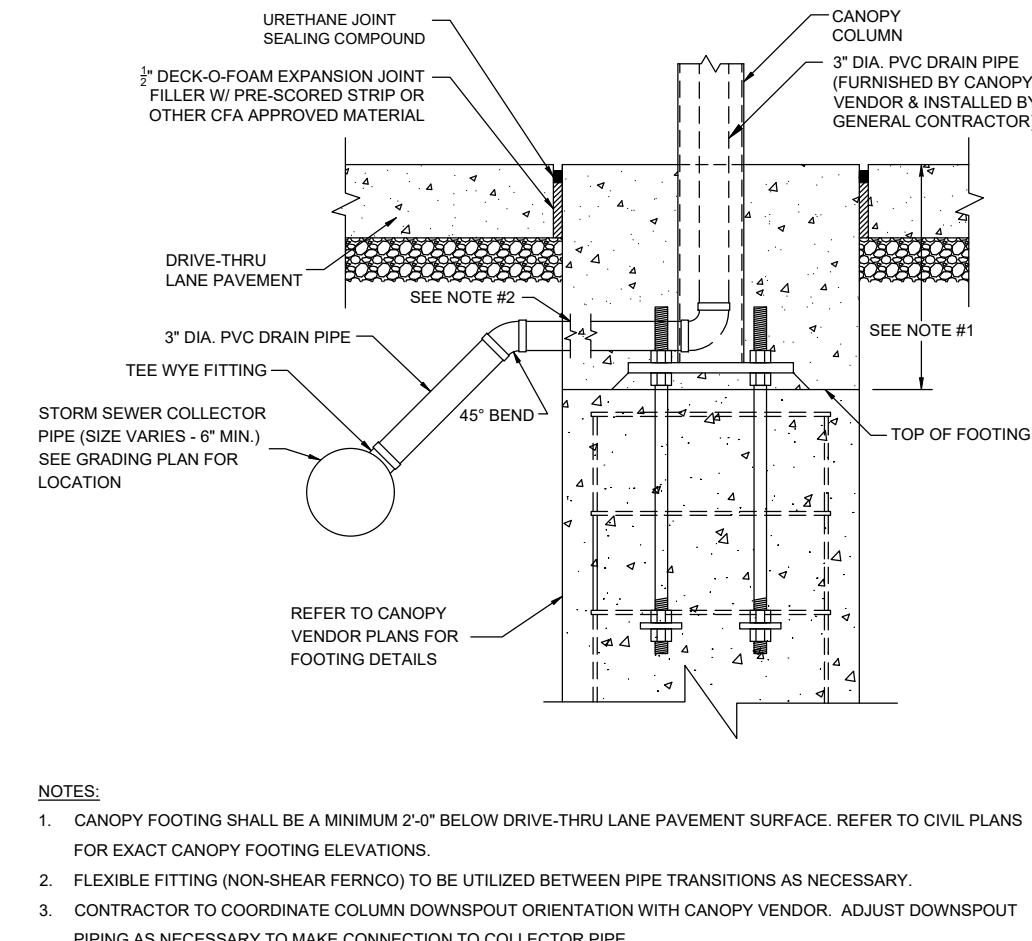


25 DRIVE-THRU ORDER POINT ISLAND  
NOT TO SCALE



REFER TO CFA DRIVE-THRU FACE-TO-FACE STANDARDS FOR THE FOLLOWING INFORMATION:  
1. CAR STACKING NUMBERING  
2. MEAL DELIVERY AREA SIGNAGE AND DELINEATORS  
3. LOCATION OF CASH PAYMENT ZONE  
4. ORDER POINT CANOPY PLACEMENT  
5. ORDER POINT SIGNAGE AND DELINEATORS  
6. DRIVE-THRU STRIPING STANDARDS

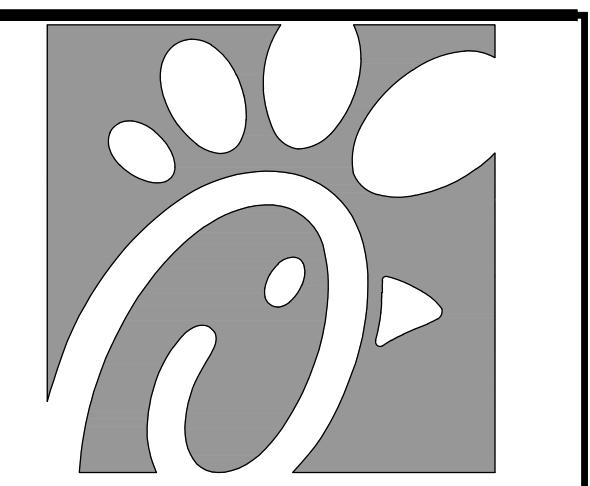
<b>DESIGN</b>	MEAL DELIVERY AREA TRADITIONAL DRIVE-THRU	11.03.21
---------------	--	----------



24 CANOPY DOWNPOUT CONNECTION  
NOT TO SCALE

NOTE:  
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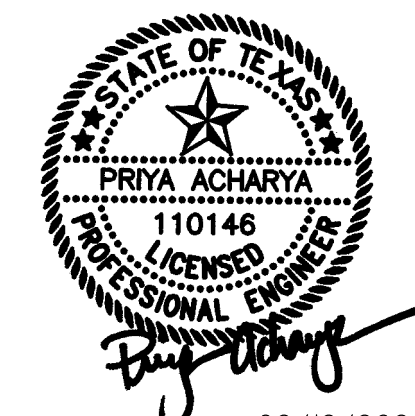
RECORD DRAWING  
October 30, 2024



Chick-fil-A

Chick-fil-A  
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Atlanta, Georgia  
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Texas Firm Registration No. F-2776



02/12/2024

CHICK-FIL-A

3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521

BUILDING TYPE / P14-LS-BN  
SIZE:

REVISION SCHEDULE  
NO. DATE DESCRIPTION

WA JOB NUMBER 23011

PRINTED FOR IFP

DATE 2/12/24

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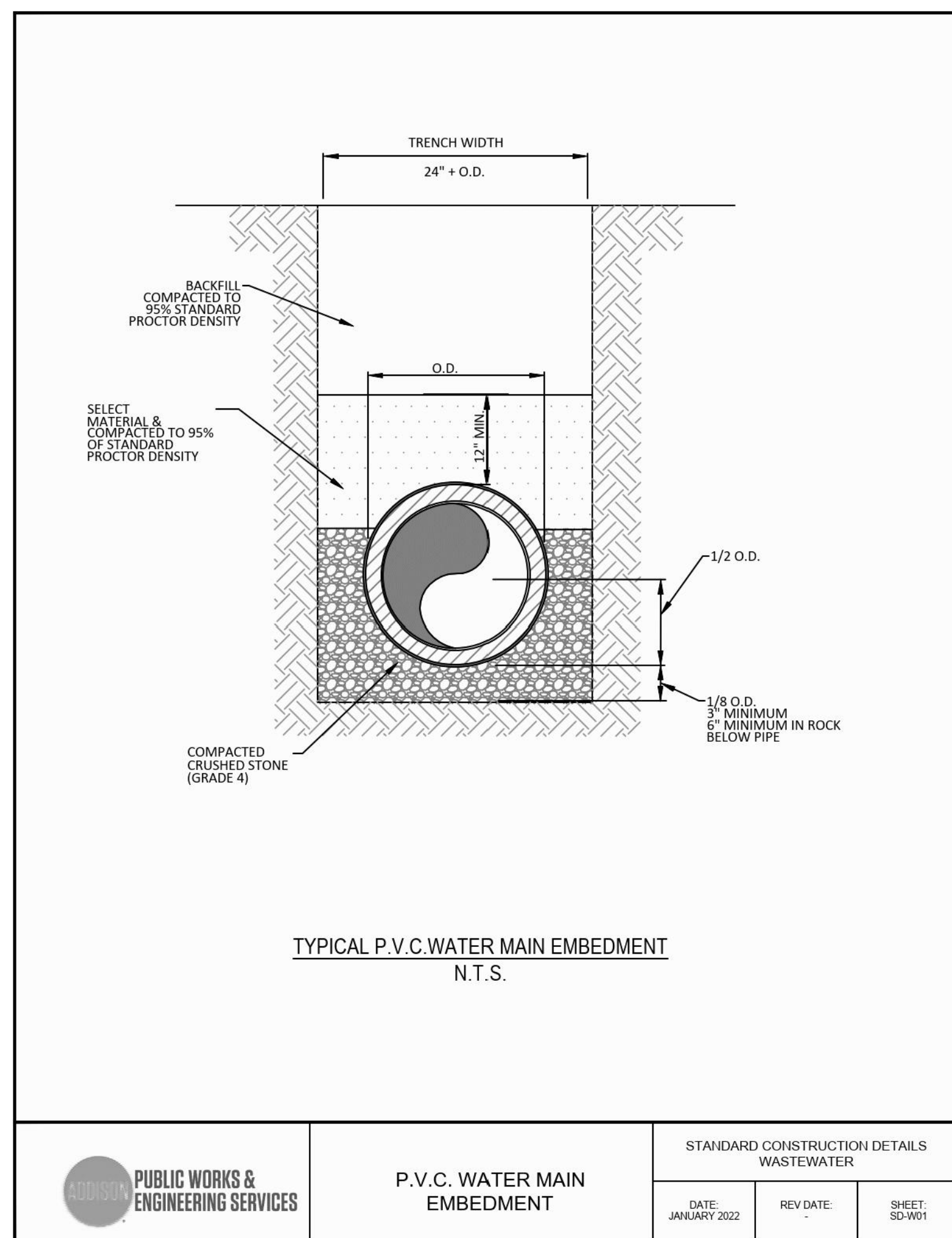
SHEET

CFA STANDARD  
DETAILS

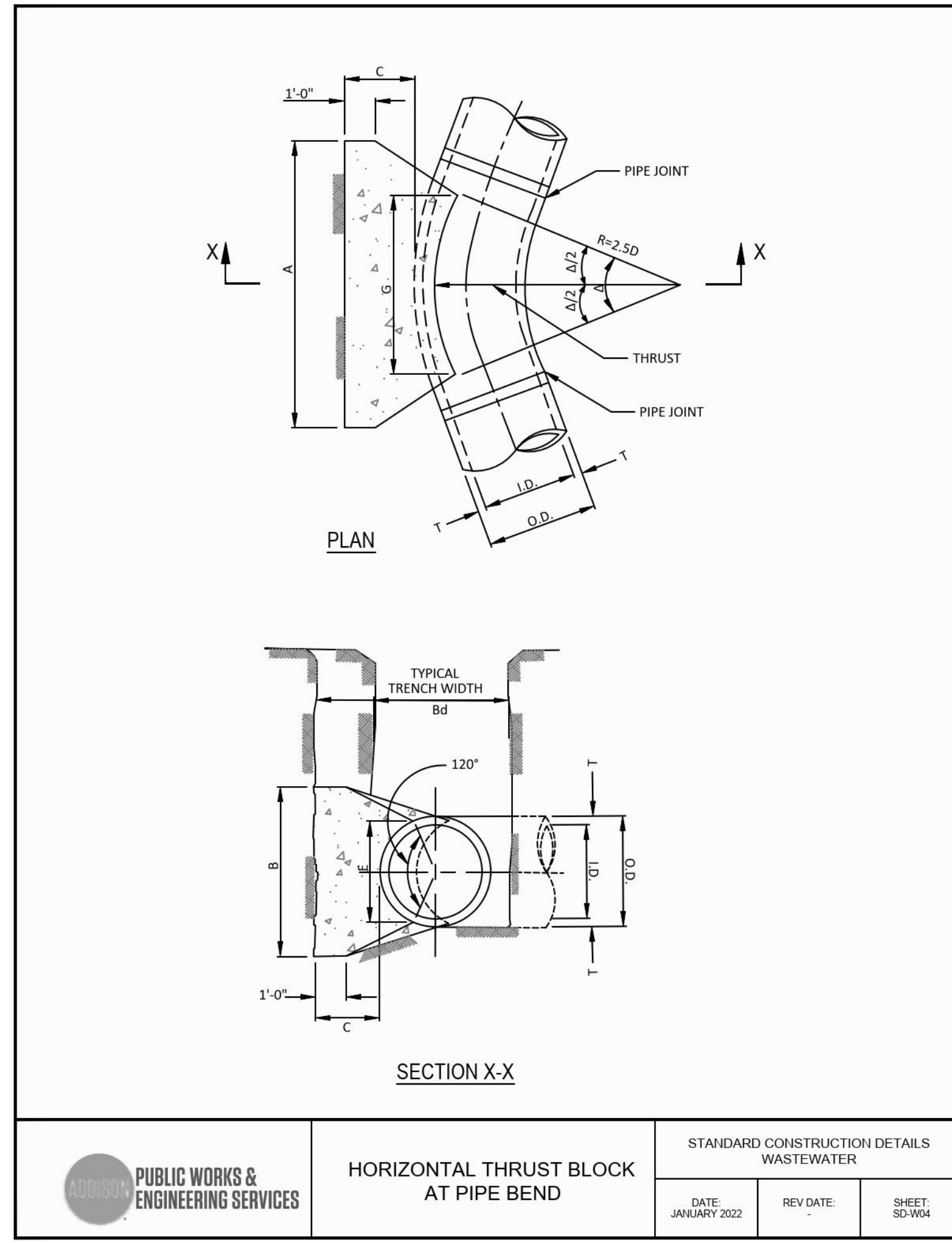
SHEET NUMBER

C-10.3

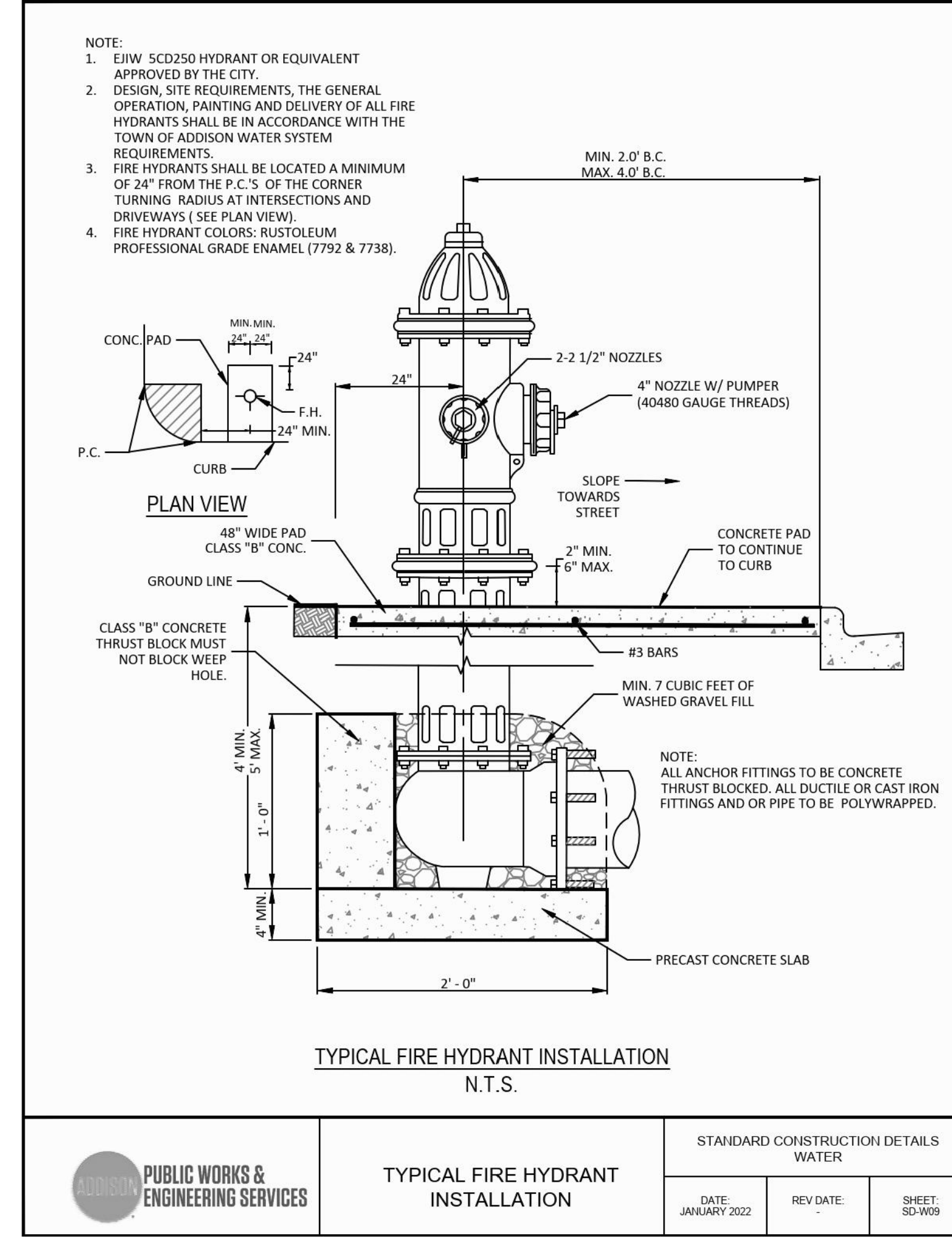
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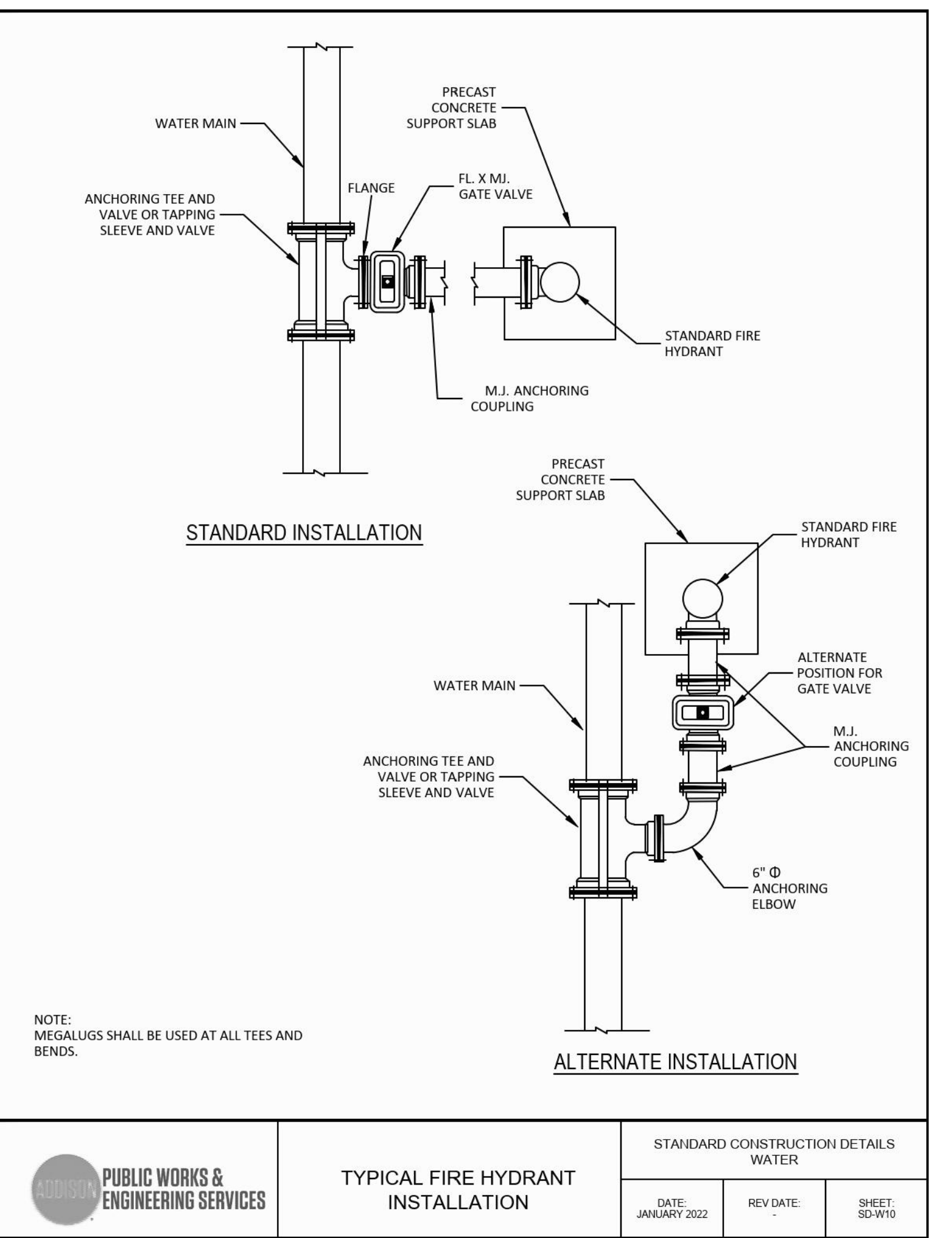
PUBLIC WORKS & ENGINEERING SERVICES	P.V.C. WATER MAIN EMBEDMENT	STANDARD CONSTRUCTION DETAILS WASTEWATER		
		DATE: JANUARY 2022	REV DATE:	SHEET: SD-W01



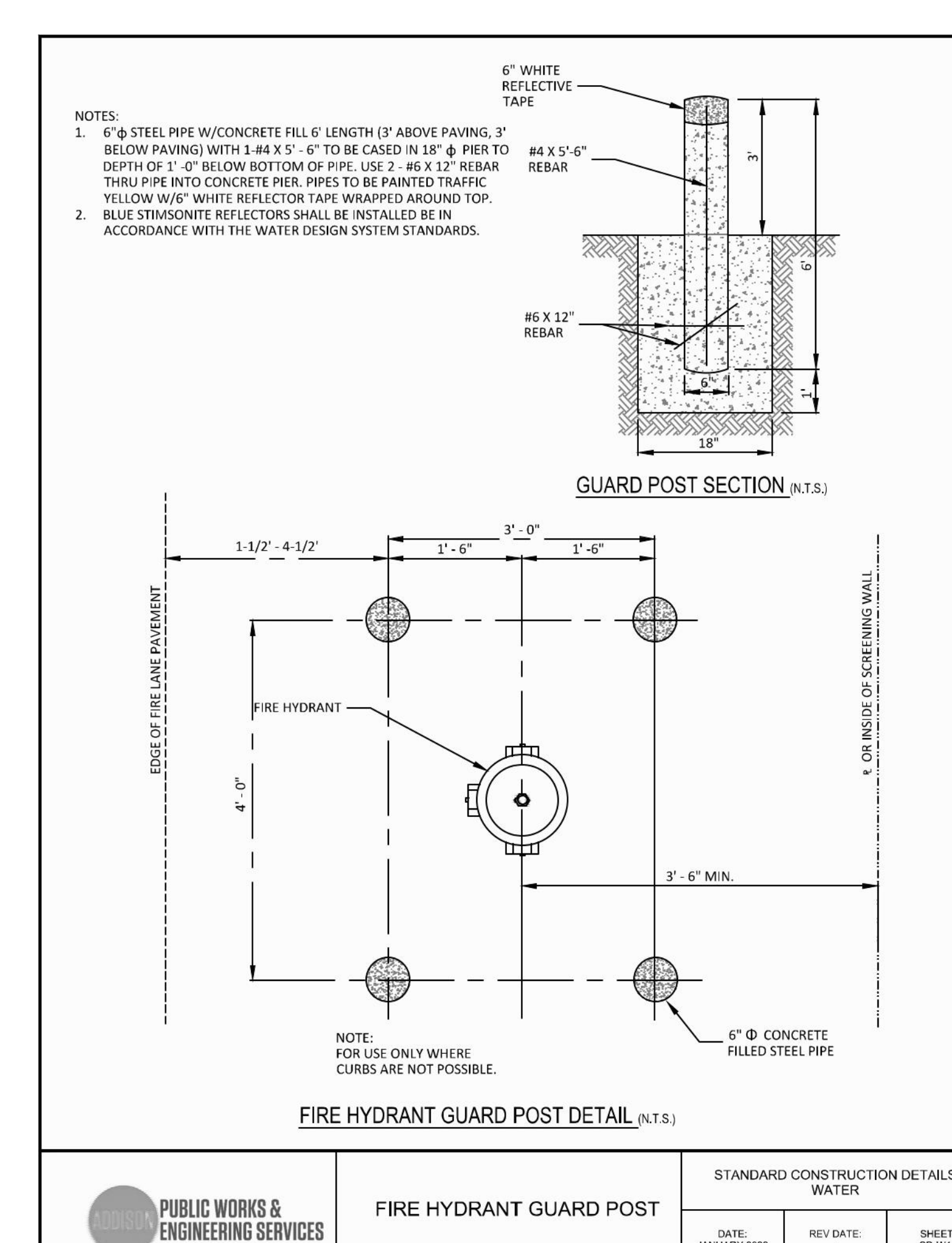
PUBLIC WORKS & ENGINEERING SERVICES	HORIZONTAL THRUST BLOCK AT PIPE BEND	STANDARD CONSTRUCTION DETAILS WASTEWATER		
		DATE: JANUARY 2022	REV DATE:	SHEET: SD-W04



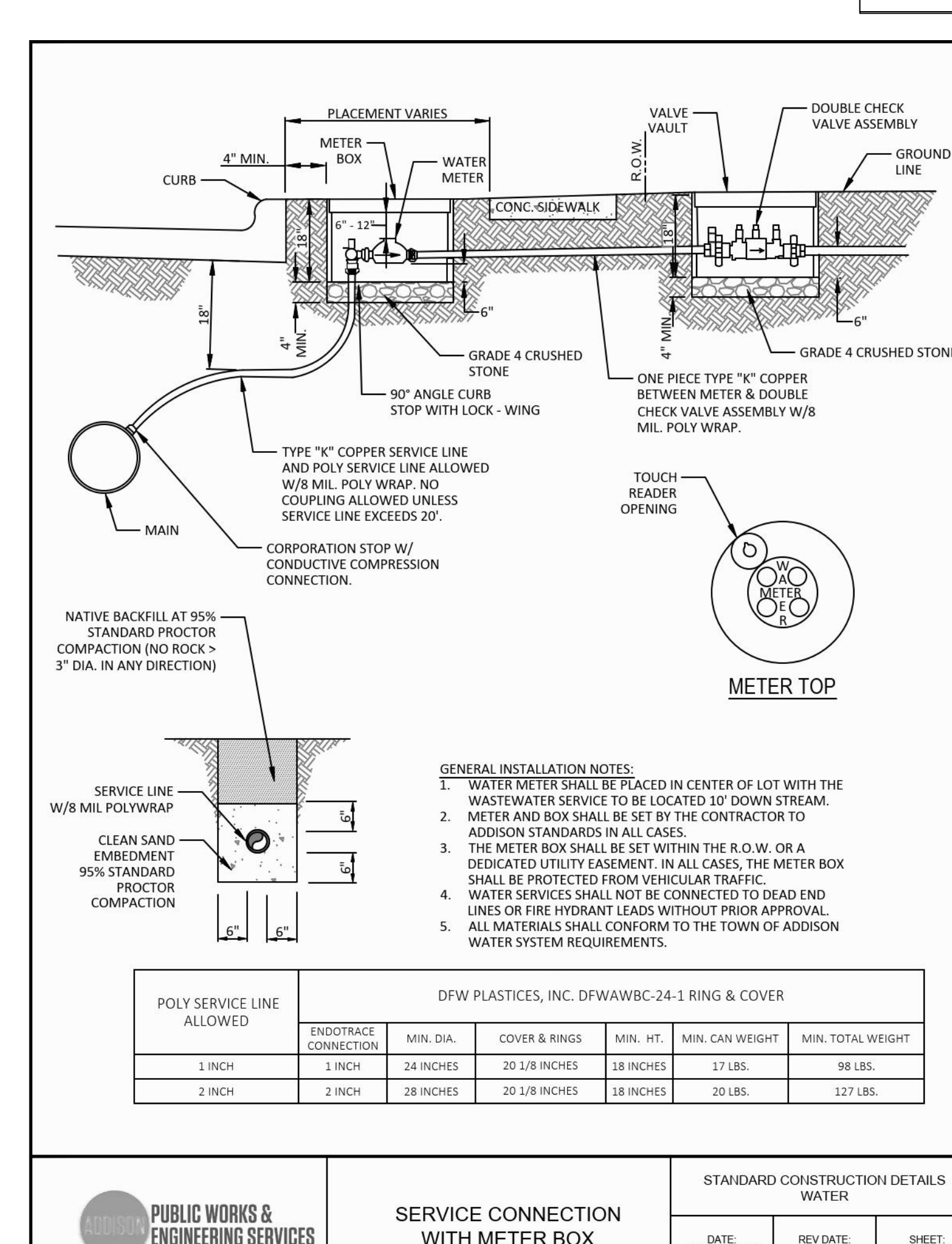
PUBLIC WORKS & ENGINEERING SERVICES	TYPICAL FIRE HYDRANT INSTALLATION	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: JANUARY 2022	REV DATE:	SHEET: SD-W09



PUBLIC WORKS & ENGINEERING SERVICES	TYPICAL FIRE HYDRANT INSTALLATION	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: JANUARY 2022	REV DATE:	SHEET: SD-W10

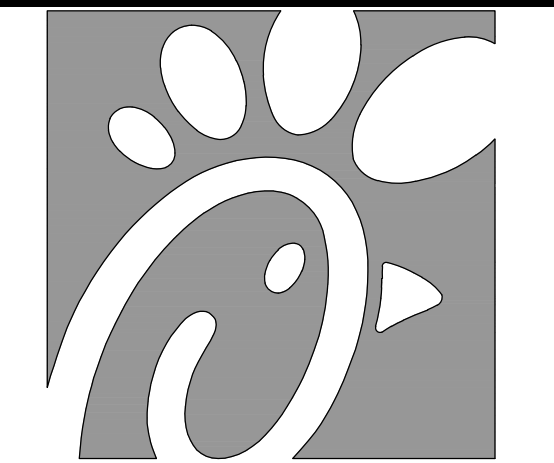


PUBLIC WORKS & ENGINEERING SERVICES	FIRE HYDRANT GUARD POST	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: JANUARY 2022	REV DATE:	SHEET: SD-W11



PUBLIC WORKS & ENGINEERING SERVICES	SERVICE CONNECTION WITH METER BOX	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: JANUARY 2022	REV DATE:	SHEET: SD-W12

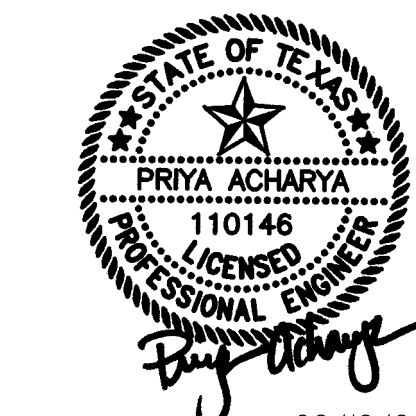
RECORD DRAWING  
October 30, 2024



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
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Texas Firm Registration No. F-2776 www.wierassociates.com



CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

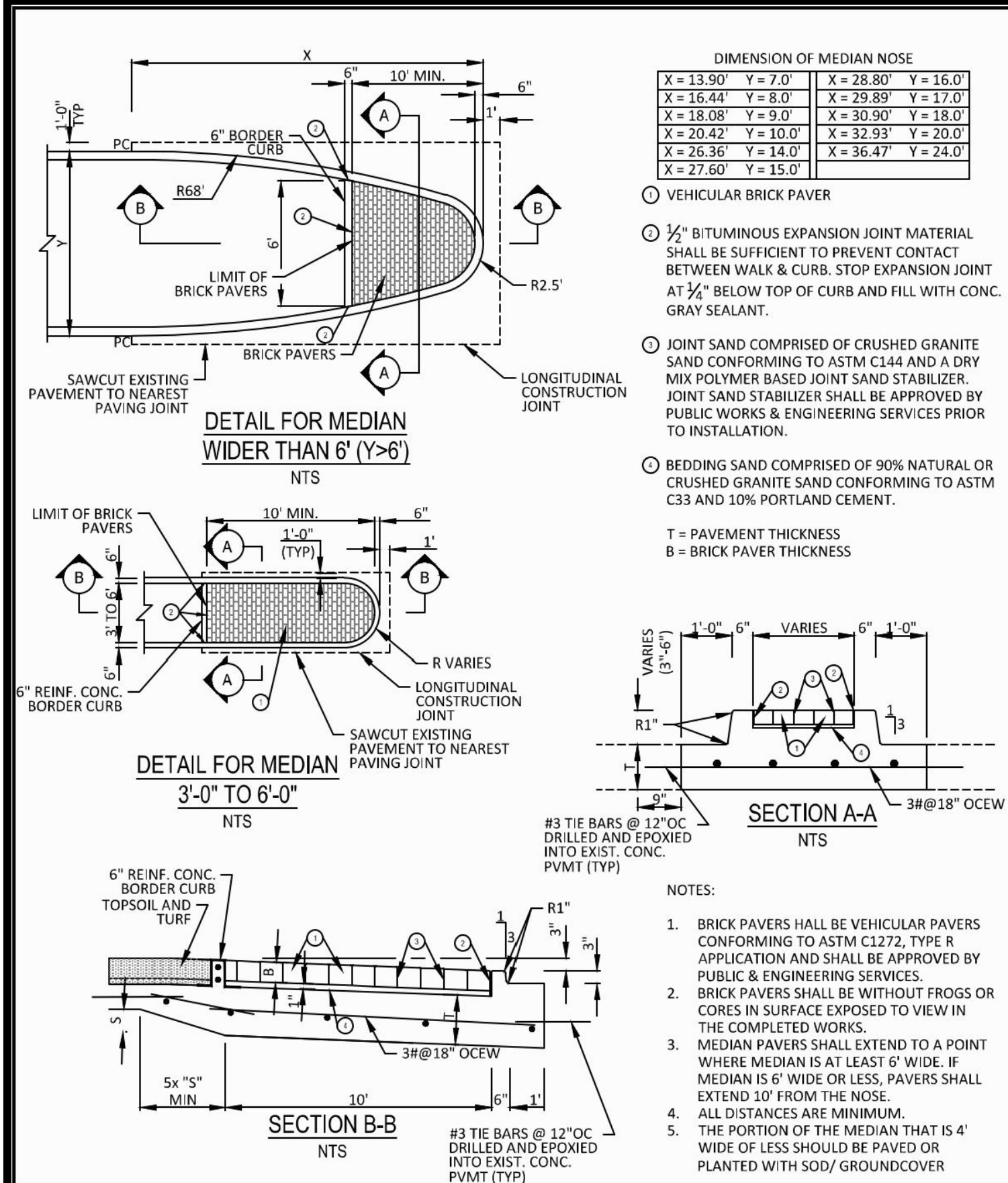
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BUILDING TYPE / P14-LS-BN SIZE:  
REVISION SCHEDULE  
NO. DATE DESCRIPTION

WA JOB NUMBER 23011  
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DATE 1/17/24  
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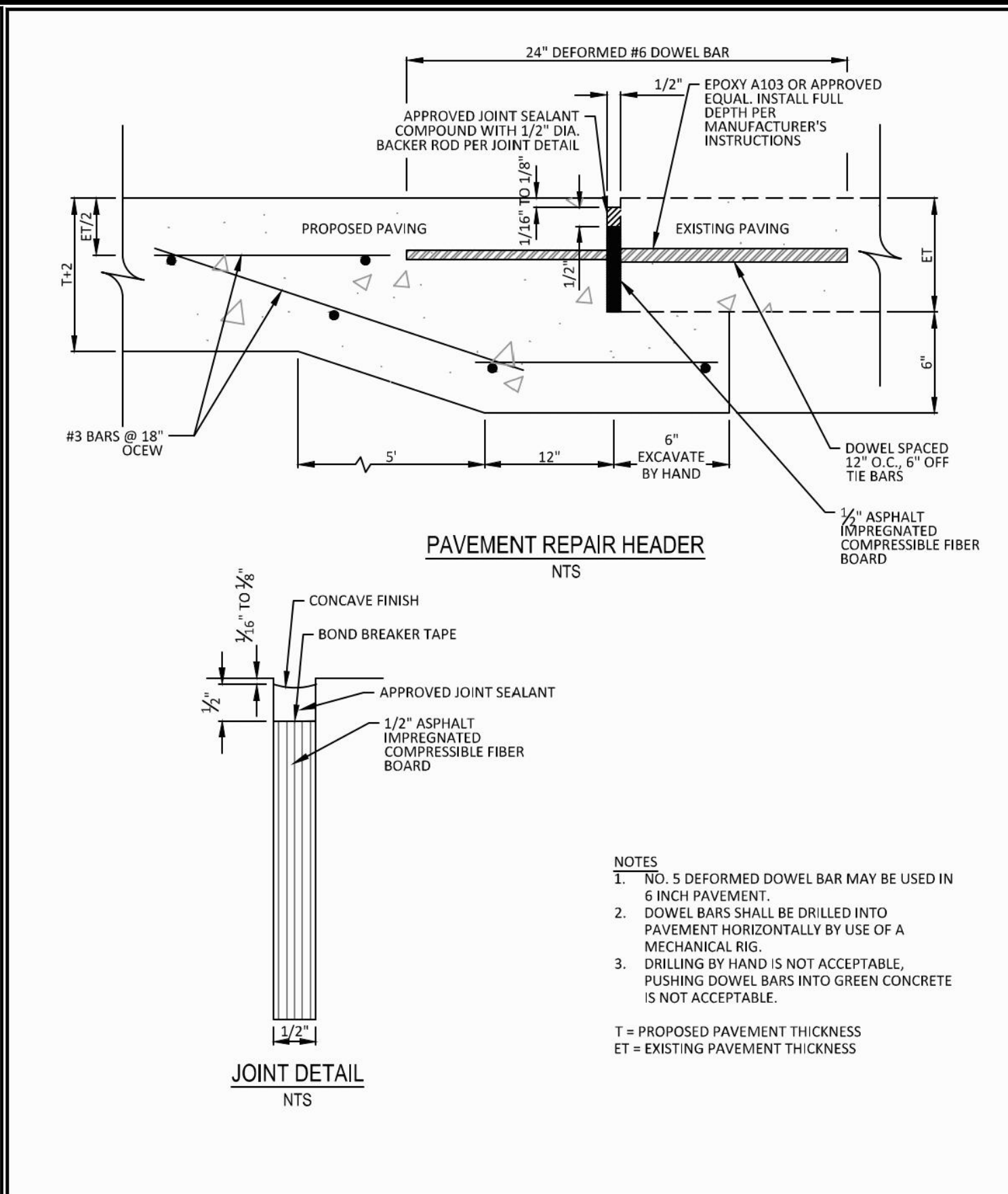
CITY STANDARD DETAILS  
SHEET NUMBER  
C-10.4



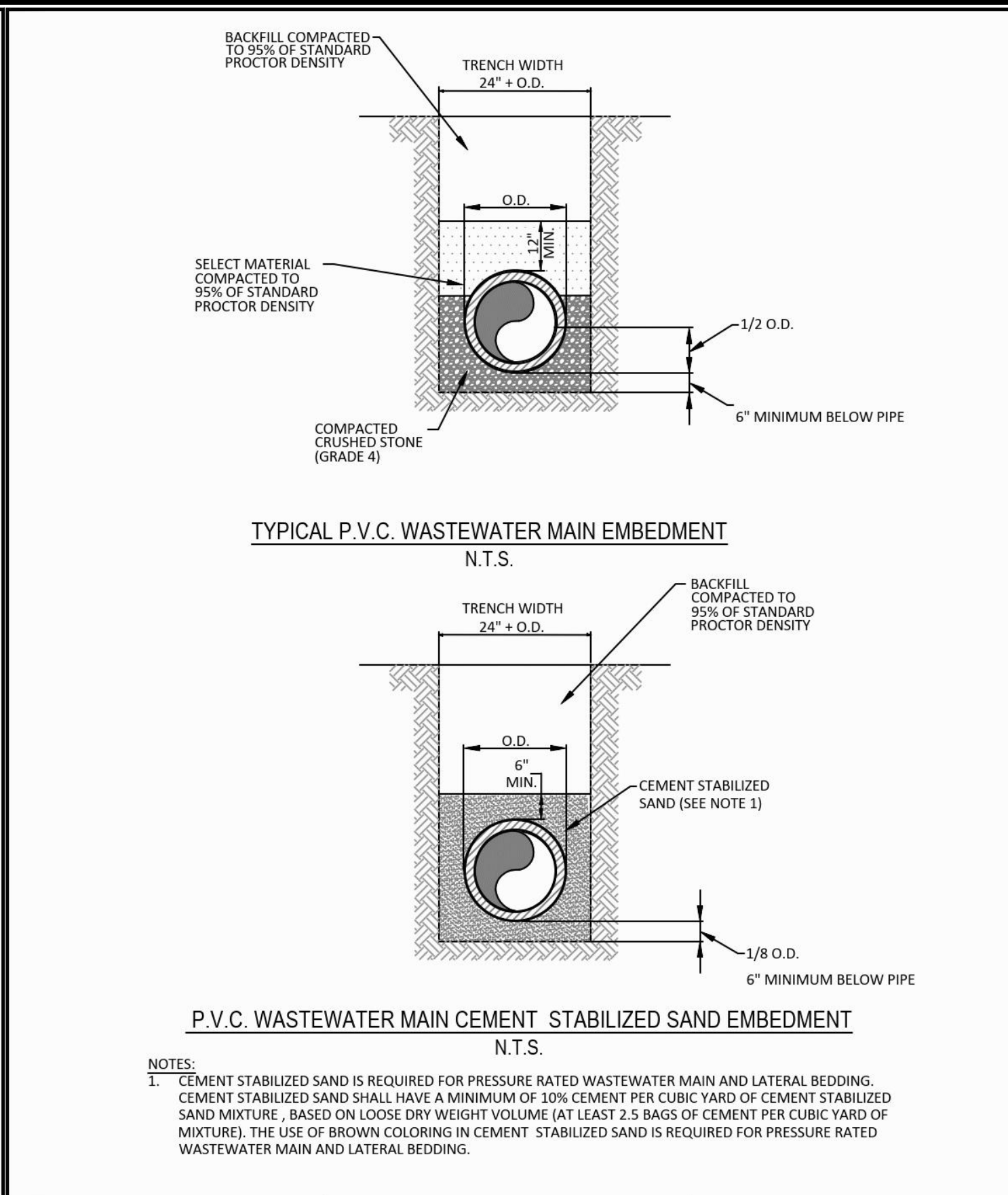
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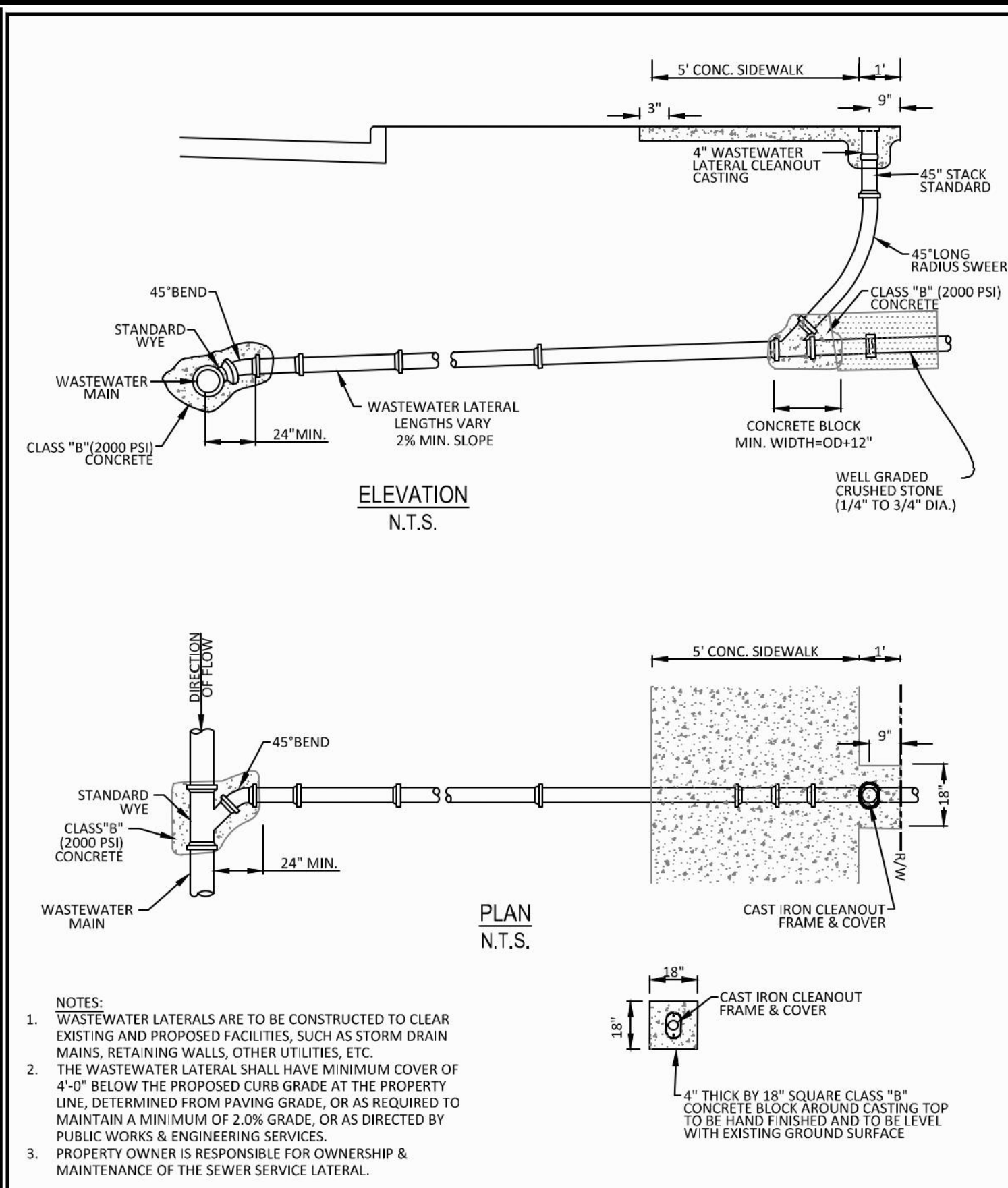
PUBLIC WORKS & ENGINEERING SERVICES			MEDIAN DETAILS			STANDARD CONSTRUCTION DETAILS PAVING		
DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:
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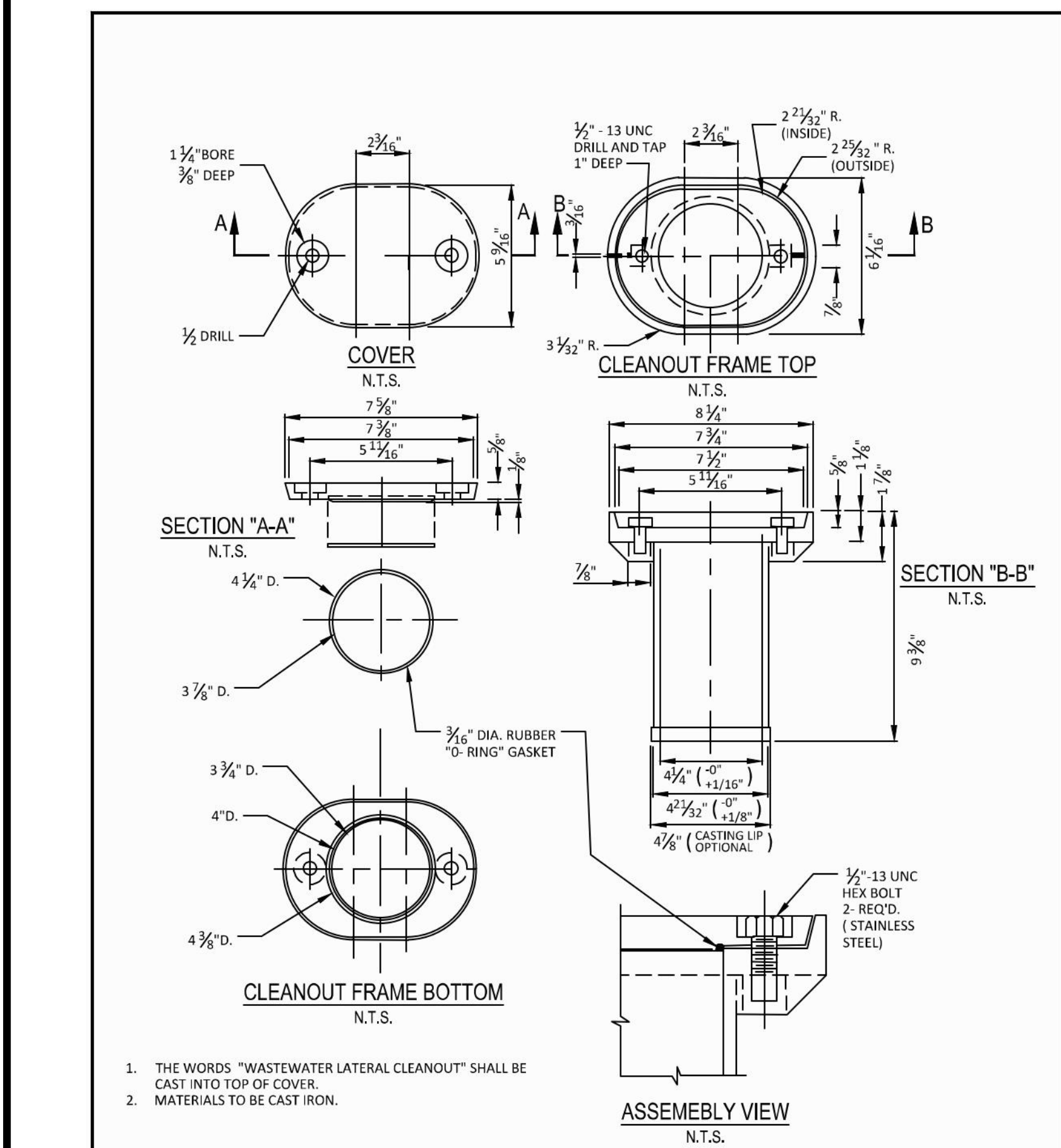
PUBLIC WORKS & ENGINEERING SERVICES			PAVEMENT REPAIR HEADER			STANDARD CONSTRUCTION DETAILS PAVING		
DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:
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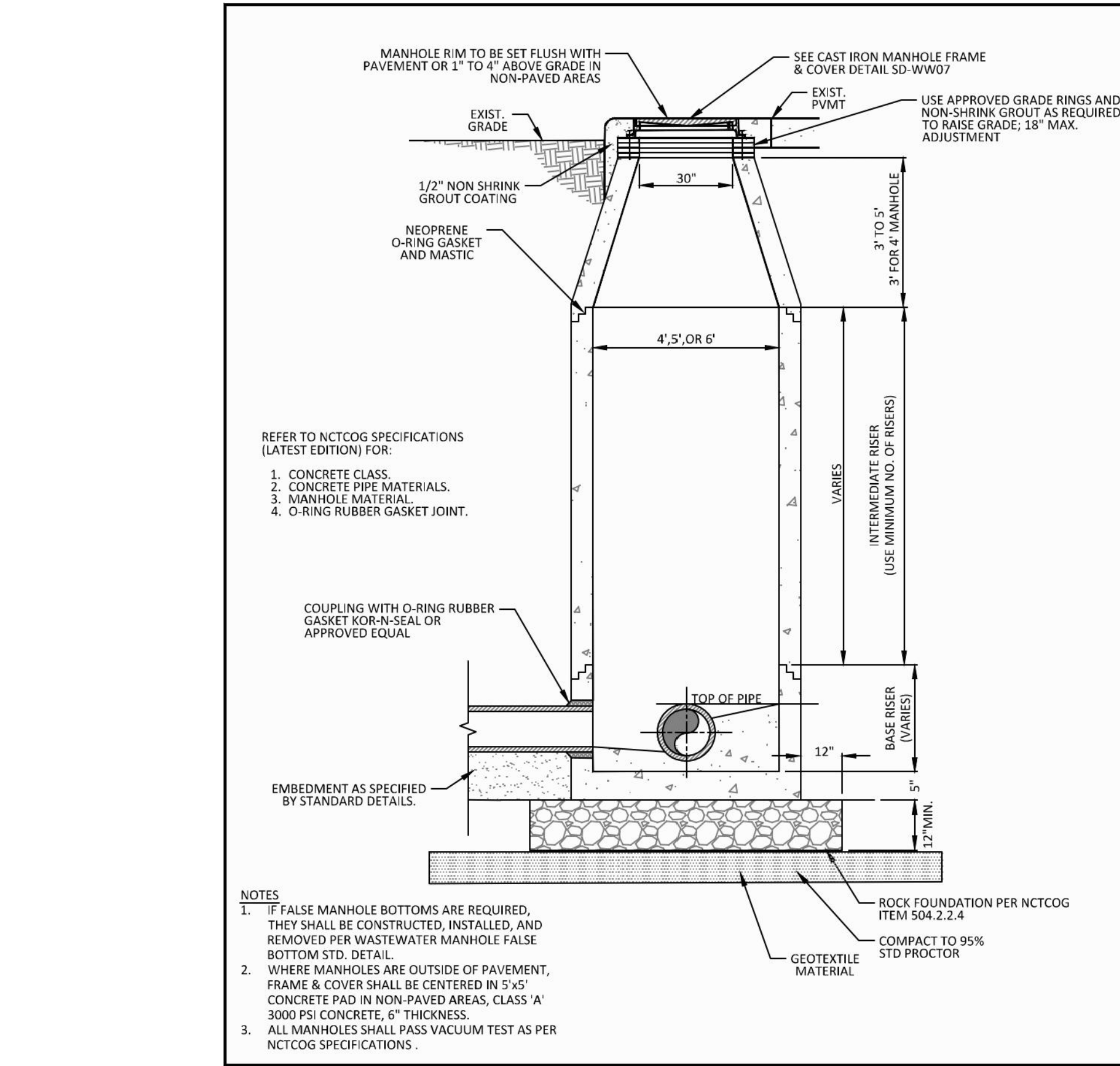
PUBLIC WORKS & ENGINEERING SERVICES			P.V.C. WASTEWATER MAIN EMBEDMENT			STANDARD CONSTRUCTION DETAILS WASTEWATER		
DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:
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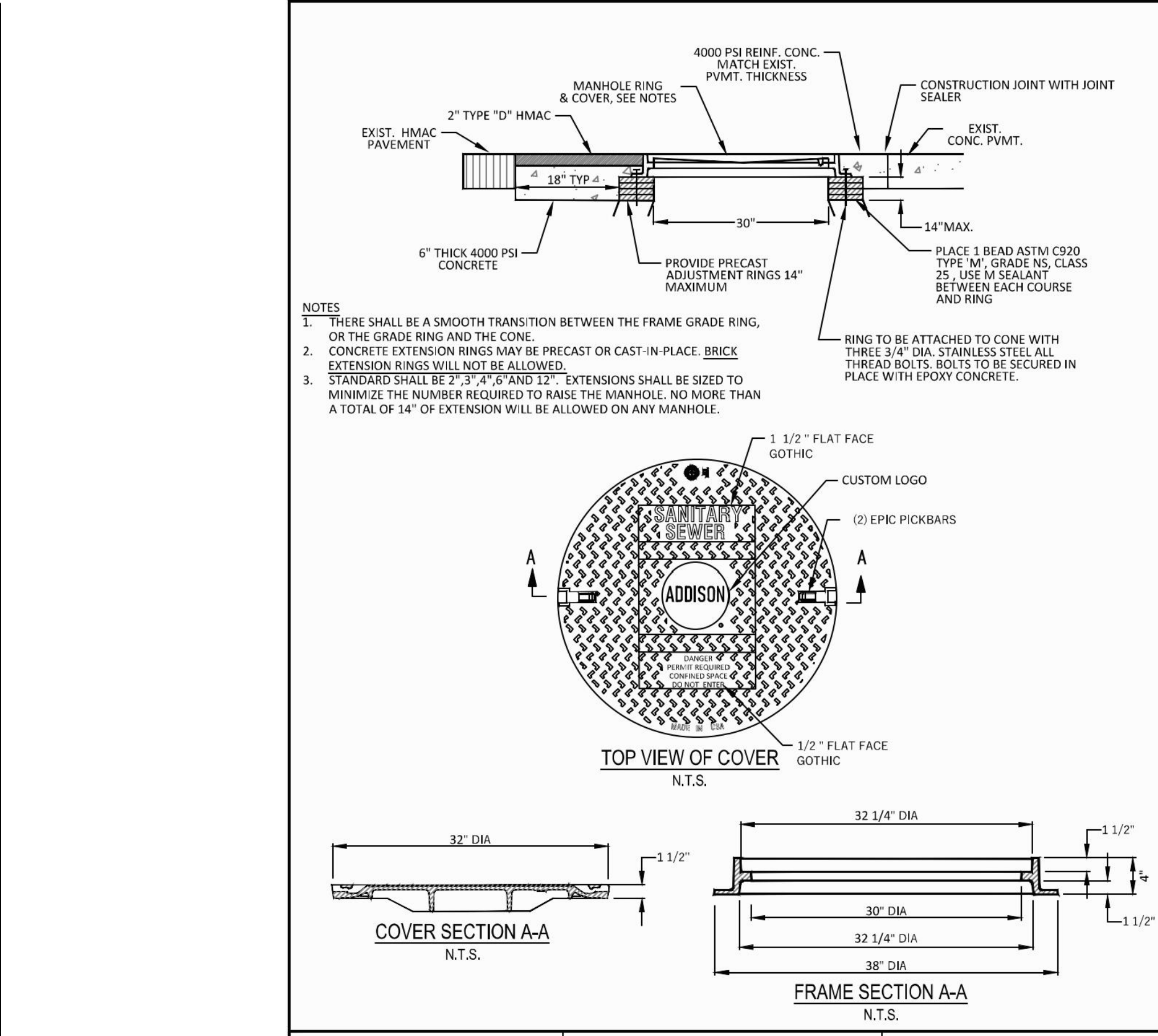
PUBLIC WORKS & ENGINEERING SERVICES			CLEANOUT NEW CONSTRUCTION			STANDARD CONSTRUCTION DETAILS WASTEWATER		
DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:
JANUARY 2022	-	SD-W02	JANUARY 2022	-	SD-W02	JANUARY 2022	-	SD-W02



PUBLIC WORKS & ENGINEERING SERVICES			CAST IRON CLEANOUT FRAME & COVER IN PAVEMENT APPLICATION			STANDARD CONSTRUCTION DETAILS WASTEWATER		
DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:
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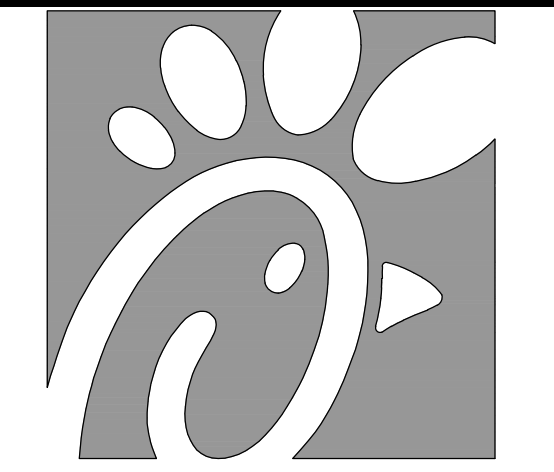


PUBLIC WORKS & ENGINEERING SERVICES			PRECAST CONCRETE PIPE MANHOLE			STANDARD CONSTRUCTION DETAILS WASTEWATER		
DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:
JANUARY 2022	-	SD-W04	JANUARY 2022	-	SD-W04	JANUARY 2022	-	SD-W04



PUBLIC WORKS & ENGINEERING SERVICES			CAST IRON MANHOLE FRAME & COVER			STANDARD CONSTRUCTION DETAILS WASTEWATER		
DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:	DATE:	REV. DATE:	SHEET:
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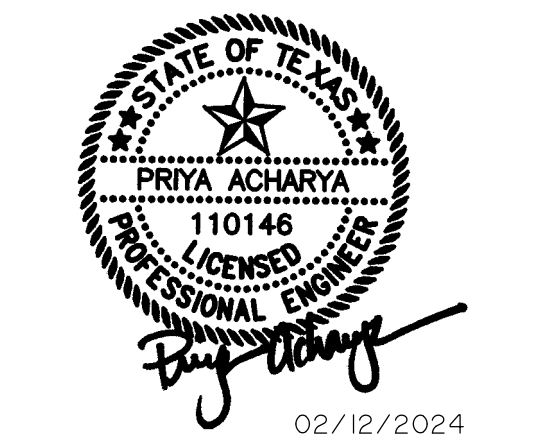
RECORD DRAWING  
October 30, 2024



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

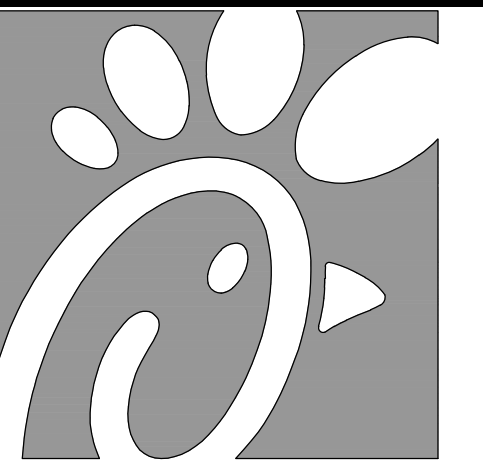
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**VIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAWR RD., SUITE 200E ARLINGTON, TEXAS 76010 (817)467-7700  
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Texas Firm Registration No. F-2776



CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521  
BUILDING TYPE / P14-LS-BN  
SIZE:  
REVISION SCHEDULE  
NO. DATE DESCRIPTION  
WA JOB NUMBER 23011  
PRINTED FOR IFP  
DATE 1/17/24  
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SHEET  
**CITY STANDARD DETAILS**  
SHEET NUMBER  
**C-10.5**

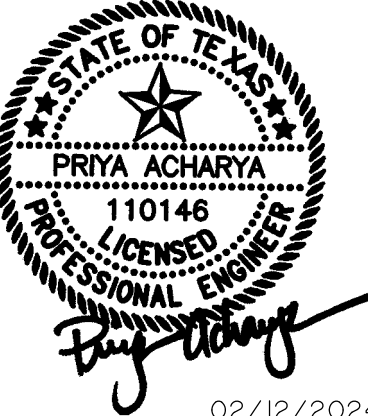




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02/12/2024

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SHEET

**CITY GENERAL NOTES**

SHEET NUMBER

C-10.7

**TOWN OF ADDISON - GENERAL CONSTRUCTION NOTES**

1 - GENERAL NOTES FOR ALL CONSTRUCTION ACTIVITIES

- 1.1. ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS. IF NOT EXPLICITLY SPECIFIED IN TOWN DOCUMENTS, NCTCOG OR THE APPROPRIATE GOVERNING BODY'S, STANDARDS AND DETAILS SHALL REGULATE CONSTRUCTION, TESTING, AND MATERIALS.
- 1.2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT PUBLIC WORKS & ENGINEERING SERVICES DEPARTMENT FOR A PERMIT TO WORK WITHIN TOWN ROW.
- 1.3. ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE TOWN, SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 21 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE TOWN.
- 1.4. CONTRACTOR SHALL NOTIFY THE TOWN AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 1.5. CONTRACTORS ARE ALLOWED TO MAKE CONNECTIONS TO THE TOWN WATER SYSTEM BY OPENING AN ACCOUNT THROUGH THE ADDISON FINANCE DEPARTMENT AND RENTING A FIRE HYDRANT METER. THE COMPANY OR INDIVIDUAL IS SOLELY RESPONSIBLE FOR THE COST, MAINTENANCE, PROPER USE, AND SECURITY OF THE RENTAL EQUIPMENT. THE COMPANY OR INDIVIDUAL IS ALSO RESPONSIBLE FOR THE COST OF THE WATER USED.
- 1.6. CONTRACTOR MUST KEEP AVAILABLE ONSITE, AT ALL TIMES, APPROVED CONSTRUCTION PLANS AND COPIES OF ANY/ALL REQUIRED PERMITS ALONG WITH THE APPROPRIATE VERSIONS OF THE FOLLOWING APPLICABLE REFERENCES:
  - 1.6.1. TOWN OF ADDISON ENGINEERING STANDARDS & DETAILS
  - 1.6.2. NCTCOG STANDARDS & SPECIFICATIONS
  - 1.6.3. TCEQ STANDARDS & SPECIFICATIONS
  - 1.6.4. TXDOT SPECIFICATIONS & STANDARD DRAWINGS, AS APPLICABLE.
- 1.7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- 1.8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE TOWN.
- 1.9. TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY SPECIFIED BY OR APPROVED BY THE TOWN. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS. COPIES OF TESTING REPORTS SHALL BE FURNISHED TO THE TOWN IMMEDIATELY UPON RECEIPT BY THE CONTRACTOR.
- 1.10. FOR PUBLIC PROJECTS, CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE AND WEEKLY PROGRESS REPORTS.
- 1.11. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF DIRT, MUD, AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.

- 1.12. THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR MAY BE REQUIRED EXPOSE THESE FACILITIES AT NO COST TO THE TOWN. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- 1.13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- 1.14. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND/OR THE TOWN, AS APPLICABLE.
- 1.15. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE TOWN. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE TOWN.
- 1.16. UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- 1.17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE TOWN'S RECORDS.

2 - GENERAL NOTES FOR PAVING SYSTEMS

- 2.1. ALL PAVING CONSTRUCTION, TESTING, AND MATERIALS, INCLUDING CONCRETE, REINFORCEMENT, JOINTING, AND SUBGRADE PREPARATION AND TREATMENT SHALL BE IN ACCORDANCE WITH THE TOWN'S CURRENT STANDARDS, DETAILS, AND CONSTRUCTION SPECIFICATIONS UNLESS OTHERWISE NOTES.
- 2.2. NO EARTHWORK, LIME APPLICATION, OR OTHER PREPARATION OF THE SUBGRADE FOR PAVING OF STREETS, ALLEYS, OR FIRE LANES SHALL BE INITIATED WITHOUT AUTHORIZATION FROM THE TOWN. THE TOWN WILL AUTHORIZE THE SUBGRADE ENGINEERING STANDARDS WORK IN PREPARATION FOR PAVING AFTER UTILITY TRENCH BACKFILL TESTING HAS BEEN COMPLETED AND VERIFIED TO MEET THE TOWN REQUIREMENTS.
- 2.3. SUBGRADE
  - 2.3.1. SHALL EXTEND 12" MIN. BEHIND THE BACK OF CURB.
  - 2.3.2. SUBGRADE UNDER ALL PAVEMENT SHALL BE 6" THICK AND SHALL BE STABILIZED HTH AT LEAST 30 LBS. PER SQ. YD. HYDRATED LIME, COMPACTED TO A DENSITY NOT LESS THAN 95 PERCENT.
  - 2.3.3. LABORATORY TESTS MUST BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR APPROVAL TO DETERMINE AMOUNT OF LIME REQUIRED. LABORATORY TEST MAY BE WAIVED PROVIDED AT LEAST 36 LBS. OF LIME PER SQ. YD. IS USED. SEE NCTCOG ITEM 301.2 "LIME TREATMENT".

- 2.3.4. FLEXIBLE BASE (CRUSHED STONE/CONCRETE) PER NCTCOG ITEM 301.5 MAY BE SUBSTITUTED FOR LIME TREATMENT WITH THE APPROVAL OF THE TOWN ENGINEER.
- 2.4. REINFORCING STEEL
  - 2.4.1. BAR LAPS SHALL BE THIRTY DIAMETERS.
  - 2.4.2. REINFORCING STEEL SHALL BE #3 REBAR (3/8") ON 18" CENTERS FOR 8" OR LESS PAVEMENT THICKNESS, #4 FOR 10" OR MORE PAVEMENT THICKNESS.
  - 2.4.3. REBAR SHALL BE SUPPORTED BY BAR CHAIRS OR OTHER DEVICES APPROVED BY TOWN ENGINEER.
  - 2.4.4. NO TRAFFIC ON FINISHED SUBGRADE SHALL BE PERMITTED AFTER REINFORCING STEEL IS INSTALLED ABOVE SUBGRADE. NO TRAFFIC SHALL BE PERMITTED BEFORE OR DURING THE PLACING OF CONCRETE.
- 2.5. CONCRETE PAVEMENT:
  - 2.5.1. ALL CONCRETE STRENGTH AND MIX DESIGN SHALL BE AS SHOWN IN LATEST EDITION OF NCTCOG SECTION 303.3
  - 2.5.2. CLASS P1 PAVEMENT : MACHINE FINISHED: A SLIP-FORM PAVING MACHINE SHALL BE USED FOR ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PUBLIC WORKS & ENGINEERING SERVICES. MIN. 4000 PSI 28-DAY COMPRESSIVE STRENGTH.
  - 2.5.3. CLASS P2 PAVEMENT : HAND FINISHED: HAND FINISHED PAVEMENT IS PERMITTED FOR TURN LANES, DECELERATION LANES, DRIVEWAY APPROACHES, OR PANEL REPLACEMENT OF PUBLIC STREETS OR ALLEYS. MIN. 4500 PSI 28-DAY COMPRESSIVE STRENGTH.
  - 2.5.4. MINIMUM PAVEMENT THICKNESS SHALL BE AS FOLLOWS:
    - 2.5.4.1. MAJOR ARTERIAL - 10" CLASS "P1" OR "P2"
    - 2.5.4.2. MINOR ARTERIAL - 8" CLASS "P1" OR "P2"
    - 2.5.4.3. COMMERCIAL/ INDUSTRIAL COLLECTOR - 8" CLASS "P1" OR "P2"
    - 2.5.4.4. RESIDENTIAL COLLECTOR - 8" CLASS "P1" OR "P2"
    - 2.5.4.5. RESIDENTIAL LOCAL - 8" CLASS "P1" OR "P2"
    - 2.5.4.6. SIDEWALK AND BFR'S - 4" - CLASS "A"
    - 2.5.4.7. DRIVE APPROACH 8" - CLASS "P2"
    - 2.5.4.8. ALLEY - 6" CLASS "P1" OR "P2"
  - 2.5.5. CONCRETE FOR ALLEY RETURNS AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS IDENTICAL TO THAT SPECIFIED FOR THE STREET PAVEMENT OR BASE WHEN BUILT AS COMPONENTS OF A CONCRETE PAVING PROJECTS. WHEN BUILT SEPARATELY, THE STRENGTH SHALL BE AS SPECIFIED ON THE CONSTRUCTION PLAN.
  - 2.5.6. SPACING AND CONSTRUCTION OF JOINTS SHALL CONFORM TO TOWN OF ADDISON STANDARD CONSTRUCTION DETAILS.
  - 2.5.7. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL PEDESTRIAN WORK MEETS OR EXCEEDS THE CURRENT AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE TEXAS ACCESSIBILITY STANDARDS (TAS), AND PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). THE CONTRACTOR SHALL REMOVE AND REPLACE ANY CONSTRUCTED OR INSTALLED ITEMS NOT MEETING THE CURRENT ADAAG, TAS, & PROWAG REQUIREMENTS AT NO ADDITIONAL COST TO THE TOWN.
  - 2.5.8. ALL MEDIANS AND PARKWAYS SHALL BE PROVIDED WITH GROUND COVER. TYPE OF GROUND COVER SHALL BE DETERMINED BY THE PARKS & RECREATION DEPARTMENT, OR SHALL BE RESTORED TO MATCH EXISTING PLANT MATERIALS IN EQUAL OR BETTER CONDITION. ALL TURF AREAS SHALL BE SOLID SOD, AND GROUND COVER SHALL BE MINIMUM ONE (1) GALLON PLANT MATERIAL.

3 - GENERAL NOTES FOR WATER AND WASTEWATER SYSTEMS

- 3.1. ALL WATER AND WASTEWATER CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MORE RESTRICTIVE OF THE CURRENT TCEQ REGULATIONS OR THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- 3.2. TRENCH SAFETY
  - 3.2.1. PRIVATE DEVELOPMENT: CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.
  - 3.2.2. PUBLIC PROJECTS : CONTRACTOR AND/OR DESIGN ENGINEER SHALL SUBMIT A TRENCH SAFETY PLAN AS PART OF THE CIVIL CONSTRUCTION DOCUMENTS PACKAGE.
- 3.3. CONTRACTOR SHALL NOT OPERATE ANY WATER VALVES THAT ARE PART OF THE ACTIVE TOWN OF ADDISON WATER SYSTEM. CONTACT THE TOWN'S PUBLIC WORKS & ENGINEERING SERVICES TO REQUEST VALVE CHANGES.
- 3.4. ANY EXISTING FIRE HYDRANT THAT IS TO BE MODIFIED AND HAS A DATE THAT EXCEEDS 8 YEARS IN AGE SHALL BE REPLACED AND THE OLD FIRE HYDRANT RETURNED TO THE PUBLIC WORKS & ENGINEERING SERVICES BY THE CONTRACTOR AT HIS EXPENSE.
- 3.5. ANY EXISTING MANHOLE WITH AN OPENING SMALLER THAN 30" DIAMETER THAT IS MODIFIED SHALL HAVE THE CONE SECTION, RING, AND COVER REPLACED WITH A MINIMUM OF 30" DIAMETER CONE SECTION, RING, AND COVER BY THE CONTRACTOR AT HIS EXPENSE.

4 - GENERAL NOTES FOR STORM DRAIN SYSTEMS

- 4.1. ALL STORM DRAIN CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF NCTCOG'S SPECIFICATIONS AND DETAILS, AND THE TOWN'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 4.2. TRENCH SAFETY
  - 4.2.1. PRIVATE DEVELOPMENT: CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.
  - 4.2.2. PUBLIC PROJECTS : CONTRACTOR AND/OR DESIGN ENGINEER SHALL SUBMIT A TRENCH SAFETY PLAN AS PART OF THE CIVIL CONSTRUCTION DOCUMENTS PACKAGE.
- 4.3. ALL CONCRETE DRAINAGE STRUCTURES SHALL BE MINIMUM CLASS C CONCRETE.
- 4.4. ALL CRUSHED STONE SHALL BE ¾", PASSING #4 SIEVE (GRADE 4).
- 4.5. ALL FIELD JOINTS WILL BE APPROVED BY THE TOWN ENGINEER IF NECESSARY. FIELD JOINTS SHALL BE WIPED ON THE INSIDE AND OUTSIDE AND PROVIDE FOR SMOOTH FLOW OF WATER.
- 4.6. RAMNECK COMPOUND OR APPROVED EQUAL SHALL BE USED FOR JOINT SEALS.

- 4.7. CLEANING & INSPECTION
  - 4.7.1. ALL STORM SEWER PIPE SHALL BE CAMERA INSPECTED AFTER THE INSTALLATION OF ALL PAVING AND UTILITIES AND PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
  - 4.7.2. CONTRACTOR SHOULD INSPECT ALL STORM DRAIN OUTFALLS NO EARLIER THAN ONE WEEK PRIOR TO FINAL INSPECTION AND REMOVE ALL SILT AND DEBRIS.

5 - GENERAL NOTES FOR EROSION CONTROL

- 5.1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS & CONDITIONS OF THE TCEQ TPDES GENERAL PERMIT NO. 150000.
  - 5.1.1. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON THE SITE AT ALL TIMES BY EACH OPERATOR. A COPY OF THE NOI MUST BE PROVIDED TO THE PUBLIC WORKS & ENGINEERING SERVICES PRIOR TO START OF CONSTRUCTION.
  - 5.1.2. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR, EPA, AND TCEQ.
  - 5.1.3. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, THAT OPERATOR OR CONTRACTOR IN VIOLATION SHALL BE NOTIFIED AS WELL AS THE FACILITY OPERATOR.
- 5.2. EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO ANY SOIL DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE TOWN.
  - 5.2.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY , THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS, AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
    - 5.2.1.1. QUALIFIED OPERATOR PERSONNEL MUST INSPECT THE SITE WEEKLY, AND WITHIN 24 HRS (BEFORE AND AFTER) A STORM EVEN OF 0.5 INCHES OR GREATER.
    - 5.2.1.2. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES THREE INCHES (3") OF 25% OF THE HEIGHT OF THE DEVICE (WHICHEVER IS LESS). THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER SO AS NOT TO CONTRIBUTE TO ADDITIONAL SILTATION.
  - 5.2.2. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR TOWN.
  - 5.2.3. MODIFICATIONS TO THE SWPPP SHALL BE IMPLEMENTED AND IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD. ANY MAJOR MODIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER AND PUBLIC WORKS & ENGINEERING SERVICES PRIOR TO IMPLEMENTATION.
- 5.3. CONSTRUCTION ENTRANCES AND WASHOUTS
  - 5.3.1. ASPHALT BAGS SHALL BE PLACED AT CONSTRUCTION ENTRANCES TO PREVENT CURB DAMAGE.
  - 5.3.2. GEOTEXTILE FABRIC SHALL BE PLACED ON SUBGRADE PRIOR TO STONE PLACEMENT FOR CONSTRUCTION ENTRANCES.
  - 5.3.3. NO EQUIPMENT SHALL BE CLEANED ON-SITE, OR OTHER LIQUIDS DEPOSITED AND ALLOWED TO FLOW OVERLAND OR SUBTERRANEAN WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF TREES THAT REMAIN ON SITE. THIS INCLUDES PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, CONCRETE EQUIPMENT WASH WATER, MORTAR OF SIMILAR MATERIALS.
- 5.4. WASTE DISPOSAL
  - 5.4.1. CONTRACTOR SHALL PROVIDE WASTE DISPOSAL CONTAINERS ON THE SITE FOR DISPOSAL OF ALL NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS. THE CONTAINERS SHALL BE HAULED TO THE APPROPRIATE DISPOSAL LOCATION BY THE CONTRACTOR.
  - 5.4.2. ALL HAZARDOUS MATERIALS SHALL BE HANDLED AND DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 5.5. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING, AND GENERAL CLEANUP, THE CONTRACTOR SHALL ESTABLISH GRASS GROUND COVER IN ALL STREET PARKWAYS, LOTS, AND ALL OTHER DISTURBED AREAS. SODDING SHALL BE DONE AS SPECIFIED BY THE MORE RESTRICTIVE OF CURRENT NCTCOG OR TOWN STANDARDS.
- 5.6. SILT FENCE NOTES.
  - 5.6.1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POST MUST BE EMBEDDED A MINIMUM OF 18". STEEL POSTS SHALL NOT BE USED TO INSTALL EROSION CONTROL MEASURES WITHIN TOWN ROW.
    - 5.6.2.1. THE TRENCH MUST BE A MINIMUM OF SIX INCHES (6") DEEP AND SIX INCHES (6") WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
    - 5.6.2.2. WHERE THE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON THE UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
  - 5.6.3. WIRE REINFORCEMENT SHALL BE USED ON ALL SILT FENCE USED FOR EROSION CONTROL. SILT FENCE SHALL BE SECURELY FASTENED TO EACH SUPPORT POST. THERE SHALL BE A SIX INCH (6") DOUBLE OVERLAP, SECURELY FASTENED, WHERE ENDS OF FABRIC MEET.
  - 5.6.4. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

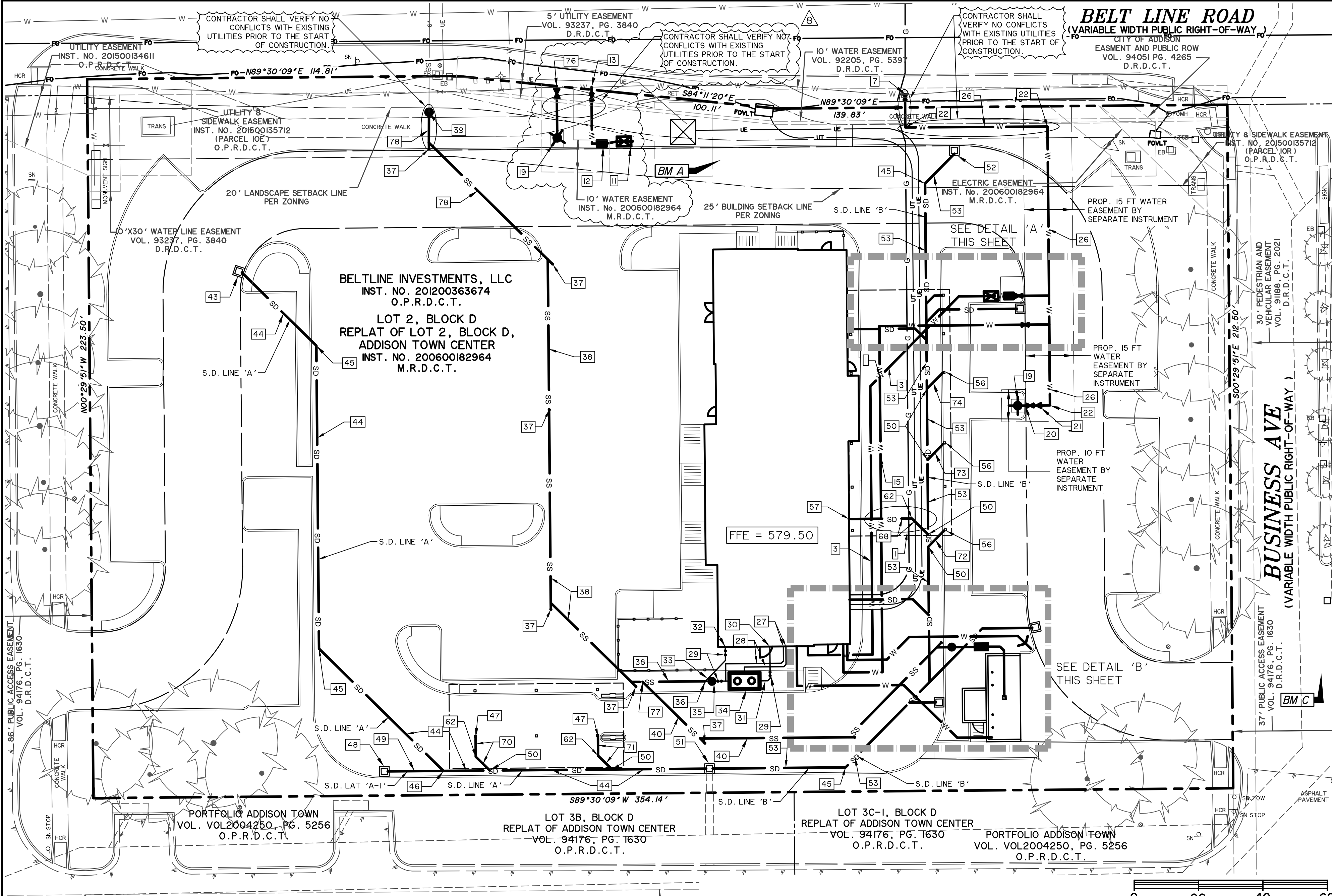
5 - GENERAL NOTES FOR EROSION CONTROL

- 8.1. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- 8.2. CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE PUBLIC WORKS & ENGINEERING SERVICES A MINIMUM OF 72 HOURS IN ADVANCE OF THE REQUESTED CLOSURE. CLOSURES WILL NOT BE ALLOWED PRIOR TO 9:00 A.M. OR AFTER 3:30 P.M., MONDAY THROUGH FRIDAY UNLESS OTHERWISE APPROVED BY THE TOWN.

RECORD DRAWING  
October 30, 2024

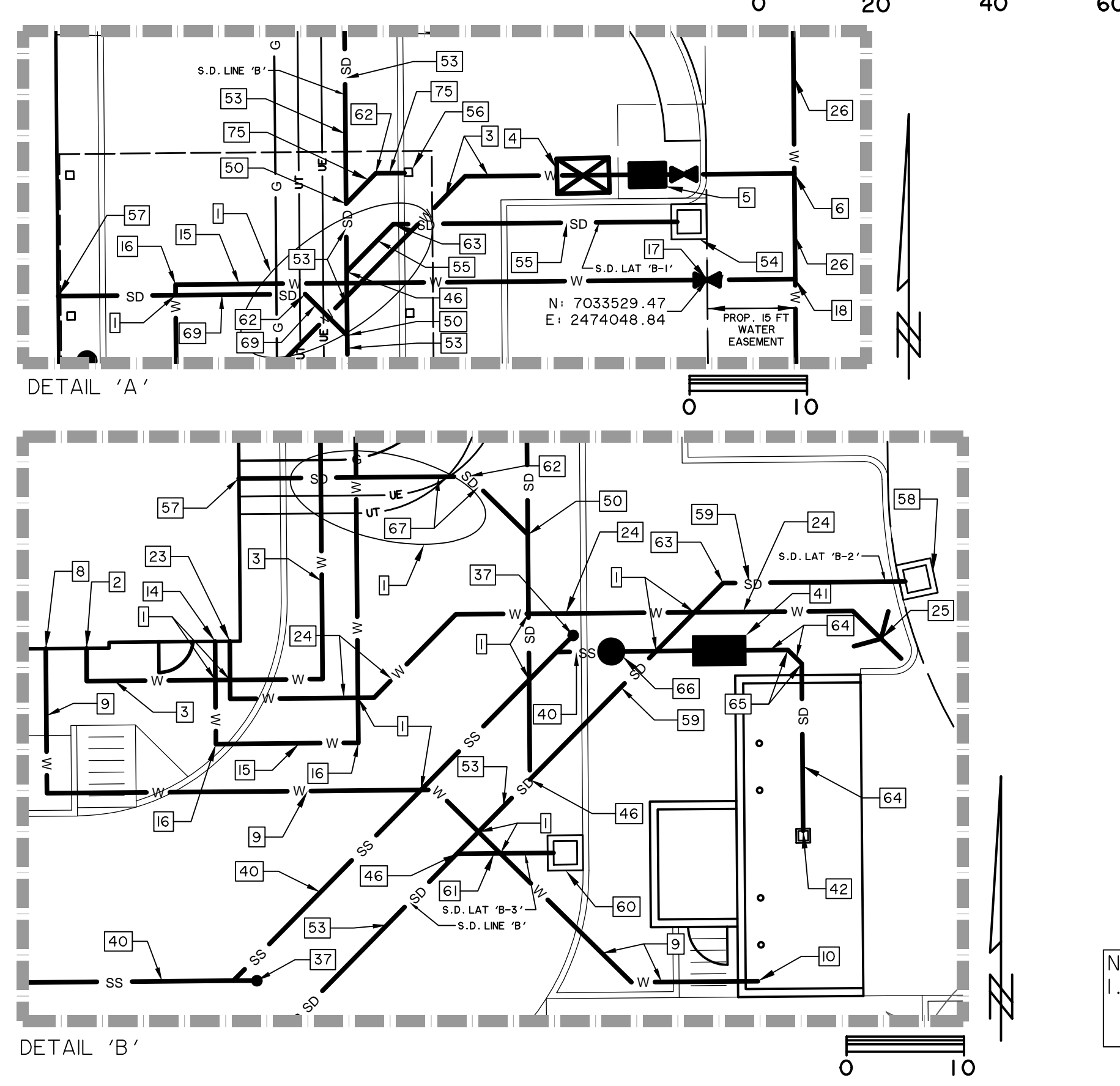
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PRINTED: 8/22/2024 12:59 PM. LAST SAVED: 8/22/2024 12:59 PM. FILE: WIER-WATER & SEWER.STB. STB FILE: WIER-WATER & SEWER.STB. DRAWN BY: HAF. SHEET: DRN & UTILITY PLAN. PS-1. PROJECT: BELT LINE ROAD (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY).



- ### WATER LINE GENERAL NOTES
- ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
  - ALL 6" OR 8" WATER MAINS SHALL BE PVC AWWA C900, DR 18, CLASS 150 WATER PIPE. FOR PVC SERVICE TAPS 1" AND LARGER, TAPPING SADDLES SHALL BE USED.
  - ALL PIPES 3" AND SMALLER SHALL BE TYPE 'K' COPPER. FITTINGS SHALL BE COPPER OR CAST BRONZE.
  - POTABLE WATER PIPE BELOW PAVEMENT SHALL BE SLEEVED FOR ITS ENTIRE LENGTH WITH POLY SLEEVE AS MADE BY IPS WATER-TITLE OR SIMILAR.
  - DEPTHS OF WATER LINES TO MEET CITY DESIGN CRITERIA. UTILITIES IN TxDOT R.O.W. TO MEET CRITERIA APPROVED IN TxDOT PERMIT.
  - FIRE HYDRANTS TO BE CITY APPROVED.
  - VALVES TO BE CITY APPROVED.
  - THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY. THE MAINTENANCE BOND WILL NEED TO BE ON THE CITY'S STANDARD FORM.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 'RECORD DRAWING' PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
  - FIRE HYDRANTS SHALL BE PAINTED AS PER CITY STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
  - STREAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATION FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
  - ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER CITY STANDARDS AND SPECIFICATIONS.
  - ALL WATER LINES SHALL BE STERILIZED PER CITY STANDARDS AND SPECIFICATIONS.
  - ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURBS OR BOLLARDS.
  - THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
  - UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER CITY SPECIFICATIONS.
  - ANCHOR FITTING SHALL BE USED TO ATTACH FIRE HYDRANTS.
  - ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
  - CONTRACTOR SHALL ADJUST LOCATION OF PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH STORM SEWER OR OTHER UTILITIES, COLUMNS, SIGNAGE AND MISCELLANEOUS SITE FEATURES.
  - ALL PRIVATE PLUMBING SHALL BE INSTALLED PER THE JURISDICTION'S ADOPTED PLUMBING CODE.
  - CONTRACTOR TO INCLUDE ALL CITY WATER AND SEWER FEES IN BID. PAY CITY IMPACT FEES FOR WATER & S.S.
- ### WASTE WATER GENERAL NOTES
- ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
  - THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
  - CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER, OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
  - CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
  - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
  - SANITARY SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
    - Polyvinyl Chloride (PVC) ASTM D 3034 SDR 26 Diameter 4" - 15"
    - CLASS III RCP UNLESS OTHERWISE NOTED Diameter 12" - 60"
    - SDR 26 PVC Diameter 6" - 15"
    - HDPE Diameter 6" - 36"
  - ANY PIPE LOCATED WITHIN THE RIGHT-OF-WAY OR IN AN EASEMENT WILL BE RCP PIPE UNLESS OTHERWISE NOTED.
  - ALL STORM PIPES ARE PRIVATE EXCEPT THOSE SHOWN IN CITY & STATE R.O.W.
  - ALL RCP PIPE INSTALLATION SHALL CONFORM TO THE AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION MANUAL.
  - ALL HDPE PIPE INSTALLATION AND BEDDING SHALL CONFORM TO PIPE MANUFACTURER'S RECOMMENDATION.
  - ALL PIPE BENDS AND FITTINGS SHALL BE PREFABRICATED. COLLAR CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS.
- ### DRAINAGE GENERAL NOTES
- ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
  - THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
  - CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER, OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
  - CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
  - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
  - THE CONTRACTOR SHALL SET UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACING OF PERMANENT PAVEMENT.
  - ALL STORM SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
    - CLASS III RCP UNLESS OTHERWISE NOTED Diameter 12" - 60"
    - SDR 26 PVC Diameter 6" - 15"
    - HDPE Diameter 6" - 36"
  - ANY PIPE LOCATED WITHIN THE RIGHT-OF-WAY OR IN AN EASEMENT WILL BE RCP PIPE UNLESS OTHERWISE NOTED.
  - ALL STORM PIPES ARE PRIVATE EXCEPT THOSE SHOWN IN CITY & STATE R.O.W.
  - ALL RCP PIPE INSTALLATION SHALL CONFORM TO THE AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION MANUAL.
  - ALL HDPE PIPE INSTALLATION AND BEDDING SHALL CONFORM TO PIPE MANUFACTURER'S RECOMMENDATION.
  - ALL PIPE BENDS AND FITTINGS SHALL BE PREFABRICATED. COLLAR CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS.
- ### LEGEND
- PROPOSED 12" OR SMALLER WATER MAIN
  - PROPOSED GATE VALVE
  - PROPOSED REDUCER
  - PROPOSED WATER METER
  - PROPOSED FIRE HYDRANT
  - PROPOSED 12" OR SMALLER SANITARY SEWER
  - PROPOSED SANITARY SEWER MANHOLE
  - PROPOSED SANITARY SEWER CLEANOUT
  - PROPOSED STORM SEWER
  - PROPOSED GRATE INLET
  - PROPOSED STORM SEWER MANHOLE
- ### CAUTION !!
- EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.
- ### UTILITY CONTACTS
- | UTILITY            | UTILITY COMPANY | CONTACT         | PHONE        |
|--------------------|-----------------|-----------------|--------------|
| ELECTRIC           | ONCOR           | BROGAN HALLORAN | 469-315-3620 |
| WATER & WASTEWATER | PUBLIC WORKS    | PHILLIP WILLIS  | 972-450-2847 |
| TELEPHONE/CABLE    | SPECTRUM        | RAHSAAN PERRY   | 315-362-0900 |
| GAS                | ATMOS ENERGY    | CARLOS SALDIVAR | 945-275-1335 |

- ### LAYOUT NOTES
- MAINTAIN MIN. 2" VERTICAL SEPARATION AT ALL CROSSINGS.
  - END 2" DOMESTIC WATER LINE WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
  - 2" DOMESTIC WATER SERVICE LINE
  - PROP. 2" BACKFLOW PREVENTER
  - PROP. 1.5" DOMESTIC WATER METER
  - INSTALL 8"x2" TEE WITH 2" VALVE
  - CONNECT TO EXISTING 8" WATER MAIN. INSTALL 1-8"x8" CUT IN TEE WITH 1-8" VALVE
  - END 3/4" CW LINE WITHIN 5' OF BUILDING. SEE MEP PLAN FOR CONTINUATION.
  - END 3/4" CW LINE WITHIN 5' OF BUILDING. SEE MEP PLAN FOR CONTINUATION.
  - DUMPSTER POST HYDRANT
  - PROP. 1" BACKFLOW PREVENTER (REFER TO IRRIGATION PLANS)
  - PROP. 1" IRRIGATION WATER METER
  - CONNECT TO EXIST. 8" WATER MAIN. INSTALL 1-8"x1" TAPPING SLEEVE AND VALVE
  - END 6" FIRE SERVICE LINE WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
  - 6" FIRE SERVICE LINE
  - 6" 90° BEND
  - 6" WATER VALVE
  - INSTALL 8"x6" TEE
  - PROP. FIRE HYDRANT PER DETAIL ON SHEET C-10.4
  - INSTALL 6" WATER VALVE
  - INSTALL 8"x6" REDUCER
  - INSTALL 8" 90° BEND
  - END REMOTE FDC LINE WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
  - REMOTE FDC LINE (FIRE SPRINKLER CONTRACTOR TO DETERMINE SIZE)
  - REMOTE FDC LOCATION. COORDINATE WITH MEP PLANS FOR SIZING & DESIGN
  - 6" PUBLIC WATER LINE
  - END 3" VENT LINE WITHIN 5' OF BUILDING. REFER TO MEP PLAN FOR CONTINUATION. FL=575.50
  - 3" VENT LINE @ 2.08% MINIMUM
  - INSTALL DOUBLE SSCO
  - END 4" KITCHEN WASTE LINE WITHIN 5' OF BUILDING. REFER TO MEP PLAN FOR CONTINUATION. FL=575.50
  - 4" KITCHEN WASTE LINE @ 2.08% MINIMUM
  - END 4" RESTROOM WASTE LINE WITHIN 5' OF BUILDING. REFER TO MEP PLAN FOR CONTINUATION. FL=575.50
  - 4" RESTROOM WASTE LINE @ 2.08% MINIMUM
  - INSTALL PRECAST 1,500 GAL. CAPACITY GREASE TRAP. SEE MEP PLAN FOR CONTINUATION. RIM OF MH TO BE 0.2' ABOVE FINISH GRADE WHEN IN LANDSCAPING. PLUMBING CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR. FL = 574.97
  - INSTALL SEWER SAMPLING WELL PER DETAIL SHEET C-10.6 (OR SIMILAR) FL=574.83
  - FL 6" = 574.77
  - PROP. SSCO
  - PROP. 6" WASTEWATER SERVICE LINE @ 2.60%
  - PROP. 4" DIAMETER SANITARY SEWER MANHOLE PER DETAIL 'SD-WW04' EX. FL 6" OUT = 568.65 PROP. FL 6" IN = 568.75 RIM = 576.26
  - CONTRACTOR SHALL VERIFY ELEVATION OF EX. SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCY AT THE START OF CONSTRUCTION.
  - PROP. 6" DUMPSTER DRAIN LINE @ 1.2%
  - INSTALL 500 GAL CAPACITY GREASE INTERCEPTOR PER DETAIL SHEET C-10.6. RIM OF MH SHALL 0.2' ABOVE FINISH GRADE WHEN IN LANDSCAPING. FL 6" OUT = 575.74
  - INSTALL DUMPSTER DRAIN PER MEP PLANS FL 6" HDPE=576.55 TI=579.05
  - PROP. 36"x36" GRATE INLET PER DETAIL SHEET C-10.6 FL 18" HDPE = 570.77
  - 18" HDPE @ 0.6%
  - INSTALL 18" 45° BEND
  - INSTALL 12" 45° BEND
  - 6" HDPE @ 3.30%
  - INSTALL 6" 45° BEND
  - INSTALL SAMPLING WELL PER DETAIL SHEET C-10.6 (OR SIMILAR)
  - 6" HDPE @ 16.7%
  - 6" HDPE @ 15.3%
  - 6" HDPE @ 12.2%
  - 6" HDPE @ 53.3%
  - 6" HDPE @ 55.3%
  - 6" HDPE @ 71.7%
  - 6" HDPE @ 66.0%
  - 6" HDPE @ 61.4%
  - 6" HDPE @ 65.0%
  - CONNECT TO EX. 8" WATER MAIN. INSTALL 1-8"x6" TAPPING SLEEVE & VALVE WITH 1/2" OF 6" FIRE HYDRANT LEAD.
  - INSTALL 6"x6" 45° WYE
  - PROP. 6" WASTEWATER SERVICE LINE @ 2.3%



### IMPORTANT !!

CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COORDINATION PLAN OF CONSTRUCTION WITH EXISTING TENANTS SO NOT TO DISTURB ACCESSIBILITY TO EXISTING BUSINESSES TO REMAIN.

### VERTICAL DATUM NOTE

REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAVD) 88 UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC.

SITE BENCHMARK A AN "X" CUT IN CONCRETE BACK OF CURB ALONG NORTH LINE OF PARKING LOT NEAR NORTHWEST CORNER OF BUILDING, #9' SOUTHWEST OF TRANSFORMER AND #5' SOUTHWEST OF LIGHT POLE.  
ELEVATION = 578.55'

SITE BENCHMARK B AN "X" CUT IN CONCRETE BACK OF CURB ALONG SOUTH LINE OF ACCESS DRIVE #23' NORTHEAST OF STOP SIGN AND #87' WEST OF LIGHT POLE.  
ELEVATION = 577.30'

SITE BENCHMARK C AN "X" CUT IN WEST END OF CURB RADIUS ALONG WEST BACK OF CURB LINE OF MEDIAN FOR ACCESS DRIVE ALONG EAST SIDE OF LOT 2 #64' SOUTHWEST OF LIGHT POLE AND #175' SOUTH OF INTERSECTION WITH BELT LINE ROAD  
ELEVATION = 580.64'

### RECORD DRAWING

October 30, 2024

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

PREPARED BY:  
**WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76010 METRO (817) 467-7700  
www.wierassociates.com  
Texas Firm Registration No. F-2776

STATE OF TEXAS  
PRIYA ACHARYA  
LICENSED PROFESSIONAL ENGINEER  
8/22/2024

CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521  
BUILDING TYPE / P14-1S-BN  
SIZE:

### REVISION SCHEDULE

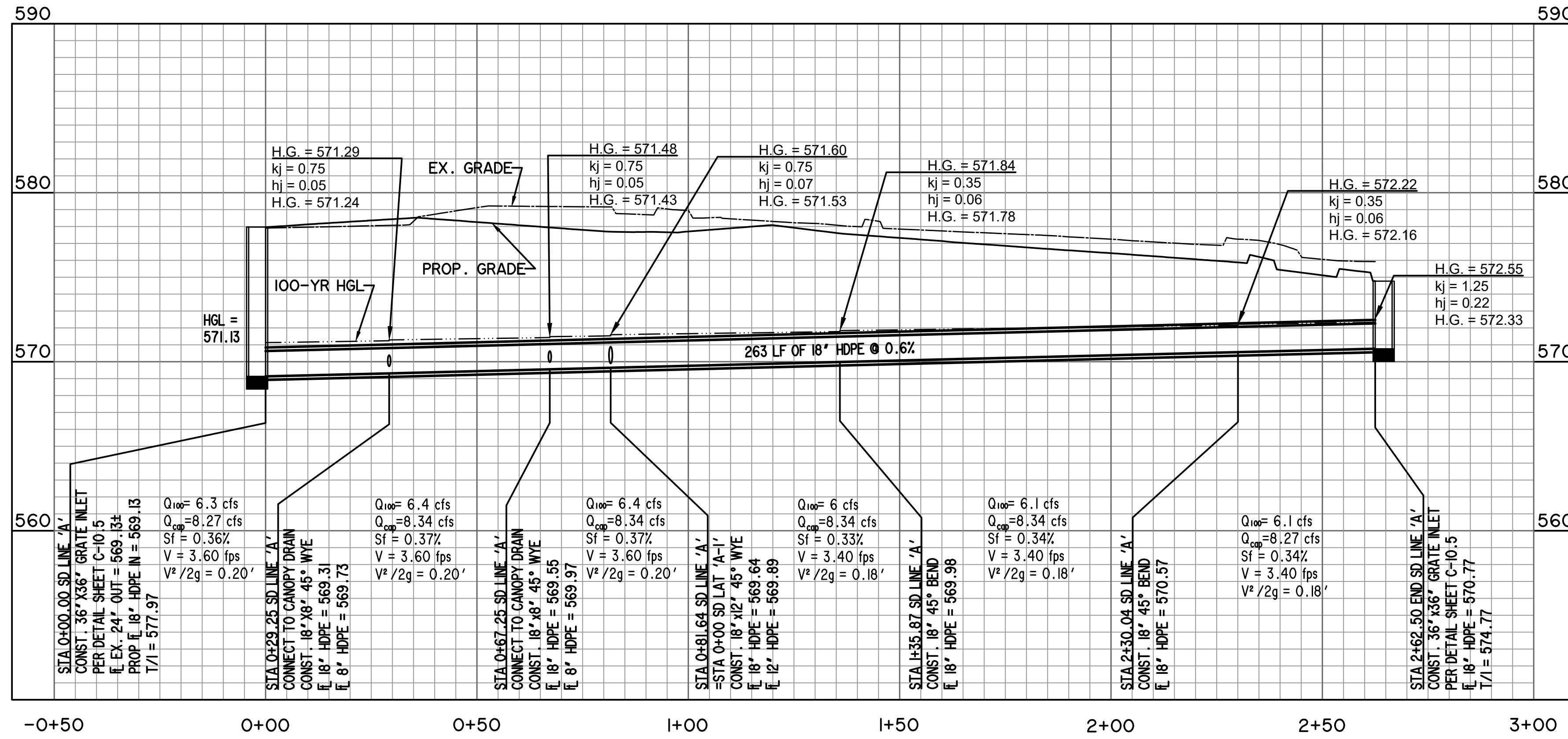
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5	5/6/24	CONTRACTOR CLARIFICATION
6	6/20/24	FIELD REVISION
7	6/27/24	FIELD REVISION
8	8/22/24	FIELD REVISION

WA JOB NUMBER 23011  
PRINTED FOR IFP  
DATE 8/22/24  
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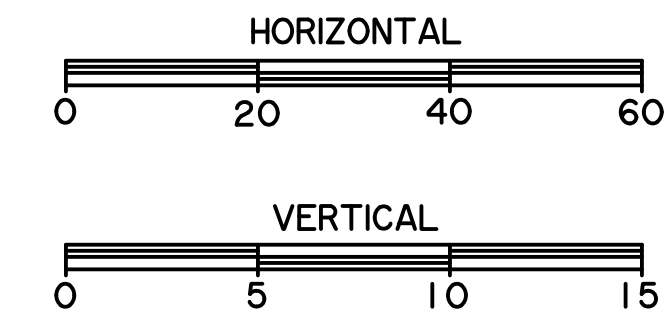
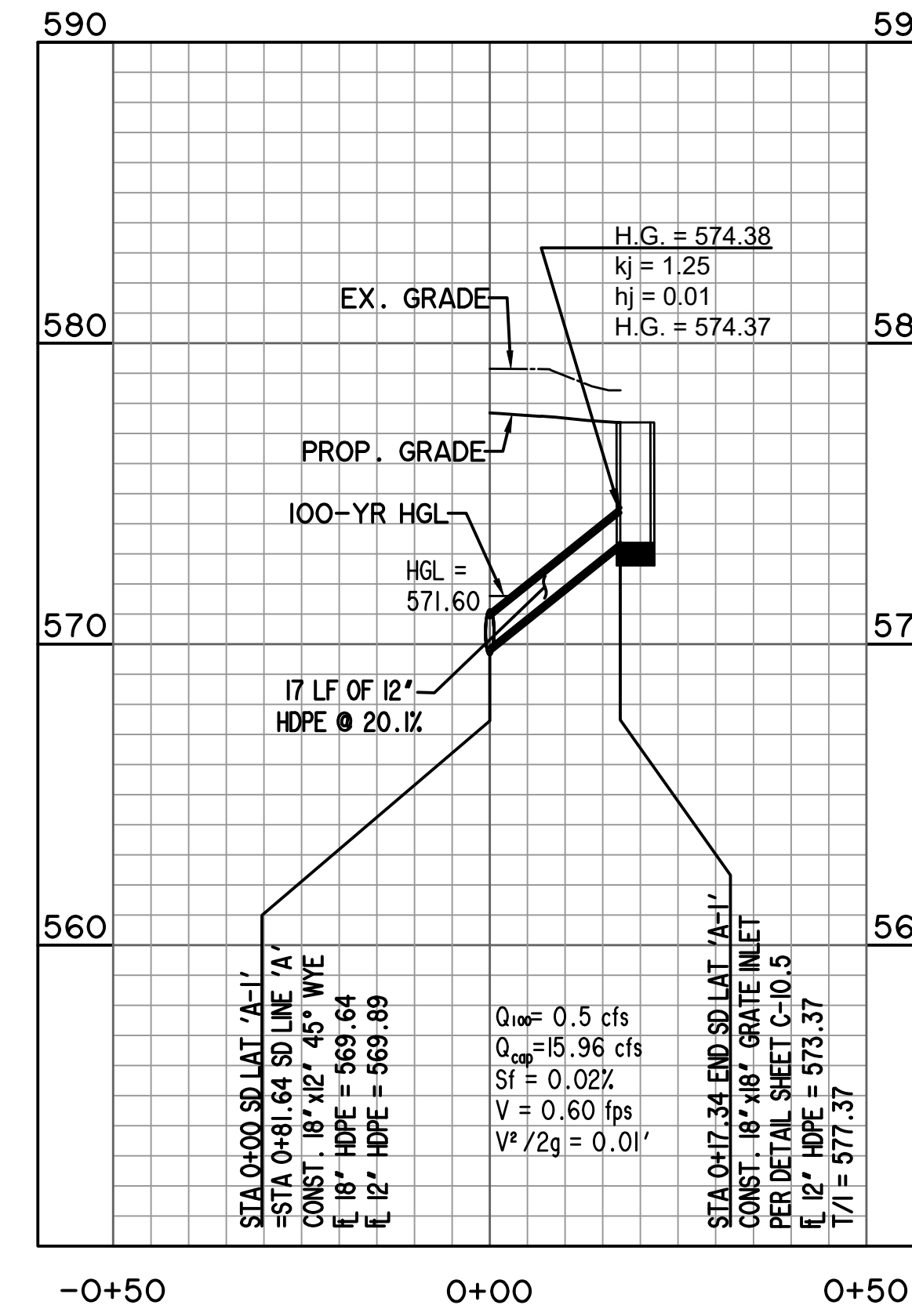
### DRAINAGE & UTILITY PLAN

SHEET NUMBER PS-1

STORM DRAIN LINE 'A'



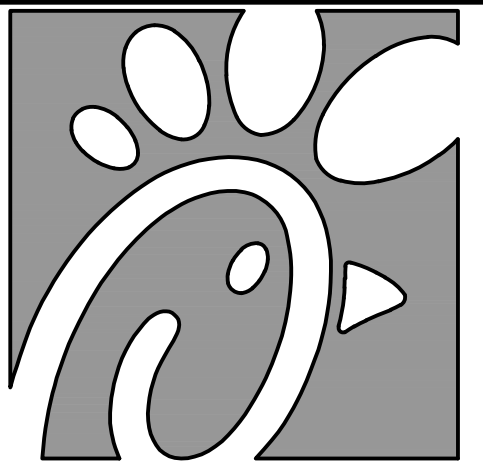
STORM DRAIN LAT 'A-1'



STORM DRAIN CALCULATIONS

100-YEAR STORM DRAIN CALCULATIONS																		
FROM	TO	LENGTH (FT)	Cx	INLET TIME (min.)	TOTAL INTERCEPTED Cx	TIME AT UPSTREAM OF REACH (min)	DESIGN STORM FREQUENCY (yrs)	RAINFALL INTENSITY (in/hr)	INTERCEPTED FLOW (cfs)	STORM DRAIN DIAMETER (in)	VELOCITY (ft/s)	SLOPE OF FRICTION GRADIENT (ft/ft)	STRUCTURE LOSS COEFFICIENT	STRUCTURE LOSS AT UPSTREAM OF REACH	FLOW TIME IN DRAIN (min)	TIME AT DOWNSTREAM OF REACH	H.G. AT UPSTREAM OF REACH (ft)	REMARKS
<b>SD LINE 'A'</b>																		
2+62.50	2+30.04	32.46	0.66	10	0.66	10	100	9.27	6.1	18	3.4	0.0034	1.25	0.22	0.2	10.2	572.55	
2+30.04	1+35.87	94.17	0	10	0.66	10.2	100	9.21	6.1	18	3.4	0.0034	0.35	0.06	0.5	10.6	572.22	
1+35.87	0+81.64	54.23	0	10	0.66	10.6	100	9.09	6	18	3.4	0.0033	0.35	0.06	0.3	10.9	571.84	
0+81.64	0+67.25	14.39	0	10	0.71	10.9	100	9.01	6.4	18	3.6	0.0037	0.75	0.07	0.1	11	571.6	
0+67.25	0+29.25	38	0	10	0.71	11	100	8.98	6.4	18	3.6	0.0037	0.75	0.05	0.2	11.2	571.48	
0+29.25	0+00.00	29.25	0	10	0.71	11.2	100	8.92	6.3	18	3.6	0.0036	0.75	0.05	0.1	11.3	571.29	
<b>SD LAT 'A-1'</b>																		
0+17.34	0+81.64	17.34	0.05	10	0.05	10	100	9.27	0.5	12	0.6	0.0002	1.25	0.01	0	10	574.38	
<b>SD LINE 'B'</b>																		
2+46.48	2+33.49	12.99	0.09	10	0.09	10	100	9.27	0.8	18	0.5	0.0001	1.25	0	0.1	10.1	574.34	
2+33.49	1+96.07	37.42	0	10	0.09	10.1	100	9.24	0.8	18	0.5	0.0001	0.35	0	0.1	10.2	574.14	
1+96.07	1+90.29	5.78	0	10	0.09	10.2	100	9.21	0.8	18	0.5	0.0001	0.75	0	0	10.2	573.58	
1+90.29	1+84.86	5.43	0	10	0.3	10.2	100	9.21	2.8	18	1.6	0.0007	0.75	0.04	0	10.2	573.53	
1+84.86	1+68.63	15.23	0.11	10	0.41	10.2	100	9.21	3.8	18	2.2	0.0013	0.75	0.05	0	10.2	573.46	
1+68.63	1+47.57	22.06	0	10	0.41	10.2	100	9.21	3.8	18	2.2	0.0013	0.75	0.02	0.1	10.3	573.2	
1+47.57	1+24.39	23.18	0	10	0.41	10.3	100	9.18	3.8	18	2.2	0.0013	0.75	0.02	0.1	10.4	572.87	
1+24.39	1+20.57	3.82	0	10	0.41	10.4	100	9.15	3.8	18	2.2	0.0013	0.75	0.02	0	10.4	572.52	
1+20.57	0+99.31	21.26	0	10	0.41	10.4	100	9.15	3.8	18	2.2	0.0013	0.75	0.02	0.1	10.5	572.47	
0+99.31	0+78.46	20.85	0	10	0.41	10.5	100	9.12	3.7	18	2.1	0.0012	0.75	0.01	0.1	10.6	572.14	
0+78.46	0+69.60	8.86	0	10	0.47	10.6	100	9.09	4.3	18	2.4	0.0017	0.75	0.04	0	10.6	571.85	
0+69.60	0+41.31	28.29	0	10	0.59	10.6	100	9.09	5.4	18	3.1	0.0026	0.75	0.08	0.1	10.7	571.76	
0+41.31	0+00.00	41.31	0	10	0.59	10.7	100	9.06	5.3	18	3	0.0025	0.35	0.05	0.1	10.8	571.3	
<b>SD LAT 'B-1'</b>																		
0+29.85	0+05.66	24.19	0.21	10	0.21	10	100	9.27	1.9	12	2.4	0.0028	1.25	0.11	0.1	10.1	574.45	
0+05.66	1+90.29	5.66	0	10	0.21	10.1	100	9.24	1.9	12	2.4	0.0028	0.35	0.03	0	10.1	573.58	
<b>SD LAT 'B-2'</b>																		
0+38.97	0+23.46	15.51	0.06	10	0.06	10	100	9.27	0.6	12	0.8	0.0003	1.25	0.01	0	10	575.07	
0+23.46	0+78.46	23.46	0	10	0.06	10	100	9.27	0.6	12	0.8	0.0003	0.35	0	0.1	10.1	573.67	
<b>SD LAT 'B-3'</b>																		
0+08.23	0+69.60	8.23	0.12	10	0.12	10	100	9.27	1.1	12	1.4	0.001	1.25	0.04	0	10	573.58	

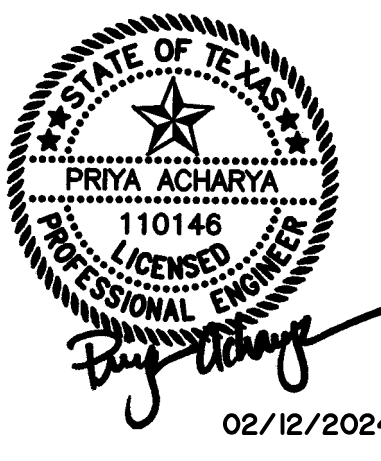
RECORD DRAWING  
October 30, 2024



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
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www.wiaassociates.com  
Texas Firm Registration No. F-2776



02/12/2024

CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521

BUILDING TYPE / P14-LS-BN  
SIZE:

REVISION SCHEDULE  
NO. DATE DESCRIPTION

WA JOB NUMBER 23011

PRINTED FOR IFP

DATE 2/12/24

DRAWN BY KRM

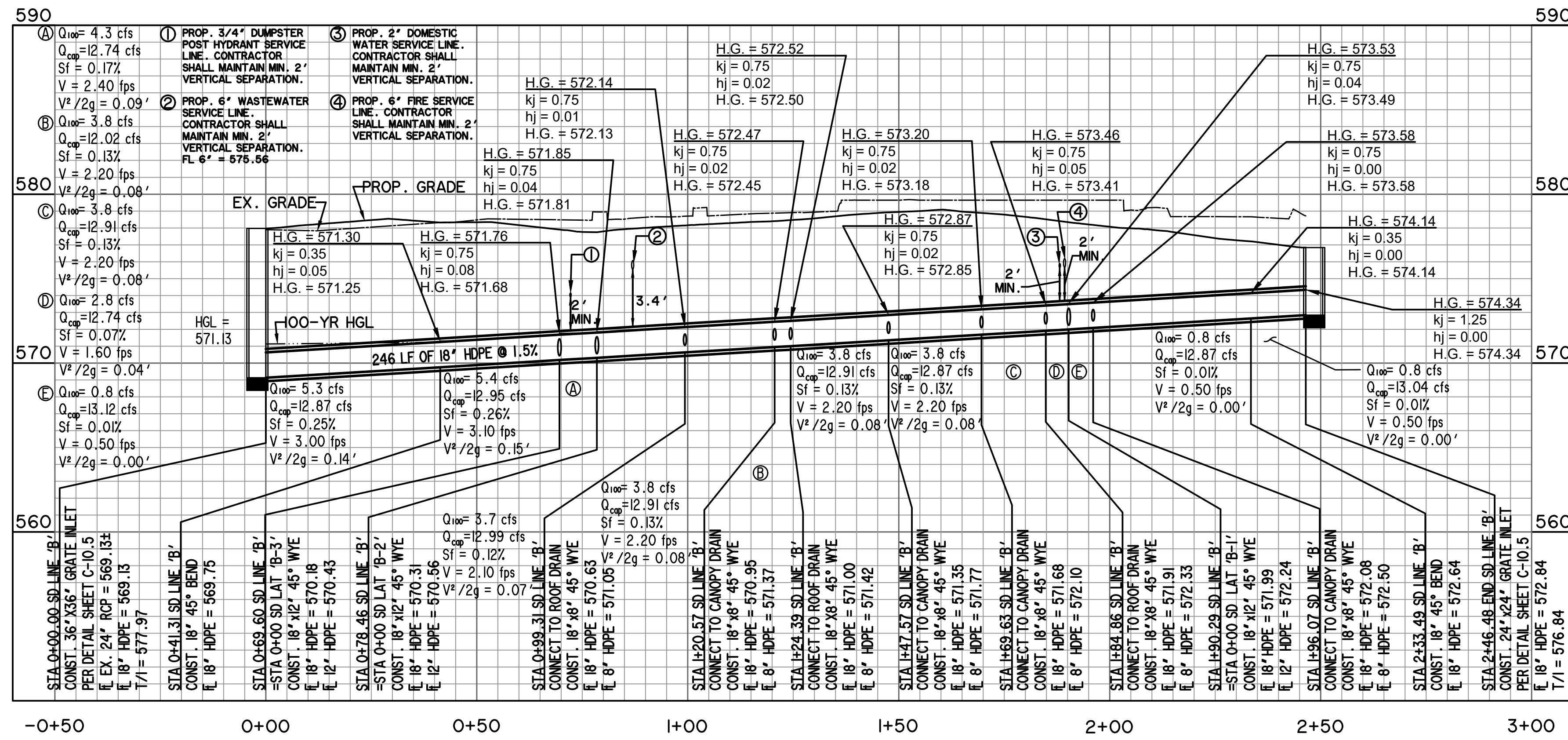
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SHEET  
**STORM DRAIN PROFILES**  
SHEET NUMBER

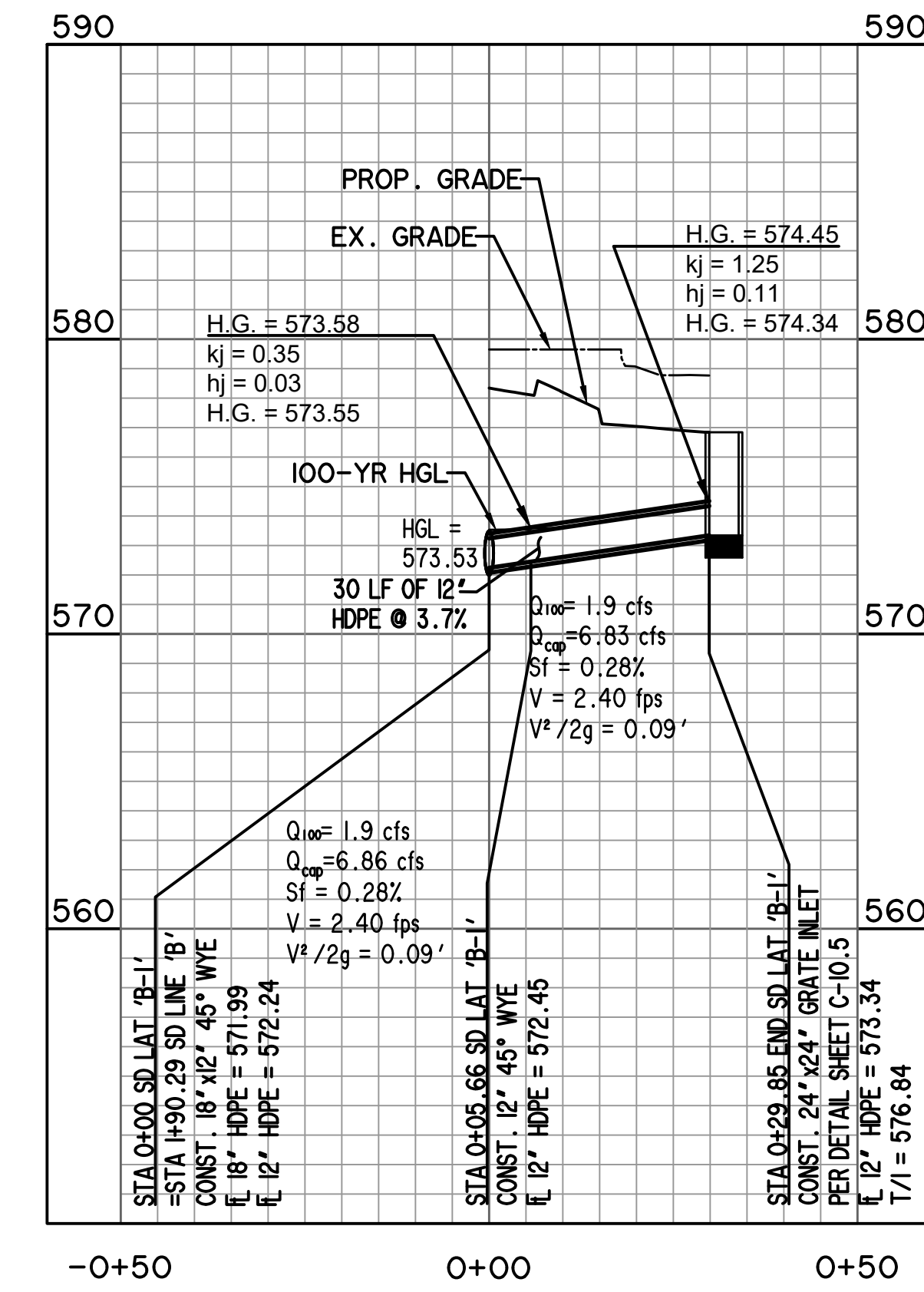
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PRINTED: 2/12/2024 STB FILE: WIER-STORM DRAIN STB LAST SAVED: 2/12/2024 3:15 PM SAVED BY: HAYDEN F. FILE: PS-2.2 STORM DRAIN PROFILES.DWG

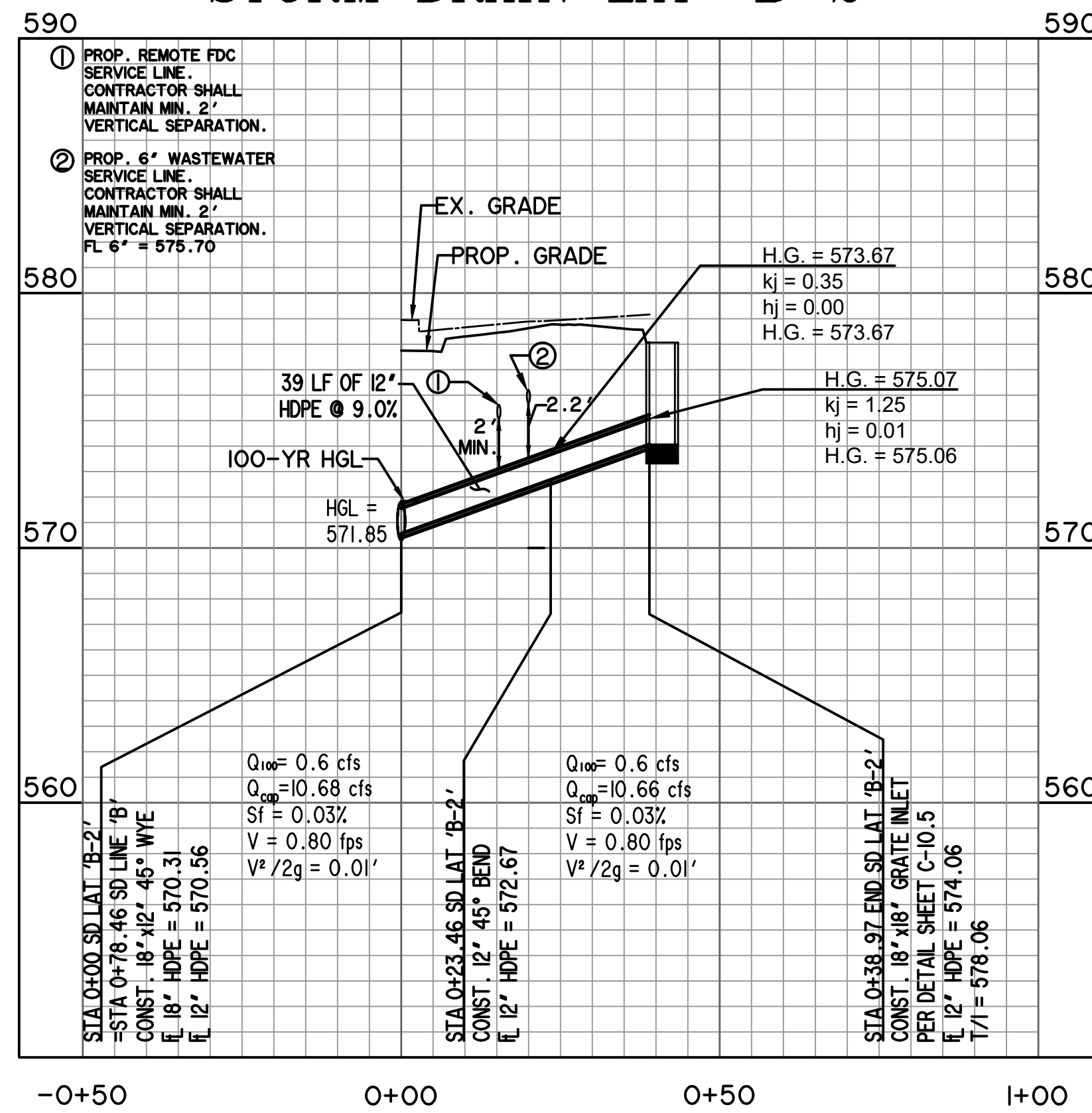
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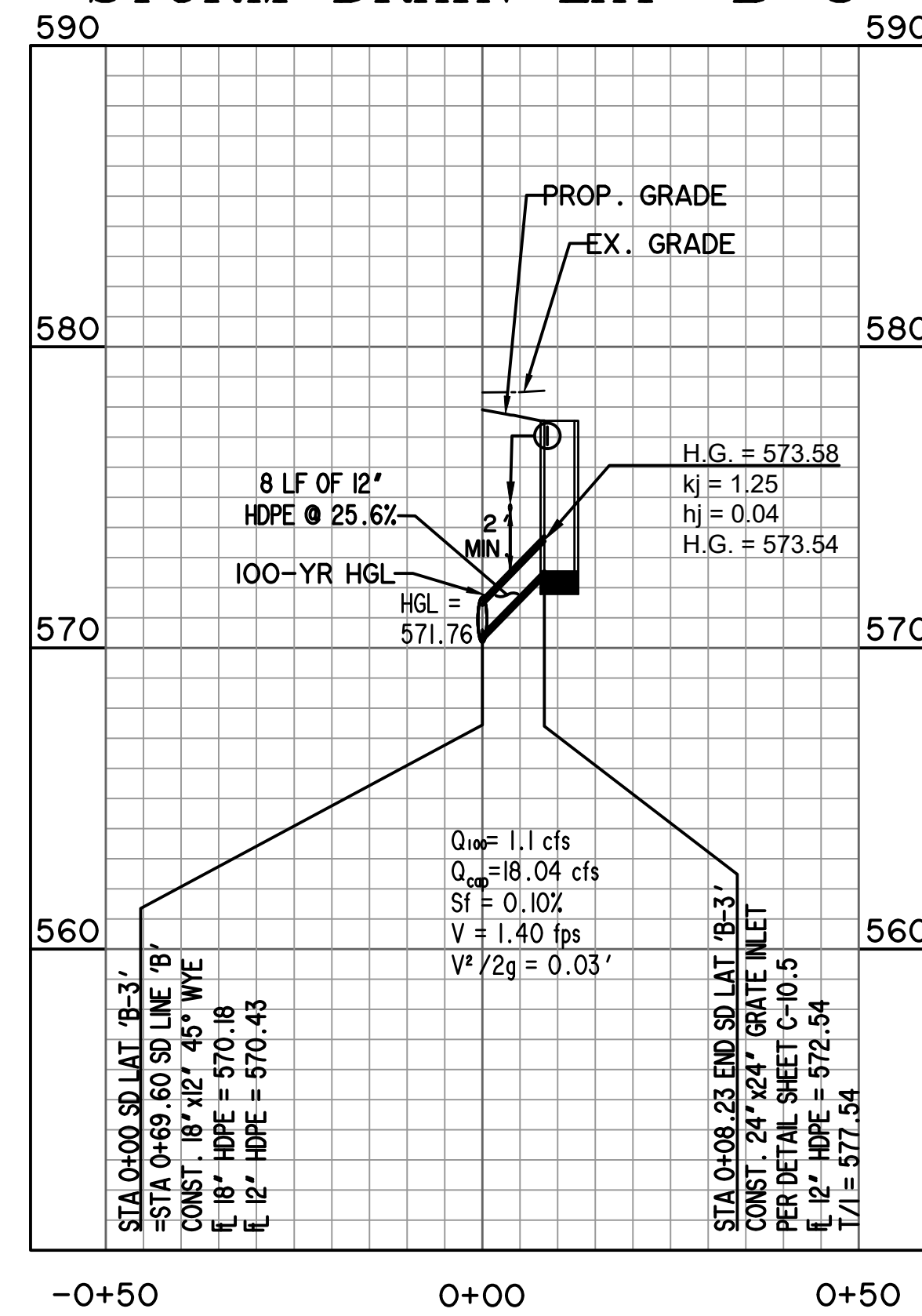
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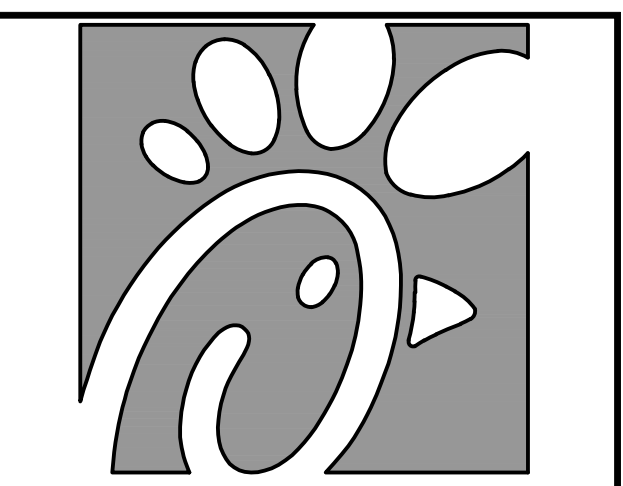
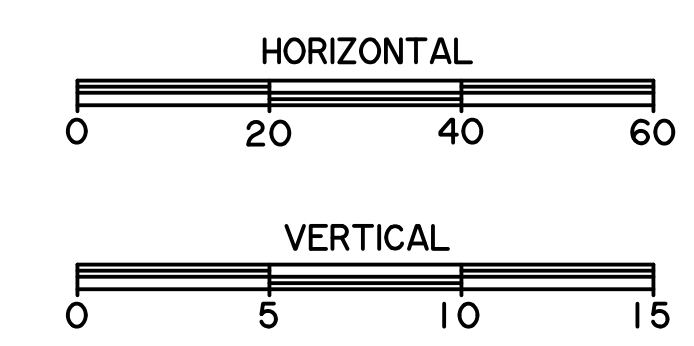
### STORM DRAIN LAT 'B-2'



### STORM DRAIN LAT 'B-3'



RECORD DRAWING  
October 30, 2024



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

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2201 E. LAWR RD., SUITE 200E ARLINGTON, TEXAS 76010 (817)467-7700  
www.wierassociates.com

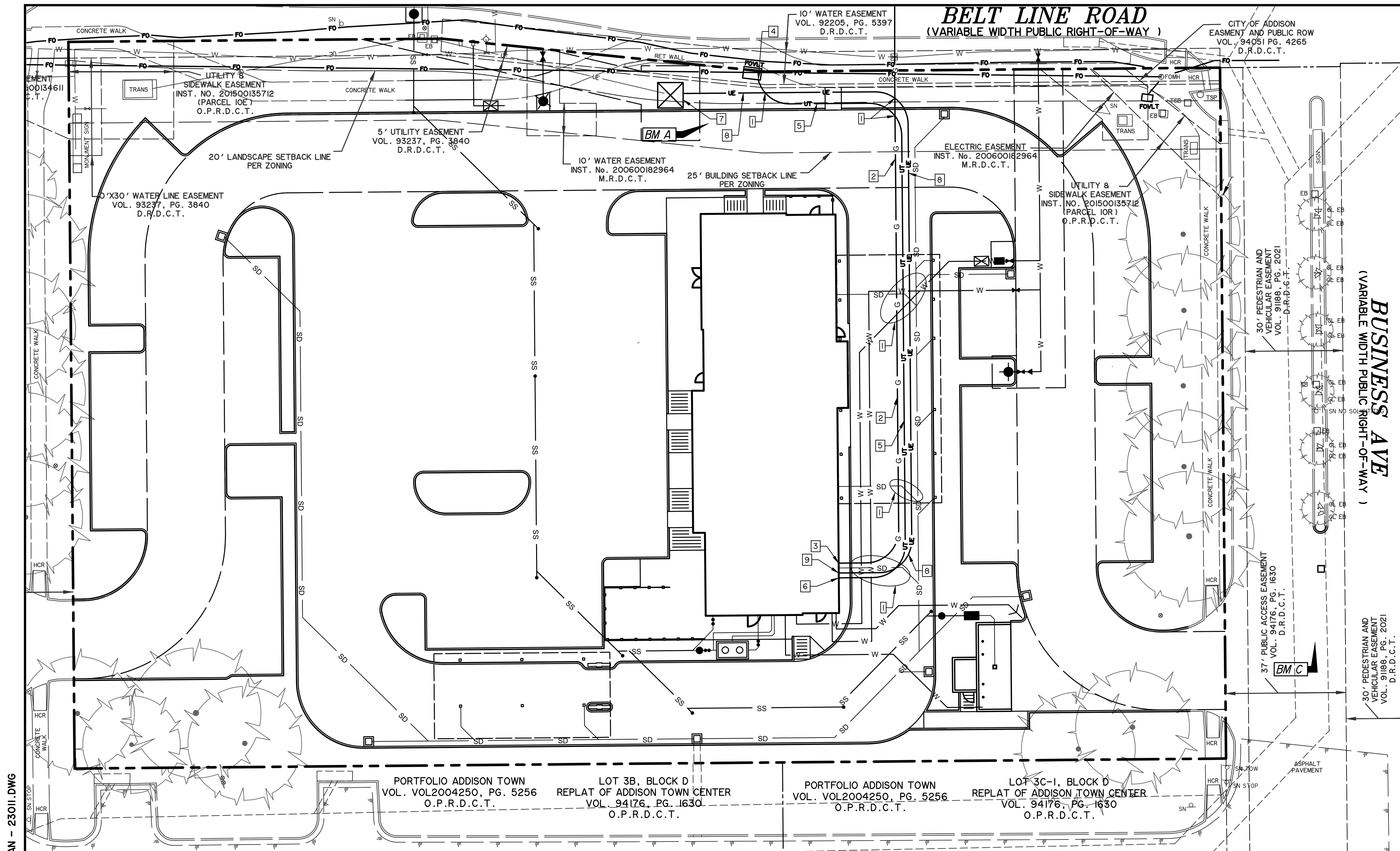
TEXAS PROFESSIONAL ENGINEER  
PRIYA ACHARYA  
110146  
02/12/2024

CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

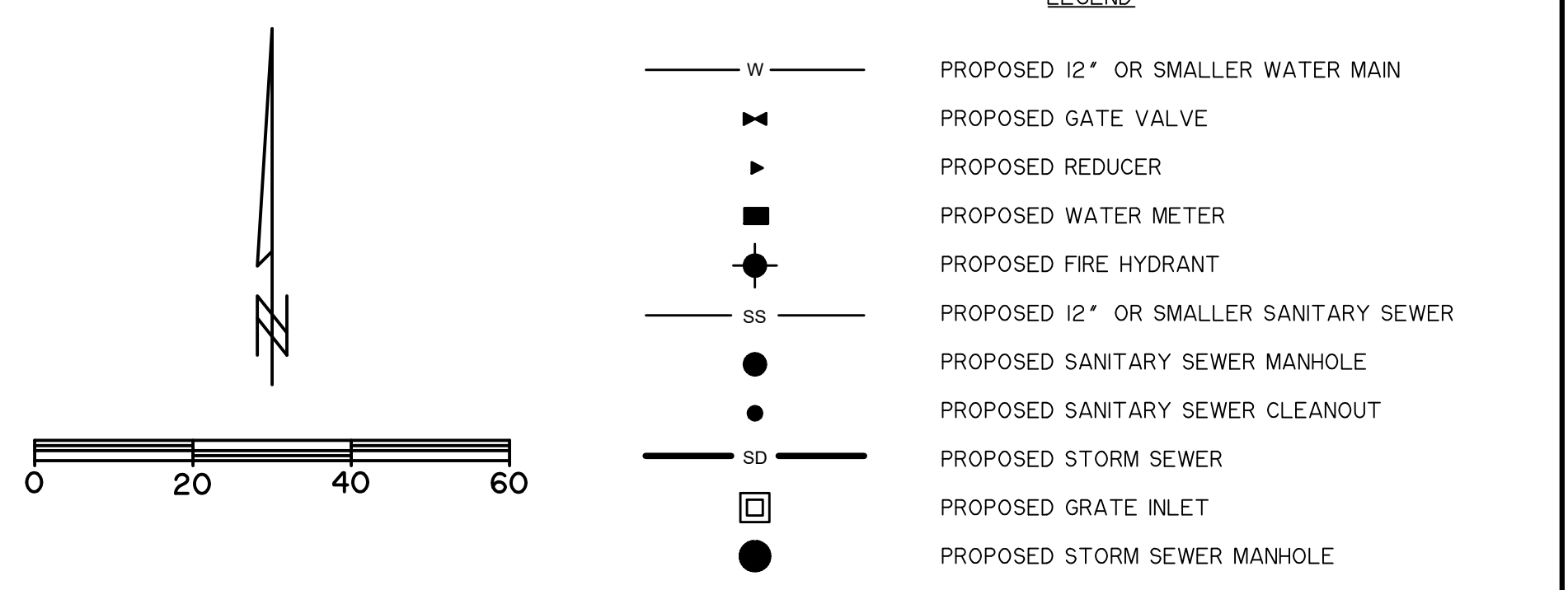
FSR# 05521  
BUILDING TYPE / P14-LS-BN  
SIZE:  
REVISION SCHEDULE  
NO. DATE DESCRIPTION

WA JOB NUMBER 23011  
PRINTED FOR IFP  
DATE 2/12/24  
DRAWN BY KRM

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SHEET  
**STORM DRAIN PROFILES**  
SHEET NUMBER  
**PS-2.2**



- ### LAYOUT NOTES
- MAINTAIN MIN 2' VERTICAL SEPARATION AT ALL CROSSINGS.
  - CFA CONTRACTOR SHALL COORDINATE WITH ATMOS ENERGY FOR GAS CONNECTION.  
ATMOS ENERGY SHALL CONNECT TO EXISTING GAS MAIN AND PROVIDE GAS SERVICE TO PROPOSED METER.  
CONTRACTOR SHALL PROVIDE AND INSTALL 2-4" PVC SLEEVES ACROSS DRIVE-THRU LANES FOR GAS SERVICES & STUB ABOVE GROUND.
  - ATMOS ENERGY SHALL PROVIDE & INSTALL GAS SERVICE METER AT BUILDING AND CONNECT TO SERVICE LINE. SEE MEP PLANS FOR CONTINUATION. GAS METER SHALL BE MIN. 3' AWAY FROM ANY IGNITION SOURCE.
  - CFA CONTRACTOR SHALL PROVIDE & INSTALL 2-2" & 1-3" PVC CONDUITS WITH PULL-STRINGS AND 90° STUBS ABOVE FINISHED GRADE AT PROPERTY LINE. MARK CONDUITS FOR SPECTRUM.  
SPECTRUM SHALL CONNECT TO EXISTING SERVICE AND PROVIDE & INSTALL SERVICE THROUGH CONDUITS TO BUILDING.
  - CONTRACTOR SHALL PROVIDE & INSTALL 2-2" & 1-3" PVC CONDUITS WITH PULL STRINGS FROM PROPOSED BUILDING TO PROPERTY LINE.
  - CFA CONTRACTOR SHALL END 2-2" & 1-3" PVC CONDUITS WITH PULL STRINGS AND 90° STUBS ABOVE FINISHED GRADE WITHIN 5' OF BUILDING CONNECTION POINT.  
SPECTRUM SHALL PROVIDE & INSTALL SERVICE TO BUILDING. SEE MEP PLANS FOR CONTINUATION.
  - EX. PAD-MOUNTED TRANSFORMER TO BE REPLACED BY ONCOR. CFA CONTRACTOR SHALL REMOVE EX. PAD & INSTALL A NEW CONCRETE PAD PER ONCOR SPECS. CFA CONTRACTOR SHALL PROVIDE & INSTALL 4-4" SECONDARY CONDUITS AND SECONDARY CABLES TO NEW PAD-MOUNTED TRANSFORMER.  
ONCOR SHALL CONNECT SECONDARY CABLES TO NEW PAD-MOUNTED TRANSFORMER.
  - CFA CONTRACTOR SHALL PROVIDE & INSTALL 4-4" SECONDARY CONDUITS & SECONDARY CABLES FROM PAD-MOUNTED TRANSFORMER TO WITHIN 5' OF BUILDING.
  - CFA CONTRACTOR SHALL PROVIDE & INSTALL 4-4" SECONDARY CONDUITS & SECONDARY CABLES TO WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.



PORTFOLIO ADDISON TOWN VOL. VOL2004250, PG. 5256 O.P.R.D.C.T. LOT 3B, BLOCK D REPLAT OF ADDISON TOWN CENTER VOL. 94176, PG. 1630 O.P.R.D.C.T. PORTFOLIO ADDISON TOWN VOL. VOL2004250, PG. 5256 O.P.R.D.C.T. LOT 3C-1, BLOCK D REPLAT OF ADDISON TOWN CENTER VOL. 94176, PG. 1630 O.P.R.D.C.T.



**CAUTION !!**  
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

**IMPORTANT !!**  
CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COORDINATION PLAN OF CONSTRUCTION WITH EXISTING TENANTS SO NOT TO DISTURB ACCESSIBILITY TO EXISTING BUSINESSES TO REMAIN.



### UTILITY CONTACTS

UTILITY	UTILITY COMPANY	CONTACT	PHONE
ELECTRIC	ONCOR	BROGAN HALLORAN	469-315-3620
WATER & WASTEWATER	PUBLIC WORKS	PHILLIP WILLIS	972-450-2847
TELEPHONE/CABLE	SPECTRUM	ADALISA SENDENO	833-267-6094
GAS	ATMOS ENERGY	CARLOS SALDIVAR	945-275-1335

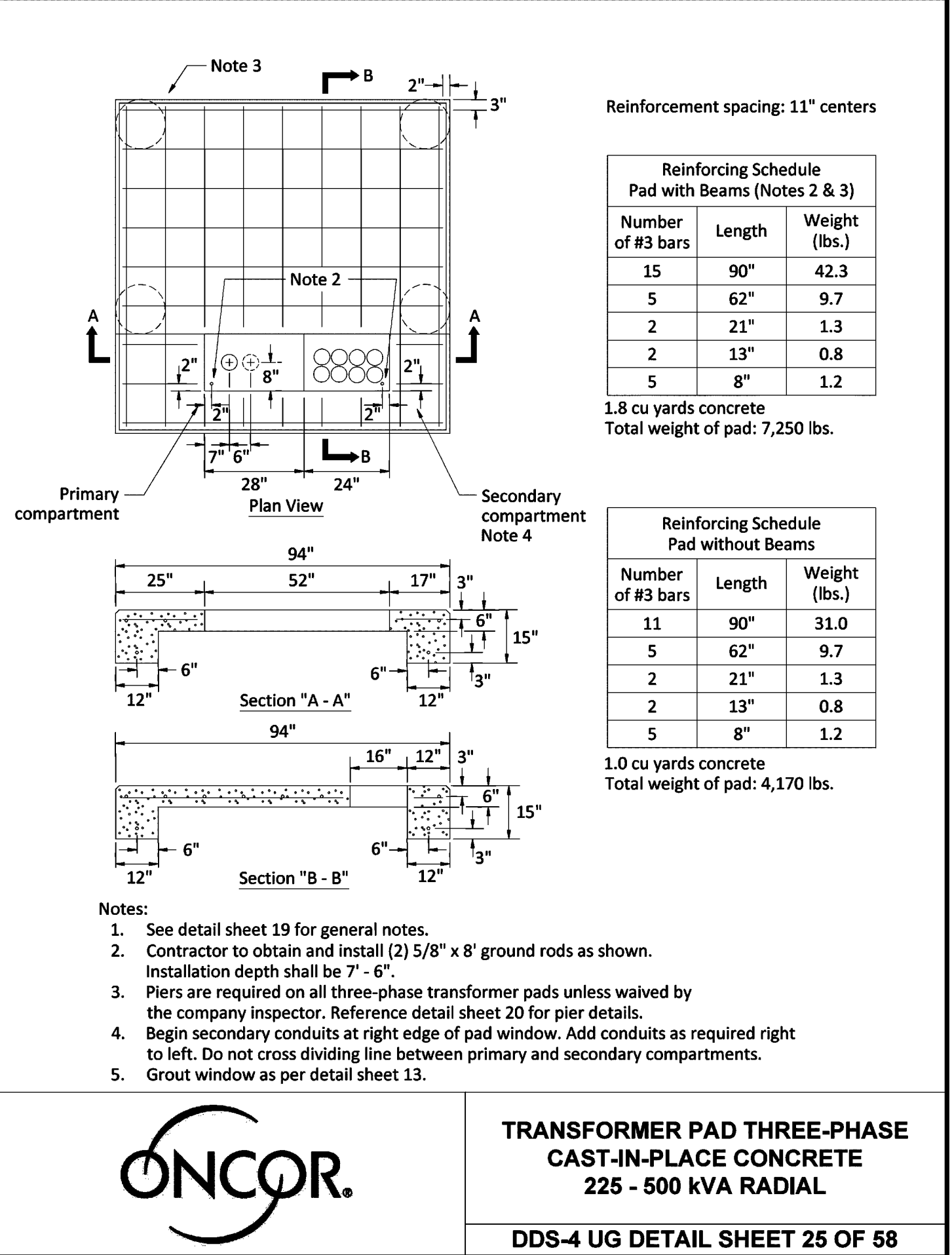
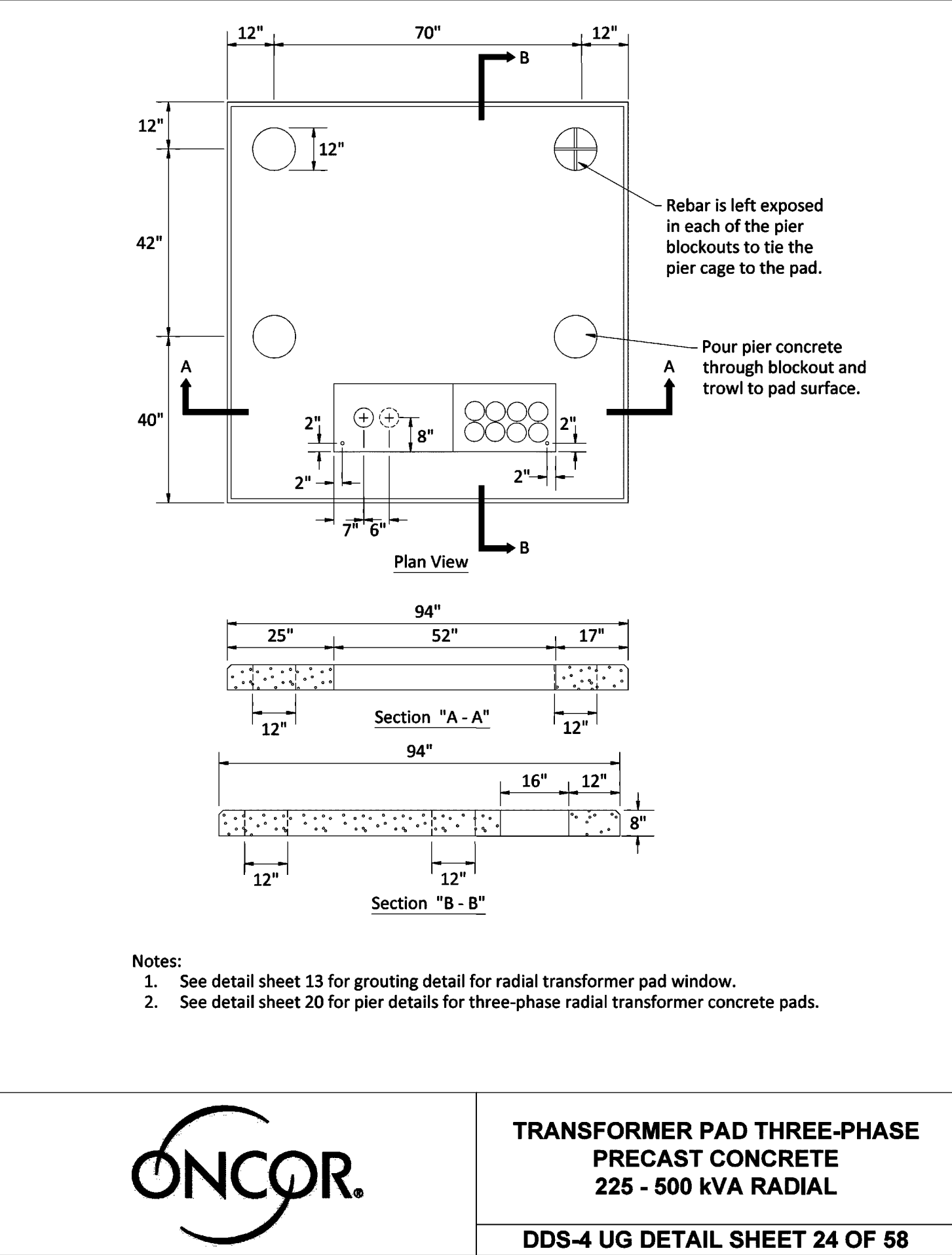
**RECORD DRAWING**  
October 30, 2024

**VERTICAL DATUM NOTE:**  
REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAD) 88 UTILIZING THE RTK NETWORK ADMINSTRATED BY ALLTERRA CENTRAL, INC.

SITE BENCHMARK A AN "X" CUT IN CONCRETE BACK OF CURB ALONG NORTH LINE OF PARKING LOT NEAR NORTHWEST CORNER OF BUILDING, ±9' SOUTHWEST OF TRANSFORMER AND ±5' SOUTHWEST OF LIGHT POLE  
ELEVATION = 578.55'

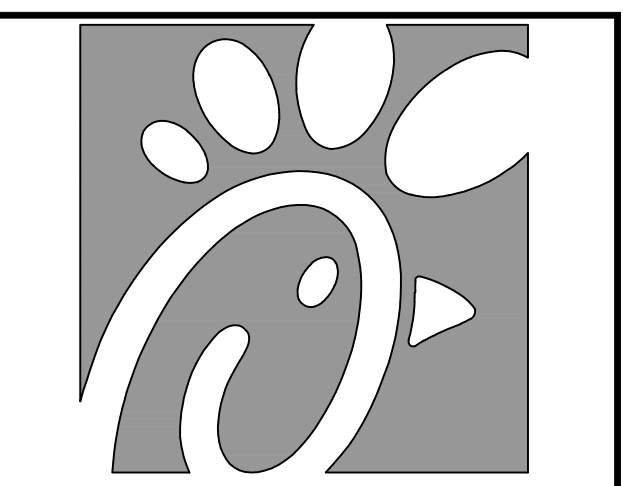
SITE BENCHMARK B AN "X" CUT IN CONCRETE BACK OF CURB ALONG SOUTH LINE OF ACCESS DRIVE ±23' NORTHEAST OF STOP SIGN AND ±87' WEST OF LIGHT POLE.  
ELEVATION = 577.30'

SITE BENCHMARK C AN "X" CUT IN WEST END OF CURB RADIUS ALONG WEST BACK OF CURB LINE OF MEDIAN FOR ACCESS DRIVE ALONG EAST SIDE OF LOT 2 ±84' SOUTHWEST OF LIGHT POLE AND ±175' SOUTH OF INTERSECTION WITH BELT LINE ROAD  
ELEVATION = 580.64'



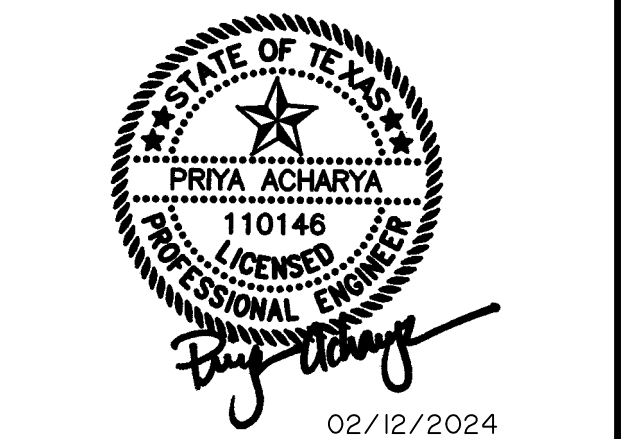
**TRANSFORMER PAD THREE-PHASE PRECAST CONCRETE**  
225 - 500 KVA RADIAL  
DDS-4 UG DETAIL SHEET 24 OF 58

**TRANSFORMER PAD THREE-PHASE CAST-IN-PLACE CONCRETE**  
225 - 500 KVA RADIAL  
DDS-4 UG DETAIL SHEET 25 OF 58



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia  
30349-2998

PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAWR RD., SUITE 200E ARLINGTON, TEXAS 76010 METRO (817)467-7700  
www.viawier.com  
Texas Firm Registration No. F-2776



CHICK-FIL-A  
3790 BELT LINE ROAD  
ADDISON, TEXAS 75001  
STORE #05521

FSR# 05521  
BUILDING TYPE / P14-LS-BN  
SIZE:  
REVISION SCHEDULE  
NO. DATE DESCRIPTION

NO.	DATE	DESCRIPTION

WA JOB NUMBER 23011  
PRINTED FOR IFP  
DATE 2/9/24  
DRAWN BY HAF  
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SHEET

**MEP PLAN**  
SHEET NUMBER **PS-3**

PRINTED: 2/12/2024 12:38 PM FILE: WER-PAVING-STB LAST SAVED: 2/9/2024 12:38 PM SAVED BY: CHRISTIET FILE: PS-3 MEP PLAN - 23011.DWG

**LANDSCAPE REQUIREMENTS**

**A. LANDSCAPE DESIGN STANDARDS SEC. 34-207**

- REQUIRED**
- In all districts, a 20-foot wide landscape buffer strip shall be provided along the entire length of the portion of the perimeter of the lot where a public or private street exists.
  - The minimum requirement for the street landscape buffers shall be one 4" cal. shade tree per 30 LF  
Belt Line Road: 355 LF / 30 LF = 12 trees
  - Evergreen shrubs shall be planted 36" to 42" on center depending on shrub
  - The surface parking lot screening shall be at least 42" higher than the finished elevation of adjacent parking lot.
  - The perimeter parking lot landscape strip shall be at least 5' wide for sites larger than 10,000 SF
  - The perimeter landscape shall have (1) 4" Cal. shade tree per 35 LF  
West: 172 LF / 35 LF = 5 trees  
South: 354 LF / 35 LF = 10 trees  
East: 179 LF / 35 LF = 5 trees
  - The perimeter landscape shall have (1) shrub planted 42" O.C.
  - The parking lot landscaping; interior area: 25,661 SF requires 5% interior planting area = 1,283.05 SF interior planting area required
  - (1) Shade tree for each 10 required parking spaces on the lot  
77 parking spaces / 10 = 8 parking lot trees
  - No required parking space may be located further than 50 LF from the trunk of a shade tree, or farther than 75 LF from two or more shade trees.
  - All shrub beds shall be edged using steel, concrete, masonry, or pre-cast concrete edging = 7,612.5 open space required
  - 37,542.38 x 20%
- PROVIDED**
- 20' wide landscape buffer strip is existing on all sides of the site.
  - Belt Line Road: (2) Shumard Oak, (3) Chinese Pistache, (3) Natchez Crepe Myrtle, (5) Bald Cypress = 13 trees
  - Evergreens shrubs planted 42" O.C.
  - Shrubs are proposed at 42" Hgt.
  - Planting strip is proposed at a minimum 5'
  - West: (1) Existing Oak, (4) Shumard Oak = 5 trees  
South: (5) Existing Oak, (3) Live Oak, (2) Chinese Pistache = 10 trees  
East: (5) Existing Oak = 5 trees
  - Perimeter landscape planted with shrubs 42" O.C.
  - 7,781.85 Interior planting area proposed
  - (8) Bald Cypress, (9) Bosque Elm = 17 trees parking lot trees
  - All parking spaces are within 50 LF of a shade tree
  - Steel edge will be used around all planting beds
  - 22,028.8 SF of open space provided

**NOTE:**

- AN IRRIGATION PLAN IS REQUIRED ON CIVIL, AND CONSTRUCTION PLANS AND MUST BE SIGNED AND SEALED BY A LICENSED IRRIGATOR.

- ALL IRRIGATION CONTROLLERS MUST HAVE A RAIN AND FREEZE SENSORS.

**PLANT LIST**

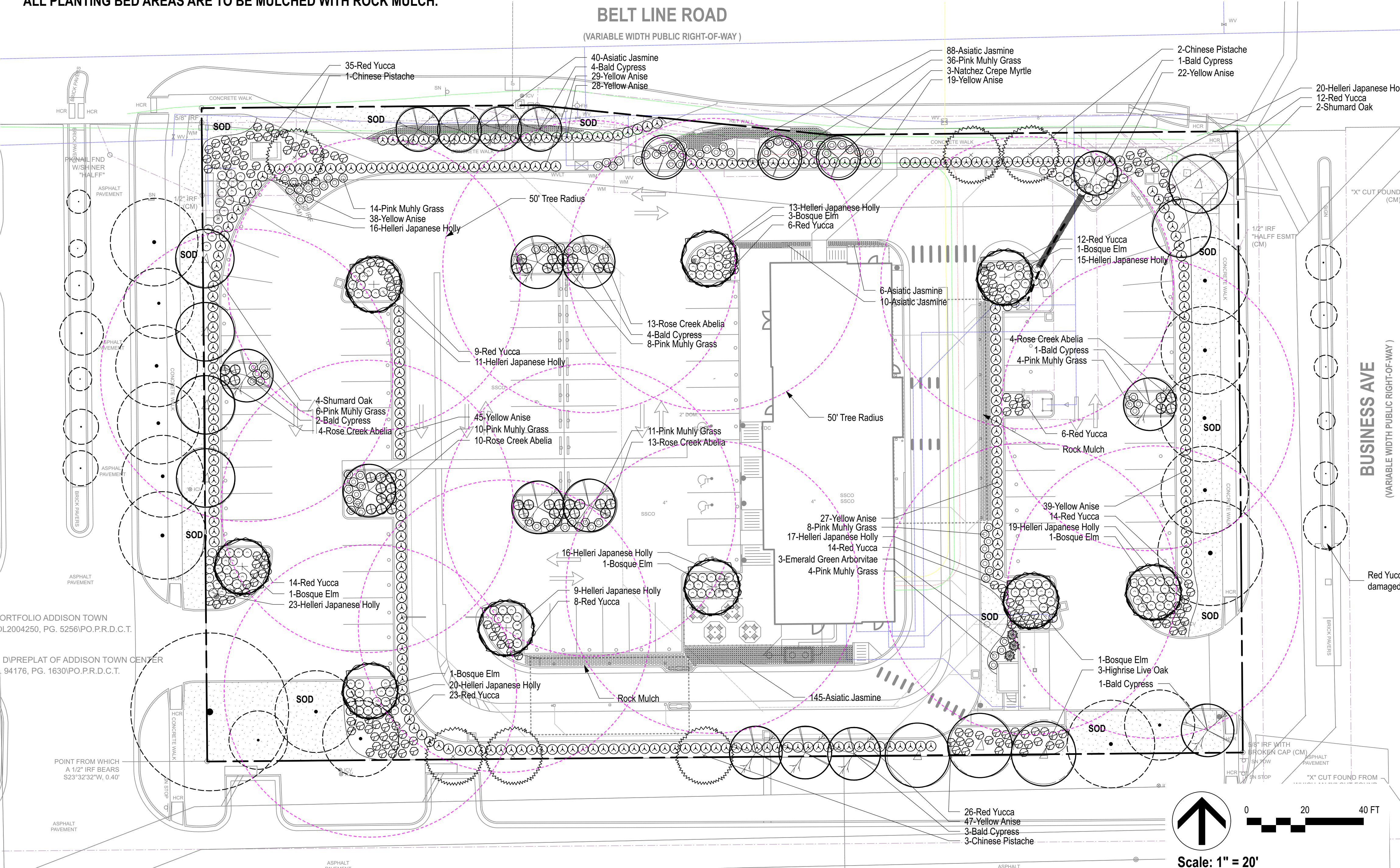
Qty	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>				
3	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	3" Cal. x 5'-6" Spr.	Multi-trunked
6	Pistacia chinensis	Chinese Pistache	4" Cal. 14' Hgt.	B & B; single straight leader
6	Quercus shumardii	Shumard Oak	4" Cal. 14' Hgt.	B & B; single straight leader
3	Quercus virginiana 'QV7IA'	Highrise Live Oak	4" Cal. 14' Hgt.	B & B; single straight leader
16	Taxodium distichum	Bald Cypress	4" Cal. 14' Hgt.	B & B; single straight leader
3	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	Min. 8'-10" Hgt.	
9	Ulmus parvifolia 'Bosque'	Bosque Elm	4" Cal. 14' Hgt.	B & B, single straight leader
<b>Shrubs</b>				
44	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	Min. 5 Gal.	Plant 42" O.C.
179	Hesperaloe parviflora	Red Yucca	Min. 5 Gal.	Plant 36" O.C.
179	Ilex crenata 'Helleri'	Helleri Japanese Holly	Min. 5 Gal.	Plant 36" O.C.
294	Illicium parviflorum	Yellow Anise	Min. 42" Hgt.	Plant 42" O.C.
101	Muhlenbergia capillaris	Pink Muhly Grass	Min. 5 Gal.	Plant 36" O.C.
<b>Groundcovers</b>				
289	Trachelospermum asiaticum	Asiatic Jasmine	1 Gal.	
6410	Cynodon dactylon	Hybrid Bermuda Grass	SF. Sod	
<b>Other</b>				

**SOUTHEAST LANDSCAPE NOTES**

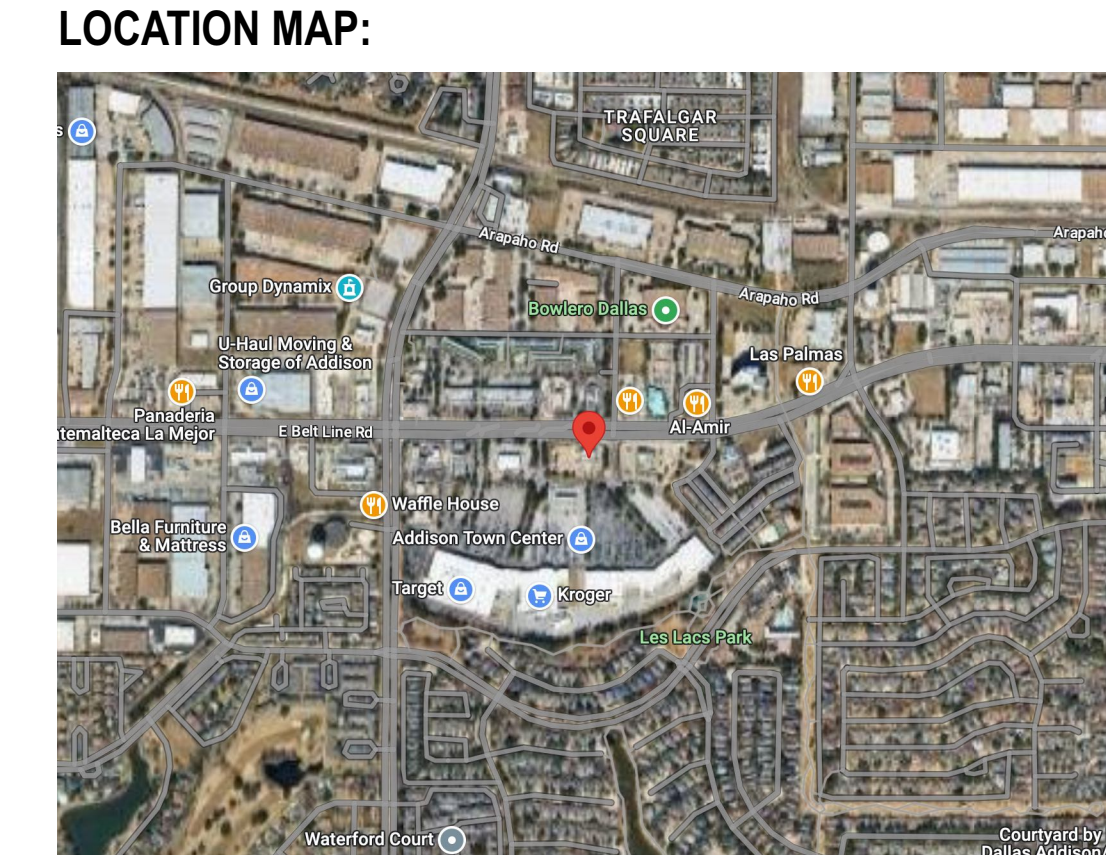
- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (i.e. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (double shredded hardwood mulch).
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2'-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

**NOTE:**

STEEL EDGING TO BE PLACED AROUND ALL THE LANDSCAPE AREAS WHERE TURF IS PRESENT.  
ALL PLANTING BED AREAS ARE TO BE MULCHED WITH ROCK MULCH.



**CHICK-FIL-A ADDISON 05521**  
**LOT 2, BLOCK D**  
**ADDISON TOWN CENTER**  
**3790 BELT LINE ROAD**  
**ADDISON, TEXAS 75254**  
 BEING A PORTION OF 1.769 ACRES  
 OF LAND LOCATED IN THE: THOMAS L CHENOWITH SURVEY  
**ABSTRACT No. 273**  
**TOWN OF ADDISON, DALLAS COUNTY, TEXAS**



**CHICK-FIL-A**  
**ADDISON - RELO**  
 3790 BELT LINE ROAD  
 ADDISON, TX 75001

**FSU# 05521**

**REVISION SCHEDULE**

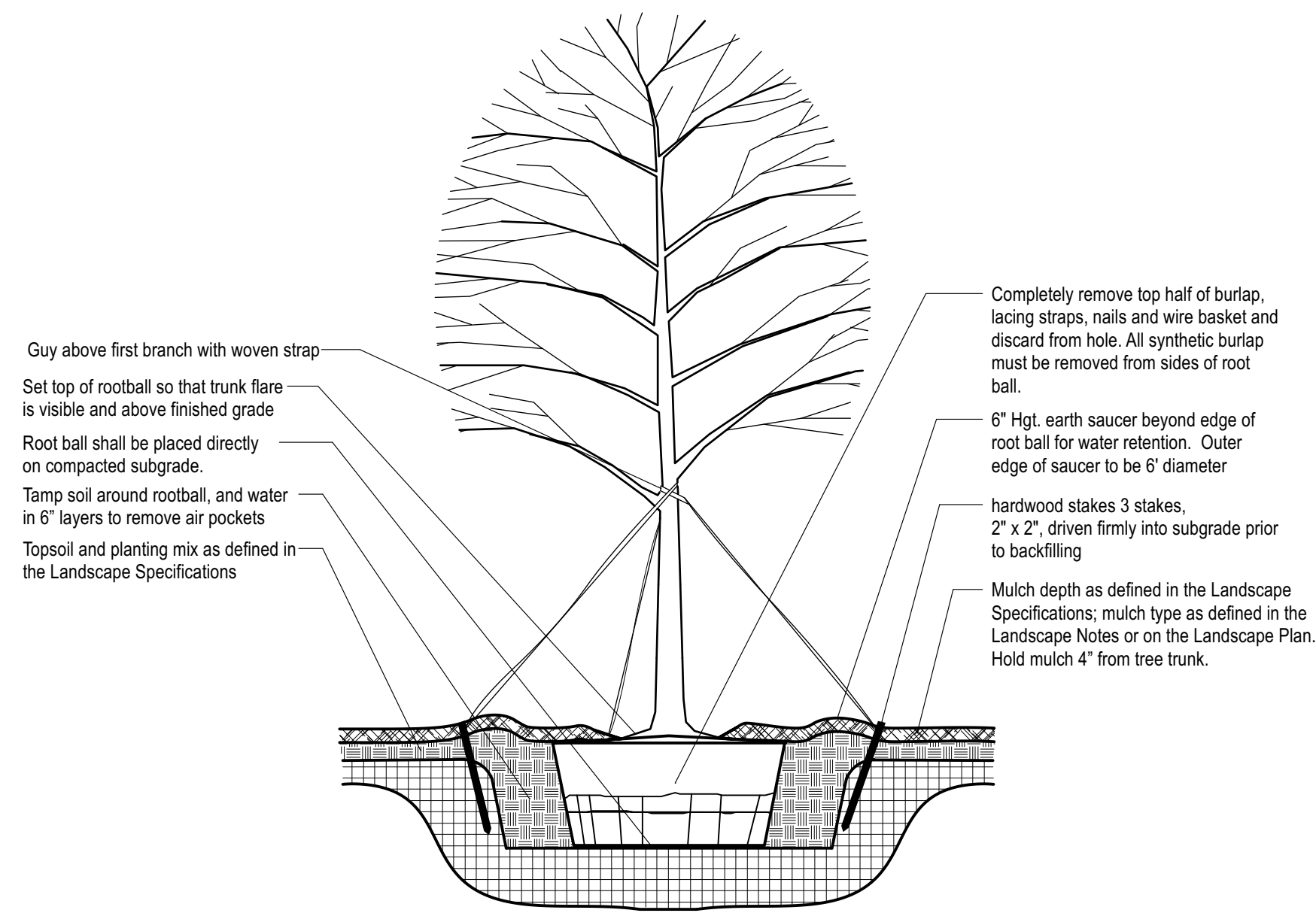
NO.	DATE	BY	DESCRIPTION
1	9/13/23	MB	City Comments
2	9/13/23	MB	City Comments
3	12/18/23	3	BLDG PERMIT SET

MLD PROJECT #	2023124
PRINTED FOR	CONCEPT PLAN
DATE	7/10/23
DRAWN BY	MB

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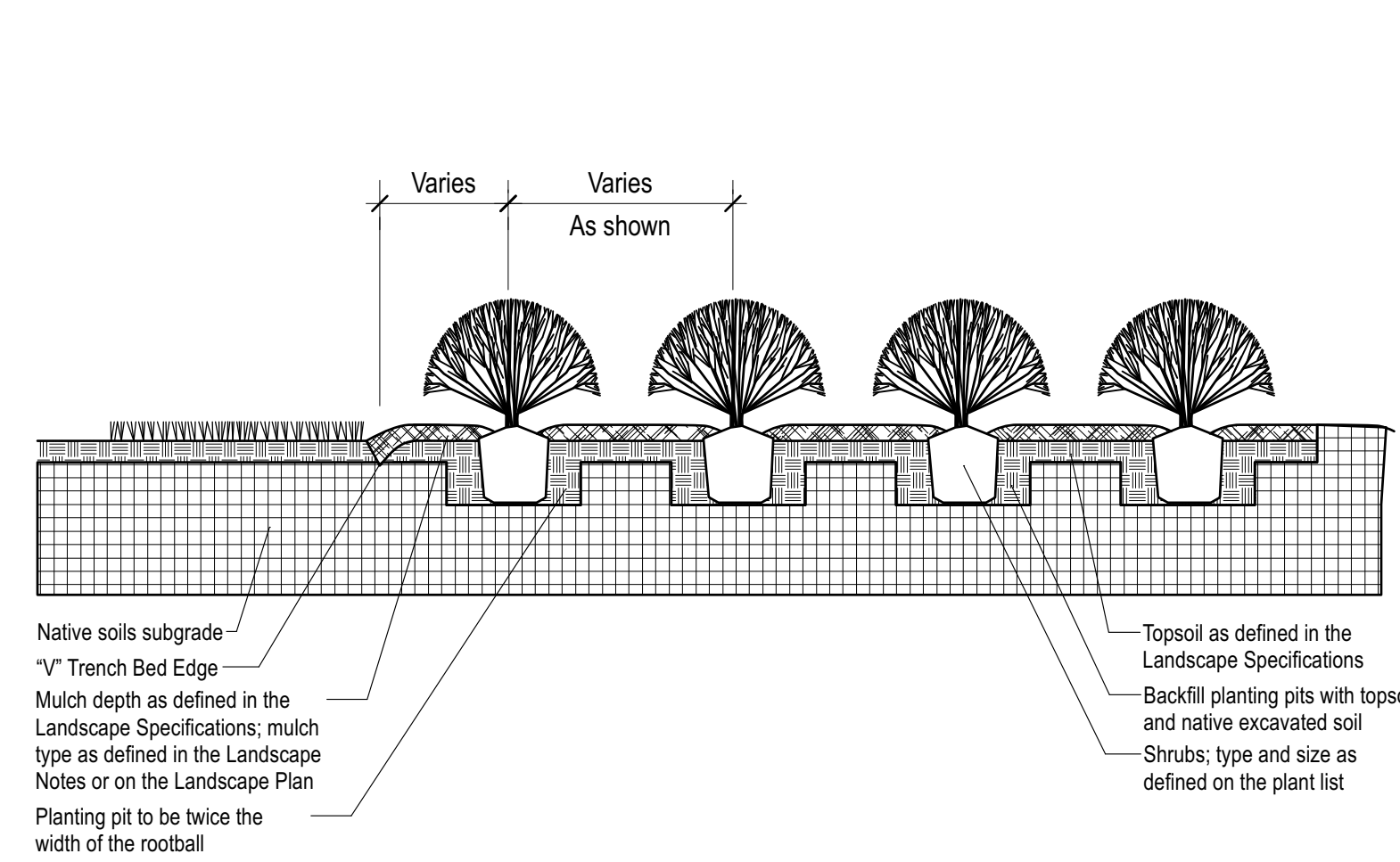
**PERMIT** Landscape Plan  
 SHEET NUMBER **L-101**



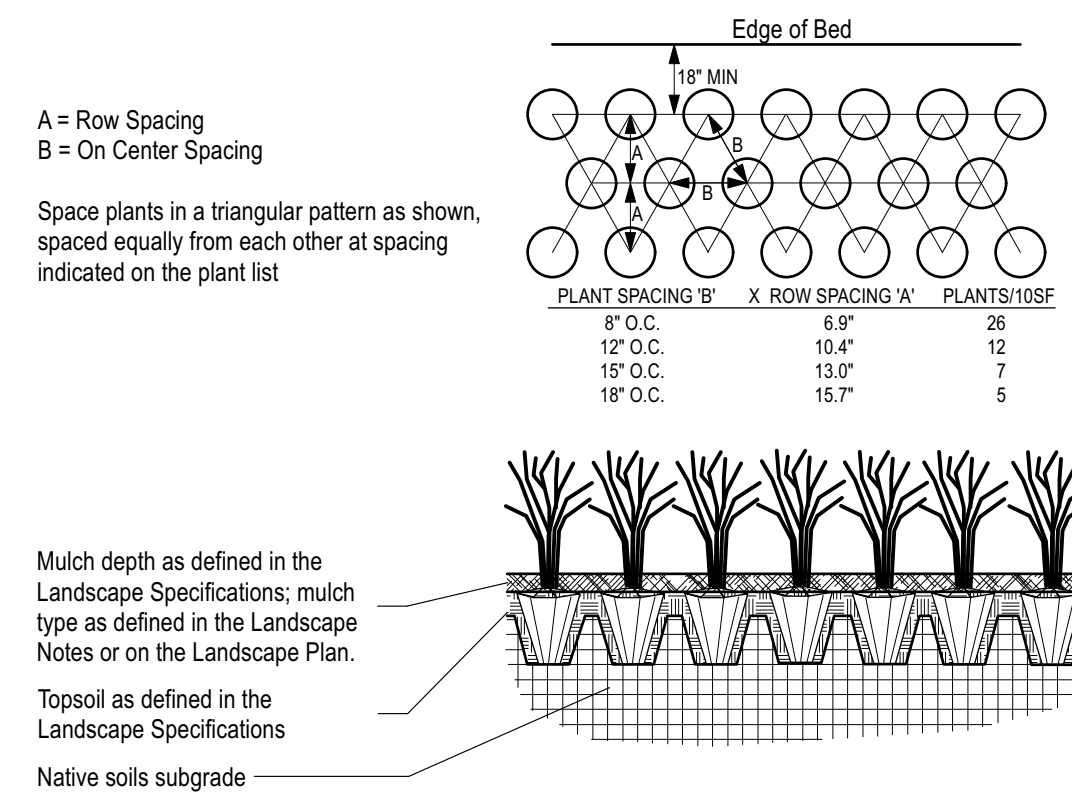


- NOTE**
- Hole to be twice the width of the rootball.
  - Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
  - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4\"/>

**1 TREE PLANTING & STAKING**  
SCALE: NTS

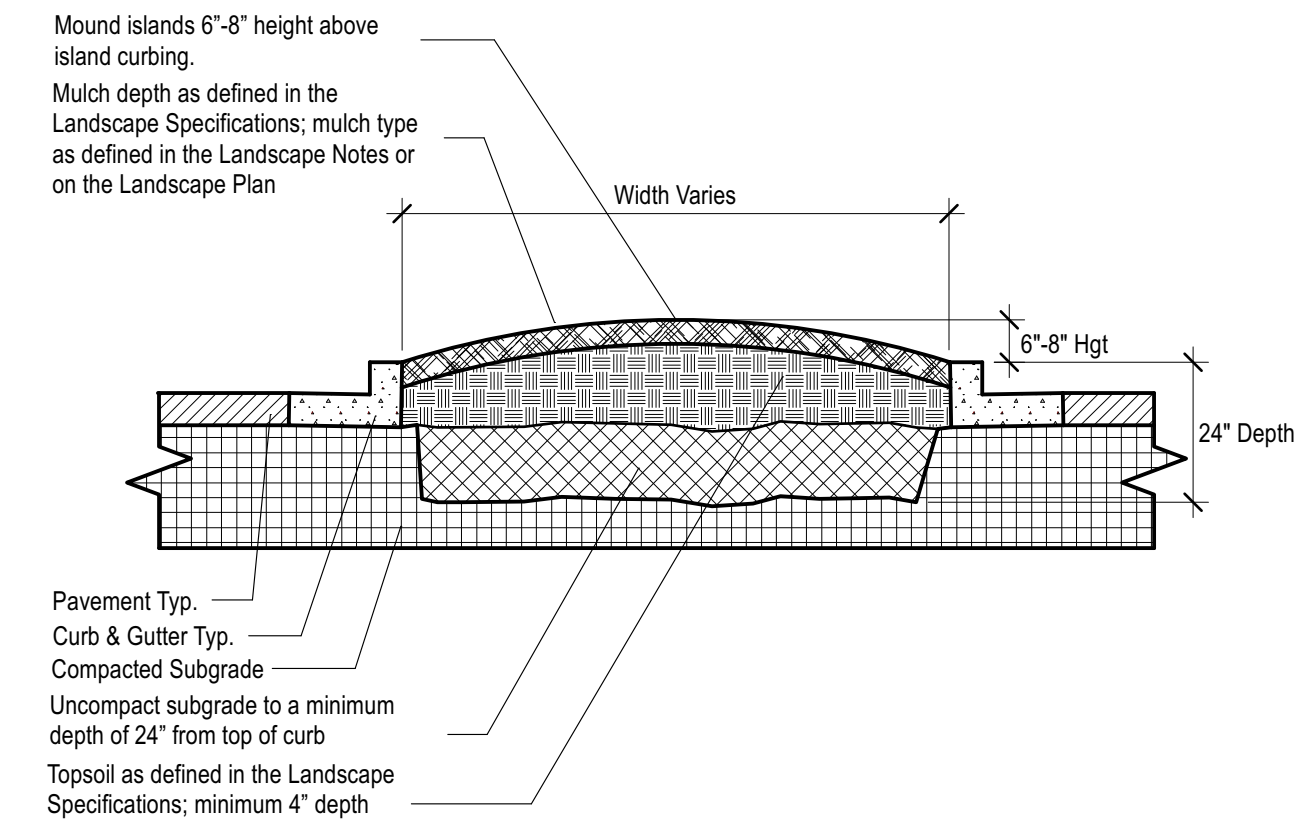


**2 SHRUB BED PLANTING DETAIL**  
SCALE: NTS



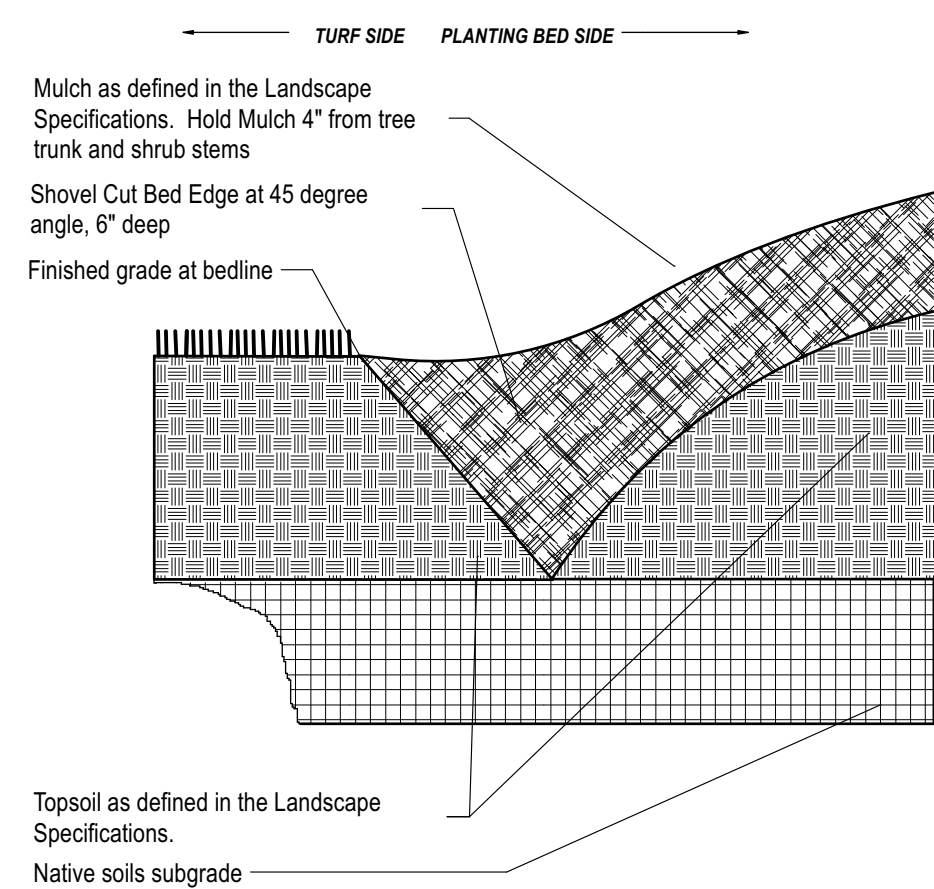
- NOTE**
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
  - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
  - Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

**3 GROUNDCOVER PLANTING DETAIL**  
SCALE: NTS

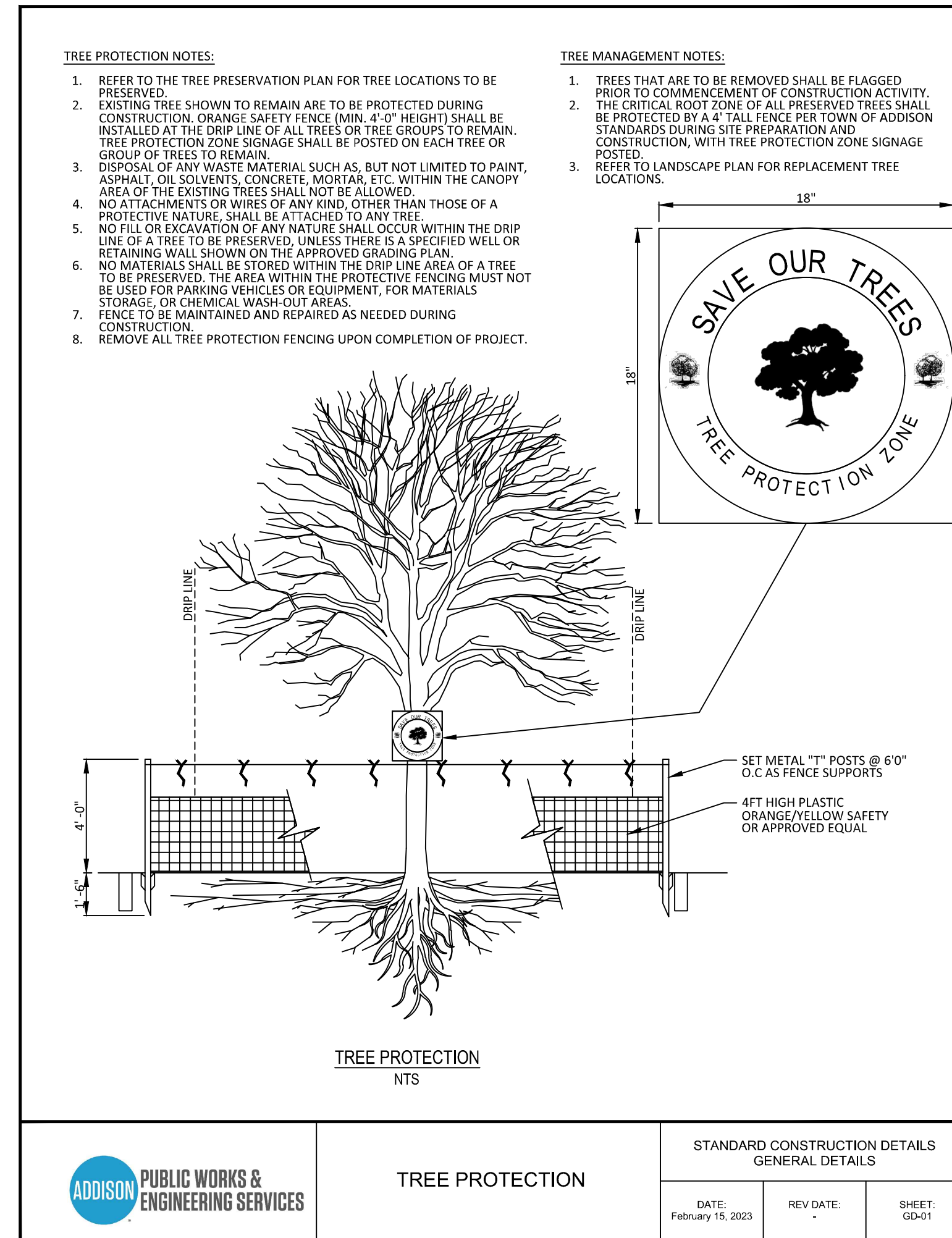


- NOTE**
- Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
  - Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum bermed 6\"/>

**4 PARKING ISLAND DETAIL**  
SCALE: NTS



**5 V TRENCH BED EDGING**  
SCALE: NTS



**6 TREE PROTECTION FENCING DETAIL**  
SCALE: NTS



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



Manley Land Design, Inc.  
51 Old Canton Street  
Alpharetta, Georgia 30009  
770.442.8171 tel



CASE No. 1891-Z

**CHICK-FIL-A**  
**ADDISON - RELO**  
3790 BELT LINE ROAD  
ADDISON, TX 75001

**FSU# 05521**

NO.	DATE	BY	DESCRIPTION
1	9/5/23	MB	City Comments
2	9/13/23	MB	City Comments
3	12/18/23	AN	BLDG PERMIT SET
4	1/16/24	MB	City Comments

MLD PROJECT # **2023124**  
PRINTED FOR **CONCEPT PLAN**  
DATE **7/10/23**  
DRAWN BY

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SHEET  
**Landscape Details**

SHEET NUMBER  
**L-102**

**PERMIT**

**ADDITION PUBLIC WORKS & ENGINEERING SERVICES**

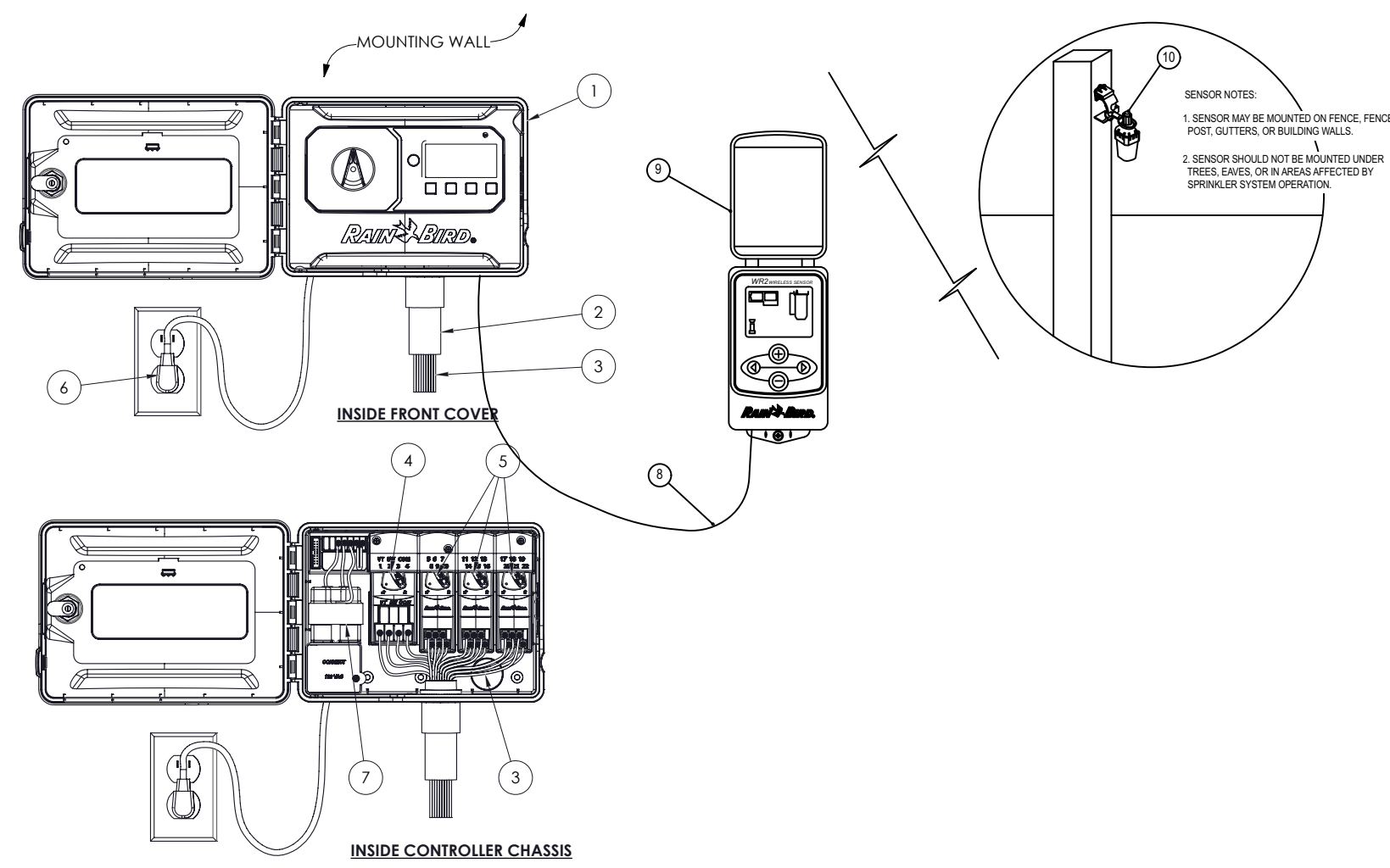
**TREE PROTECTION**

STANDARD CONSTRUCTION DETAILS  
GENERAL DETAILS

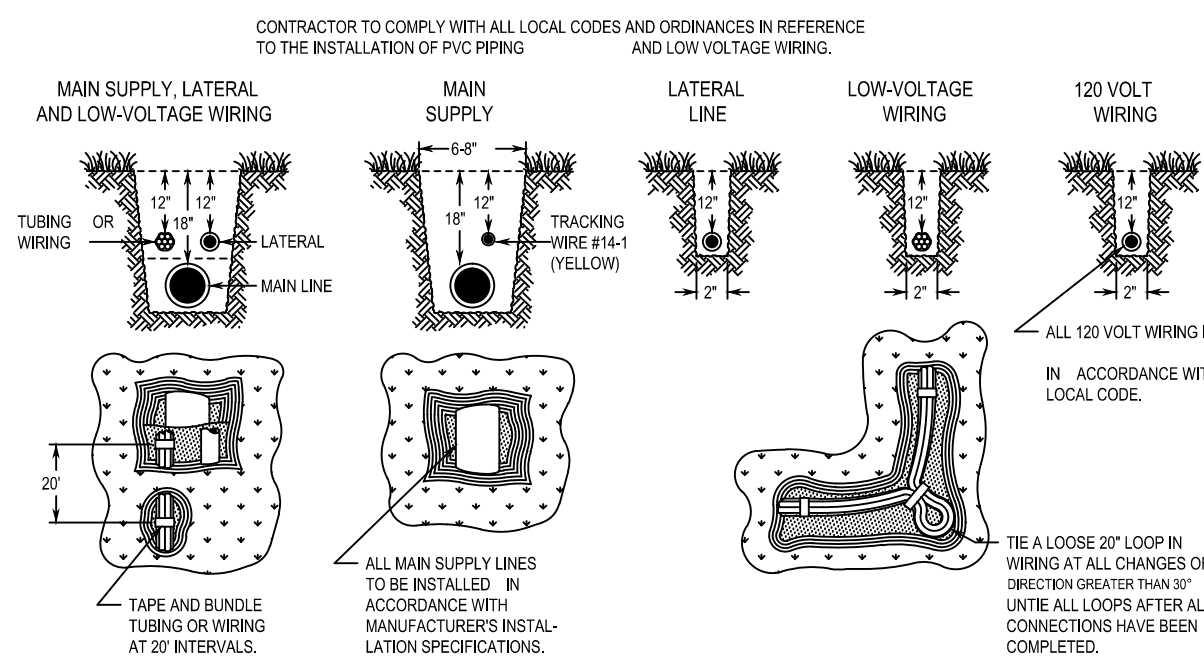
DATE: February 15, 2023	REV DATE: -	SHEET: 00-01
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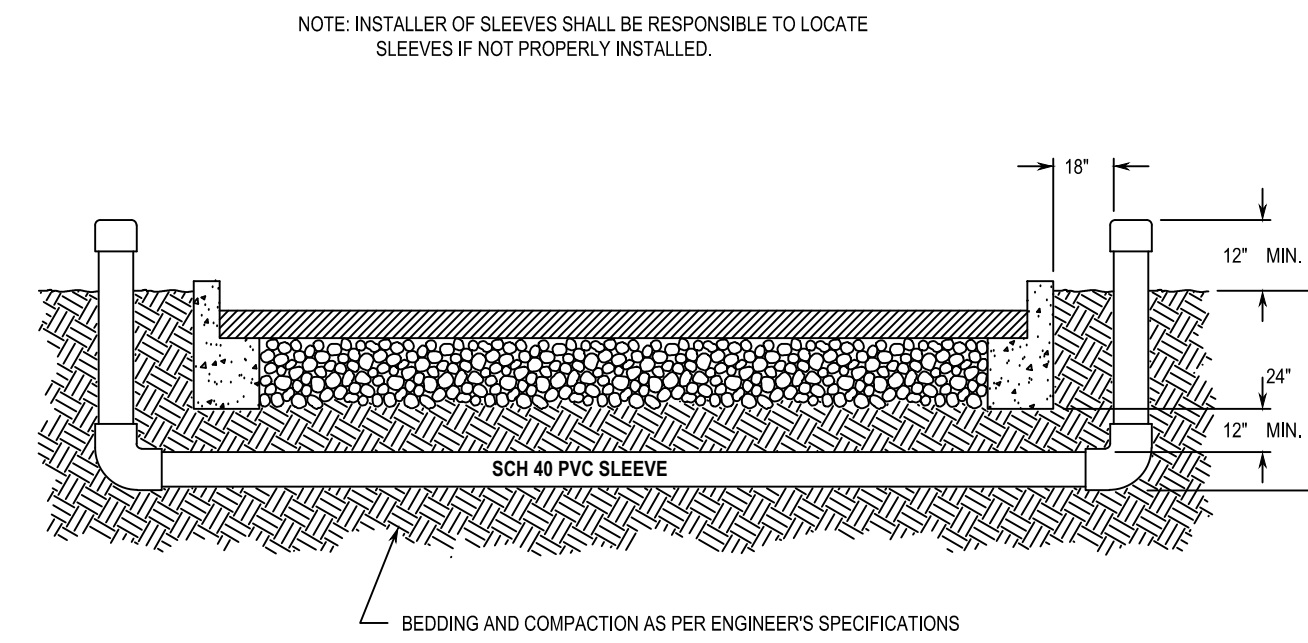




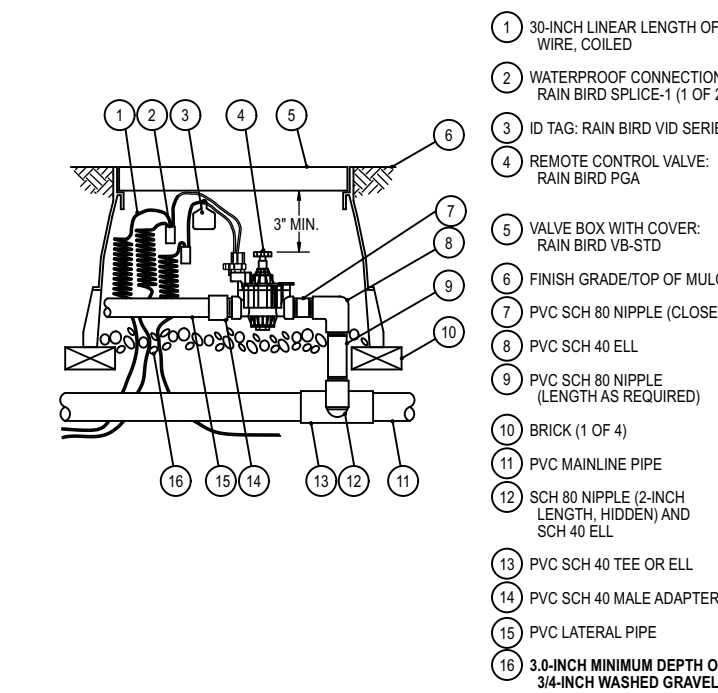
**1 IRRIGATION CONTROLLER & RAIN/FREEZE SENSOR: ESP-ME3 & WR2**  
SCALE: NTS (LOCATE IN STORAGE ROOM)



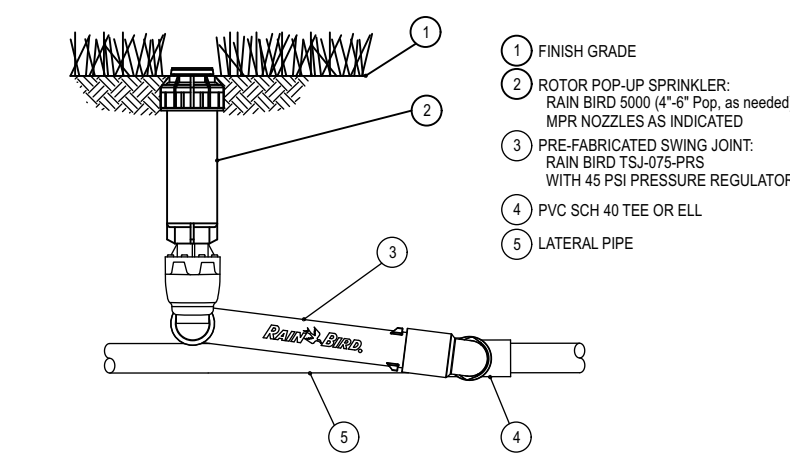
**2 IRRIGATION TRENCHING AND PIPE DEPTH**  
SCALE: NTS



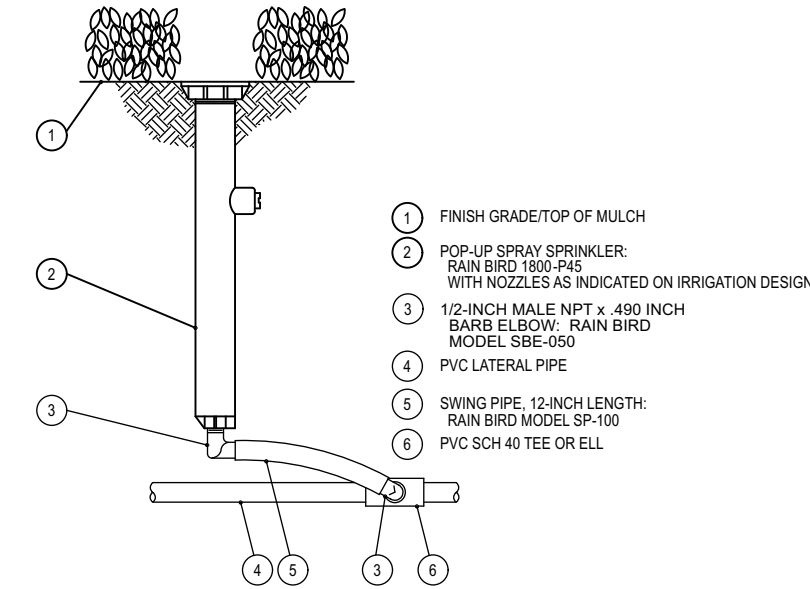
**3 IRRIGATION SLEEVING**  
SCALE: NTS



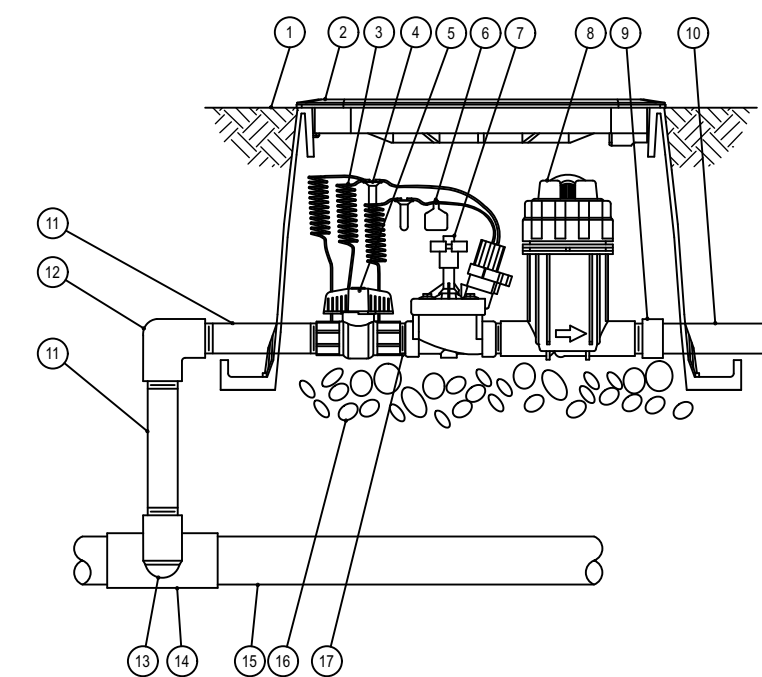
**4 IRRIGATION VALVE: 100-PGA**  
SCALE: NTS



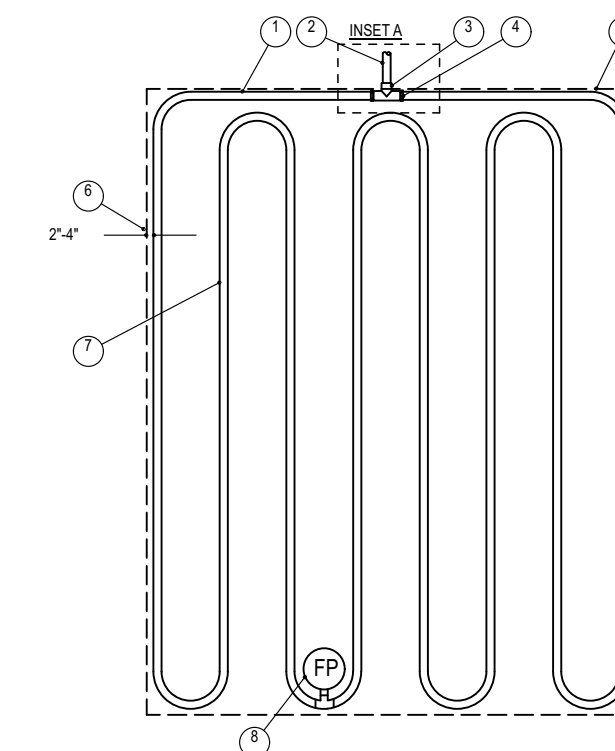
**5 POP-UP ROTOR: 5000 SERIES W/IT MPR NOZZLE**  
SCALE: NTS



**6 POP-UP SPRAY: 1800 SERIES**  
SCALE: NTS



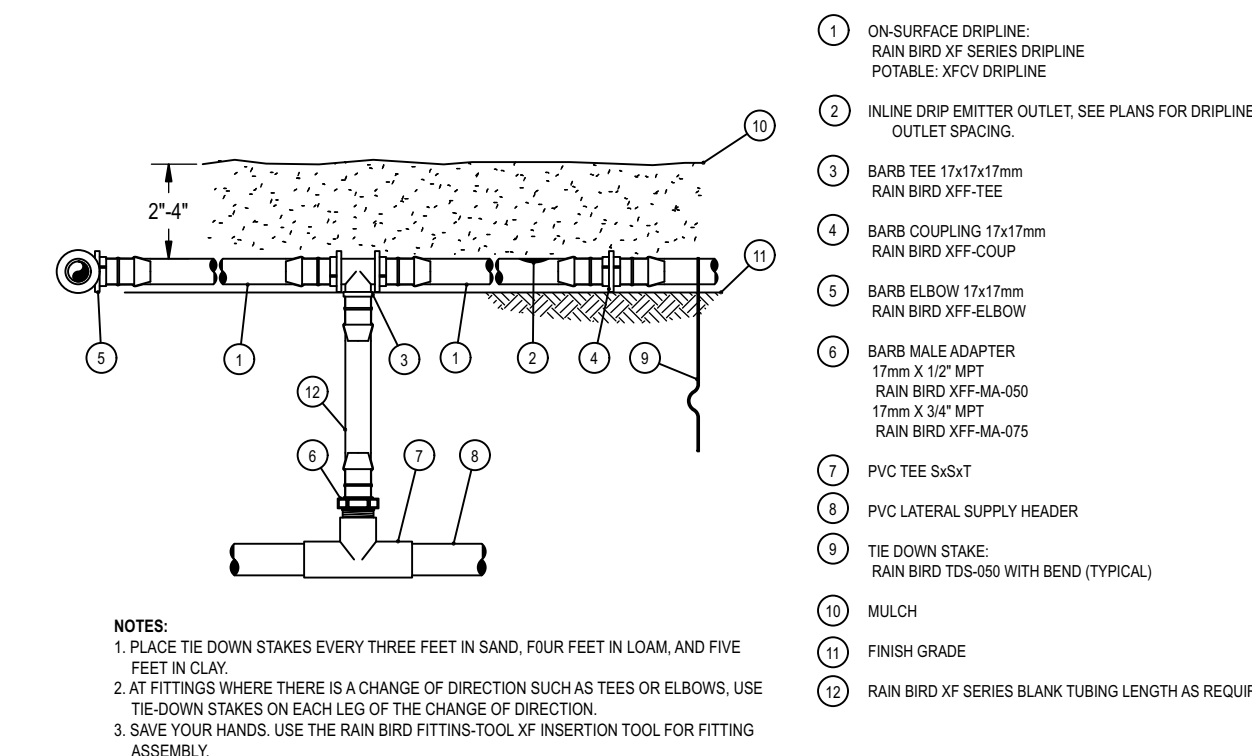
**7 DRIP VALVE: X CZ-PRB-100-COM**  
SCALE: NTS



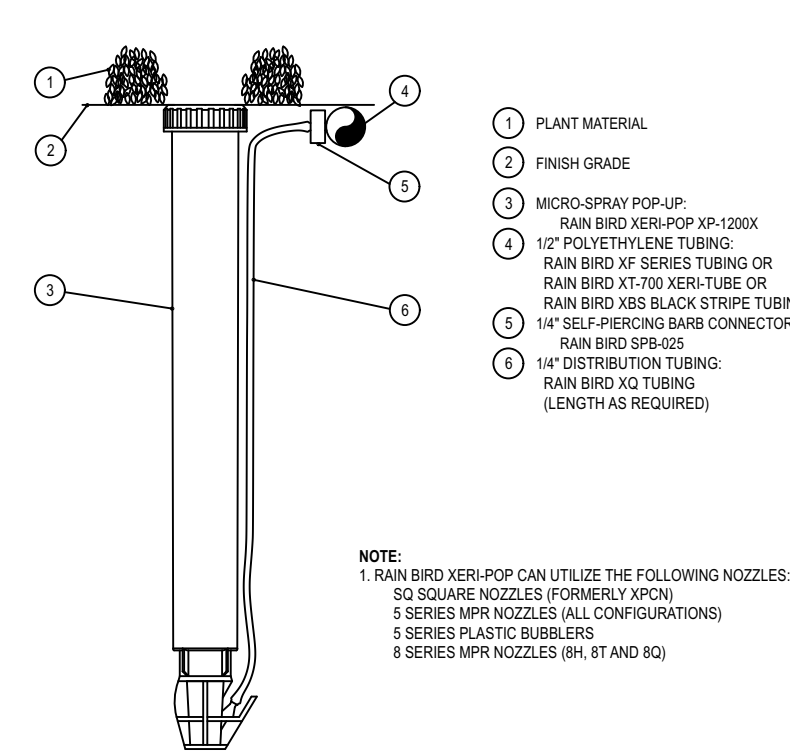
**NOTES:**  
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.  
2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.  
3. WHEN USING 1/2" DIA. INSERT FITTINGS WITH DESIGN PRESSURE OVER 50 PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

Inlet Pressure psi	XFCV Dripline Maximum Lateral Lengths (feet)	
	12" Spacing	18" Spacing
20	8.6	8.9
30	289	205
40	350	248
50	397	281
60	435	309

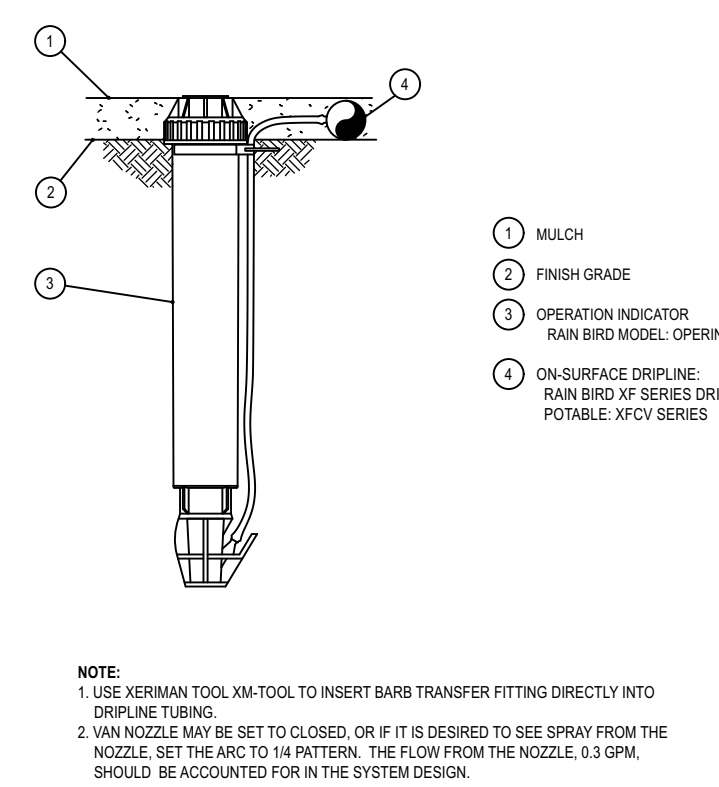
**8 DRIP: SYSTEM LAYOUT AND INSTALLATION OVERVIEW**  
SCALE: NTS



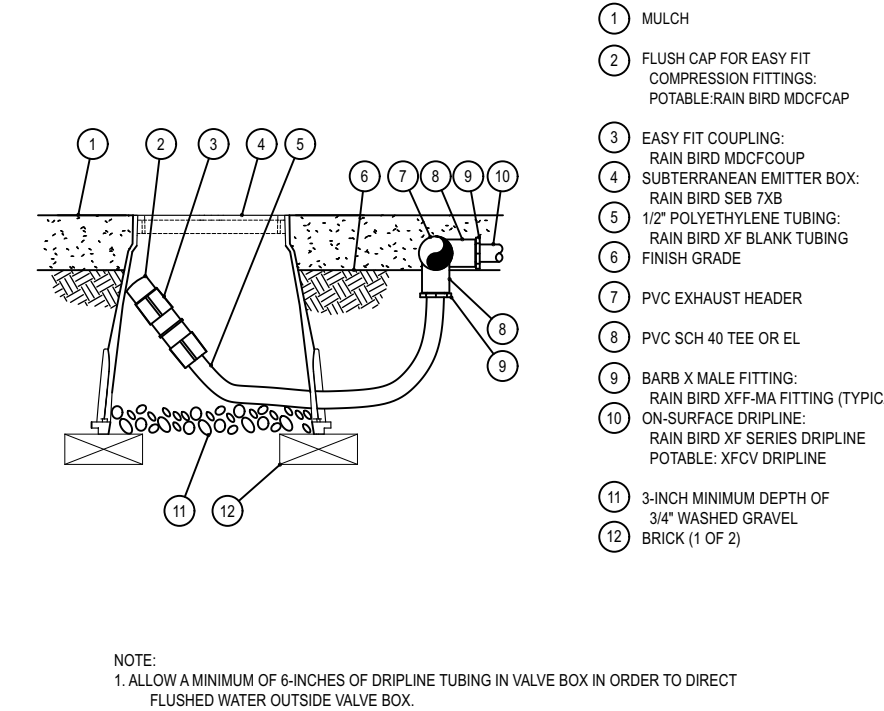
**9 DRIP: ON-SURFACE RISER ASSEMBLY**  
SCALE: NTS



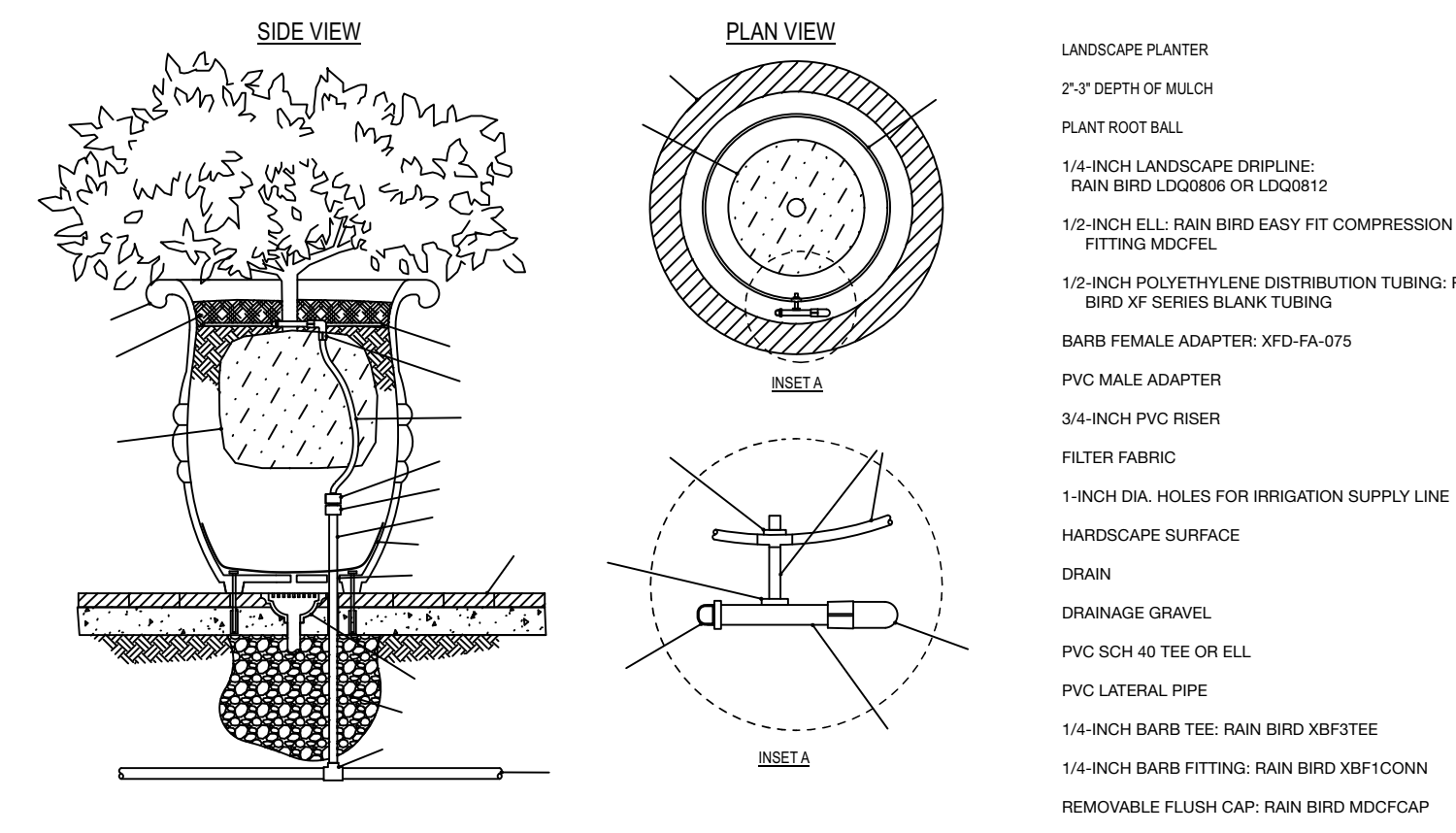
**10 DRIP: XERI-POP MICRO SPRAY**  
SCALE: NTS



**11 DRIP: OPERATION INDICATOR**  
SCALE: NTS



**12 DRIP: DRIPLINE FLUSH POINT**  
SCALE: NTS



**13 DRIP: PLANTER**  
SCALE: NTS



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**CHICK-FIL-A**  
**ADDISON - RELO**  
3790 BELT LINE ROAD  
ADDISON, TX 75001

**FSU# 05521**

NO.	DATE	BY	DESCRIPTION
1	9/5/23	MB	City Comments
2	9/13/23	MB	City Comments
3	12/18/23	AN	BLDG PERMIT SET
4	1/16/24	MB	City Comments

MLD PROJECT #	2023124
PRINTED FOR	CONCEPT PLAN
DATE	9/12/23
DRAWN BY	KCN

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**PERMIT** Irrigation Details

SHEET NUMBER **L-201**

## IRRIGATION COMPONENTS AND/OR SYSTEMS

### PART 1 – GENERAL

#### SECTION INCLUDES

Work to be performed under this Section shall consist of furnishing all labor and materials necessary to construct a complete working and tested sprinkler irrigation system as per all drawings and specifications.

#### REFERENCES

- ANSI – American National Standards Institute
- ASIC – American Society of Irrigation Consultants: ASIC Grounding Guideline.
- ASSE – American Society of Sanitary Engineering: ASSE 1013, 1015: Backflow Preventers, Pressure Reducers.
- ASTM – American Society of Testing and Materials
- IA – The Irrigation Association: Main BMP Document.
- NFPA – National Fire Protection Association: NFPA 70 National Electrical Code.
- UL – Underwriters Laboratories: UL Wires and Cables.

#### PERFORMANCE REQUIREMENTS

- All work to be performed to current standards of SEI and of the local governing municipality.
- PVC Pipe: Must be stamped with certified NFS.
- Contractor shall be responsible to obtain all necessary permits and to comply with electrical company requirements.
- No substitutions of materials are allowed unless approved by Landscape Architect.

#### QUALITY ASSURANCE

- Contractor shall have considerable experience and demonstrate ability in the installation of irrigation system(s) of specified type(s) in a neat, orderly, and responsible manner in accordance with recognized standards of workmanship.
- All work shall be performed in accordance with the best standards of practice relating to the trade.
- Contractor shall provide an irrigation as-built drawing to the designer responsible for the irrigation plan. **This drawing shall be overnighted to the respective party within 24 hours of installation completion.**

#### WARRANTY

- Contractor shall provide a one year warranty that covers all workmanship and labor.
- Contractor shall provide a five year warranty that covers all materials.

### PART 2 - PRODUCTS

#### PIPE AND FITTINGS

- Material: PVC
- Pressure Pipe: Class 200.
- Lateral Pipe: Class 200, Polyethylene for Northeastern Climate.
- Fittings: Schedule 40, solvent welded or threaded.
- Risers: Schedule 80, threaded.
- Sleeves: Schedule 40, minimum 4".

#### AUTOMATIC CONTROLLER

- Irrigation controller specifications include but are not limited to:
  - The controller shall be of a hybrid type that is microelectronic circuitry capable of fully automatic or manual operation.
  - All stations shall have the capability of independently obeying or ignoring the weather sensor as well as using or not using the master valve.
  - The controller shall have the capability of shutting off the system on rainy days.
- Control zone kit for drip zones with flows from 3 to 15 gpm (11.4 to 56.8 l/m), including control valve (CV) and pressure-regulating filter (PRF).
  - Control Valve (CV) component specifications include:
    - Valve body and bonnet constructed of high impact, weather-resistant plastic, stainless steel and other chemical/ultra-violet resistant materials.
    - One unit diaphragm constructed of durable Buna-N rubber with a clog resistant metering orifice.
    - Inlet pressure rating of 15 to 150 psi (1.0 to 10.3 bar).
  - Pressure Regulating Filter (PRF) component specifications include:
    - Compact "Y" filter body and cap configuration constructed of glass-filled, ultra-violet resistant polypropylene, with 150 psi (10.3 bar) operating pressure rating.
    - 200 mesh (75 micron) filter screen constructed of stainless steel.
    - Normally-open pressure regulating device with preset outlet pressure of 40 psi (2.8 bar).
  - Regulated pressure of 40 psi (2.8 bar).
- Low flow control zone kit for drip zones with flows from 0.2 to 5.0 gpm (0.8 to 18.9 l/m), including Low Flow Valve (LFV) and Pressure-Regulating Filter (PRF).
  - Low flow valve (LFV) component specifications include:
    - Valve body and bonnet constructed of high impact, weather-resistant plastic, stainless steel and other chemical/ultra-violet resistant materials.
    - One unit diaphragm constructed of durable Buna-N rubber material with a clog resistant metering orifice.
    - Inlet pressure rating of 15 to 150 psi (1.0 to 10.3 bar).
  - Pressure regulating filter (PRF) component specifications include:
    - Compact "Y" filter body and cap configuration constructed of glass-filled, ultra-violet resistant polypropylene, with 150 psi (10.3 bar) operating pressure rating.
    - 200 mesh (75 micron) filter screen constructed of stainless steel.
    - Normally-open pressure regulating device with preset outlet pressure of 30 psi (2.1 bar).
  - Regulated pressure of 30 psi (2.1 bar).

#### POP-UP SPRINKLERS

- Irrigation spray body for small turf areas (2.5-24 feet (0.8-7.3m) with a 30 psi (2.0 bar) pressure regulating device specifications include but are not limited to:
  - Parts and components to withstand harsh operating conditions using chemically treated recycled water (reclaimed/non-potable), dirty water containing grit, debris, and other particulates, high operating pressures common in commercial irrigation and resistant to ultra-violet light.
  - Pressure-activated, co-molded soft elastomer wiper seal composed of three wipers and a base seal to ensure a positive seal without excess "flow-by" which enables more heads to be installed on the same valve.
  - Recessed debris pockets located in the base of the spray body to prevent recirculation of harmful debris during operation.
  - Shall include a check valve to prevent low head drainage of up to 14 feet (4.3 m); 6 psi (0.4 bar).
  - Shall include technology built into the stem to prevent water loss and alert maintenance when a spray nozzle is removed.
  - Flow by rating of 0 at 15 psi (1.0 bar) or greater, 0.5 gpm (0.1 m3/h; 0.03 l/s) otherwise.
  - Shall include ½" (15/21) NPT female threaded bottom inlet.
  - The spray body, stem, nozzle, and screen shall be constructed of heavy-duty and ultra-violet resistant plastic.
- Irrigation spray body for small turf areas (2.5-24 feet (0.8-7.3m) with a 45 psi (3.1 bar) pressure regulating device specifications include but are not limited to:
  - Parts and components to withstand harsh operating conditions using chemically treated recycled water (reclaimed/non-potable), dirty water containing grit, debris, and other particulates, high operating pressures common in commercial irrigation and resistant to ultra-violet light.
  - Pressure-activated, co-molded soft elastomer wiper seal composed of three wipers and a base seal to ensure a positive seal without excess "flow-by" which enables more heads to be installed on the same valve.
  - Recessed debris pockets located in the base of the spray body to prevent recirculation of harmful debris during operation.
  - Shall include a check valve to prevent low head drainage of up to 14 feet (4.3 m); 6 psi (0.4 bar).
  - Shall include technology built into the stem to prevent water loss and alert maintenance when a spray nozzle is removed.
  - Flow by rating of 0 at 15 psi (1.0 bar) or greater, 0.5 gpm (0.1 m3/h; 0.03 l/s) otherwise.
  - Shall include ½" (15/21) NPT female threaded bottom inlet.
  - The spray body, stem, nozzle, and screen shall be constructed of heavy-duty and ultra-violet resistant plastic.

#### SPRAY NOZZLES

- Fixed or variable arc matched precipitation rate spray nozzle for small turf areas (3-15 feet (.91-4.6 m), maximum 30 psi (2.1 bar) specifications include but are not limited to:
  - Shall be constructed of ultra-violet resistant plastic.
  - Shall contain a stainless steel flow and radius adjustment screw allowing up to 25% radius reduction.
  - Nozzle shall have a precipitation rate that is matched across sets and patterns of spray nozzles up to 15 feet (4.6 m).
  - Shall include color coding marking on top of nozzle for easy identification of spray radius.
- Dual orifice fixed arc nozzle for small turf areas (5-15 feet (1.7-4.6 m), maximum 30 psi (2.1 bar) specifications include but are not limited to:
  - Shall be constructed of ultra-violet resistant plastic.
  - Shall contain a stainless steel radius adjustment screw allowing reduction to 13 feet (4.0 m).
  - Shall have a matched precipitation rate of 0.60 in/hr (15.2 mm/hr).
  - Shall have a color coded radius reduction plug to allow for easy identification of fixed arc pattern.
- Multi stream rotating nozzle for small turf areas (8-24 feet (2.4-7.4m), maximum 55 psi (3.8 bar) specifications include but are not limited to:
  - Shall be constructed of ultra-violet resistant plastic.
  - Shall contain a stainless steel radius adjustment screw allowing reduction to 13 feet (4.0 m).
  - Shall have a matched precipitation rate of 0.60 in/hr (15.2 mm/hr).
  - Shall have a color coded radius reduction plug to allow for easy identification of fixed arc pattern.

### ROTOR HEADS

- Pop-up rotor sprinkler for medium turf areas (25-47 feet (7.6-14.3 m), maximum 75 psi (5.2 bar) specifications include but are not limited to:
  - Shall have adjustable arc rotation of 40 to 360 degrees (0.7 to 6.3 rad) and reversing full circle rotation.
  - Shall have a flow shut-off device that is integrated into the flow path of the sprinkler.
  - Shall have a pressure-activated, multi-function wiper seal that protects internals from debris and assures positive pop-up and retraction.
  - Shall contain additional o-rings and seals for extra protection in "gritty" water.
  - Operating precipitation rate of 0.20 to 1.01 inches per hour (5 to 26 mm/h).
  - Operating flow rate of 0.73 to 8.31 gpm (0.17 to 1.85 m3/h).
  - The body, stem, nozzle, and screen shall be constructed of heavy-duty and ultra-violet resistant plastic.
  - Shall include a 45 psi (3.1 bar) pressure regulating device to prevent high pressure misting to the nozzle stream.
  - Shall include an internal check valve to prevent low head drainage of up to 7 feet (2.1 m) to prevent puddling, run-off and erosion.
  - Shall include a set of twelve interchangeable nozzles, 8 nozzles with 25 degree (0.4 rad) trajectory and 4 low angle nozzles with 10 degree (0.2 rad) trajectory.

#### FLEXIBLE SWING PIPE

- Swing pipe specifications include but are not limited to:
  - Swing pipe shall be flexible black tubing constructed of linear low density polyethylene material with a wall thickness of 0.098" (0.3 cm) with a nominal inside diameter of 0.49" (1.2 cm).
  - Pipe shall be capable of a flow up to 8 gpm (0.5 l/s).

#### DRIPLINE

- Distribution tubing specifications include but are not limited to:
  - The blank tubing shall be manufactured from flexible polyethylene material with a wall thickness of 0.049" (1.2 mm), outside diameter of 0.634" (16.1 mm), and inside diameter of 0.536" (13.6 mm).
  - The tubing shall be dual-layered (brown over black).

#### INLINE EMITTER DRIPLINE

- Sub-surface inline emitter tubing specifications include but are not limited to:
  - The tubing shall be constructed of ultra-violet resistant acetyl materials.
  - The tubing shall have factory installed pressure-compensating, inline emitters with a copper shield device installed every 12, 18, or 24 inches (30.5, 45.7, 61 cm) as indicated on construction drawings.
  - Operating pressure range of 8.5 to 60 psi (0.6 to 4.1 bar).
  - Operating emitter flow rates of 0.6 and 0.9 gph (2.3 l/hr and 3.5 l/hr).

#### DISTRIBUTION TUBING

- ¾" distribution tubing for emitters and other devices specifications include but are not limited to:
  - The blank tubing shall be extruded from ultra-violet resistant polyethylene resin materials with a wall thickness of 0.04" (1 mm), outside diameter of 0.250" (6.3 mm), and inside diameter of 0.170" (4.3 mm).
  - Operating pressure range from 0 to 60 psi (0 to 4.1 bar).

#### EMITTERS

- Point source emission device specifications include but are not limited to:
  - The emitter shall be constructed of ultra-violet resistant acetyl materials.
  - Shall have a pressure-compensating design to deliver a uniform flow throughout a pressure range of 15 to 50 psi (1.0 to 3.4 bar).
  - Flow rates that range from 0.5 to 2 gph (1.89 to 7.57 l/h) at a pressure range of 15 to 50 psi (1.0 to 3.4 bar).

#### VALVE BOX

- Valve boxes specifications include but are not limited to:
  - Shall be made of structural foam HPDE resin that is resistant to ultra-violet light, weather, moisture and chemical action of soils.
  - Lids shall be clearly marked with the words "IRRIGATION CONTROL VALVE" molded onto the top.
  - Lid colors are available in black, green and purple designating non-potable water use.

### PART 3 - EXECUTION

#### EXCAVATION

- Stake pipe and equipment layout for Owner's review and approval. Review does not relieve installer from coverage problems due to improper placement after staking.
- Excavate trenches for irrigation system pipe to provide minimum cover per plans and details.
- Barricade trenches that are left open overnight.

#### INSTALLATION

- General: Plans are diagrammatic. Proceed with installation in accordance with the following:
  - Install stop and waste valves, backflow preventers, and other equipment required by local authorities according to laws and regulations in order to make system complete.
    - Coordinate with the General Contractor the responsible for installing the backflow preventer and other irrigation items at the connection point.
    - Coordinate with the General Contractor the for exact location of the irrigation connection point.
  - Thoroughly flush main lines before installing automatic control valves, and laterals before installing sprinklers. Flush supply lines thoroughly before installing backflow preventers or other regulating devices.
- Piping: Assemble all mainline and lateral lines in accordance with manufacturer's recommendations with no cul-de-sacs. Assure positive drainage.
- Sleeves: General Contractor shall install sleeves before concrete/paving work.
  - Sleeves should be a minimum two times the diameter of the pipe passing through them.
  - General Contractor shall stub-up and flag sleeve locations for the Irrigation Contractors ease of locating.
  - Sleeve locations shall be approximate to that shown on the Irrigation Plan.
- Control Valves:
  - Install one valve per valve box and provide 12 inches of expansion loop slack wire at all connections inside valve box.
- Manual Drains:
  - Install per manufacturer's recommendations on upstream and downstream side of backflow preventers and at lowest point along main pressure pipe.
- Quick-Coupling Valves:
  - Install using 1 inch PVC nipples and schedule 40 ells as detailed. Location as indicated on plans.
- Backflow Preventer:
  - Install assembly complete for irrigation system with 2 drain valves and 2 shut off valves per detail, local laws and regulations, and per manufacturer's specifications.
  - Install assemblies with drain valves in below grade installations. Provide open box floor with gravel drain sump.
- Valve Boxes
  - Install over all remote control valves, manual control valves, zone shutoff valves, gate valves, or globe valves. Size to provide adequate room for maintenance.
  - Install boxes on level subgrade with proper drainage so that top of boxes are flush with finish grade material (sod, mulch, rock, etc.). Place parallel or perpendicular to adjacent curbs, sidewalks, or driveways.
  - Place washed gravel aggregate in sump as shown on details.
- Automatic Controller
  - Properly ground controller per local laws and regulations. Make all control wire connections to automatic controller. Coordinate controller installation with other electrical work.
  - Connect remote control valves to controller in numerical sequence as shown on Plans.
- Wire and Electrical Work
  - Use electrical control and ground wire suitable for sprinkler control cable.
  - Provide 120-volt power connection (by others) to automatic controller to conform to local codes, ordinances and authorities having jurisdiction.
  - Low Voltage Wiring:
    - Bury control wiring between controller and electric valves in pressure supply line trenches, strung as close as possible to main pipe lines with such wires to be consistently located below and to one side of the pipe, or in separate trenches.
    - Bundle all 24-volt wires at 10-foot intervals and lay with pressure supply line pipe to one side of trench.
    - Install control wire for each control valve.
    - Run 2 spare #14-1 wires from controller pedestal or electric control valve on each and every leg of mainline.
- Sprinkler Heads, Emitters, Rotators, and Rotors
  - Flush circuit piping with full head of water and install sprinklers after hydrostatic test is completed.
  - Adjust nozzles to allow for adequate coverage and to minimize overspray onto walks, roads, driveways, and buildings.
  - Stake emitter tubing with 1/4" Rainbird® TS-025 tubing stakes.
  - Adjust heads to be plumb and flush with finish grades, even with top of soil level or top of material level after completion of grading, seeding, sodding, and rolling of grass.
- Drip Tubing
  - Install all drip tubing in locations shown on the Irrigation Plan. To be laid out and installed per the irrigation drip details.
  - Install flush caps as indicated on details.
  - Install drip indicator on all drip zones.
- Thrust Blocks and/or Joint Restraints
  - Install on pipe sized 2" or larger wherever the main pipe line:
    - Changes any direction at tees, angles, and crosses vertical and horizontal.
    - Changes at reducers.
    - Stops at a dead-end.
    - Valves at which thrust develops when closed.

#### BACKFILLING

- Do not begin backfilling operations until system tests and approvals have been completed.
- Bed all pipe a minimum of 2 inches. Backfill to 6 inches above pipe with soil free of rocks over 1-inch diameter, debris, or organic matter. Backfill remainder of trench with soil of like quality to adjacent areas. Haul away all material not suitable for backfill.
- Compact backfill in 6-inch lifts thoroughly to prevent settling damage to grades or plant material. Leave trenches slightly mounded to allow for settlement after backfilling is completed. Low areas and damage caused by settling will be repaired by Contractor at no additional cost to the Project or Owner.
- Prevent soil, rocks, or debris from entering pipes or sleeves.

#### FLUSHING AND TESTING

- Flushing: After piping, risers, and valves are in place and connected, but prior to installation of sprinkler heads, thoroughly flush piping system under full head of water pressure from dead end fittings. Maintain flushing for 5 minutes through furthest valves. Cap risers after flushing.

#### INSPECTION

- Arrange for Owner's presence 48 hours in advance of inspection walk-through.
- Examine areas and conditions under which work of this section is to be performed and ensure a complete and operating installation prior to scheduling a walk-through.
- Operate each zone in its entirety for Owner at time of walk-through and open all valve boxes as directed.
- Expose all drip emitters under operations for observation by Owner to demonstrate they are performing and installed as designed prior to placing of mulch material. Schedule separate walk-through as necessary.
- As necessary Owner will generate a list of items to be corrected prior to Final Acceptance.

#### RESTORATION AND CLEANING

- Flush dirt and debris from piping before installing sprinklers and other devices.
- Adjust automatic control valves to provide flow rate of rated operating pressure required for each sprinkler circuit.
- Restore all damaged areas to original condition unless otherwise shown on plans at no additional cost to the Project or Owner.



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SHEET

**PERMIT Irrigation Specifications**

SHEET NUMBER

**L-202**